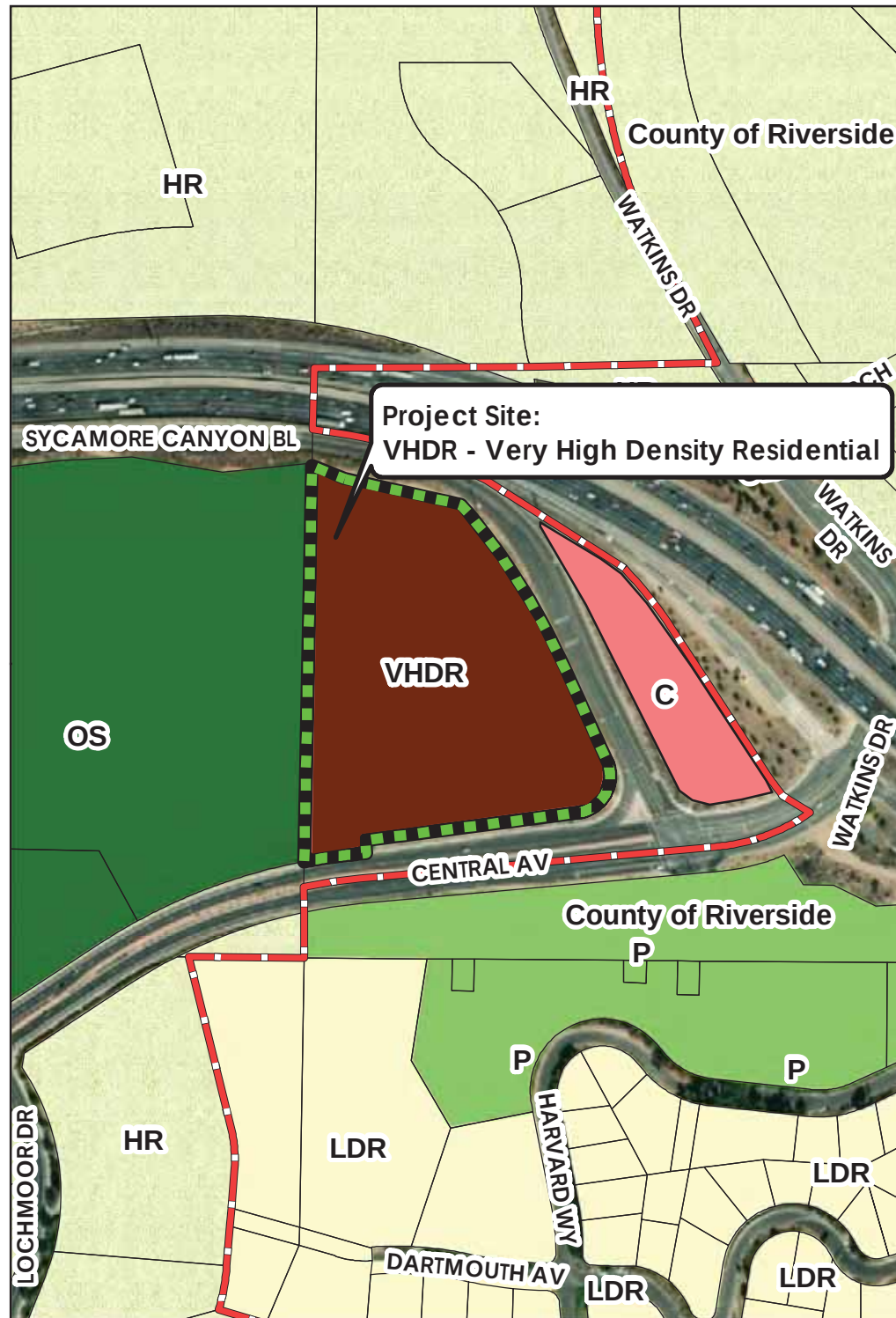
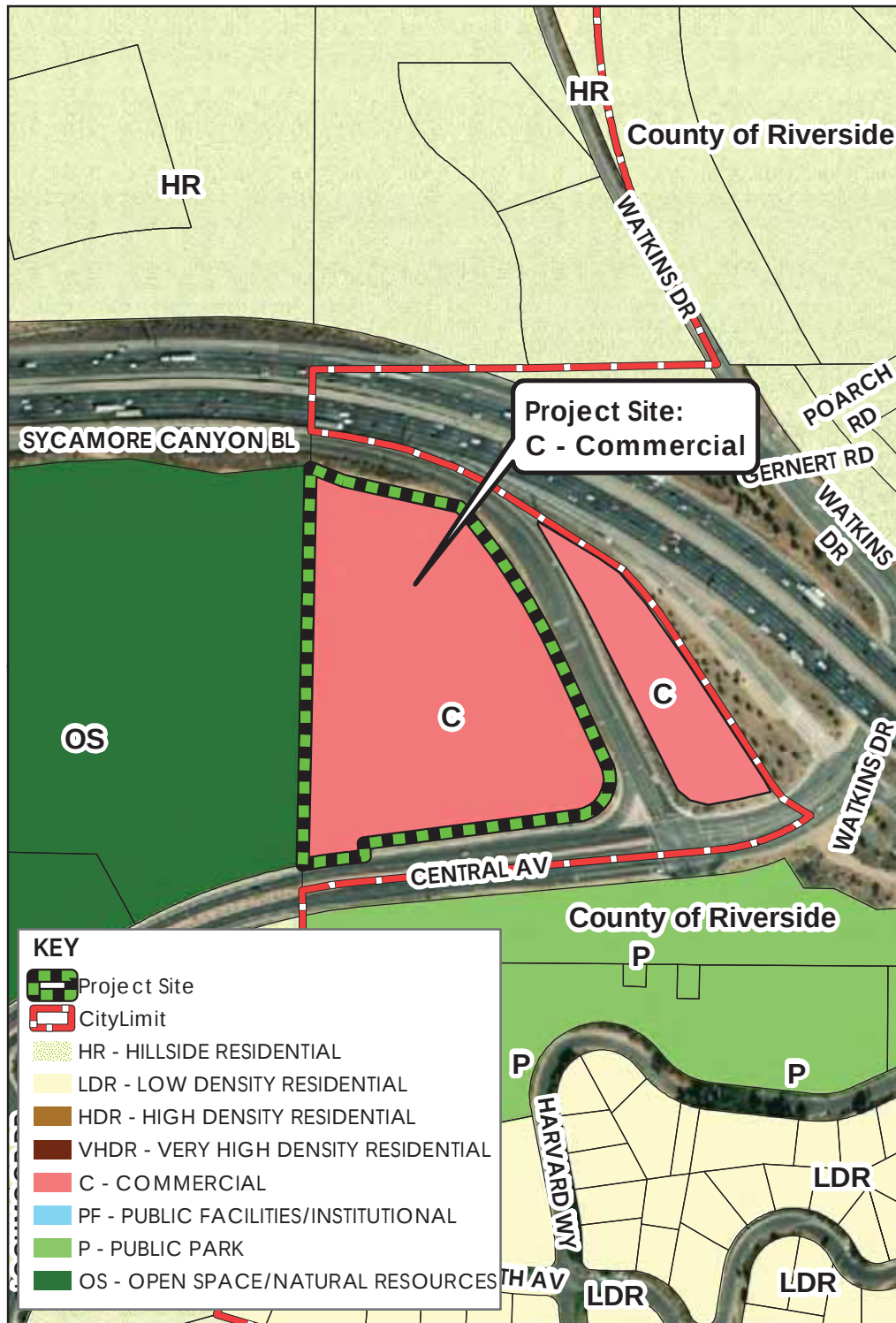






CRESTVIEW APARTMENTS

DESIGN REVIEW SUBMITTAL

FEBRUARY 05 2021

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PROJECT TEAM

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CRESTVIEW APARTMENTS

RIVERSIDE, CA

DATE: 02-05-2021
JOB NO.: 2018-549

KA ENTERPRISES

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P19-0075, P19-0077, P20-0307, P20-0310, P19-0905, Exhibit 6 - Project Plans
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VIEW FROM CENTRAL AVE. LOOKING NORTH WEST

JULY 15, 2020
JOB NO.: 2018-549

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VIEW TO POOL AREA



VIEW TO LEASING / CLUBHOUSE



VIEW TO FITNESS CENTER



VIEW TO ROOF GARDEN



BUILDING 6 VIEW FROM CENTRAL AVE.



WEST VIEW PERSPECTIVE

CRESTVIEW APARTMENTS

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RIVERSIDE, CA

ARCHITECTURE MASSING VIEWS - 1

DATE: 02-05-2021
JOB NO.: 2018-549

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A-2.1





VIEW TO POOL AREA



VIEW TO LEASING / CLUBHOUSE



VIEW TO FITNESS CENTER



VIEW TO ROOF GARDEN



BUILDING 6 VIEW FROM CENTRAL AVE.



WEST VIEW PERSPECTIVE

CRESTVIEW APARTMENTS

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ARCHITECTURE MASSING VIEWS - 1

DATE: 02-05-2021
JOB NO.: 2018-549

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A-2.1



PROJECT SUMMARY

	DATA
GENERAL PLAN:	VERY HIGH DENSITY RESIDENTIAL(VHDLR)
EXISTING ZONING OF SITE:	CG(COMMERCIAL GENERAL ZONE)
PROPOSED ZONING:	R-4(MULTIPLE FAMILY RESIDENTIAL ZONE)
TOTAL GROSS SITE AREA:	9.77
PROPOSED TOTAL # OF DWELLING UNITS:	237
PROPOSED DENSITY OF UNITS:	24.3
MAXIMUM BUILDING HEIGHT:	80'
MAXIMUM NUMBER OF STORIES:	4 STORY

SITE COVERAGE

	SQ.FT.	AC	%
BUILDING COVERAGE	101,310	2.33	23.8%
ROAD COVERAGE	220,588	5.06	51.8%
LANDSCAPE COVERAGE	103,673	2.38	24.4%
TOTAL	425,581	9.77	100%

BUILDING/ UNIT MIX

BLDG. #	BLDG. TYPE	1 BDRM		2 BDRM				3 BDRM		TOTAL UNIT	TOTAL GARAGE
		A1*	A2	B1	B2	B3	B4*	C1			
		790 SQ. FT.	777 SQ. FT.	1,087 SQ. FT.	1,102 SQ. FT.	1,241 SQ. FT.	1,084 SQ. FT.	1,396 SQ. FT.			
1	1 1/2 3 STORY	0	0	2	0	0	7	0	15	13	
2	1 1/2 3 STORY	0	6	2	0	0	7	0	15	12	
3	1 1/2 3 STORY	0	3	2	0	0	10	0	15	12	
4	1 1/2 3 STORY	0	3	2	0	0	10	0	15	12	
5	1 1/2 3 STORY	0	6	2	0	0	7	0	18	11	
6	2 1/2 4 STORY	43	12	18	22	2	3	15	115	37	
7	2 1/2 4 STORY	10	5	15	8	8	1	2	47	14	
SUB-TOTAL		53	41	43	28	10	45	17	237		110
TOTAL B	7		94		126		17				
%			49%		53%		7%		100%		

A1* INCLUDES 1 UNIT ON 2ND FLOOR OF BLDG TYPE III WHICH IS MODIFIED B1

B4* INCLUDES 1 UNIT ON 2ND FLOOR OF MAILRM OF BLDG TYPE III WHICH IS MODIFIED C1

TOTAL BUILDING FOOTPRINT SQ. FT.

BLDG. NUMBER	BLDG. TYPE	1st FL. SQ. FT.	2nd FL. SQ. FT.	3rd FL. SQ. FT.	4th FL. SQ. FT.	TOTAL SQ. FT.	TYPE OF CONSTRUCTION
1	TYPE 1A	6,808	7,815	7,815	--	28,990	VA
2	TYPE 1A	6,808	7,815	7,815	--	28,990	VA
3	TYPE 1B	7,277	7,324	7,324	--	21,925	VA
4	TYPE 1B	7,277	7,324	7,324	--	21,925	VA
5	TYPE 1A	6,808	7,815	7,815	--	28,990	VA
6	TYPE 2	44,588	37,823	42,084	42,088	166,583	VA
7	TYPE 2	21,288	16,867	16,867	16,873	71,913	VA
TOTAL		101,310	95,383	95,344	68,128	360,065	--

LEASABLE SQ.FT. PROVIDED:

UNIT TYPE	SQ.FT.	QTY	%	TOTAL LEASABLE SF
A1	790	53	22%	40,190
A2	777	41	17%	31,857
B1	1,087	43	18%	47,171
B2	1,102	28	12%	30,856
B3	1,241	10	4%	12,410
B4	1,084	45	20%	49,230
C1	1,396	17	7%	23,750
SUB-TOTAL		237	100%	235,579

PARKING SUMMARY

A. TOTAL PARKING REQUIRED

A. TOTAL PARKING REQUIRED	UNITS	RATIO	QTY.
1 BDRM UNITS	94	1.5	141
2 BDRM UNITS	126	2.0	252
3 BDRM UNITS	17	2.0	34
TOTAL REQ. PARKING	237	-	427

B. TOTAL PARKING PROVIDED

TOTAL PARKING PROVIDED	QTY.	%
TOTAL GARAGE	110	26%
TOTAL CARPORT	211	49%
TOTAL TANDEM	11	3%
TOTAL OPEN-STALL	95	22%
TOTAL PROVIDED PARKING	427	100%
PARKING TO UNIT RATIO	1.80 / DU	

75% X 427 TOTAL REQUIRED PARKING = 321 COVERED (GARAGE + CARPORT)

A-3.0

CRESTVIEW APARTMENTS

RIVERSIDE, CA

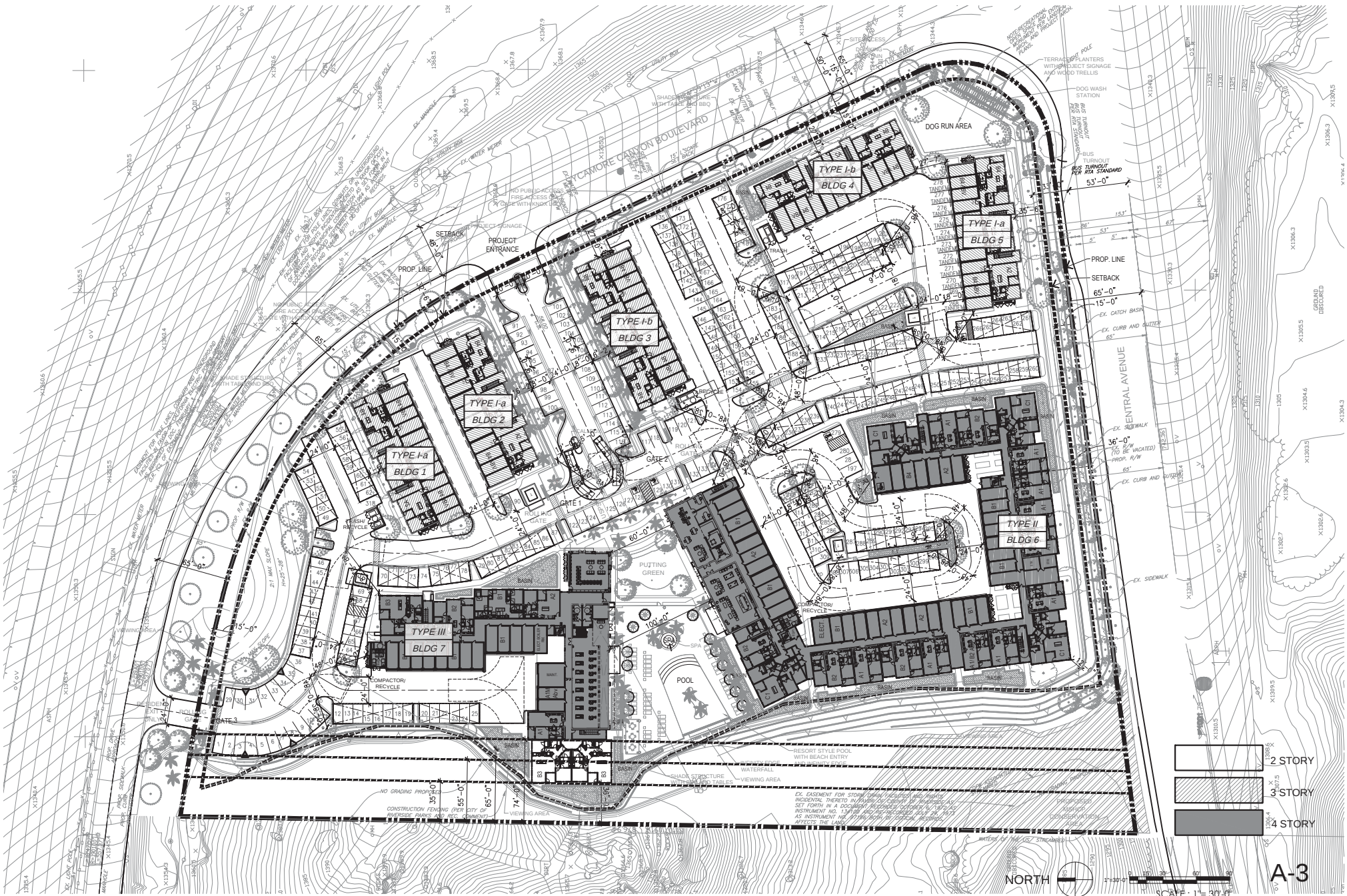
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(858) 404-6080

PROJECT DATA DATE: 02-05-2021
JOB NO.: 2018-549

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RIVERSIDE CA

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(858) 404-6080

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CONCEPTUAL SITE PLAN

DATE: 02-05-2021
JOB NO.: 2018-549
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(714) 639-9860





COMMON OPEN SPACE

REQUIRED:
200 SQ.FT PER UNIT X 237=47,400 SQ.FT.(1.09AC)
PROVIDED:
+49,720 SQ.FT. (1.14 AC)
(INCLUDING : FITNESS 2ND FLOOR 3,050 SQ.FT
& ROOF DECK 1,870 SQ.FT.)

PRIVATE OPEN SPACE

REQUIRED:
50 SQ.FT PER UNIT, 50X237 =11,850 SQ.FT (0.27 AC)

PRIVATE OPEN SPACE PROVIDED:

UNIT TYPE	PATIO/BALC. SQ. FT.	QTY	%	TOTAL PRIVATE SF
A1	63	53	22%	3,339
A2	68	41	17%	2,788
B1	58	43	18%	2,494
B2	63	26	12%	1,764
B3	73	10	4%	730
B4	64	45	19%	2,880
C1	73	17	7%	1,241
SUB-TOTAL		237	100%	15,236



NORTH

SCALE: 1"= 30'-0"

DATE: 02-05-2021
JOB NO. 2018-549

CRESTVIEW APARTMENTS

RIVERSIDE CA

KA P19-0775- 0777, P20-0307 - 0310, P19-0905, Exhibit 6 - Project Plans

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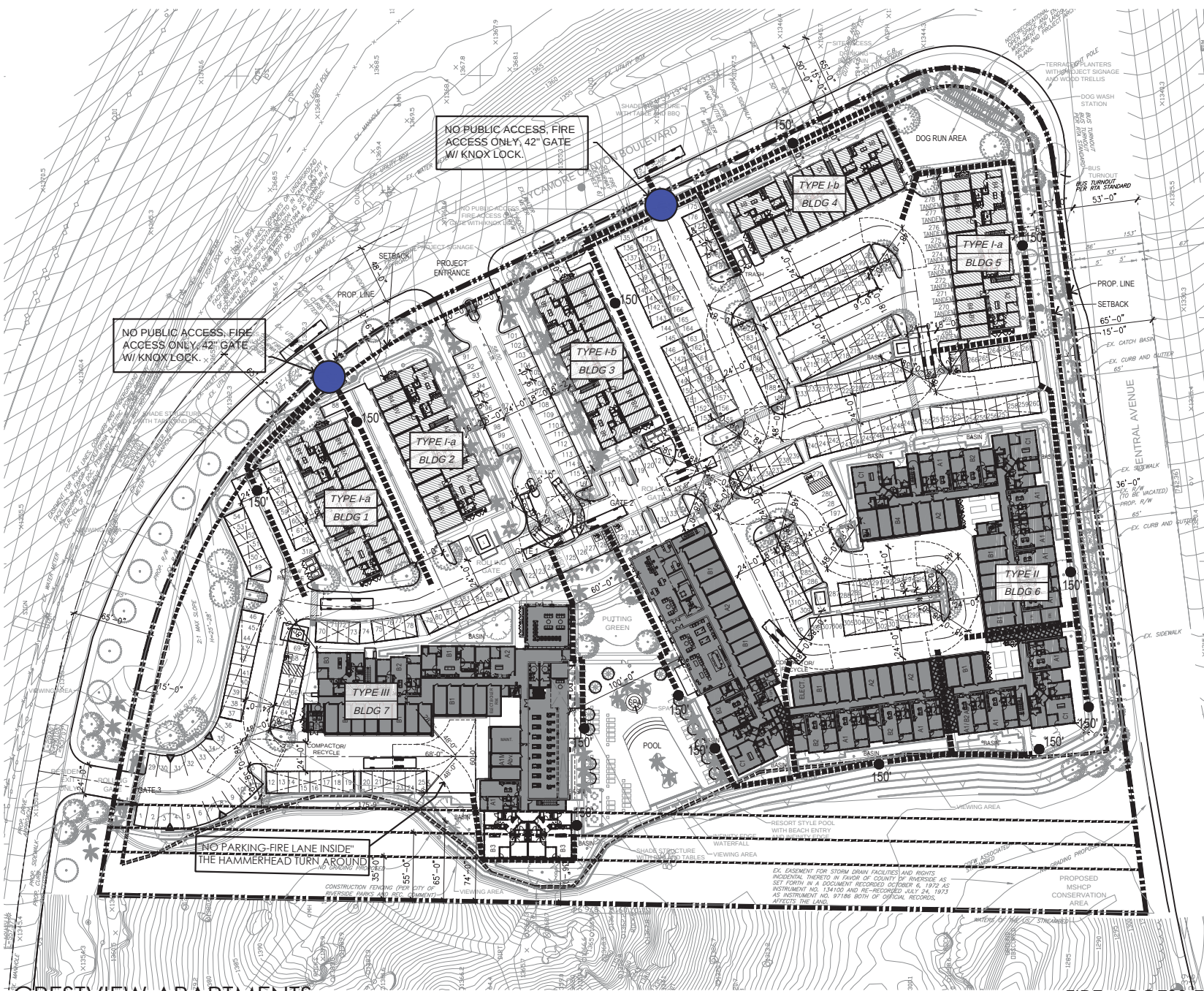
OPEN SPACE EXHIBIT

ARCHITECTS ORANGE

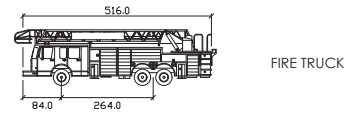
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A-4



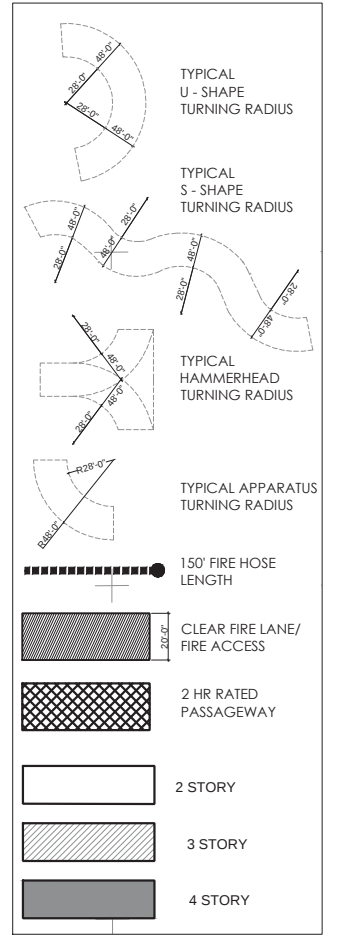


FIRE ACCESS LEGEND



Aerial Fire Truck

Width	102.0
Track	102.0
Lock to Lock Time	6.0
Steering Angle	33.3



1"=30'-0"

SCALE: 1"= 30'-0"
DATE: 02-05-2021
JOB NO.: 2018-549

FIRE ACCESS EXHIBIT

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A-5



CRESTVIEW APARTMENTS

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TYPICAL 3 STORY RESIDENTIAL WITH ENHANCED ELEVATION
FRONT ELEVATION



TYPICAL 3 STORY RESIDENTIAL WITH ENHANCED ELEVATION
LEFT ELEVATION



TYPICAL 3 STORY RESIDENTIAL WITH ENHANCED ELEVATION
RIGHT ELEVATION

CRESTVIEW APARTMENTS

RIVERSIDE, CA

KA ENTERPRISES

5820 OBERLIN DRIVE SUITE 201, RIVERSIDE CA 92121
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ENHANCED ELEVATIONS (3 STORIES)

SCALE : 3/32"= 1'-0"

DATE: 02-05-2021

JOB NO.: 2018-549

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A-6.1



EXTERIOR ELEVATION KEYNOTES

MATERIAL LEGEND:

1. EXTERIOR PLASTER WALL
2. ARCHITECTURAL DECORATIVE AWNING
3. VINYL WINDOW
4. ROOF GARDEN
5. GARAGE DOOR
6. METAL RAILING
7. GLASS RAILING
8. ALUMINUM FIXED STOREFRONT GLAZING SYSTEM
9. PAINTED STUCCO PATIO WALL
10. DECORATIVE GATE
11. METAL CANOPY
12. HAND TOOLED JOINT
13. DECORATIVE BAHAMA SHUTTERS



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

CRESTVIEW APARTMENTS

KA ENTERPRISES

5820 OBERLIN DRIVE SUITE 201, RIVERSIDE CA 92121
(858) 404-6080

RIVERSIDE, CA

TYPE 1a - FRONT, REAR, RIGHT & LEFT ELEVATIONS

SCALE : 3/32"= 1'-0"

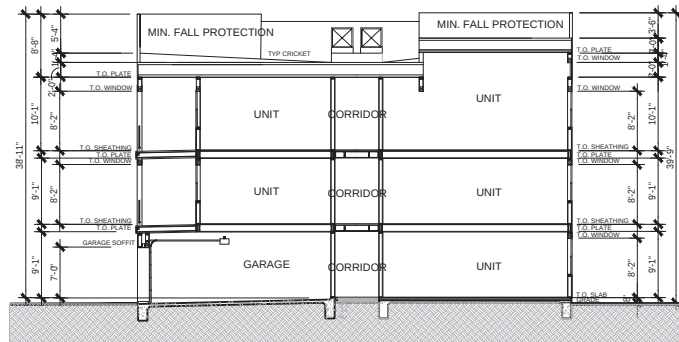
DATE: 02-05-2021

JOB NO.: 2018-549

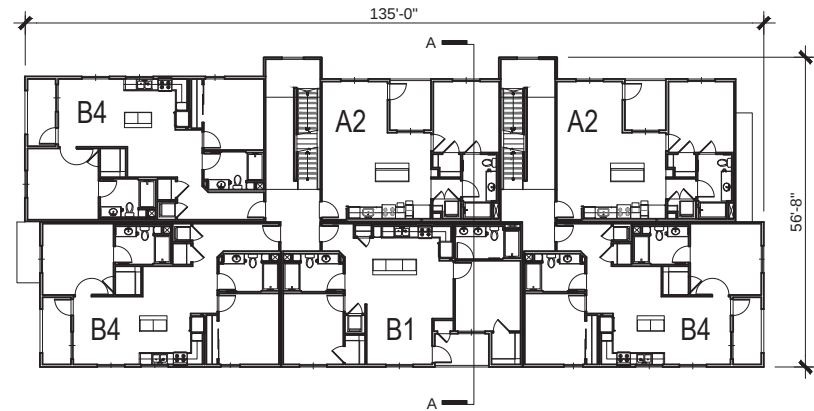
ARCHITECTS ORANGE

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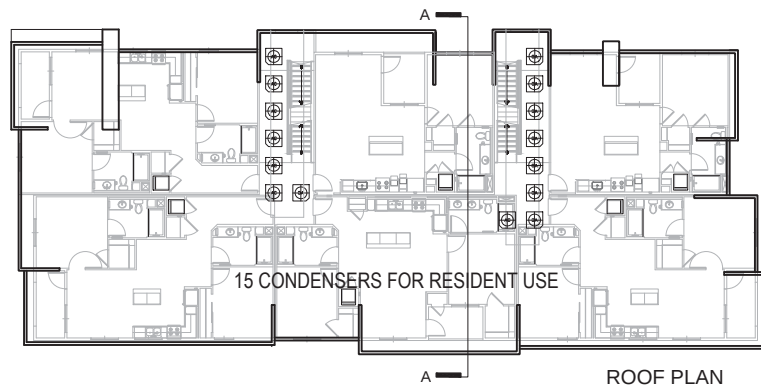




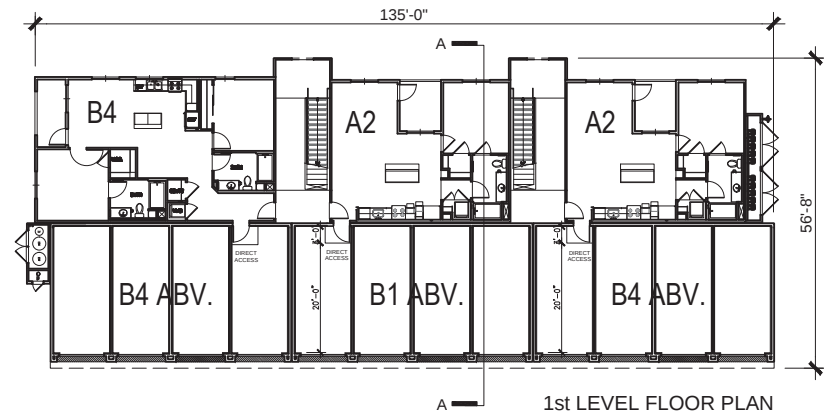
TYPICAL SECTION A-A



2nd & 3rd LEVEL FLOOR PLAN



ROOF PLAN



1st LEVEL FLOOR PLAN

CRESTVIEW APARTMENTS

RIVERSIDE, CA

KA ENTERPRISES

5820 OBERLIN DRIVE SUITE 201, RIVERSIDE CA 92121
(858) 404-6080

TYPE Ia - BUILDING COMPOSITE
LEVEL 1, 2, 3, ROOF & SECTION A-A

SCALE: 3/32" = 1'-0"

DATE: 02-05-2021

JOB NO.: 2018-549

ARCHITECTS ORANGE

144 NORTH ORANGE ST., ORANGE, CA 92866
(714) 639-9860

A-7



EXTERIOR ELEVATION KEYNOTES

MATERIAL LEGEND:

1. EXTERIOR PLASTER WALL
2. ARCHITECTURAL DECORATIVE AWNING
3. VINYL WINDOW
4. ROOF GARDEN
5. GARAGE DOOR
6. METAL RAILING
7. GLASS RAILING
8. ALUMINUM FIXED STOREFRONT
9. PAINTED STUCCO PATIO WALL
10. DECORATIVE GATE
11. METAL CANOPY
12. HAND TOOLED JOINT
13. DECORATIVE BAHAMA SHUTTERS



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

CRESTVIEW APARTMENTS

KA ENTERPRISES

5820 OBERLIN DRIVE SUITE 201, RIVERSIDE CA 92121
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RIVERSIDE, CA

TYPE 1b - FRONT, REAR, RIGHT & LEFT ELEVATIONS

SCALE : 3/32"= 1'-0"

DATE: 02-05-2021

JOB NO.: 2018-549

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EXTERIOR ELEVATION KEYNOTES

MATERIAL LEGEND:

1. EXTERIOR PLASTER WALL
2. ARCHITECTURAL DECORATIVE AWNING
3. VINYL WINDOW
4. ROOF GARDEN
5. GARAGE DOOR
6. METAL RAILING
7. GLASS RAILING
8. ALUMINUM FIXED STOREFRONT GLAZING SYSTEM
9. PAINTED STUCCO PATIO WALL
10. DECORATIVE GATE
11. METAL CANOPY
12. HAND TOOLED JOINT
13. DECORATIVE BAHAMA SHUTTERS



NORTH ELEVATION



SOUTH ELEVATION

CRESTVIEW APARTMENTS

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(858) 404-6080

RIVERSIDE, CA

TYPE II - NORTH & SOUTH ELEVATIONS

SCALE : 3/32"= 1'-0"

DATE: 02-05-2021

JOB NO.: 2018-549

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EXTERIOR ELEVATION KEYNOTES

MATERIAL LEGEND:

- | | |
|------------------------------------|---|
| 1. EXTERIOR PLASTER WALL | 8. ALUMINUM FIXED STOREFRONT GLAZING SYSTEM |
| 2. ARCHITECTURAL DECORATIVE AWNING | 9. PAINTED STUCCO PATIO WALL |
| 3. VINYL WINDOW | 10. DECORATIVE GATE |
| 4. ROOF GARDEN | 11. METAL CANOPY |
| 5. GARAGE DOOR | 12. HAND TOOLED JOINT |
| 6. METAL RAILING | 13. DECORATIVE BAHAMA SHUTTERS |
| 7. GLASS RAILING | |



EAST ELEVATION



WEST ELEVATION

CRESTVIEW APARTMENTS

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RIVERSIDE, CA

TYPE II - EAST & WEST ELEVATIONS

SCALE : 3/32"= 1'-0"

DATE: 02-05-2021

JOB NO.: 2018-549

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EXTERIOR ELEVATION KEYNOTES

MATERIAL LEGEND:

1. EXTERIOR PLASTER WALL
2. ARCHITECTURAL DECORATIVE AWNING
3. VINYL WINDOW
4. ROOF GARDEN
5. GARAGE DOOR
6. METAL RAILING
7. GLASS RAILING
8. ALUMINUM FIXED STOREFRONT GLAZING SYSTEM
9. PAINTED STUCCO PATIO WALL
10. DECORATIVE GATE
11. METAL CANOPY
12. HAND TOOLED JOINT
13. DECORATIVE BAHAMA SHUTTERS



NORTH COURTYARD ELEVATION



SOUTH COURTYARD ELEVATION

CRESTVIEW APARTMENTS

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RIVERSIDE, CA

TYPE II - NORTH & SOUTH COURTYARD ELEVATIONS

SCALE : 3/32"= 1'-0"

DATE: 02-05-2021

JOB NO.: 2018-549

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(714) 639-9860

A-12



EXTERIOR ELEVATION KEYNOTES

MATERIAL LEGEND:

1. EXTERIOR PLASTER WALL
2. ARCHITECTURAL DECORATIVE AWNING
3. VINYL WINDOW
4. ROOF GARDEN
5. GARAGE DOOR
6. METAL RAILING
7. GLASS RAILING
8. ALUMINUM FIXED STOREFRONT GLAZING SYSTEM
9. PAINTED STUCCO PATIO WALL
10. DECORATIVE GATE
11. METAL CANOPY
12. HAND TOOLED JOINT
13. DECORATIVE BAHAMA SHUTTERS



EAST COURTYARD ELEVATION



WEST COURTYARD ELEVATION

CRESTVIEW APARTMENTS

KA ENTERPRISES

5820 OBERLIN DRIVE SUITE 201, RIVERSIDE CA 92121
(858) 404-6080

RIVERSIDE, CA

TYPE II - EAST & WEST COURTYARD ELEVATIONS

SCALE : 3/32" = 1'-0"

DATE: 02-05-2021

JOB NO.: 2018-549

ARCHITECTS ORANGE

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A-13





2nd LEVEL FLOOR PLAN



1st LEVEL FLOOR PLAN

CRESTVIEW APARTMENTS

RIVERSIDE, CA

KA ENTERPRISES

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(858) 404-6080

TYPE II - BUILDING COMPOSITE LEVEL 1 & 2

SCALE: 1:20

DATE: 02-05-2021

JOB NO.: 2018-549

ARCHITECTS ORANGE

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(714) 639-9860

A-14





4th LEVEL FLOOR PLAN



3rd LEVEL FLOOR PLAN

CRESTVIEW APARTMENTS

RIVERSIDE, CA

KA ENTERPRISES

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(858) 404-6080

TYPE II - BUILDING COMPOSITE LEVEL 3 & 4

SCALE: 1:20

DATE: 02-05-2021

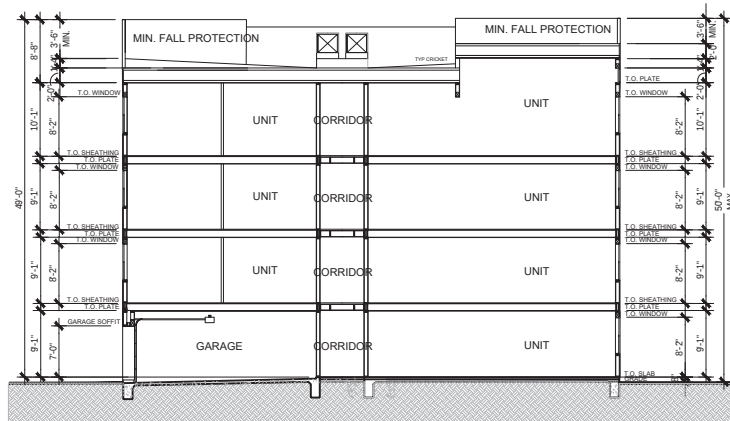
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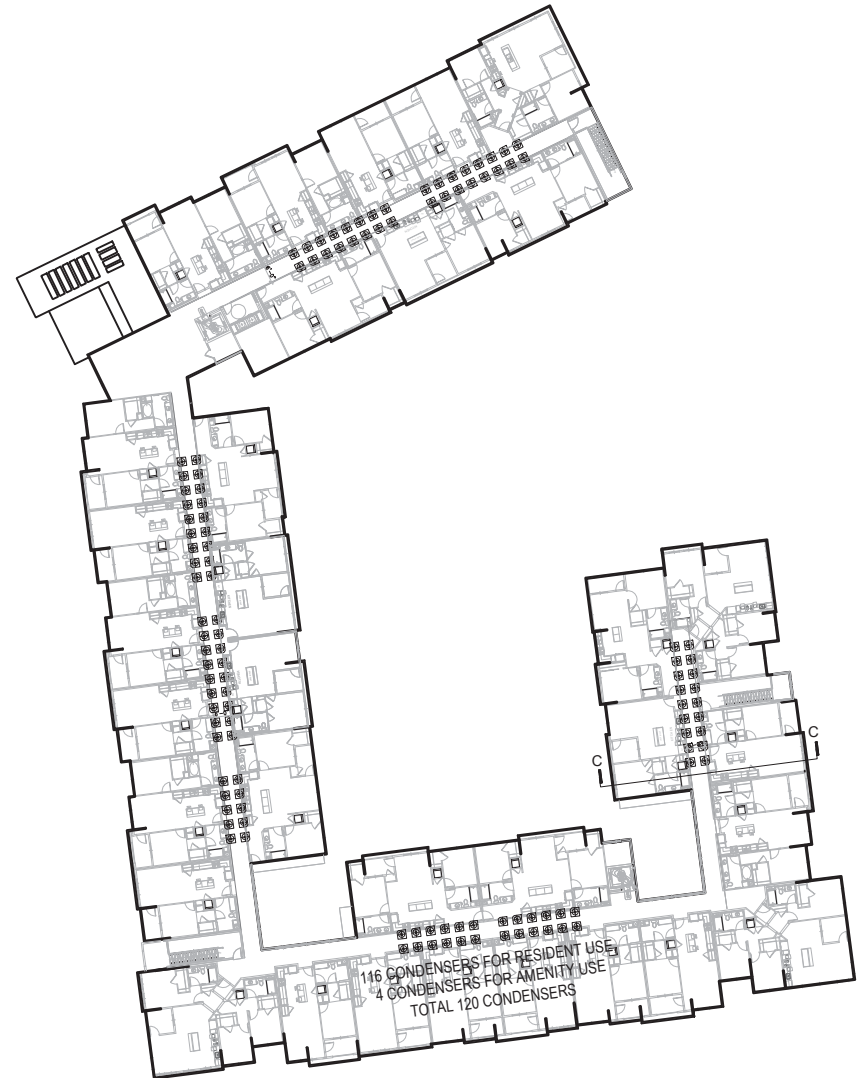
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A-15





TYPICAL SECTION C-C



CRESTVIEW APARTMENTS

RIVERSIDE, CA

TYPE II - ROOF PLAN & TYPICAL SECTION C-C

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ROOF PLAN

SCALE: 1:20

DATE: 02-05-2021

JOB NO.: 2018-549

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A-16



EXTERIOR ELEVATION KEYNOTES

MATERIAL LEGEND:

1. EXTERIOR PLASTER WALL
2. ARCHITECTURAL DECORATIVE AWNING
3. VINYL WINDOW
4. ROOF GARDEN
5. GARAGE DOOR
6. METAL RAILING
7. GLASS RAILING
8. ALUMINUM FIXED STOREFRONT GLAZING SYSTEM
9. PAINTED STUCCO PATIO WALL
10. DECORATIVE GATE
11. METAL CANOPY
12. HAND TOOLED JOINT
13. DECORATIVE BAHAMA SHUTTERS



NORTH ELEVATION



SOUTH ELEVATION

CRESTVIEW APARTMENTS

RIVERSIDE, CA

TYPE III - NORTH & SOUTH ELEVATIONS

KA ENTERPRISES

5820 OBERLIN DRIVE SUITE 201, RIVERSIDE CA 92121
(858) 404-6080

SCALE : 3/32"= 1'-0"

DATE: 02-05-2021

JOB NO.: 2018-549

ARCHITECTS ORANGE

144 NORTH ORANGE ST., ORANGE, CA 92866
(714) 639-9860

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