



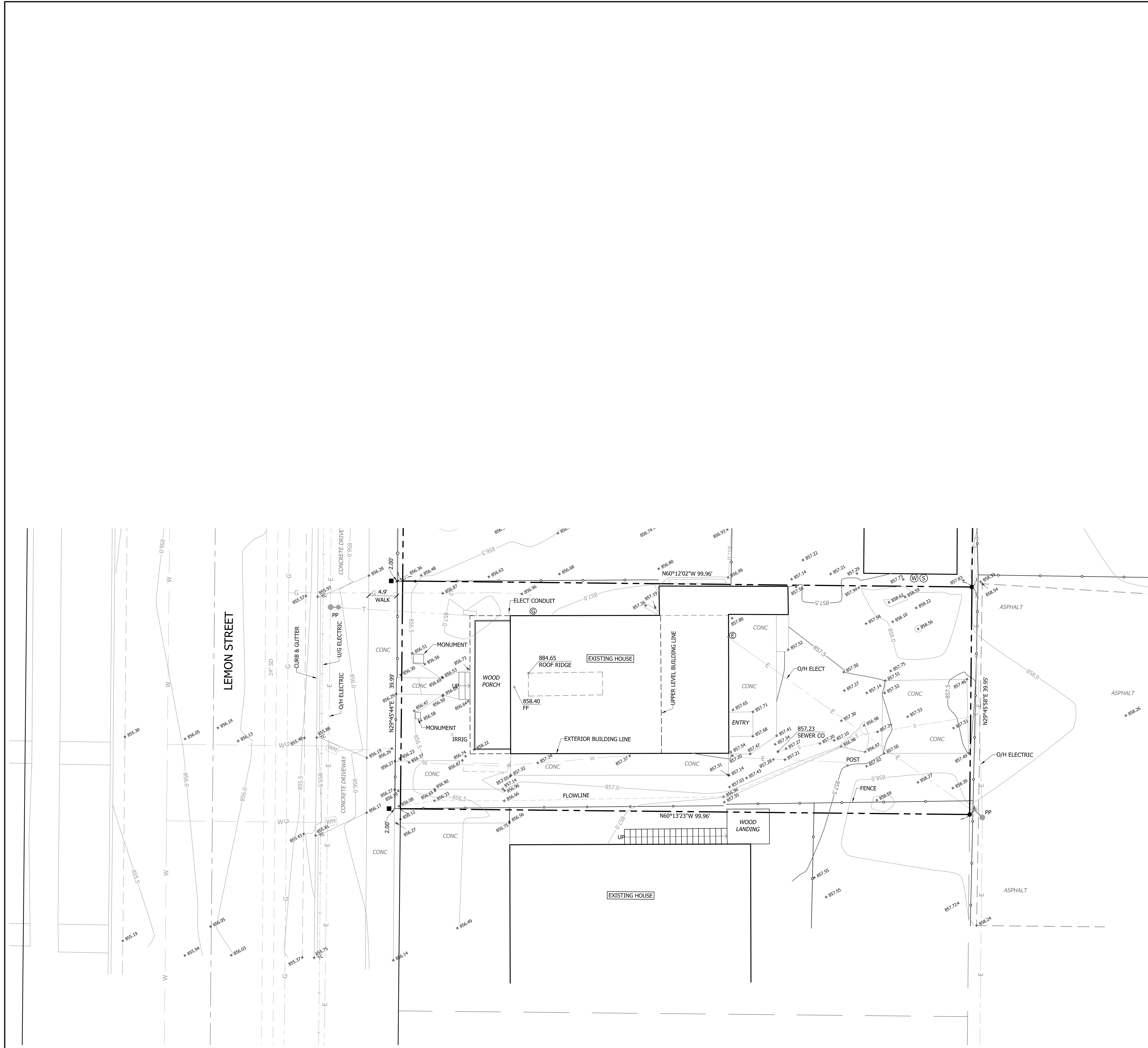
KEY MAP
1/16" = 1'-0"

1 HARADA HOUSE



HARADA HOUSE PHASE I 50% CONSTRUCTION DOCUMENTS

PROJECT TITLE		ARCHITECTS & ENGINEERS		PROPERTY DATA		VICINITY MAP		APPLICABLE CODES		REVISIONS																											
<p>PROJECT TITLE:</p> <p>ARCHITECTURAL DESIGN SERVICES FOR REHABILITATION OF THE NATIONAL HISTORIC LANDMARK HARADA HOUSE AND CONSTRUCTION OF THE INTERPRETIVE CENTER</p> <p>AGREEMENT No. P20AP00361</p>		<p>ARCHITECT:</p> <p>K R design inc. www.kritzinger-rao.com</p> <p>KRITZINGER+RAO 117 EAST COLORADO BLVD ST. SUITE 600, PASADENA, CA. 91105 T (626) 219-1785</p>		<p>PROJECT DESCRIPTION</p> <p>REPAIR AND REBUILDING OF THE FOUNDATION, STRUCTURAL STABILIZATION, AND PREPARATION OF THE STRUCTURE FOR INSTALLATION OF NEW BUILDING SYSTEM, DISMANTLE AND SALVAGE OF MATERIALS OF A NATIONAL HISTORIC LANDMARK AT 3356 LEMON STREET, THE HARADA HOUSE.</p>		<p>LEGAL DESCRIPTION</p> <table border="1"> <tr><td>A.P.N.</td><td>213.121.005</td></tr> <tr><td>DATE BUILT</td><td>CIRCA 1870-1880</td></tr> <tr><td>HISTORIC</td><td>YES</td></tr> <tr><td>ZONE</td><td>DSP-RES</td></tr> <tr><td>BLGD TYPE</td><td>V-B</td></tr> <tr><td>OCCUPANCY</td><td>R-3 AND U (GARAGE)</td></tr> <tr><td>SPRINKLERED</td><td>NO</td></tr> <tr><td colspan="2">SQUARE FOOTAGE</td></tr> <tr><td>LOT</td><td>3,996 SQ FT</td></tr> <tr><td>FIRST FLOOR</td><td>1041 SQ FT</td></tr> <tr><td>SECOND FLOOR</td><td>813 SQ FT</td></tr> <tr><td>SHED TO BE DISMANTLED</td><td>53 SQ FT</td></tr> </table>		A.P.N.	213.121.005	DATE BUILT	CIRCA 1870-1880	HISTORIC	YES	ZONE	DSP-RES	BLGD TYPE	V-B	OCCUPANCY	R-3 AND U (GARAGE)	SPRINKLERED	NO	SQUARE FOOTAGE		LOT	3,996 SQ FT	FIRST FLOOR	1041 SQ FT	SECOND FLOOR	813 SQ FT	SHED TO BE DISMANTLED	53 SQ FT			<ul style="list-style-type: none"> • 2025 CALIFORNIA BUILDING CODE • 2025 CALIFORNIA ELECTRICAL CODE • 2025 CALIFORNIA MECHANICAL CODE • 2025 CALIFORNIA PLUMBING CODE • 2025 CALIFORNIA ENERGY CODE • 2025 CALIFORNIA FIRE CODE • 2025 CALIFORNIA HISTORICAL BUILDING CODE • 2025 CALIFORNIA EXISTING BUILDING CODE • 2025 CALIFORNIA GREEN BUILDING STANDARDS CODE • 2025 CALIFORNIA REFERENCE STANDARDS CODE • 2025 CALIFORNIA RESIDENTIAL CODE • 2025 CITY OF RIVERSIDE MUNICIPAL CODE • 2020 CITY OF RIVERSIDE STANDARD DRAWINGS • 2010 ADA STANDARDS 			
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<p>OWNER:</p> <p>CITY OF RIVERSIDE</p>		<p>CIVIL & STRUCTURAL ENGINEER</p> <p>C.W. HOWE 4358 SEPULVEDA BLVD. CULVER CITY, CA 90034</p>		<p>PHASE I INTENT TO PREPARE THE STRUCTURE FOR SUBSEQUENT AND FINAL PHASES PURSUANT TO OPENING THE SITE TO THE PUBLIC AS A HISTORIC HOUSE MUSEUM.</p>																																	
<p>PROJECT ADDRESS:</p> <p>3356 LEMON ST, RIVERSIDE, CA 92501</p>		<p>MEP / FA / FS & LIGHTING</p> <p>BUDLONG 700 N GLENDALE AVE. SUITE 520 GLENDALE, CA 91105</p>																																			
<p>DESIGN STAGE:</p> <p>50% CONSTRUCTION DOCUMENTS</p>		<p>HISTORIC PRESERVATION</p> <p>JM RESEARCH & CONSULTING 4076 BROCKTON AVE. SUITE 201 RIVERSIDE, CA 92501</p>																																			
		<p>LANDSCAPE ARCHITECT</p> <p>RHA LANDSCAPE ARCHITECTS 6840 INDIANA AVE. SUITE 100 RIVERSIDE, CA 92506</p>																																			
						<p>PROJECT SITE</p> <p>1 RIVERSIDE CONVENTION CENTER 2 MISSION INN 3 PUBLIC LIBRARY 4 RIVERSIDE CITY HALL</p> <p>P PUBLIC PARKING</p> <p>HERITAGE SQUARE HISTORIC DISTRICT</p>																															
										<p>Date</p> <p>December 15, 2025</p>																											



PROPERTY LEGAL DESCRIPTION

3356 LEMON STREET
 APN: 213-121-005
 THAT PORTION OF BLOCK 3, RANGE 4 OF THE TOWN OF RIVERSIDE, AS SHOWN BY MAP ON FILE IN BOOK 7, PAGE 17 OF MAPS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE EASTERLY LINE OF LEMON STREET, 125 FEET NORTHERLY FROM THE SOUTHWESTERLY CORNER OF SAID BLOCK 3, RANGE 4; THENCE RUNNING AT RIGHT ANGLES EASTERLY, PARALLEL WITH THE NORTHERLY LINE OF FOURTH STREET, 100 FEET; THENCE AT RIGHT ANGLES NORTHERLY AND PARALLEL WITH THE EASTERLY LINE OF LEMON STREET, 40 FEET; THENCE AT RIGHT ANGLES WESTERLY, PARALLEL WITH THE NORTHERLY LINE OF FOURTH STREET, 100 FEET TO THE EASTERLY LINE OF LEMON STREET; THENCE AT RIGHT ANGLES SOUTHERLY ALONG THE EASTERLY LINE OF LEMON STREET, 40 FEET TO THE POINT OF COMMENCEMENT.

BASIS OF BEARINGS

CITY OF RIVERSIDE SURVEY CONTROL
 STATION: 2036
 LOCATION: INTERSECTION OF LIME STREET AND FOURTH STREET
 HORIZONTAL DATUM: NAD83

STATION: 5468 (AKA BM 17-R3)
 LOCATION: NE CORNER OF LIME STREET AND THIRD STREET
 HORIZONTAL DATUM: NAD83
 VERTICAL DATUM: NGVD 29
 ELAVATION: 860.433

BASIS OF ELEVATIONS

CITY OF RIVERSIDE VERTICAL CONTROL BENCHMARK
 ID: BM 17-R3
 DESCRIPTION: PK NAIL AND CITY ENGINEER TAG, BACK OF CATCH BASIN
 LOCATION: NORTHEAST CORNER OF LIME STREET AND THIRD STREET
 DATUM: NGVD 29
 ELEVATION: 860.433 FEET

NOTE

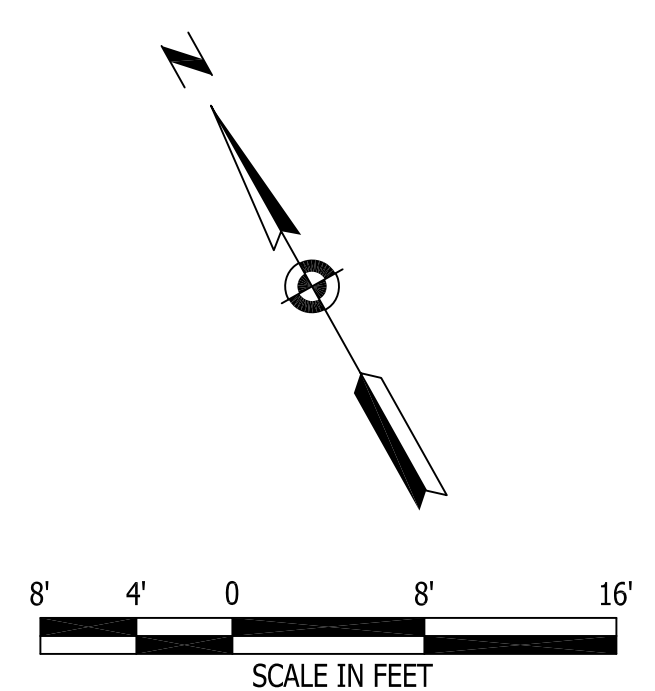
THIS MAP OF EXISTING IMPROVEMENTS AND/OR TOPOGRAPHY WAS FIELD SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL BASED ON PROJECT REQUIREMENTS. THIS MAP IS INTENDED FOR USE ONLY AS A DESIGN AID FOR THAT PROJECT. CHANGES IN THE SCOPE, DESIGNER, OR SIGNIFICANT DELAYS IN DESIGN AND/OR CONSTRUCTION MAY REQUIRE UPDATE OF THE MAPPING.

THE PROPERTY BOUNDARY SHOWN HEREON IS THE RESULT OF A PRECISE RETRACEMENT OF THE PROPERTY DESCRIBED ABOVE. A PROCEDURE OF SURVEY DEPICTING PHYSICAL EVIDENCE AND MEASUREMENT DATA IS AVAILABLE FOR REVIEW UPON REQUEST.

THE LOCATION OF UTILITIES SHOWN ON THIS MAP IS FROM SURFACE INFORMATION GATHERED DURING THE FIELD SURVEY. THE PRECISE LOCATION AND DEPTH OF LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION.

LEGEND	
	PROPERTY LINE
	CENTER LINE
	LOT LINE
	RIGHT OF WAY
	BOUNDARY LINE DATA (BEARING/DISTANCE)
	FOUND LEAD & DISC "LS3090" PER ROS 110/42 SET AT OFFSET SHOWN
	FOUND 1" PIPE "LS 3090" PER ROS 110/42
	EDGE OF CONCRETE
	CURB & GUTTER
	CMU WALL
	CONCRETE SURFACE
	SEWER LINE
	WATER LINE
	GAS LINE
	TELECOMM LINE
	FENCE: WOOD
	FENCE: CHAIN-LINK
	VALVE
	TREE (TRUNK TO SCALE)
	SPOT ELEVATION
	GROUND CONTOUR (5' INTERVAL)
	GROUND CONTOUR (1' INTERVAL)
	(NOTE: LABEL ORIENTATION INDICATES POSITIVE SLOPE)

ABBREVIATIONS			
AP	ANGLE POINT	GRND	GROUND
ASPH	ASPHALT	MH	MANHOLE
BLDG	BUILDING	PP	UTILITY POLE
CIP	CAST IN PLACE	(R)	RADIAL BEARING
CMU	CONCRETE MASONRY UNIT	ROW	RIGHT OF WAY
CONC	CONCRETE	SS	SANITARY SEWER
DI	DRAIN INLET	TC	TOP OF CURB
EL	ELEVATION	TG	TOP OF GRATE (DRAIN)
FF	FINISHED FLOOR	TW	TOP OF WALL
FL	FLOWLINE	TYP	TYPICAL
FNC	FENCE	U/G	UNDERGROUND
GB	GRADE BREAK	WM	WATER METER



METROPOLITAN MAPPING
 3712 30TH STREET
 SAN DIEGO, CA 92104
 (619) 431-5250
 metromap.sd@gmail.com

REVISIONS:

TOPOGRAPHIC SURVEY
 HARADA HOUSE
 3356 LEMON STREET
 RIVERSIDE, CA 92501

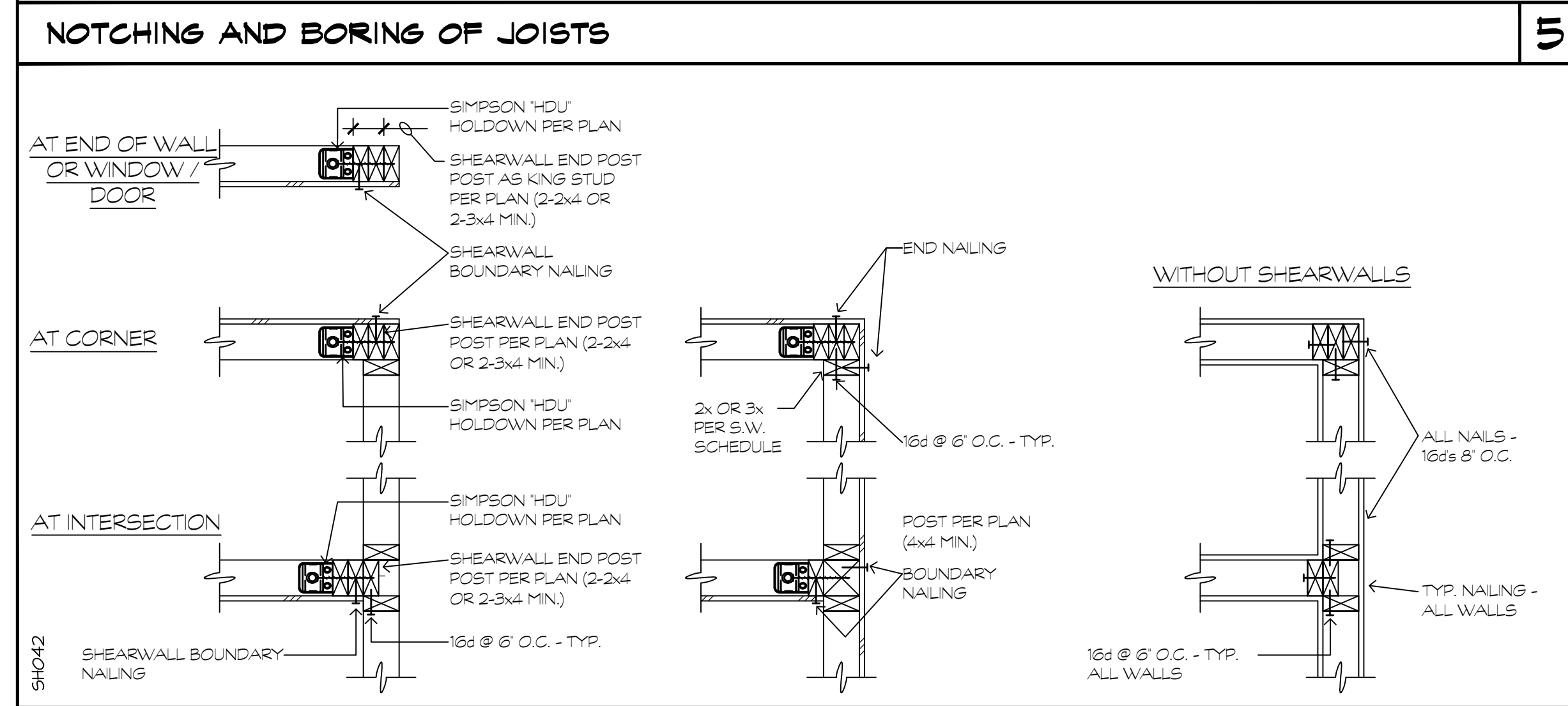
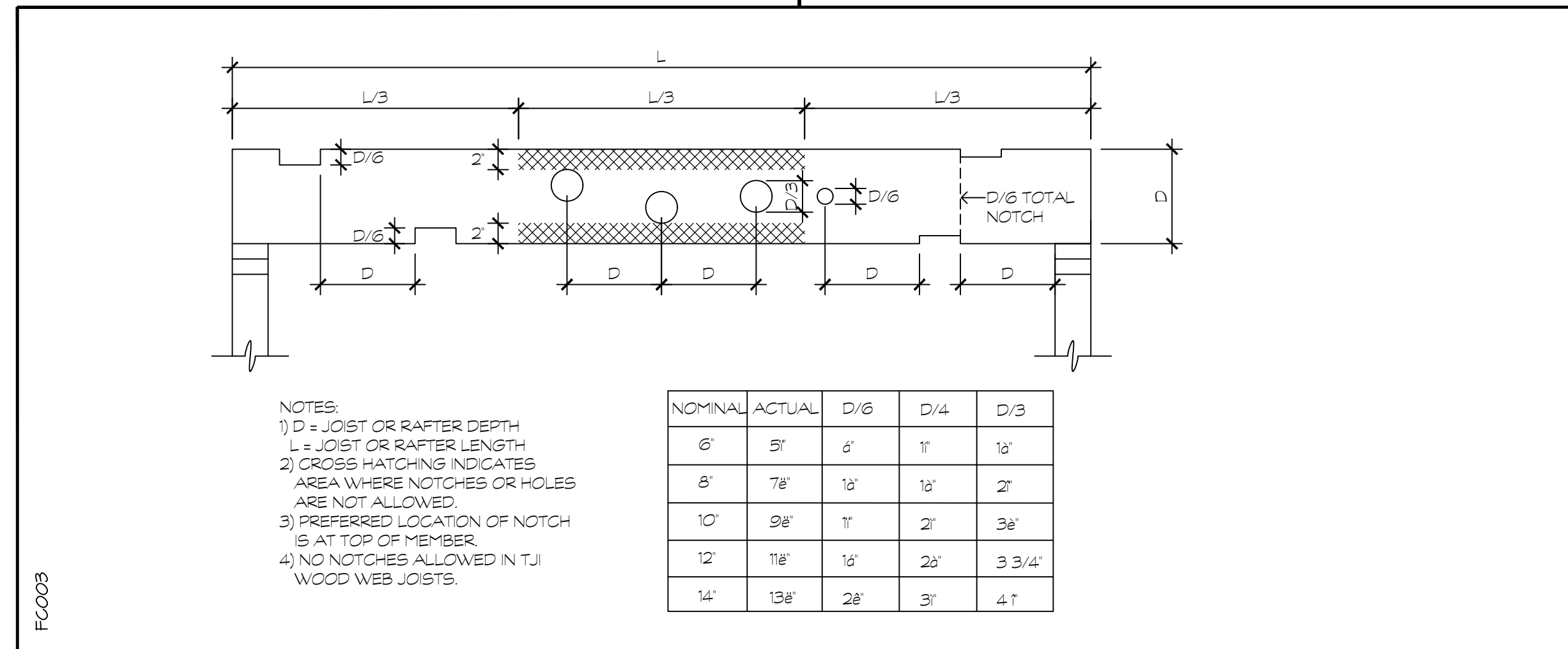
SURVEY DATE
 MARCH 17, 2023
 MAP/DRAWING DATE
 MAY 4, 2023
 SCALE: 1/8"=1'-0"
 DRAWN BY: VF
 JOB No:
 SHEET TITLE:

SHEARWALL SCHEDULE PER 2025 CBC (BASED ON 2021 IBC)

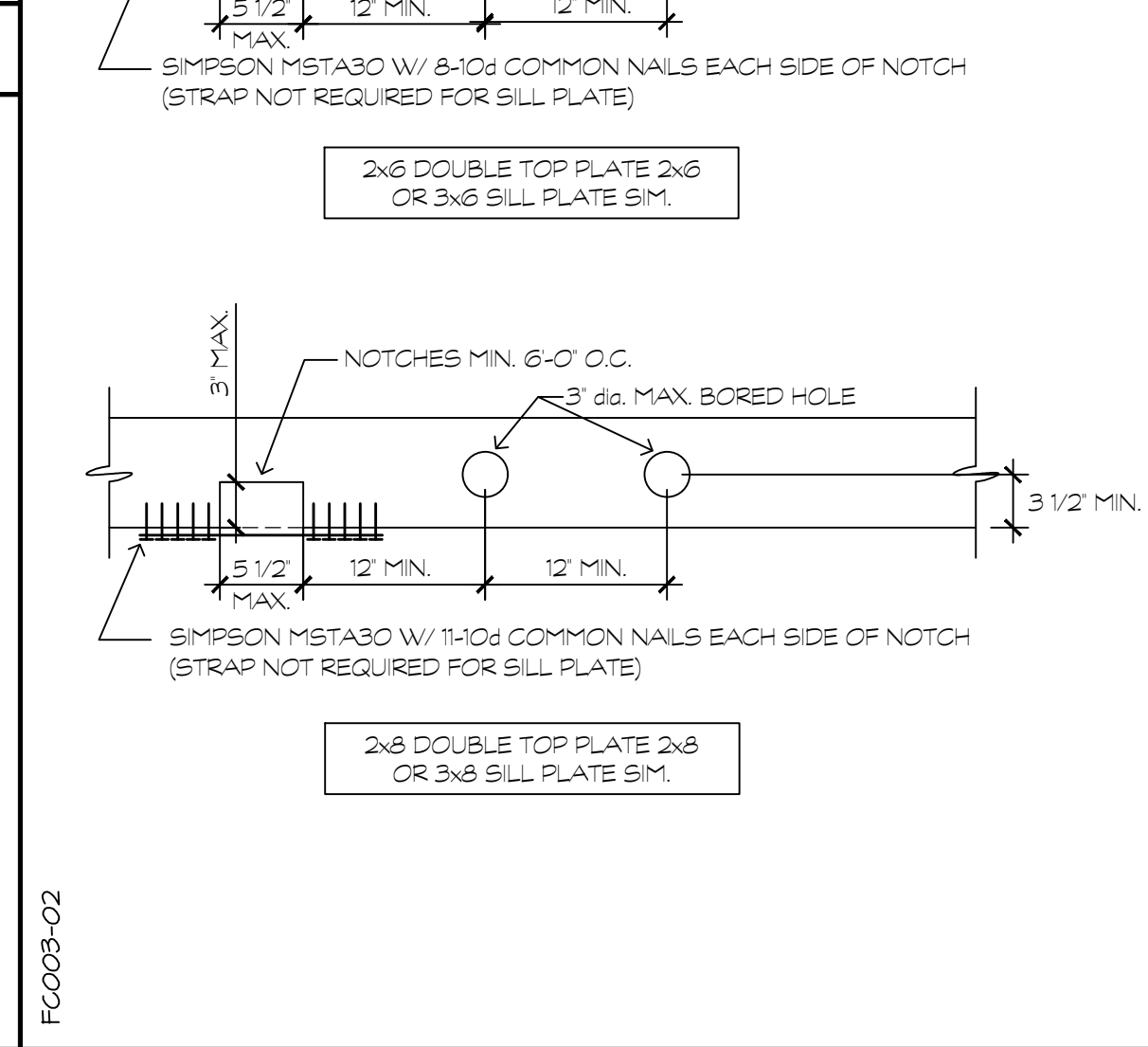
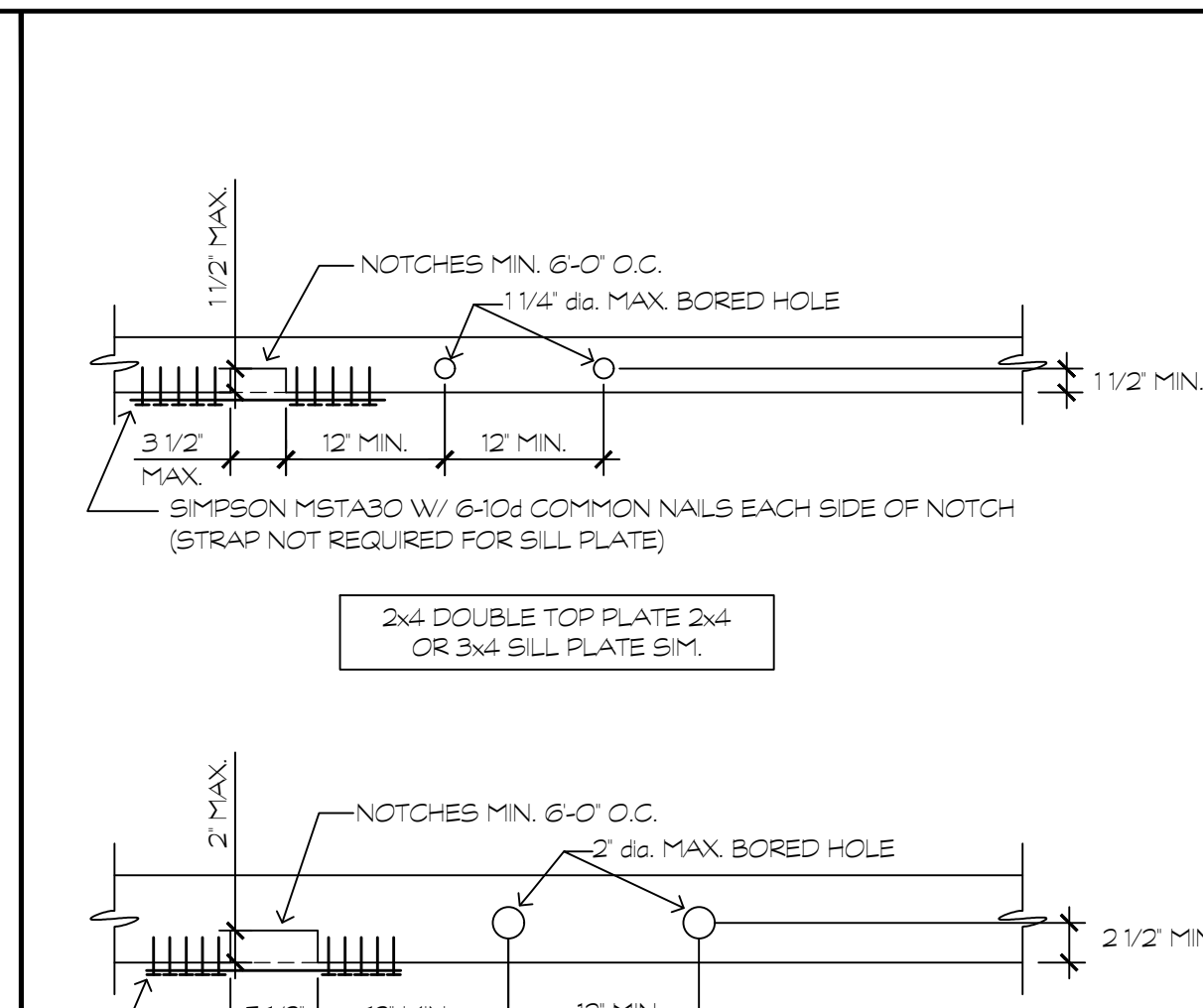
NO.	MATERIALS	2 SIDES	BLOCKED	3x FRMG	FASTENER (b) (10) (16)				SHEAR TRANSFER				VALUE PLF (6) (7)
					SIZE (15)	BOUNDARY	EDGE	FIELD (1)	BOTTOM SILL	CLIP	MUD SILL (16) OR 1/4" dia. A.B. OR 1/4" dia. A.B. IN EPOXY (5)	MUD SILL RETROFIT PLATE	
1	15/32" STRUCT I PLYND	NO	YES	NO	8d	6"	6"	12"	16d @ 5"	14"	38" (11)	48"	280
2	15/32" STRUCT I PLYND	NO	YES	NO	10d	6"	6"	12"	16d @ 4"	15"	32" (11)	32"	312
3	15/32" STRUCT I PLYND	NO	YES	YES (4)	8d	4"	4"	12"	SDS @ 7" (14)	12"	25" (11)	32"	430
4	15/32" STRUCT I PLYND	NO	YES	YES (4)	8d	3"	3"	12"	SDS @ 6" (14)	10"	21" (11)	30"	550
5	15/32" STRUCT I PLYND	NO	YES	YES (4)	10d	3" (8)	3" (8)	12"	SDS @ 4" (14)	8"	16" (11)	24"	612
6	15/32" STRUCT I PLYND	NO	YES	YES (4)	8d	2" (8)	2" (8)	12"	SDS @ 4" (14)	7"	15" (11)	20"	730
7	15/32" STRUCT I PLYND	NO	YES	YES (4)	10d	2" (8)	2" (8)	12"	LAGS @ 7" (4)	6"	12" (11)	18"	800

- NOTES:
- (1) NAILING TO STUDS PER PLAN AT 12" O.C. ALL NAILS TO BE COMMON.
 - (2) 16d COMMON NAIL TRANSFER THRU BOTTOM SILL OR 3/8" DIA. LAGS - SEE NOTE (4). OR 1/4"x6" SIMPSON SDS SCREWS - SEE NOTE (14).
 - (3) SIMPSON A35 BENT CLIP OR SIMPSON LTP4 FLAT FRAMING CLIP.
 - (4) 3x FRAMING REQUIRED AT ALL ADJOINING PANEL EDGES, AND BOTTOM SILL PLATES THAT REST ON CONCRETE OR MASONRY ONLY, EXCEPT DOUBLE TOP-PLATES. MINIMUM 1/2" EDGE NAILING DISTANCE AT PANEL EDGES AND NOT LESS THAN 3/8" FROM EDGE OF CONNECTION MEMBERS. USE 3x MEMBERS AT BOUNDARIES WHEN NAILING SPACED AT 4" O.C. OR LESS.
 - (5) USE SIMPSON "36" EPOXY FOR RETROFIT BOLTS - 7" EMBED - WITH SPECIAL INSPECTION.
 - (6) VALUES PER AF&PA SDFWS-2021.
 - (7) STRUCTURAL OBSERVATION BY THE STRUCTURAL ENGINEER IS REQUIRED FOR ALL WALLS WITH A VALUE GREATER THAN 300 PLF PERIODIC SPECIAL INSPECTION IS REQUIRED WHEN NAILING OF SHEATHING IS 4" O.C. OR CLOSER PER 2022 CBC SECTION 1705.11 OR WHEN 10d COMMON NAILS SPACED 3" O.C. PENETRATE FRAMING MORE THAN 1-1/2".
 - (8) NAILS SHALL BE STAGGERED IN TWO LINES ALONG PANEL EDGES WHEN NAIL SPACING IS 2" O.C. OR WHEN 10d COMMON NAILS SPACED 3" O.C. PENETRATE FRAMING MORE THAN 1-1/2".
 - (9) AT BOTTOM SILL PLATE FLOOR TRANSFER PROVIDE 3/8" DIAMETER LAG SCREWS WITH CUT WASHERS 3" EMBEDMENT INTO BLOCKING BELOW. HOLES MUST BE PRE-DRILLED. STAGGER LAGS 1/2" MIN. USE MIN. 4x BLOCKING BELOW (OR 3 1/2" LSL BLOCKING)
 - (10) SHEATHING NAILS AND SCREWS SHALL BE DRIVEN SO THAT THEIR HEAD IS FLUSH WITH THE SURFACE OF THE SHEATHING. PER 2022 CBC SECTION 2304.10.2. IF HEAD PENETRATES SHEATHING MORE THAN 1/16" THE PERFORMANCE WILL BE DEEMED UNSATISFACTORY AND WILL NOT BE APPROVED.
 - (11) 5/16" X 3" X 3" PLATE WASHERS ARE REQUIRED. A DIAGONALLY SLOTTED HOLE OF 3/16" WIDTH AND 1-3/4" LENGTH IN WASHER IS PERMITTED PROVIDED A STANDARD CUT WASHER IS PLACED BETWEEN THE SLOTTED PLATE WASHER AND NUT PER 2022 CBC 2308.3.11
 - (12) AT RAISED WOOD FOUNDATIONS, WHERE OCCURS, UFP10 SIMPSON RETROFIT PLATE. USE (5) SDS 1/4" dia. x 3" WOOD SCREWS INTO SILL PLATE 4 (2) 1/2" dia. THREADED RODS W/ SIMPSON "SET" EPOXY INTO EXISTING CONCRETE FOUNDATION - EMBED 4 1/2".
 - (13) WHERE PLYWOOD IS APPLIED ON BOTH SIDES OF SHEARWALL, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS.
 - (14) AT BOTTOM SILL PLATE FLOOR TRANSFER PROVIDE 1/4"x6" SIMPSON SDS SCREWS WITH 2-3/4" EMBEDMENT INTO BLOCKING BELOW. STAGGER SCREWS 1/2" MIN. USE MIN. 4x BLOCKING BELOW (OR 3 1/2" LSL BLOCKING)
 - (15) 10d COMMON = 3" X 0.148" (MAY USE ALTERNATE PLYWOOD NAIL = 2-3/8" X 0.148"). 8d COMMON = 2-1/2" X 0.131"
 - (16) FOUNDATION SILL PLATES SHALL BE PRESSURE-TREATED LUMBER (CBC 2304.12.1.4). ANCHOR BOLTS AND OTHER FASTENERS IN PRESERVATIVE-TREATED SILL PLATES SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL PER CBC 2304.10.5.1.
 - (17) CLIPS TO BE ON EACH SIDE OF WALL WITH SPACING PER SCHEDULE.
 - (18) STUDS MUST BE SPACED A MAXIMUM OF 16" O.C.

SHEARWALL SCHEDULE



TYP. NOTCHES AND BORINGS IN TOP AND BOTTOM PLATES

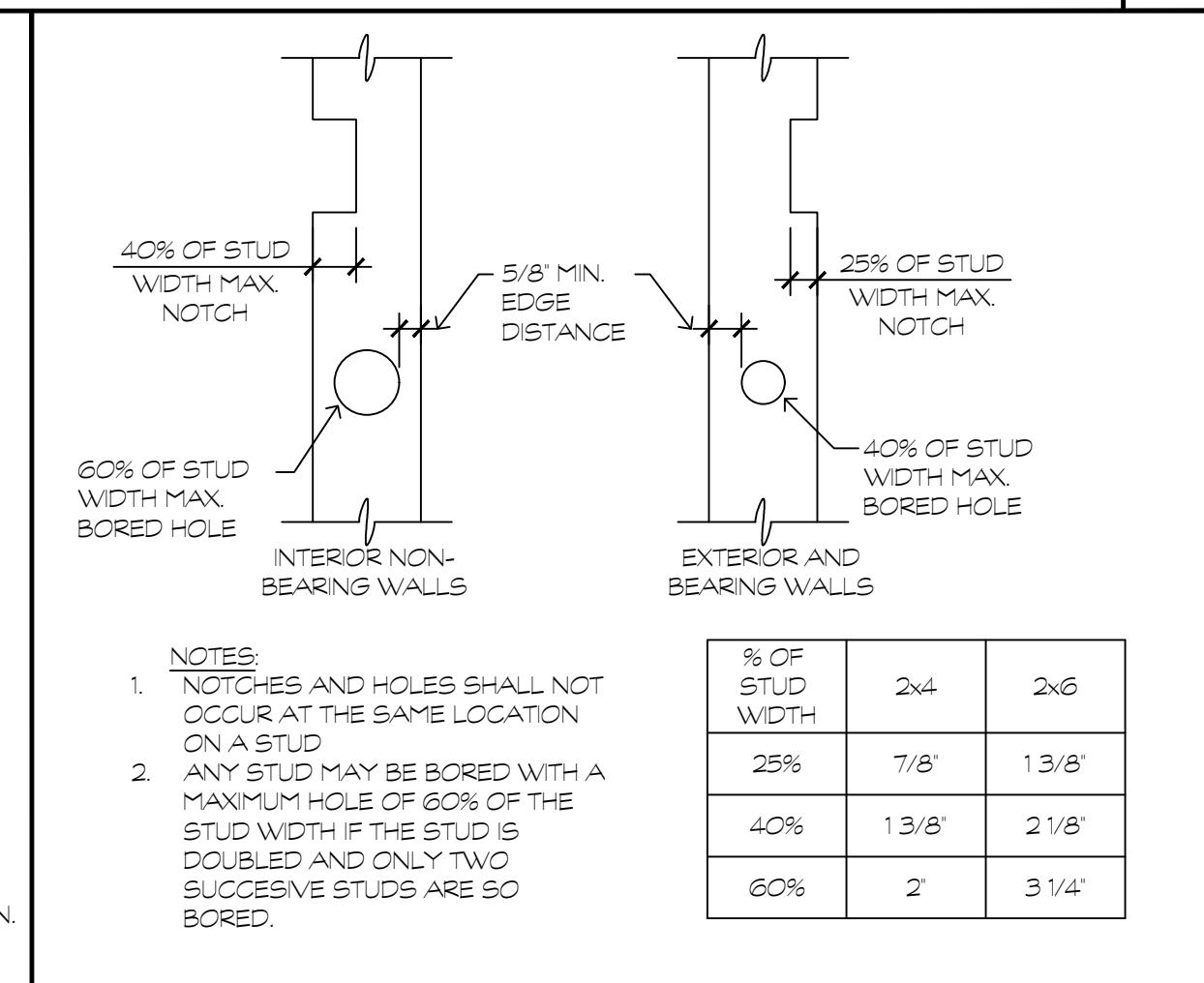


LAG SCREW REQUIREMENTS

NOTE: NAILS MAY BE REQUIRED TO BE REPLACED WITH SCREWS TO MITIGATE IMPACT RELATED DAMAGE.

8D AND 10D COMMON NAILS EQUIVALENT: FOR SHEATHING OF SEISMIC SYSTEMS USE SIMPSON "WSNTL" #9 SCREWS OF EQUIVALENT LENGTH OR GREATER (ESR#1472).

COMMON FRAMING NAILS EQUIVALENT: SIMPSON "SDWS" FRAMING SCREWS (ER#-192)



LAG SCREW ASSEMBLY (2x4)

SCREW DIAMETER (N)	LEAD HOLE 3" DIAMETER (N)	
	DOUG. FIR & SO. PINE	RED WOOD
1/4, 5/16, 3/8	NOT REQ.	NOT REQ.
7/8	5/8"	1/4"
1/2	3/8"	5/16"
5/8	7/16"	3/8"
3/4	1/2"	7/16"
7/8	5/8"	1/2"
1	3/4"	5/8"

NOTES:

1. TABLE APPLIES FOR DOUGLAS FIR LARCH, SOUTHERN PINE WOODS, AND REDWOOD (PER 2021 IBC SEC. 2307).
2. LAG SCREWS SHALL BE WRENCH TIGHTENED; HAMMERS OF LAG SCREWS IS NOT PERMITTED.
3. SOAP OR OTHER APPROVED LUBRICANTS SHALL BE USED ON THE THREADED PORTION OF THE LAG SCREW TO PREVENT DAMAGING THE SCREW AND FACILITATE INSERTION.
4. THE SHANK HOLE SHALL HAVE THE SAME DIAMETER AND DEPTH OF PENETRATION AS THE SHANK LENGTH AND DIAMETER.
5. THE LEAD HOLE SHALL HAVE THE SAME DEPTH AS THE THREADED PORTION OF THE LAG SCREW.

LAG SCREW REQUIREMENTS

Architect: KR design i.t.c. LOS ANGELES, CALIFORNIA WWW.KRITZINGER-RAO.COM

117 EAST COLORADO BLVD. SUITE 600, LOS ANGELES, CA 90013 T: 626.219.1785 www.kritzinger-rao.com

Civil & Structural Engineer: C.W. HOWE 4358 Sepulveda Blvd. Culver City, CA 90034 Tel: (310)888-0383 www.cwhowe.com

MEP / FA / FS & Lighting: BUDLONG 700 N Glendale Ave. Suite 520, Glendale, CA 91205 www.budlong.com

Historic Preservation: JM RESEARCH & CONSULTING 4076 Brockton Ave. Suite 201, Riverside, CA 92501 Tel: (951)233-6897

Landscape Architect: RHA LANDSCAPE ARCHITECTS 6840 Indiana Ave. Suite 100, Riverside, CA 92506 Tel: (951)783-9398 www.rhala.com

Owner: CITY OF RIVERSIDE MUSEUM OF RIVERSIDE

Revisions:

Project Engineer: RG
Drawn by: DJ
Project No.: 25K05

Professional's Stamp: REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF CALIFORNIA, CIVIL (STRUCTURAL)

Project Title: HARADA HOUSE & INTERPRETIVE CENTER REHABILITATION & CONSTRUCTION ARCHITECTURAL DESIGN PROJECT

Sheet Title: STRUCTURAL DETAILS

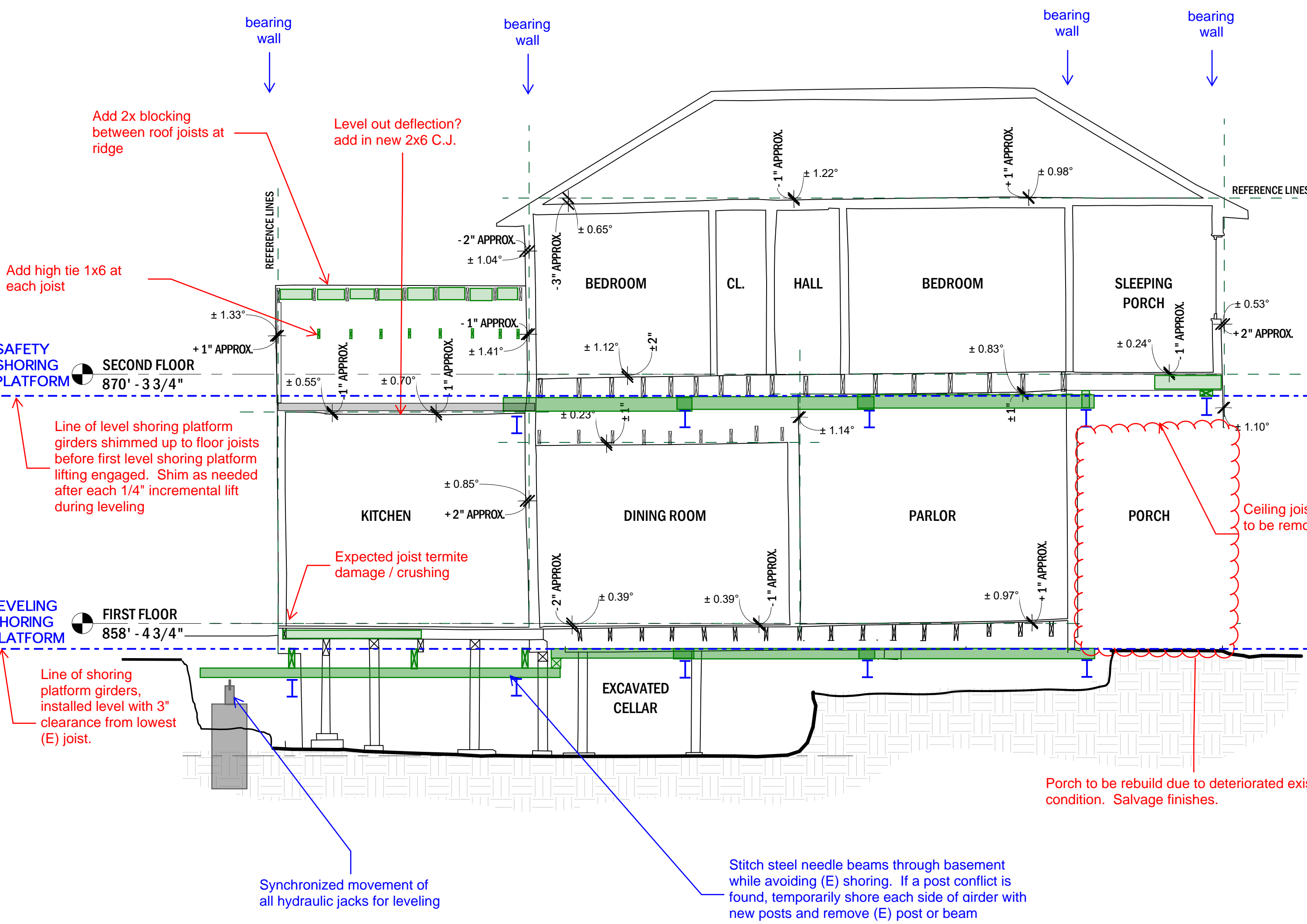
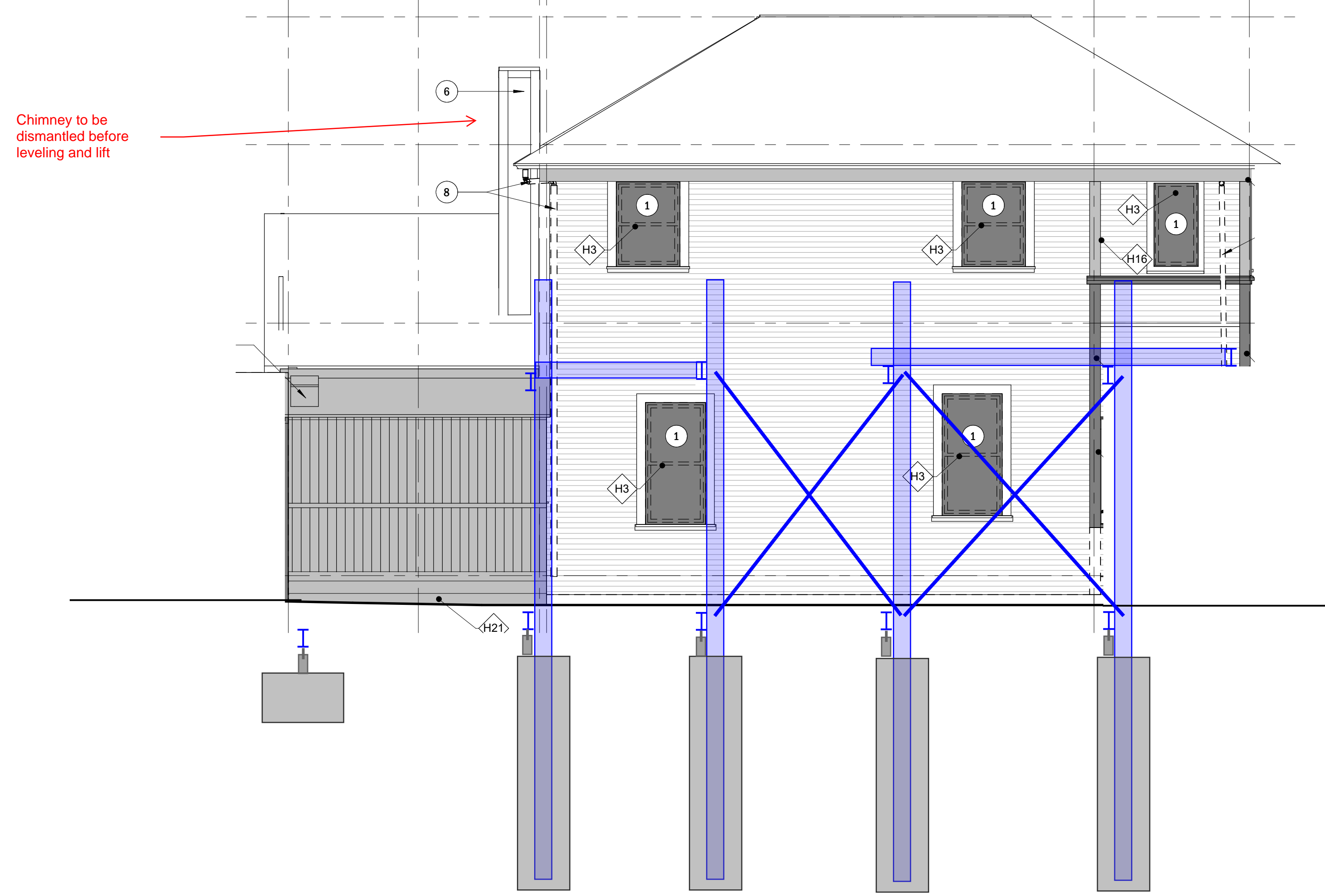
Design Stage: DESIGN DEVELOPMENT

Project Address: 3342 & 3356 Lemon Street Riverside, CA 92501

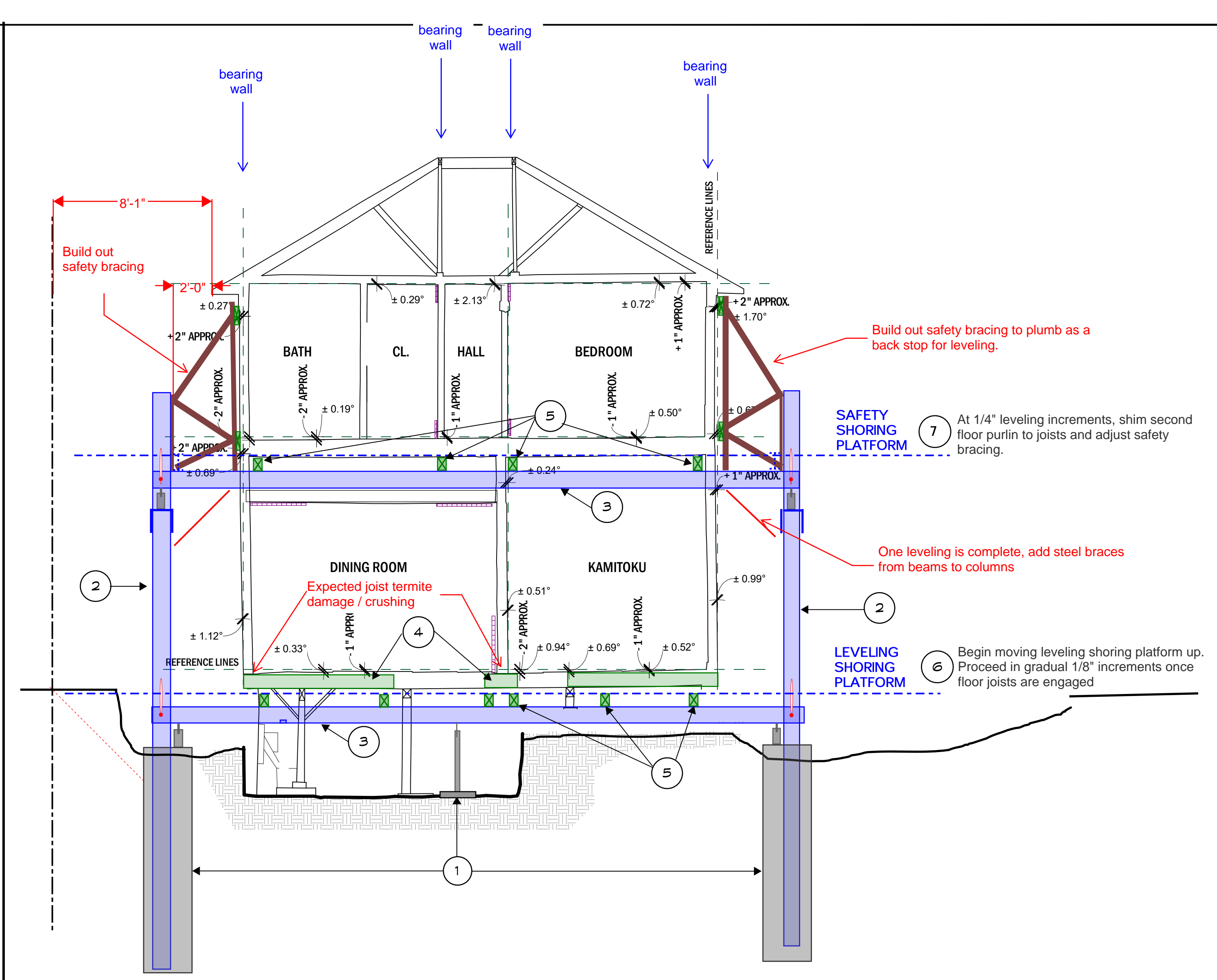
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Date:

Sheet Number: SH7



SHORING IN LONGITUDINAL DIRECTION



SEQUENCE OF SHORING / LEVELING

- INSTALL PILES, PADS AND STEEL SHORING COLUMNS
- INSTALL STEEL SHORING GIRDERS, LEVEL, BELOW FIRST AND SECOND FLOOR.
- SISTER JOISTS AT DAMAGED LOCATIONS.
- INSTALL TIMBER SHORING PURLINS, LEVEL, AT FIRST FLOOR
- INSTALL TIMBER SHORING PURLINS, LEVEL, AT SECOND FLOOR.
- SHIM ALL PURLINS AT SECOND FLOOR TO ALL SECOND FLOOR JOISTS
- LOOSEN T1-11 SCREWS AT SOUTHEAST CORNER - APPROXIMATELY 12' FROM CORNER TO EAST AND CORNER TO SOUTH.
- BEGIN FIRST LEVEL SHORING PLATFORM LIFTING WITH SYNCHRONIZED HYDRAULIC JACK SYSTEM. PROCEED SLOWLY AND GRADUALLY. ONCE PURLINS ENGAGE WITH FLOOR JOISTS, PROCEED SLOWLY AND GRADUALLY IN 1/8" INCREMENTS. ASSUME NO MORE THAN 1/2" LEVELING PER 8 HOUR WORKDAY OVER APPROXIMATELY 5 DAYS.
- AT EACH 1/4" INCREMENT CHECK SECOND FLOOR PURLIN TO JOIST AND SAFETY BRACING. SHIM AS NEEDED.
- ONCE SURVEY CONFIRMS FINAL WALL POSITION (CLOSE TO PLUMB), SHIM ALL PURLINS AND GIRDERS TO A TIGHT FIT WITH JOISTS FOR LONG TERM SHORING.
- REPAIR ANY ADDITIONAL FRAMING DAMAGE AND PERFORM LOCALIZED LEVELING, IF NEEDED.
- EXCAVATE FOR FOUNDATION.
- PROCEED WITH FOUNDATION CONSTRUCTION.

LEGEND

- - - REFERENCE LINES
- Shoring steel column
- Shoring steel girder
- Shoring wood purlin / joist
- Hydraulic Jack

SHORING IN LATITUDINAL DIRECTION

Architect

KR design inc.
LOS ANGELES, CALIFORNIA
WWW.KRITZINGER-RAO.COM

117 EAST COLORADO BLVD.
SUITE 600,
LOS ANGELES, CA 90013
T: 626.219.1785
www.kritzinger-rao.com

Consultants

Civil & Structural Engineer
C.W. HOWE
4358 Sepulveda Blvd Culver City, CA 90034
Tel: (310)888-0383
www.cwhowe.com

MEP / FA / FS & Lighting
BUDLONG
700 N Glendale Ave. Suite 520, Glendale, CA 91205
www.budlong.com

Historic Preservation
JM RESEARCH & CONSULTING
4076 Brockton Ave. Suite 203, Riverside, CA 92501
Tel: (951)233-6897

Landscape Architect
RHA LANDSCAPE ARCHITECTS
6840 Indiana Ave. Suite 100, Riverside, CA 92506
Tel: (951)783-9398
www.rhala.com

Owner
CITY OF RIVERSIDE
MUSEUM OF RIVERSIDE

Revisions

Project Engineer: RG
Drawn by: DJ
Project No.: 25K05
Professional's Stamp

Project Title
HARADA HOUSE & INTERPRETIVE CENTER
REHABILITATION & CONSTRUCTION
ARCHITECTURAL DESIGN PROJECT

Sheet Title
STRUCTURAL DETAILS

Design Stage
DESIGN DEVELOPMENT

Project Address
3342 & 3356 Lemon Street
Riverside, CA
92501

Scale
1" = 1'-0"

Date

Sheet Number
SH8

KEYNOTES

- 1 PREPARE HOUSE FOR ISOLATION AND NEW FOUNDATION PER STRUCTURAL PLANS. DISMANTLE, DOCUMENT AND SALVAGE HISTORIC BRICK FOR REUSE IN NEW FOUNDATION. HISTORIC BRICKS NOT USED IN PROJECT TO BE PROVIDED TO OWNER FOR STORAGE.
- 2 DEMOLISH EXISTING FOUNDATION WALL AND FOOTINGS IN THEIR ENTIRETY. DISMANTLE, DOCUMENT AND SALVAGE HISTORIC BRICK FOR REUSE IN NEW FOUNDATION. HISTORIC BRICKS NOT USED IN PROJECT TO BE PROVIDED TO OWNER FOR STORAGE.
- 3 DEMOLISH EXISTING PIER FOOTINGS IN THEIR ENTIRETY. PREP AREA FOR EXCAVATION FOR NEW FOOTINGS PER STRUCTURAL PLAN.
- 4 EXCAVATION LOCATION FOR NEW FOOTING PER STRUCTURAL DRAWINGS
- 5 SALVAGE, DOCUMENT, TAG AND CRATE CHIMNEY BRICKS AND PROVIDE TO OWNER FOR STORAGE PER SPECS.
- 6 EXISTING CRAWLSPACE ACCESS STAIRS TO BE REMOVED.
- 7 EXISTING HISTORIC CRAWLSPACE ACCESS STAIR WALLS TO REMAIN. REPAIR AND WATERPROOF HISTORIC MASONRY WALLS PER DETAIL 7/A701 AND SPECS. SHORE AND STABILIZE CELLAR STAIR WALLS TO FACILITATE EXCAVATION FOR REPAIR AND WATERPROOFING.

HISTORIC MATERIALS TO RETAIN

H2 HISTORIC CRAWLSPACE STAIR WALL TO BE RETAINED IN PLACE.

HISTORIC MATERIALS TO SALVAGE

H1 HISTORIC FOUNDATION BRICKS TO BE DISMANTLED AND SALVAGED

H6 HISTORIC BRICK CHIMNEY TO BE DISMANTLED AND SALVAGED.

ROOM ID

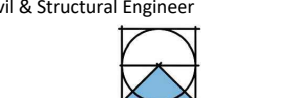
100	PORCH
101	BEDROOM
102	PARLOR
103	CLOSET
104	KAMITOKU
105	DINING ROOM
106	LAUNDRY
107	KITCHEN
108	PANTRY
109	BATH
110	STORAGE

Architect



117 EAST COLORADO BLVD.
SUITE 600,
LOS ANGELES, CA 90013
T: 626.219.1785
www.kritzinger-rao.com

Consultants



C.W. HOWE
4338 Sepulveda Blvd. Culver City, CA 90034
Tel: (310)688-9183
www.cwhowe.com

MEP / FA / FS & Lighting



BUDLONG
700 N Glendale Ave., Suite 303, Glendale, CA 91205
www.budlong.com

Historic Preservation



JM RESEARCH & CONSULTING
4075 Brighton Ave., Suite 201, Riverside, CA 92501
Tel: (951)223-8897

Landscape Architect



RHA LANDSCAPE ARCHITECTS
6942 Indiana Ave., Suite 300, Riverside, CA 92506
Tel: (951)781-1930
www.rhala.com

Owner

CITY OF RIVERSIDE
MUSEUM OF RIVERSIDE

Revisions

Drawn by:

Checked by:

Professional's Stamp

NOT FOR CONSTRUCTION

Project Title

**HARADA HOUSE
PHASE 1**

Sheet Title

EXISTING
FOUNDATION PLAN

Design Stage

50% CONSTRUCTION
DOCUMENTS

Project Address

3342 & 3356 Lemon Street
Riverside, CA
92501

Scale

1/4" = 1'-0"

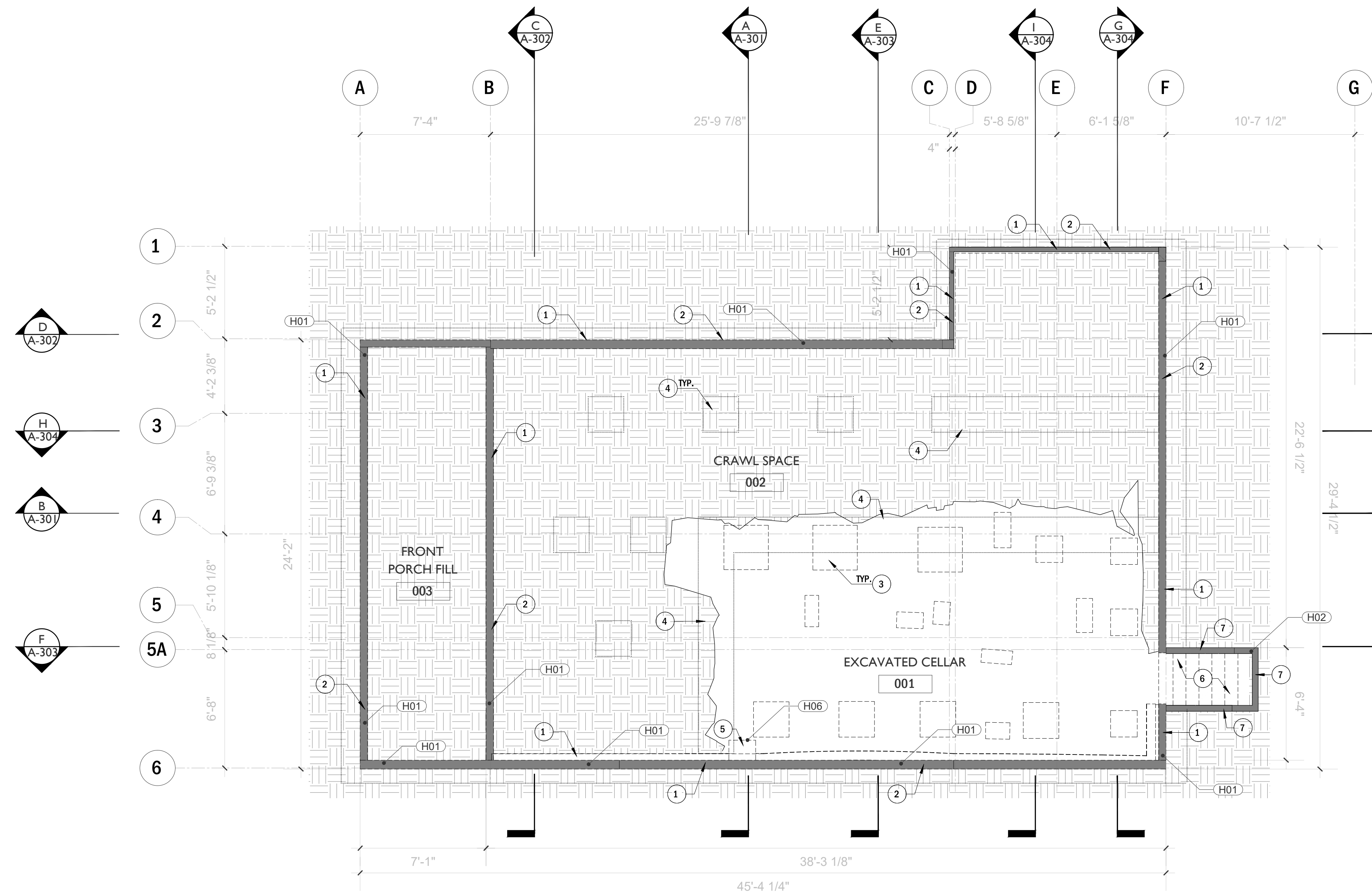
Date

December 21, 2025

Sheet Number

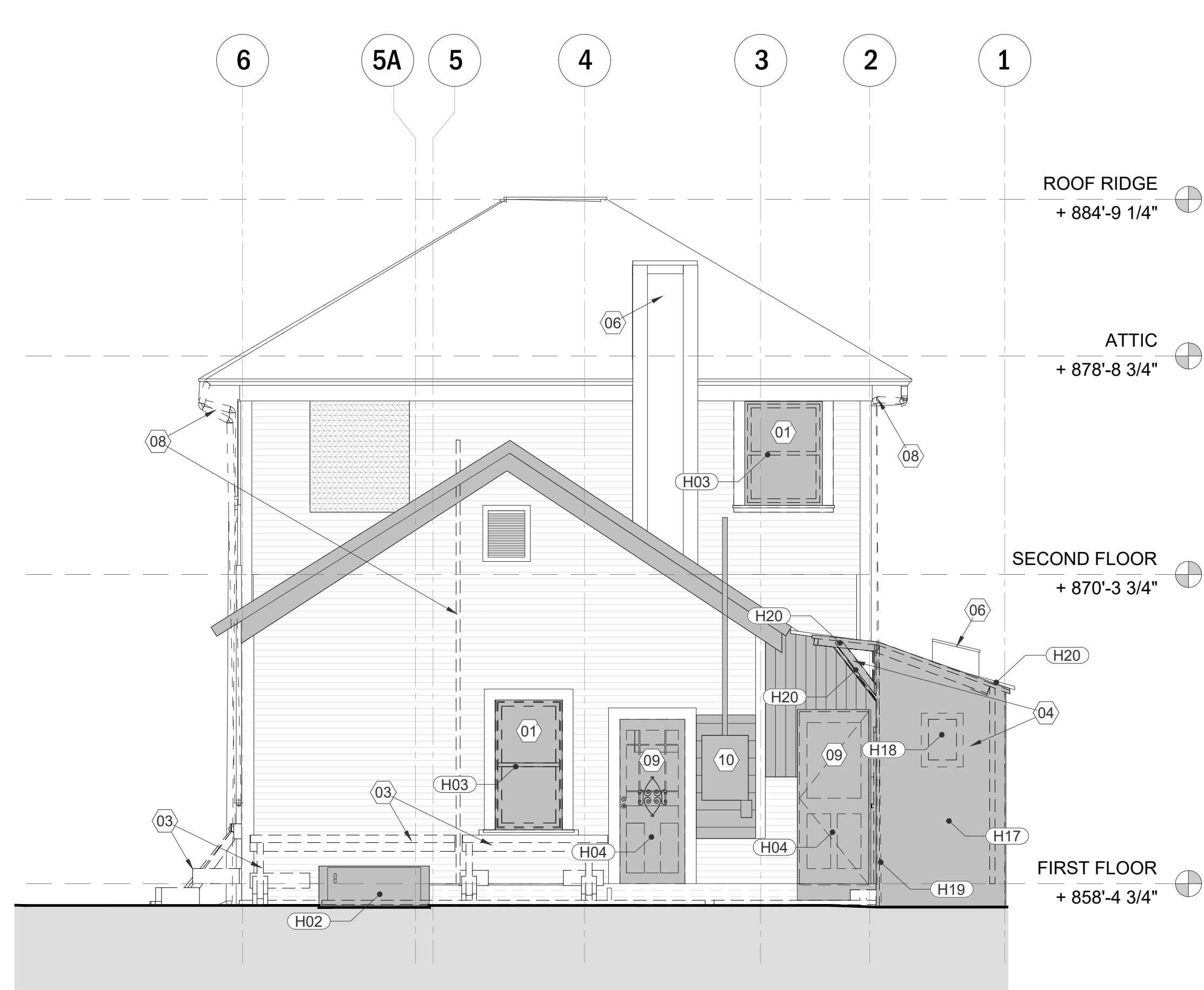
A-100

HARADA HOUSE_ARCH_100S.DWG

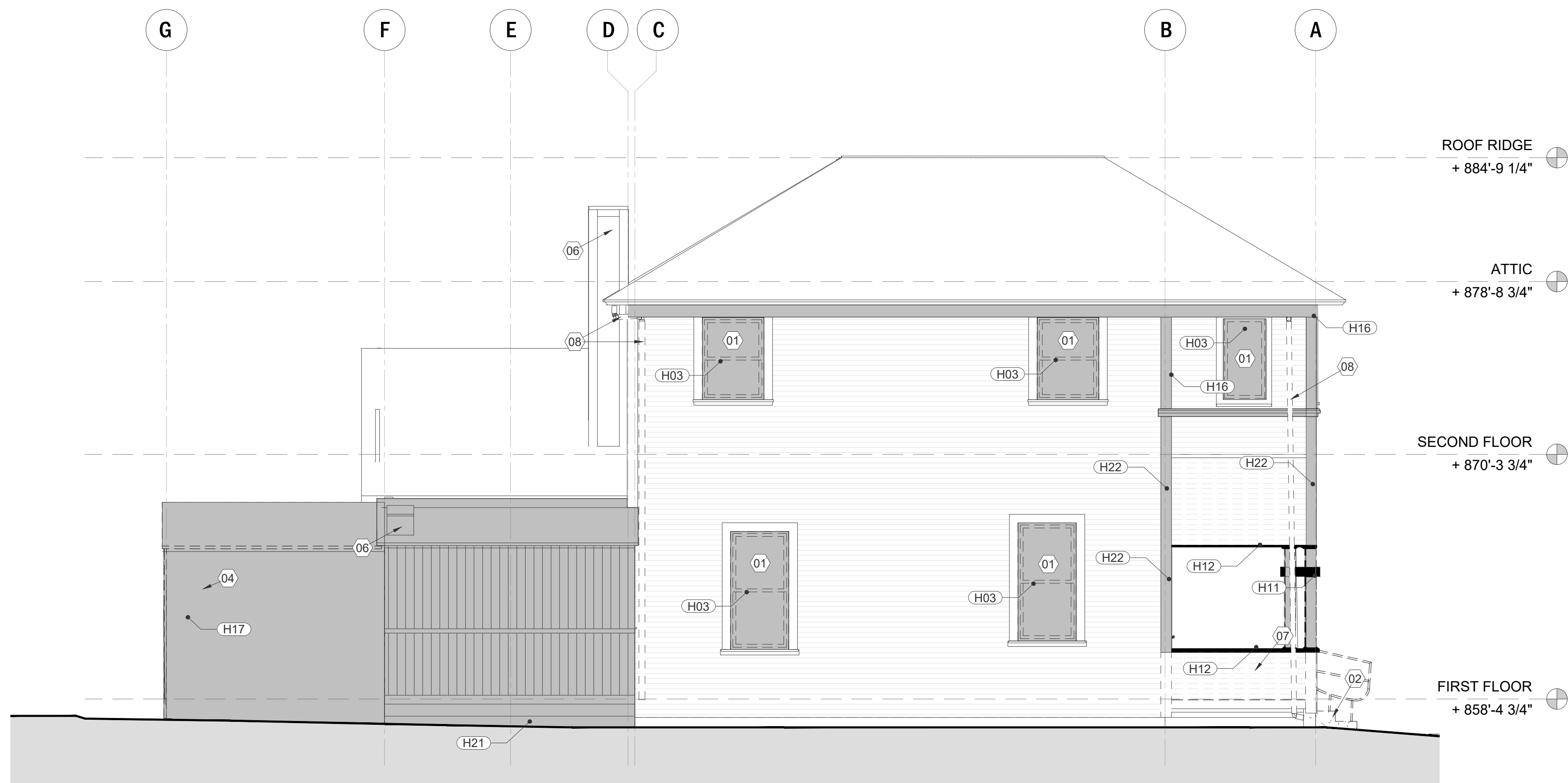


FOUNDATION PLAN (E)
1/4" = 1'-0"

0 5 10 ft



1 EAST ELEVATION (E)
1/4" = 1'-0"



2 NORTH ELEVATION (E)
1/4" = 1'-0"

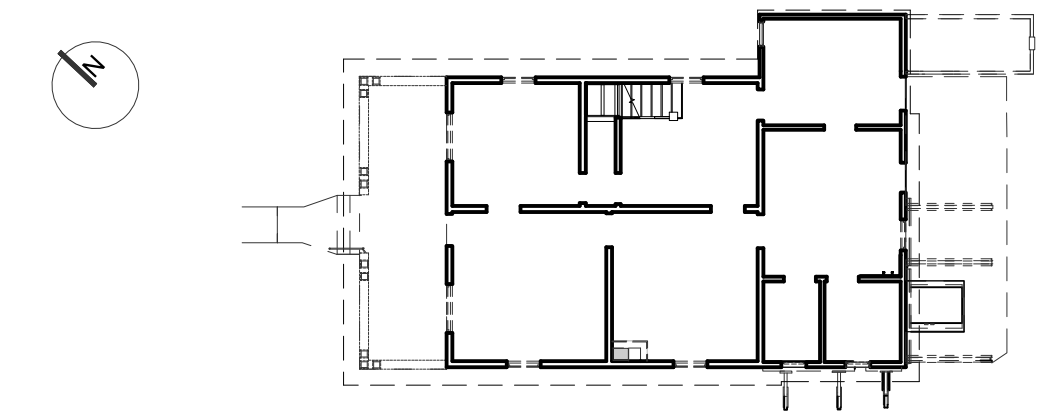
KEYNOTES

- ① REMOVE WINDOW SASH & SASH WEIGHTS (WHEN APPLICABLE). NUMBER AND PUT INTO STORAGE LOCATION PROVIDED BY OWNER. REPAIR WINDOW AS REQUIRED. PREP WINDOW OPENING FOR SHEAR OVER PER STRUCTURAL DRAWINGS.
- ② DEMOLISH NON-HISTORIC FRONT STEPS.
- ③ DEMOLISH EXISTING STRUCTURAL STABILIZATION ELEMENTS IN THEIR ENTIRETY. REPAIR ANY DAMAGE CREATED DURING REMOVAL PROCESS
- ④ DECONSTRUCT EXISTING REAR STORAGE SHED IN ITS ENTIRETY. RECORD SIZE AND LOCATION OF ALL MEMBERS TO RECONSTRUCT LATER. SALVAGE BRICKS INSIDE AND USE IN RECONSTRUCTION OF
- ⑥ STABILIZE AND PREP EXISTING CHIMNEY
- ⑦ DECONSTRUCT PORCH WALLS AND COLUMNS FROM FIRST FLOOR ENTRY LEVEL UP TO CEILING
- ⑧ REMOVE DOWNSPOUTS TEMPORARILY FOR HOUSE LIFT THEN REINSTALL

- ⑨ REMOVE DOOR AND PRESERVE HINGES. NUMBER AND PUT INTO STORAGE LOCATION PROVIDED BY OWNER. RE-INSTALL ALL EXTERIOR DOORS AFTER HOUSE STABILIZATION
- ⑩ EXISTING ELECTRICAL METER SERVICE BOX AND WEATHER HEAD DROP TO REMAIN.

HISTORIC MATERIALS TO RETAIN/SALVAGE

- H2 HISTORIC CRAWLSPACE STAIR WALL TO BE RETAINED IN PLACE.
- H3 HISTORIC WINDOW SASH, HARDWARE, AND SASH WEIGHTS TO BE DISMANTLED AND SALVAGED
- H4 HISTORIC DOOR AND HARDWARE, TO BE DISMANTLED AND SALVAGED
- H5 HISTORIC BRICK CHIMNEY ENCLOSING WALL AND FINISH TO BE STRIPPED
- H11 HISTORIC WOOD PORCH POST ENCLOSURE AND TRIM TO BE DISMANTLED AND SALVAGED.
- H12 HISTORIC PORCH WALL CAP TRIM TO BE DISMANTLED AND SALVAGED.
- H16 HISTORIC WOOD CORNER BOARDS TO BE RETAINED IN PLACE.
- H17 EXTERIOR SHED WALL BOARDS TO BE DISMANTLED AND SALVAGED.
- H18 EXTERIOR SHED DOOR, WINDOW, AND JAMBS TO BE DISMANTLED AND SALVAGED.
- H19 EXTERIOR SHED CORNER BOARDS TO BE DISMANTLED AND SALVAGED.
- H20 EXTERIOR SHED ROOF MEMBERS TO BE DISMANTLED AND SALVAGED.
- H21 HISTORIC WOOD SKIRT BOARDS, DISMANTLE AND SALVAGE BOARDS AS IDENTIFIED ON EXTERIOR ELEVATIONS.
- H22 HISTORIC PORCH CORNER BOARDS TO BE DISMANTLED AND SALVAGED



3 KEY PLAN
1/16" = 1'-0"

Architect
KR design inc.
 LOS ANGELES, CALIFORNIA
 WWW.KRITZINGER-RAO.COM

117 EAST COLORADO BLVD.
 SUITE 600,
 LOS ANGELES, CA 90013
 T: 626.219.1785
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Owner
CITY OF RIVERSIDE
 MUSEUM OF RIVERSIDE

Revisions

NO.	DESCRIPTION

Drawn by:
 Checked by:
 Professional's Stamp

NOT FOR CONSTRUCTION

Project Title
HARADA HOUSE PHASE 1

Sheet Title
 EXISTING DEMOLITION AND SALVAGE ELEVATIONS

Design Stage
 50% CONSTRUCTION DOCUMENTS

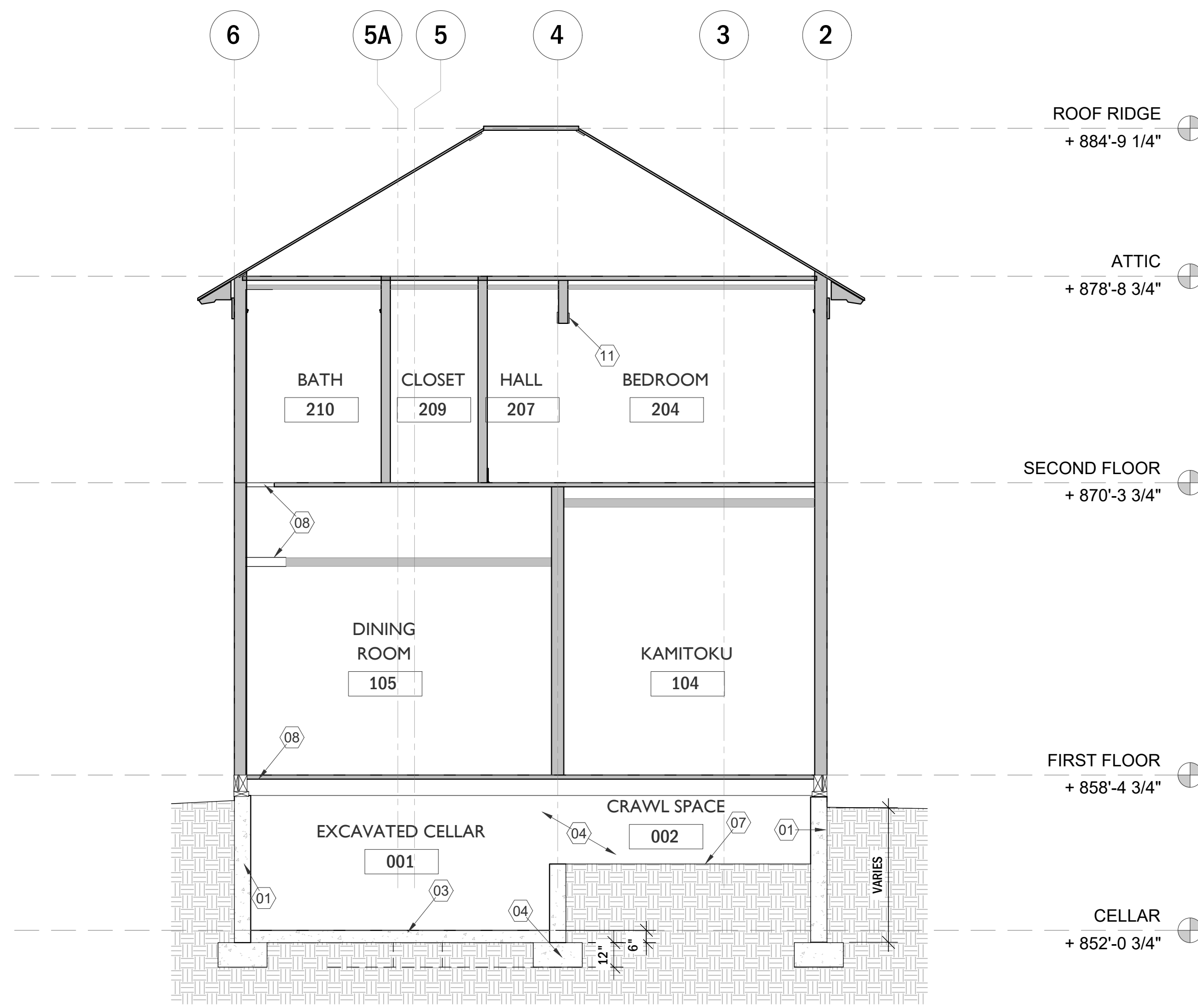
Project Address
 3342 & 3356 Lemon Street
 Riverside, CA 92501

Scale
 3/16" = 1'-0"

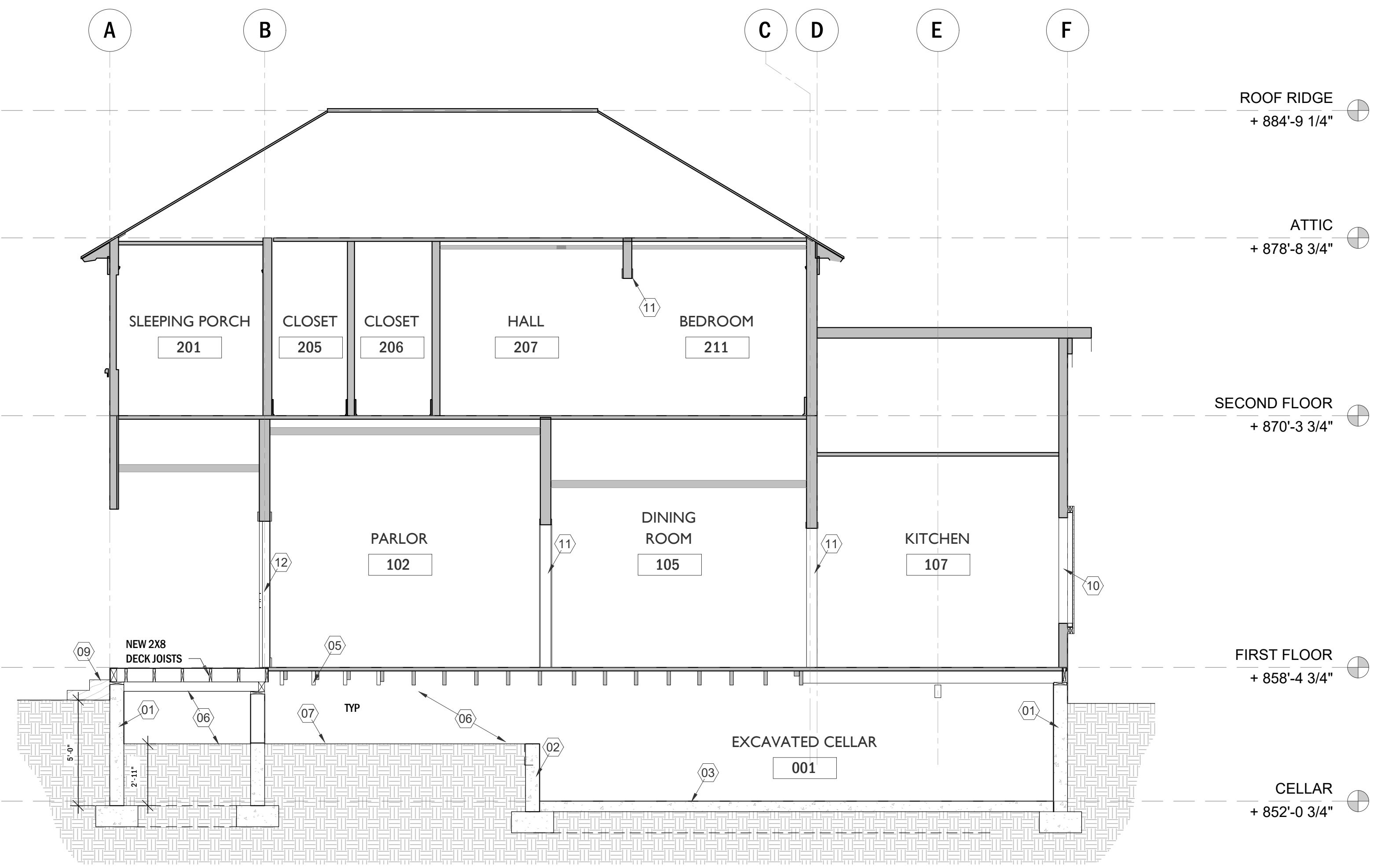
Date
 December 22, 2025

Sheet Number
A-202

HARADA HOUSE_ARCH_2005.DWG



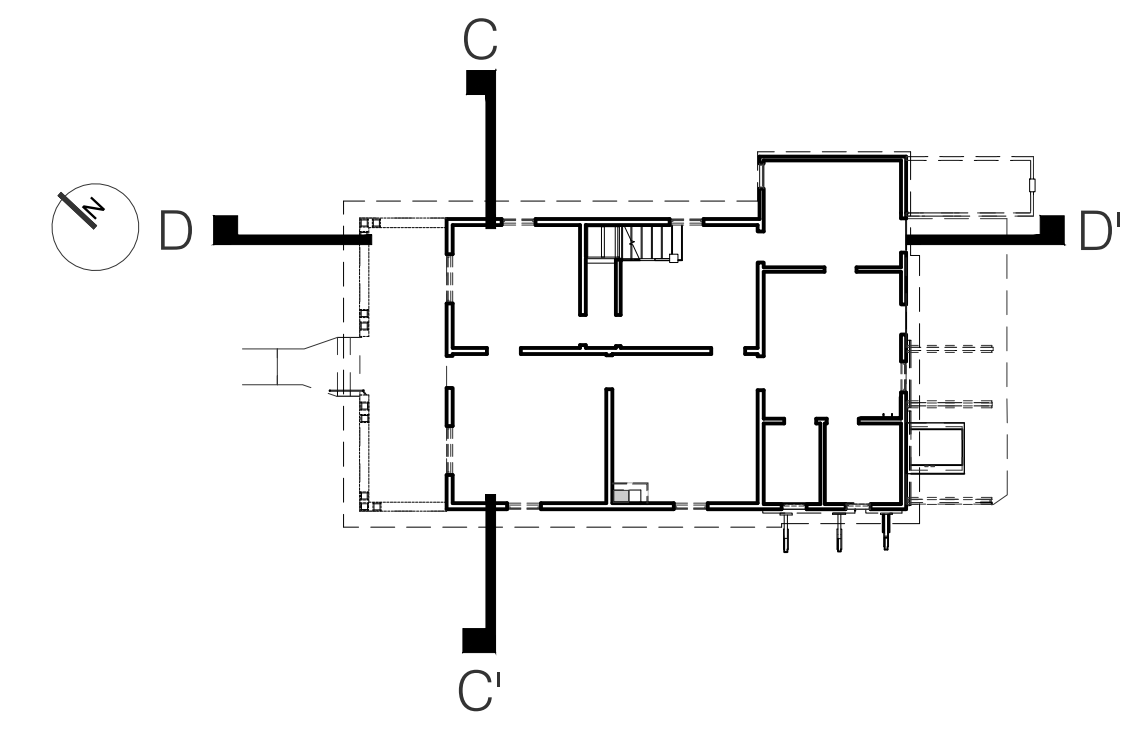
SECTION A-A'
1/4" = 1'-0"



SECTION B-B'
1/4" = 1'-0"

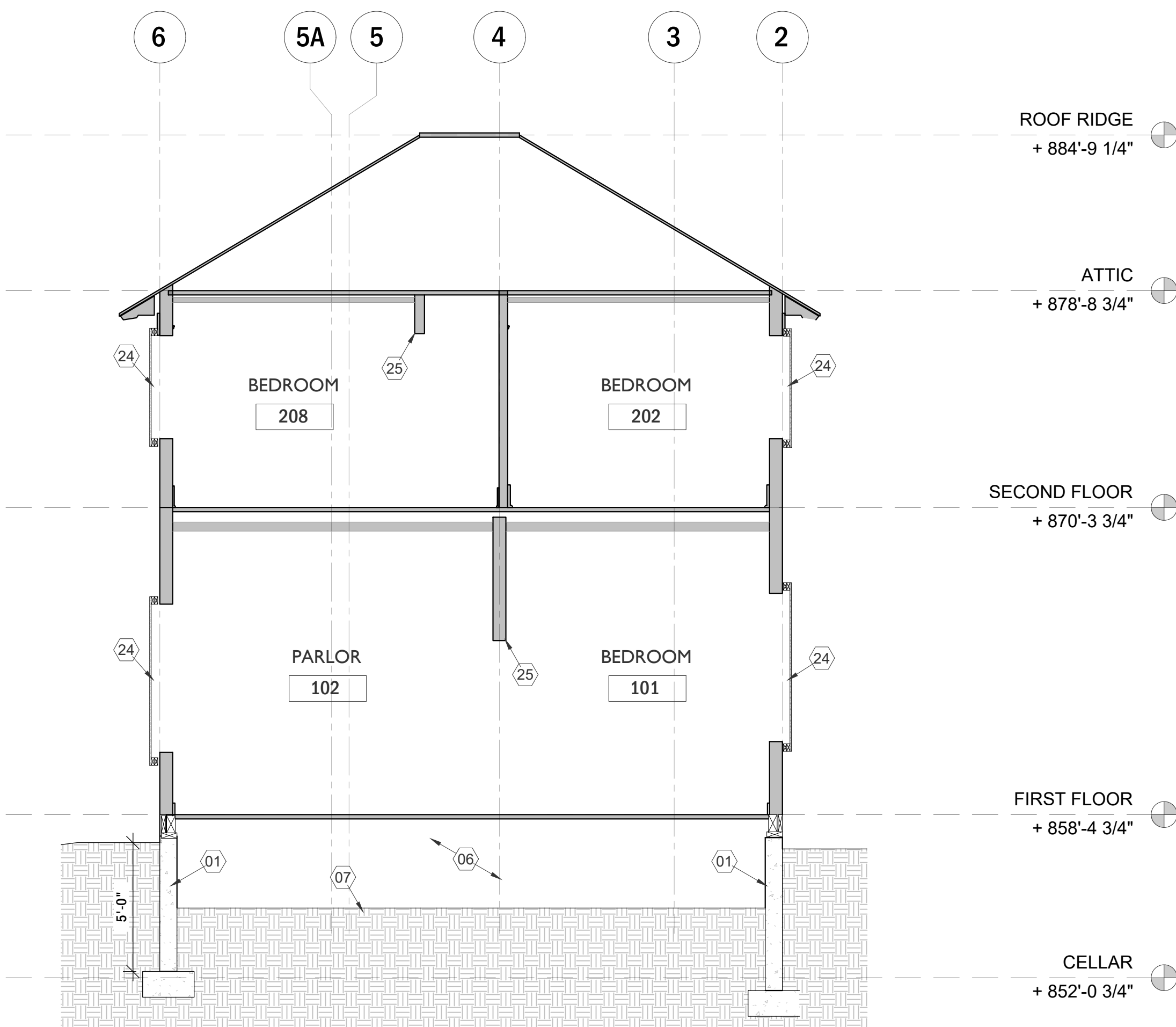
KEYNOTES

- ① NEW CONCRETE FOUNDATION STEM WALL & STRIP FOOTING FOUNDATION WITH BRICK LEDGE PER STRUCTURAL DRAWINGS
- ② NEW RETAINING WALL & STRIP FOOTING PER STRUCTURAL DRAWINGS. RETAINING WALLS SHALL CONFORM TO CITY OF RIVERSIDE BUILDING DEPARTMENT STANDARD DRAWINGS.
- ③ NEW CRAWLSPACE SLAB ON GRADE PER STRUCTURAL DRAWINGS
- ④ NEW CONCRETE PAD FOOTING PER STRUCTURAL DRAWINGS
- ⑤ STRUCTURAL REINFORCING MEMBERS WITHIN STRUCTURE TO BE IMPLEMENTED AFTER FOUNDATION RESTORATION
- ⑥ CRAWLSPACE TO MAINTAIN 2'-0" CLEARANCE FROM LOWEST FLOOR OR DECK FRAMING MEMBER THROUGHOUT.
- ⑦ CLASS 1 GROUND COVERING VAPOR RETARDER THROUGHOUT CRAWLSPACE. WRAP UP CONCRETE LEAVING A 3" GAP FROM THE TOP OF MASONRY. MANUFACTURER RECOMMENDS A COMPACTED GRAVEL BASE LAYER.
- ⑧ STABILIZATION OF FLOOR OPENINGS AND VERTICAL STRUCTURE PRIOR TO BUILDING ISOLATION PER DETAIL 1/A701
- ⑨ NEW WOOD STAIR TO REPLACE DEMOLISHED NON-HISTORIC CONCRETE STEPS
- ⑩ APPLY PLYWOOD SHEAR AND WINDOW PROTECTION OVER EXTERIOR WINDOW FRAME PRIOR TO BUILDING ISOLATION PER SPECS AND DETAIL 4/A700. INSTALL LOUVERED WINDOW OPENING VENTILATION PER SPECS AND DETAIL 10/A700 AFTER
- ⑪ APPLY DOOR JAMB PROTECTION PRIOR TO BUILDING ISOLATION PER SPECS AND PER DETAIL 1/A700.
- ⑫ NEW EXTERIOR DOOR TO BE INSTALLED IN HISTORIC DOOR JAMB WITH HARDWARE AND LOCKSET AT HISTORIC LOCATIONS.



KEY PLAN
1/16" = 1'-0"

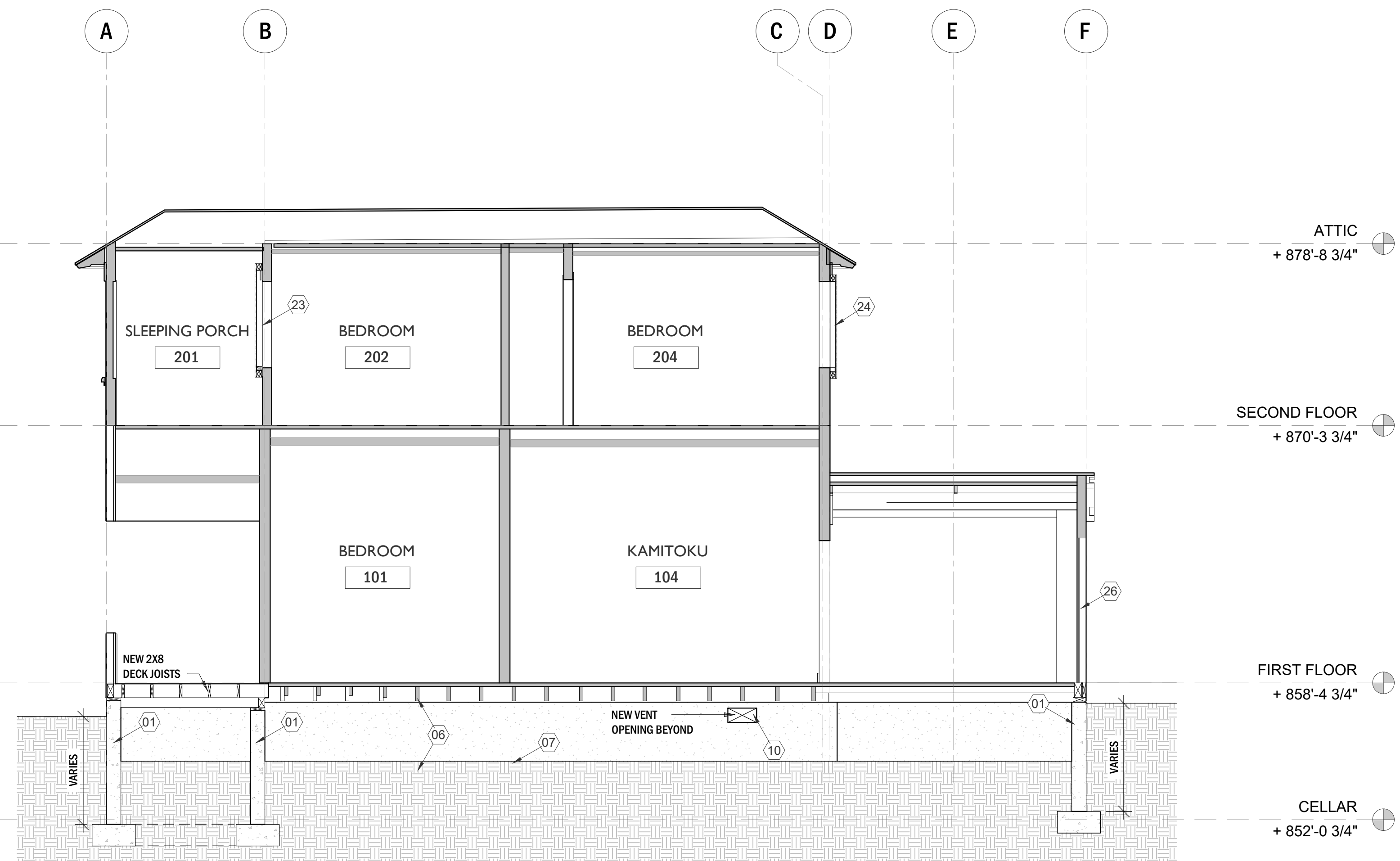
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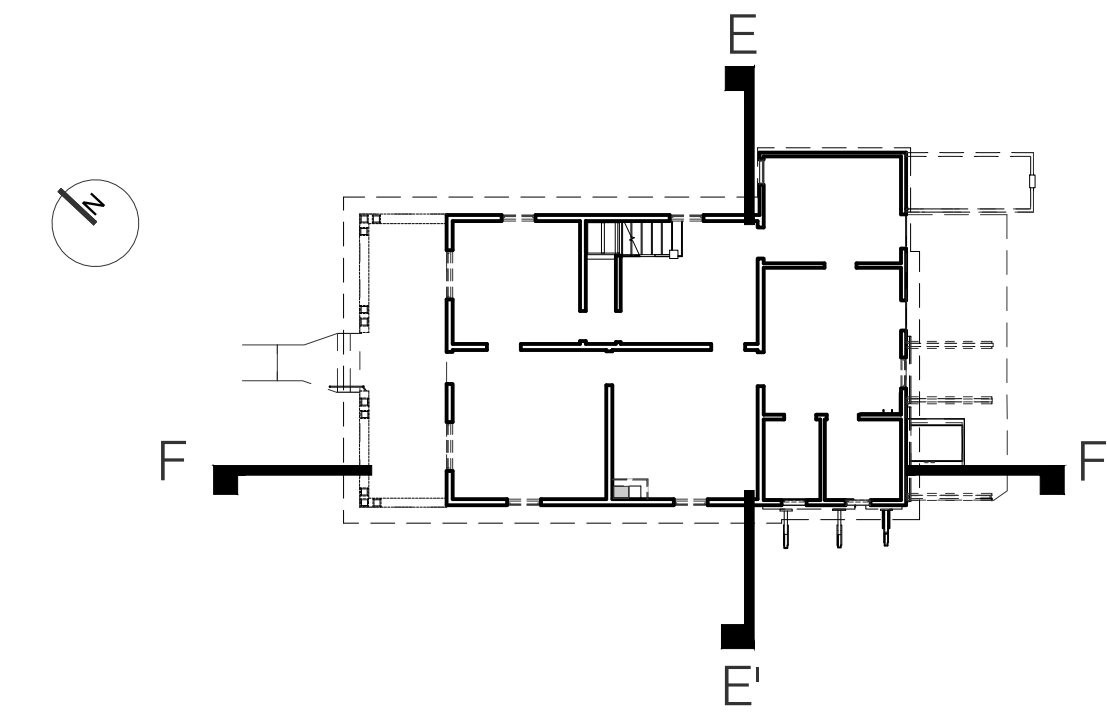
1 SECTION C-C'
1/4" = 1'-0"

KEYNOTES

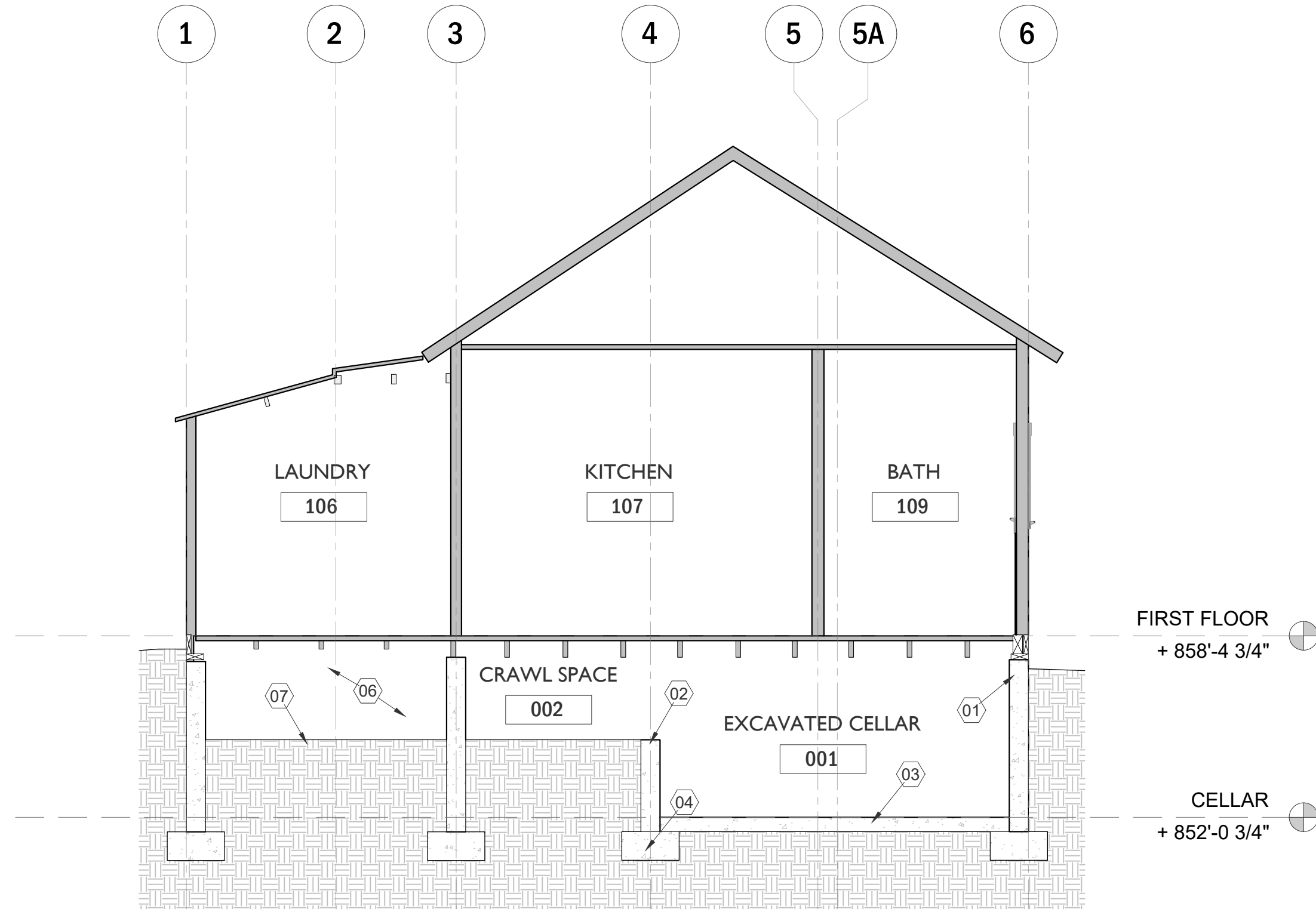
- ① NEW CONCRETE FOUNDATION STEM WALL & STRIP FOOTING FOUNDATION WITH BRICK LEDGE PER STRUCTURAL DRAWINGS
- ② NEW RETAINING WALL & STRIP FOOTING PER STRUCTURAL DRAWINGS. RETAINING WALLS SHALL CONFORM TO CITY OF RIVERSIDE BUILDING DEPARTMENT STANDARD DRAWINGS.
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- ⑥ CRAWLSPACE TO MAINTAIN 2'-0" CLEARANCE FROM LOWEST FLOOR OR DECK FRAMING MEMBER THROUGHOUT.
- ⑦ CLASS 1 GROUND COVERING VAPOR RETARDER THROUGHOUT CRAWLSPACE. WRAP UP CONCRETE LEAVING A 3" GAP FROM THE TOP OF MASONRY. MANUFACTURER RECOMMENDS A COMPACTED GRAVEL BASE LAYER.
- ⑧ CRAWL SPACE ACCESS LADDER
- ⑨ SUMP PUMP LOCATION, DRAIN TO GRADE, CONNECT TO HUMIDITY DRIP FOR CONSTANT FLOW. DEDICATED ELECTRICAL OUTLET AND BATTERY BACK UP TO BE SUPPLIED FOR EACH SUMP PUMP.
- ⑩ CRAWLSPACE FOUNDATION VENT & VENT WELL. VENTS SHALL HAVE 1/8" THICK CORROSION RESISTANT VENT MESH w/ OPENINGS BETWEEN 1/16" AND 1/8"
- ⑪ 10" x 18" OPENING FOR FUTURE MECHANICAL INSTALLATION TO BE CAPPED.
- ⑫ FOUNDATION WALL PENETRATIONS FOR FUTURE INSTALLATION OF UTILITIES. CONTRACTOR TO PLUG THE WALL PENETRATIONS.
- ⑬ EXISTING CRAWLSPACE ENTRY STAIR WALLS TO REMAIN. REPAIR AND WATERPROOF HISTORIC MASONRY WALLS PER DETAIL 7/A701 AND SPECS.
- ⑭ DISMANTLE EXISTING CELLAR DOOR AND REINSTALL AFTER PROJECT COMPLETION.
- ⑮ APPLY TEMPORARY SHEAR BOX AND STABILIZE EXISTING BUILT-IN HISTORIC ELEMENTS.
- ⑯ STABILIZATION OF FLOOR OPENINGS AND VERTICAL STRUCTURE PRIOR TO BUILDING ISOLATION PER DETAIL 1/A701
- ⑰ NEW WALKWAY REPALED IN-KIND TO MATCH ADJACENT EXISTING WALKWAY PER SPECS.
- ⑱ NEW WOOD STAIR TO REPLACE DEMOLISHED NON-HISTORIC CONCRETE STEPS
- ⑲ NEW T1-11 SIDING PER SPECS.
- ⑳ NEW WOOD COLUMN PER STRUCTURAL DRAWINGS AND FRAMING ELEVATIONS
- ㉑ NEW METAL FLASHING CAP
- ㉒ DISMANTLE AND SALVAGE VERTICAL SIDING BOARDS WITH CHILD GRAFFITI AT SHED INTERIOR. PROVIDE TO OWNER FOR STORAGE. SCREW IN HORIZONTAL 1X NO LESS THAN 6" ABOVE AND BELOW IMAGE PRIOR TO REMOVAL TO KEEP IMAGE ALIGNED. PROVIDE PROTECTION AT OPENING.
- ㉓ APPLY INTERIOR WINDOW OPENING SHEAR PROTECTION PER DETAIL 7/A700. DO NOT DAMAGE HISTORIC WALL SIDING OR WINDOW FRAME.
- ㉔ APPLY PLYWOOD SHEAR AND WINDOW PROTECTION OVER EXTERIOR WINDOW FRAME PRIOR TO BUILDING ISOLATION PER SPECS AND DETAIL 4/A700. INSTALL LOUVERED WINDOW OPENING VENTILATION PER SPECS AND DETAIL 10/A700 AFTER FOUNDATION WORK IS COMPLETED.
- ㉕ APPLY DOOR JAMB PROTECTION PRIOR TO BUILDING ISOLATION PER SPECS AND PER DETAIL 1/A700.
- ㉖ NEW EXTERIOR DOOR TO BE INSTALLED IN HISTORIC DOOR JAMB WITH HARDWARE AND LOCKSET AT HISTORIC LOCATIONS.



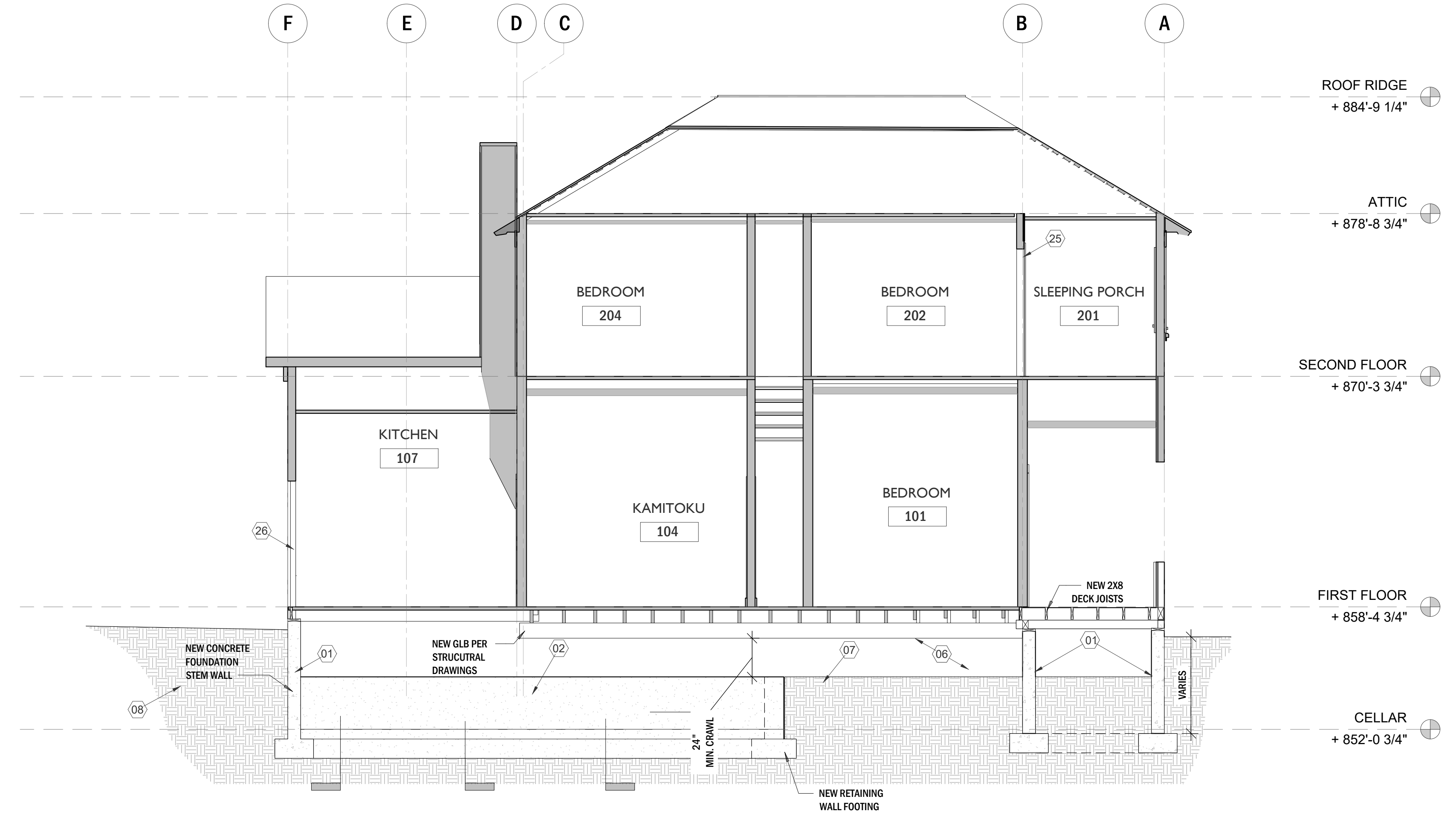
2 SECTION D-D'
1/4" = 1'-0"



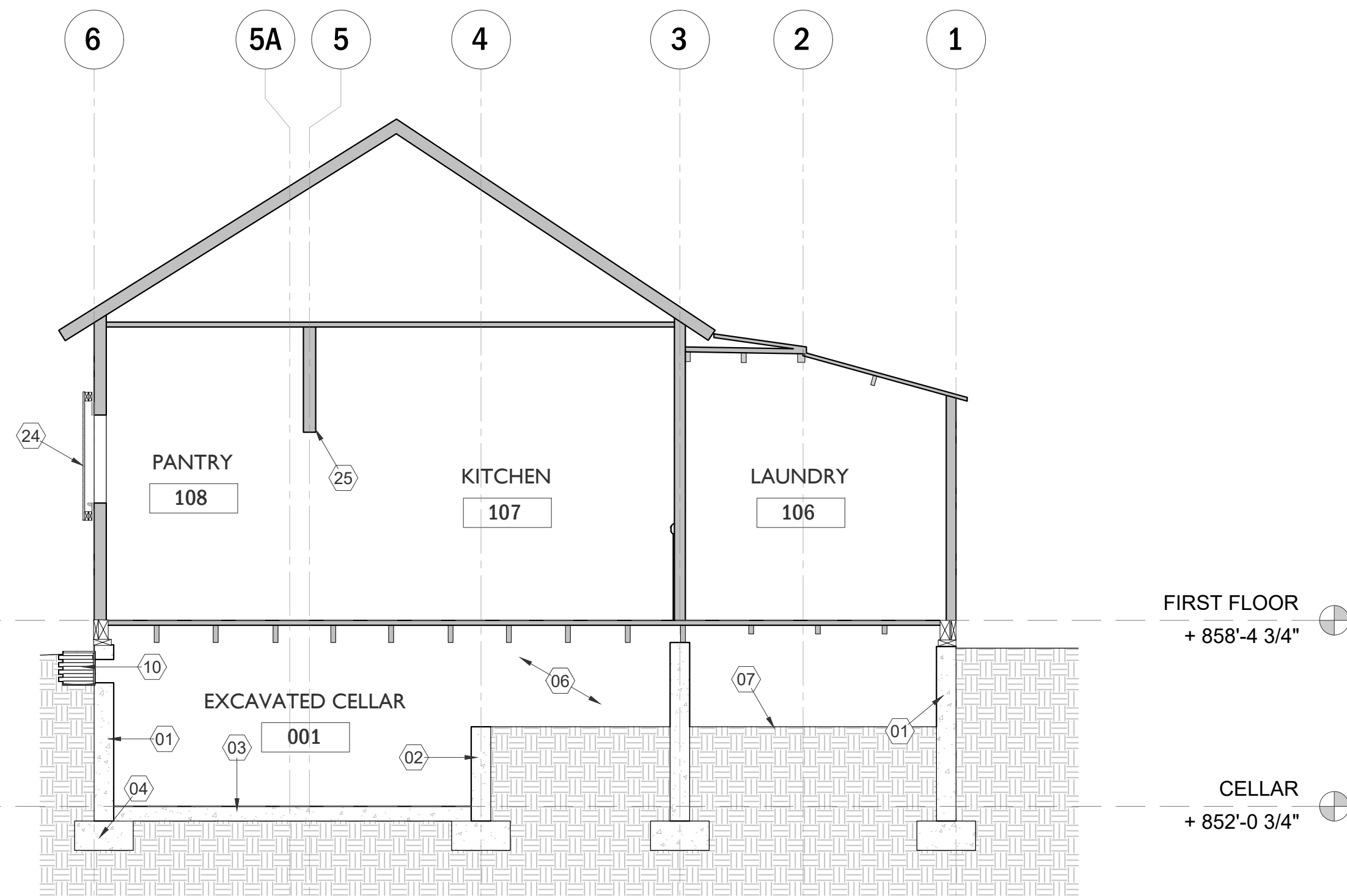
3 KEY PLAN
1/16" = 1'-0"



1 SECTION G-G
1/4" = 1'-0"



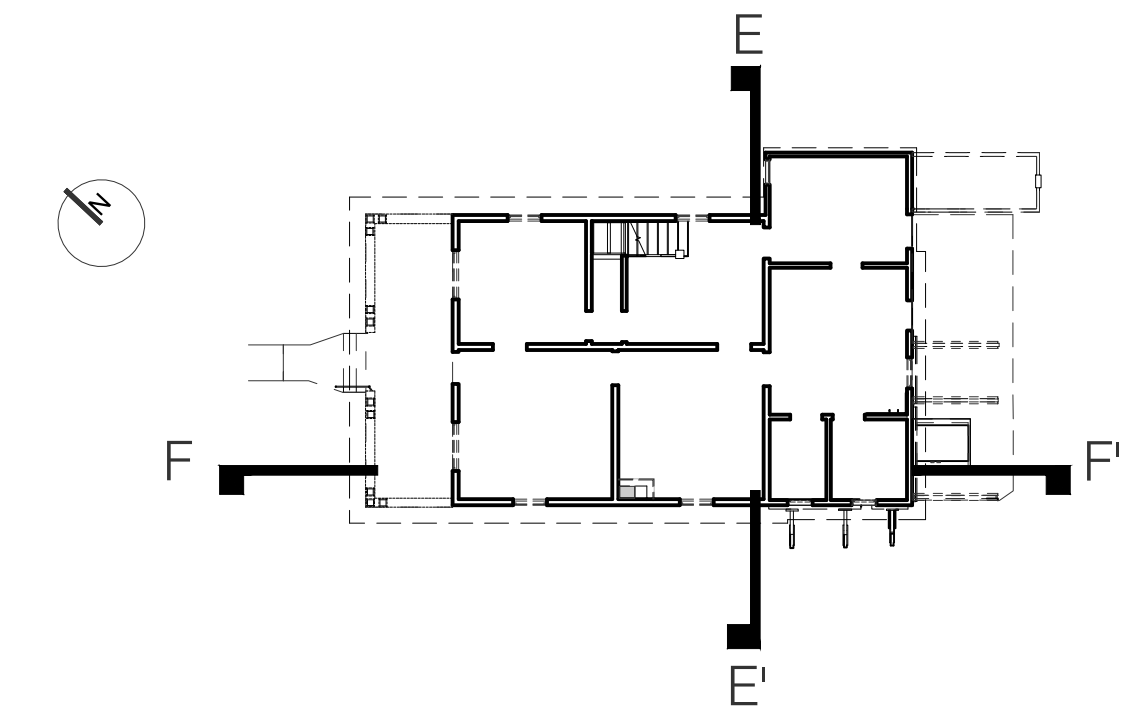
2 SECTION H-H'
1/4" = 1'-0"



3 SECTION J-J'
1/4" = 1'-0"

KEYNOTES

- 1 NEW CONCRETE FOUNDATION STEM WALL & STRIP FOOTING FOUNDATION WITH BRICK LEDGE PER STRUCTURAL DRAWINGS
- 2 NEW RETAINING WALL & STRIP FOOTING PER STRUCTURAL DRAWINGS. RETAINING WALLS SHALL CONFORM TO CITY OF RIVERSIDE BUILDING DEPARTMENT STANDARD DRAWINGS.
- 3 NEW CRAWLSPACE SLAB ON GRADE PER STRUCTURAL DRAWINGS
- 4 NEW CONCRETE PAD FOOTING PER STRUCTURAL DRAWINGS
- 5 STRUCTURAL REINFORCING MEMBERS WITHIN STRUCTURE TO BE IMPLEMENTED AFTER FOUNDATION RESTORATION
- 6 CRAWLSPACE TO MAINTAIN 2'-0" CLEARANCE FROM LOWEST FLOOR OR DECK FRAMING MEMBER THROUGHOUT.
- 7 CLASS 1 GROUND COVERING VAPOR RETARDER THROUGHOUT CRAWLSPACE. WRAP UP CONCRETE LEAVING A 3" GAP FROM THE TOP OF MASONRY. MANUFACTURER RECOMMENDS A COMPACTED GRAVEL BASE LAYER.
- 8 CRAWL SPACE ACCESS LADDER
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- 12 FOUNDATION WALL PENETRATIONS FOR FUTURE INSTALLATION OF UTILITIES. CONTRACTOR TO PLUG THE WALL PENETRATIONS.
- 13 EXISTING CRAWLSPACE ENTRY STAIR WALLS TO REMAIN. REPAIR AND WATERPROOF HISTORIC MASONRY WALLS PER DETAIL 7/A701 AND SPECS.
- 14 DISMANTLE EXISTING CELLAR DOOR AND REINSTALL AFTER PROJECT COMPLETION.
- 15 APPLY TEMPORARY SHEAR BOX AND STABILIZE EXISTING BUILT-IN HISTORIC ELEMENTS.
- 16 STABILIZATION OF FLOOR OPENINGS AND VERTICAL STRUCTURE PRIOR TO BUILDING ISOLATION PER DETAIL 1/A701
- 17 NEW WALKWAY REPLACED IN-KIND TO MATCH ADJACENT EXISTING WALKWAY PER SPECS.
- 18 NEW WOOD STAIR TO REPLACE DEMOLISHED NON-HISTORIC CONCRETE STEPS
- 19 NEW T1-11 SIDING PER SPECS.
- 20 NEW WOOD COLUMN PER STRUCTURAL DRAWINGS AND FRAMING ELEVATIONS
- 21 NEW METAL FLASHING CAP
- 22 DISMANTLE AND SALVAGE VERTICAL SIDING BOARDS WITH CHILD GRAFFITI AT SHED INTERIOR. PROVIDE TO OWNER FOR STORAGE. SCREW IN HORIZONTAL 1X NO LESS THAN 6" ABOVE AND BELOW IMAGE PRIOR TO REMOVAL TO KEEP IMAGE ALIGNED. PROVIDE PROTECTION AT OPENING.
- 23 APPLY INTERIOR WINDOW OPENING SHEAR PROTECTION PER DETAIL 7/A700. DO NOT DAMAGE HISTORIC WALL SIDING OR WINDOW FRAME.
- 24 APPLY PLYWOOD SHEAR AND WINDOW PROTECTION OVER EXTERIOR WINDOW FRAME PRIOR TO BUILDING ISOLATION PER SPECS AND DETAIL PER DETAIL 4/A700. INSTALL LOUVERED WINDOW OPENING VENTILATION PER SPECS AND DETAIL 10/A700 AFTER FOUNDATION WORK IS COMPLETED.
- 25 APPLY DOOR JAMB PROTECTION PRIOR TO BUILDING ISOLATION PER SPECS AND PER DETAIL 1/A700.
- 26 NEW EXTERIOR DOOR TO BE INSTALLED IN HISTORIC DOOR JAMB WITH HARDWARE AND LOCKSET AT HISTORIC LOCATIONS.



4 KEY PLAN
1/16" = 1'-0"

Architect
KOR design inc.
 LOS ANGELES, CALIFORNIA
 WWW.KRITZINGER-RAO.COM
 117 EAST COLORADO BLVD.
 SUITE 600,
 LOS ANGELES, CA 90013
 T: 626.219.1785
 www.kritzinger-rao.com
 Consultants
 Civil & Structural Engineer
C.W. HOWE
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 Owner
 CITY OF RIVERSIDE
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Revisions

Drawn by:
 Checked by:
 Professional's Stamp

NOT FOR CONSTRUCTION

Project Title
**HARADA HOUSE
 PHASE 1**

Sheet Title
 SECTIONS (P)

Design Stage
 50% CONSTRUCTION
 DOCUMENTS

Project Address
 3342 & 3356 Lemon Street
 Riverside, CA
 92501

Scale
 1/4" = 1'-0"

Date
 December 21, 2025

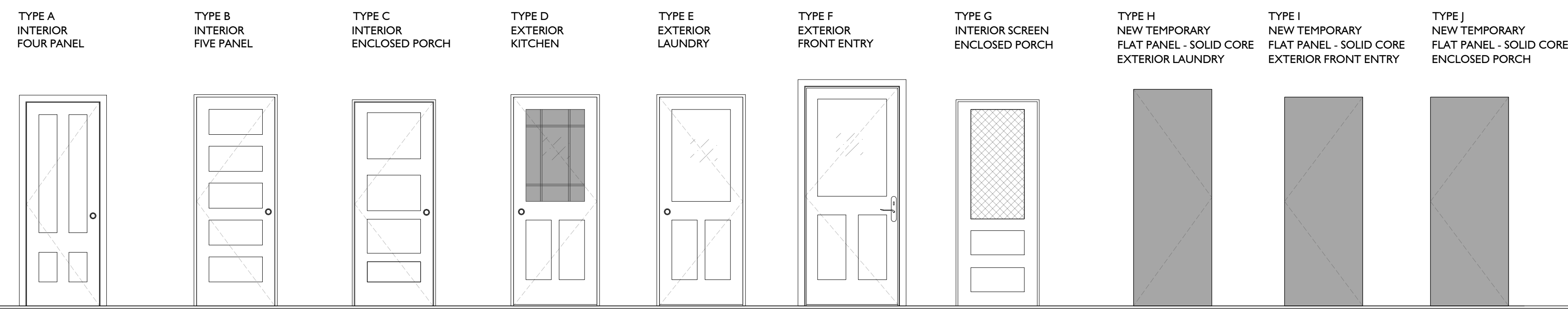
Sheet Number
A-308

DOOR SCHEDULE
GROUND FLOOR

DOOR MARK	EXISTING/NEW	TYPE	ROOM	SIZE			DOOR		FRAME		GLASS	MANUFACTURER	REMARKS
				WIDTH	HEIGHT	THK.	MATERIAL	FINISH	MATERIAL	FINISH			
101	E	SWING	100	2'-6"	6'-5"	N/A	WOOD	CLEAR	WOOD	CLEAR	N/A	TBD	PRESERVE HINGES & HARDWARE / NUMBER & STORE
102	E	H	102	-	-	0'-1 3/4"	-	-	-	-	Y	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
103	E	A	101	2'-8"	6'-8"	0'-1 1/2"	-	-	-	-	N/A	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
104	E	A	101	2'-4"	6'-6"	0'-1 1/2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
105	E	A	105	2'-8"	6'-8"	0'-1 1/2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
106	E	A	105	2'-8"	6'-6"	0'-1 1/2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
107	E	A	104	2'-8"	6'-6"	0'-1 1/2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
108	E	A	108	2'-6"	6'-4"	0'-1 1/2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
109	E	A	109	2'-6"	6'-4"	0'-1 1/2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
110	NEW	A	107	2'-6"	6'-6"	0'-1 3/4"	-	-	-	-	Y	-	DOOR TO BE ADA COMPLIANT
111	NEW	-	107	2'-6"	6'-6"	N/A	-	-	-	-	N/A	-	REMOVED
112	E	-	106	2'-8"	6'-4"	0'-1 1/2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE
113	E	-	106	2'-6"	6'-8"	0'-1 3/4"	-	-	-	-	Y	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
114	E	-	110	TBC	TBC	0'-1 1/2"	-	-	-	-	N/A	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
115	NEW	H	102	2'-6"	6'-11"	0'-1 3/4"	N/A	N/A	N/A	N/A	N/A	-	EXISTING HISTORIC JAMB & TRIM IS NOT TO BE DAMAGED IN DOOR INSTALLATION. HARDWARE TO BE INSTALLED AT EXISTING LOCATIONS.
116	NEW	I	106	2'-6"	6'-8"	0'-1 3/4"	-	-	-	-	N/A	-	EXISTING HISTORIC JAMB & TRIM IS NOT TO BE DAMAGED IN DOOR INSTALLATION. HARDWARE TO BE INSTALLED AT EXISTING LOCATIONS.
117	NEW	J	107	2'-6"	6'-6"	0'-1 3/4"	-	-	-	-	N/A	-	EXISTING HISTORIC JAMB & TRIM IS NOT TO BE DAMAGED IN DOOR INSTALLATION. HARDWARE TO BE INSTALLED AT EXISTING LOCATIONS.

SECOND FLOOR

DOOR MARK	EXISTING/NEW	TYPE	ROOM	SIZE			DOOR		FRAME		GLASS	MANUFACTURER	REMARKS
				WIDTH	HEIGHT	THK.	MATERIAL	FINISH	MATERIAL	FINISH			
201	E	G	201	2'-6"	6'-8"	0'-1 3/4"	-	-	-	-	N/A	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE / SHEAR OVER OPENING
202	E	C	202	2'-6"	6'-8"	0'-1 1/2"	WOOD	CLEAR	WOOD	CLEAR	Y	TBD	PRESERVE HINGES & HARDWARE / NUMBER & STORE
203	E	B	202	2'-0"	6'-6"	0'-1 1/2"	-	-	-	-	N/A	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
204	E	B	202	2'-4"	6'-8"	0'-1 1/2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
205	E	B	204	2'-4"	6'-5"	0'-1 1/2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
206	E	B	204	2'-0"	6'-8"	0'-1 1/2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
207	E	B	211	2'-3"	6'-5"	0'-1 1/2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
208	E	B	211	2'-0"	6'-6"	0'-1 1/2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
209	E	B	210	2'-0"	6'-8"	0'-1 1/2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
210	E	B	208	2'-6"	6'-6"	0'-1 1/2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
211	E	B	208	2'-0"	6'-8"	0'-1 1/2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
212	E	C	208	2'-6"	6'-8"	0'-1 1/2"	-	-	-	-	Y	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE / SHEAR OVER OPENING / TAG WITH ASSOCIATED LOOSE SCREEN DOOR & STORE
213	E	G	201	2'-6"	6'-8"	0'-1 3/4"	-	-	-	-	N/A	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE / SHEAR OVER OPENING



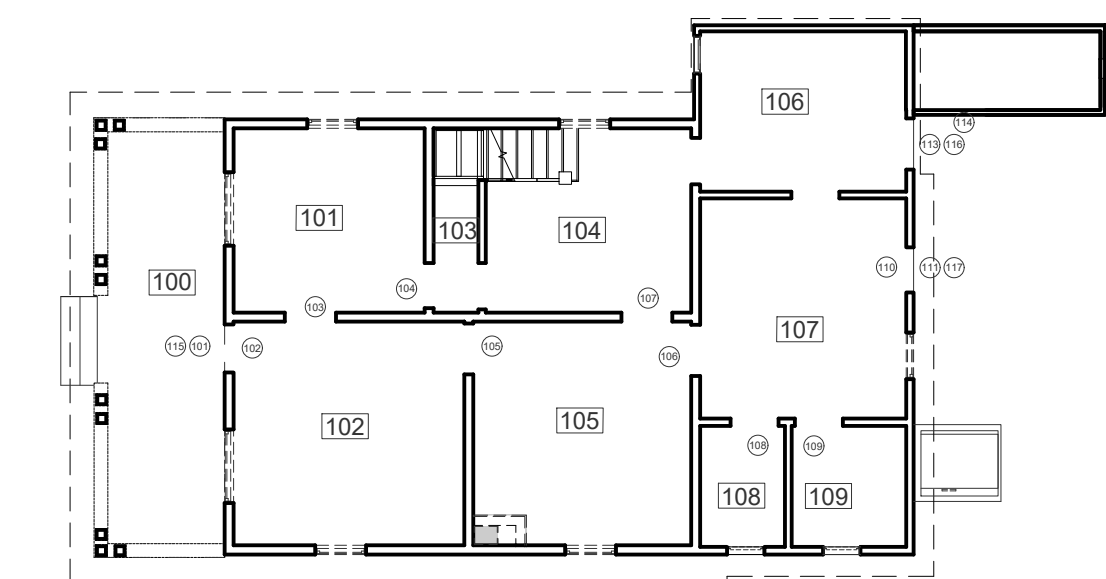
DOOR ELEVATION TYPES

1 DOOR SCHEDULE
N/A

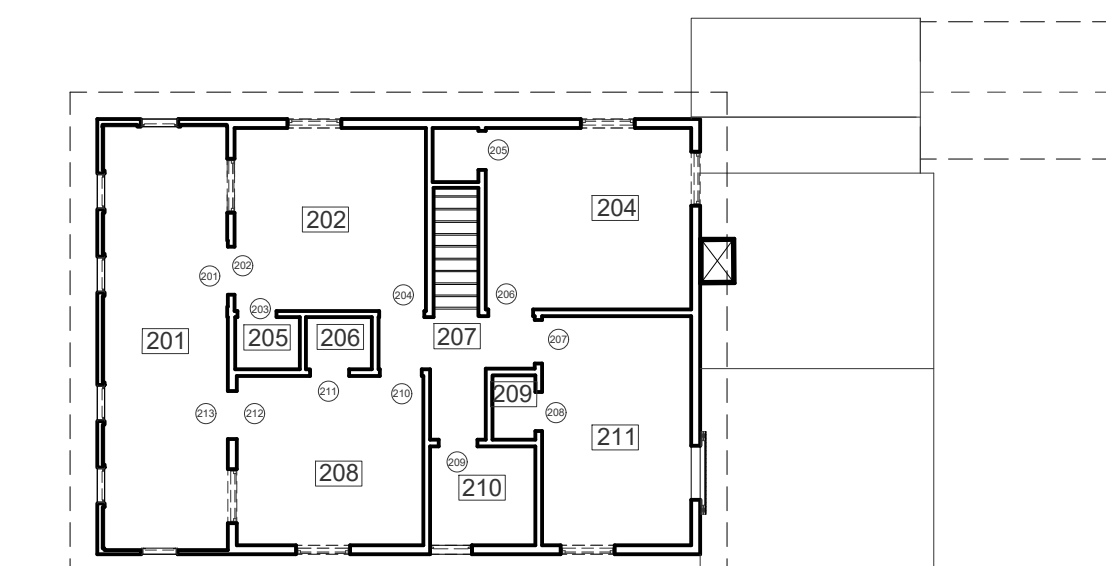
ROOM ID

100	PORCH	201	SLEEPING PORCH
101	BEDROOM	202	BEDROOM
102	PARLOR	203	CLOSET
103	CLOSET	204	BEDROOM
104	KAMITOKU	205	CLOSET
105	DINING ROOM	206	CLOSET
106	LAUNDRY	207	HALL
107	KITCHEN	208	BEDROOM
108	PANTRY	209	CLOSET
109	BATH	210	BATH
110	STORAGE	211	BEDROOM

GROUND FLOOR



SECOND FLOOR



2 KEY PLAN
3/32" = 1'-0"

Architect



117 EAST COLORADO BLVD.
SUITE 600,
LOS ANGELES, CA 90013
T: 626.219.1785
www.kritzinger-rao.com

Consultants

Civil & Structural Engineer



4158 Sepulveda Blvd. Culver City, CA 90034
Tel: (310) 681-0183
www.cwhowe.com

MEP / FA / FS & Lighting



700 N Glendale Ave. Suite 203, Glendale, CA 91205
www.budlong.com

Historic Preservation



4075 Buckton Ave. Suite 201, Riverside, CA 92501
Tel: (951) 223-8897

Landscape Architect



6802 Midland Ave. Suite 100, Riverside, CA 92506
Tel: (951) 781-1930
www.rhala.com

Owner

CITY OF RIVERSIDE
MUSEUM OF RIVERSIDE

Revisions

Drawn by:

Checked by:

Professional's Stamp



Project Title

**HARADA HOUSE
PHASE 1**

Sheet Title

SCHEDULES

Design Stage

50% CONSTRUCTION
DOCUMENTS

Project Address

3342 & 3356 Lemon Street
Riverside, CA
92501

Scale

N/A

Date

December 22, 2025

Sheet Number

A-601

HARADA HOUSE_ARCH_6005.1.DWG

WINDOW SCHEDULE

GROUND FLOOR

MARK	EXISTING / REPLACEMENT / NEW	ROOM	WIDTH	HEIGHT	HEAD HEIGHT	TYPE	OPERATION	MATERIAL	FINISH	GLASS	SPECIFICATION	U-FACTOR	SHGC	MANUFACTURER	MODEL	REMARKS
101	E	102	4'-1"	5'-9"	8'-3 1/2"	A	DOUBLE HUNG	WOOD	TBD	N/A	TBD	N/A	N/A	N/A	N/A	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
102	E	101	4'-1"	5'-9"	8'-3 1/2"	A	"	"	"	"	"	"	"	"	"	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
103	E	101	2'-10"	5'-9"	8'-7"	B	DOUBLE HUNG	"	"	"	"	"	"	"	"	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
104	E	104	2'-10"	5'-9"	8'-2"	B	"	"	"	"	"	"	"	"	"	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
105	E	106	2'-1"	3'-0"	6'-5"	C	CASEMENT	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
106	E	107	2'-7"	5'-0"	7'-1"	B	DOUBLE HUNG	"	"	"	"	"	"	"	"	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
107	E	109	2'-1"	3'-0"	7'-0"	C	CASEMENT	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
108	E	108	2'-1"	3'-0"	7'-0"	C	"	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
109	E	105	2'-10"	5'-9"	8'-2"	B	DOUBLE HUNG	"	"	"	"	"	"	"	"	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
110	E	102	2'-10"	5'-9"	8'-2"	B	"	"	"	"	"	"	"	"	"	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE

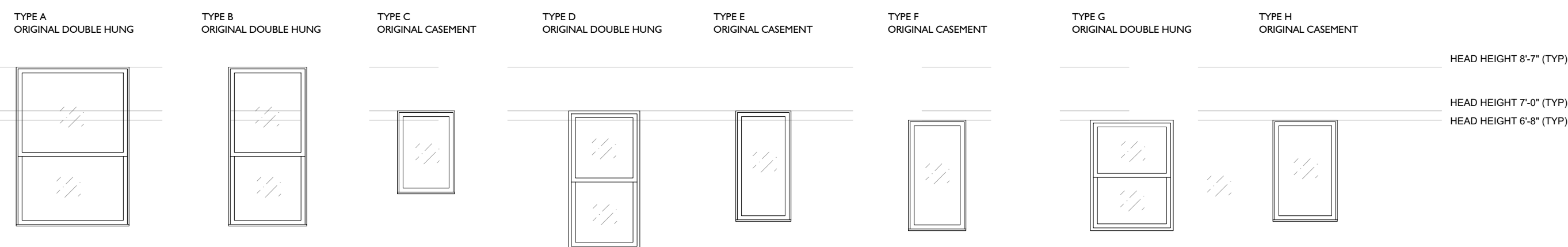
SECOND FLOOR

MARK	EXISTING / REPLACEMENT / NEW	ROOM	WIDTH	HEIGHT	HEAD HEIGHT	TYPE	OPERATION	MATERIAL	FINISH	GLASS	SPECIFICATION	U-FACTOR	SHGC	MANUFACTURER	MODEL	REMARKS
201	E	201	2'-0"	4'-0"	6'-8"	F	CASEMENT	WOOD	"	N/A	"	N/A	N/A	N/A	N/A	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
202	E	201	2'-0"	4'-0"	6'-8"	F	"	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
203	E	201	2'-0"	4'-0"	6'-8"	F	"	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
204	E	201	2'-0"	4'-0"	6'-8"	F	"	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
205	E	201	2'-1"	4'-0"	6'-8"	F	"	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
206	E	202	3'-0"	4'-0"	6'-8"	G	DOUBLE HUNG	"	"	"	"	"	"	"	"	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
207	E	204	3'-0"	4'-0"	6'-8"	G	"	"	"	"	"	"	"	"	"	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
208	E	204	3'-0"	4'-0"	6'-8"	G	"	"	"	"	"	"	"	"	"	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
209	E	211	3'-0"	4'-0"	6'-8"	G	"	"	"	"	"	"	"	"	"	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
210	E	211	3'-0"	4'-0"	6'-8"	G	"	"	"	"	"	"	"	"	"	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
211	E	210	2'-4"	3'-8"	6'-8"	H	CASEMENT	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
212	E	208	3'-0"	4'-0"	6'-8"	G	DOUBLE HUNG	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
213	E	201	2'-0"	4'-0"	6'-8"	F	CASEMENT	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
214	E	208	3'-0"	4'-0"	6'-8"	G	DOUBLE HUNG	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
215	E	202	3'-0"	4'-0"	6'-8"	G	"	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
216	NEW	211	3'-0"	4'-0"	6'-8"	G	DOUBLE HUNG	WOOD	TBD	LOW-E	TBD	0.3	0.23	TBD	"	TO BE REPLACE IN KIND

WINDOW SCHEDULE

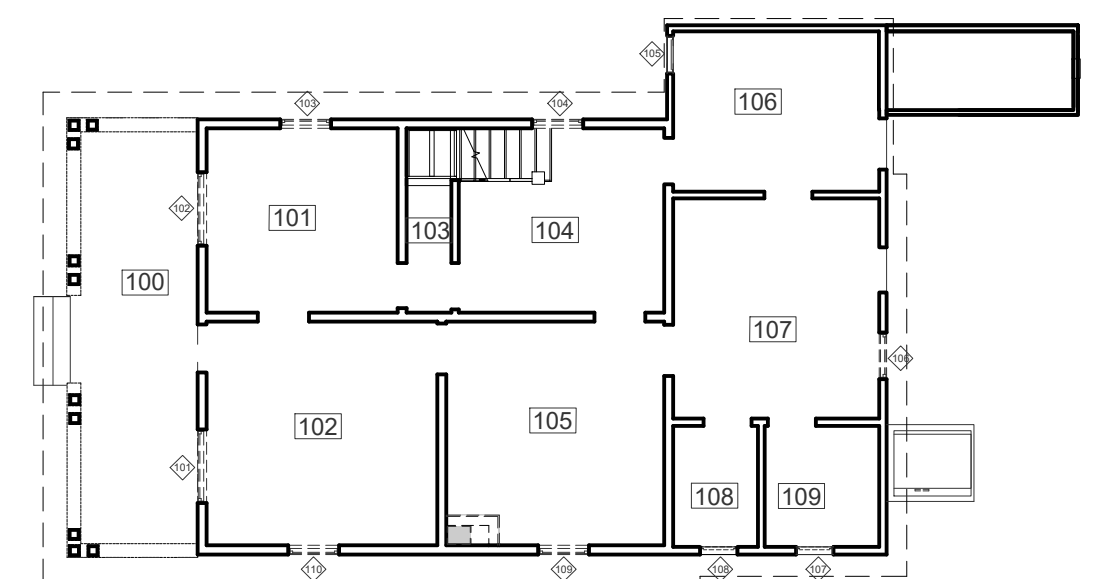
ROOM ID

[100] PORCH	[201] SLEEPING PORCH
[101] BEDROOM	[202] BEDROOM
[102] PARLOR	[203] CLOSET
[103] CLOSET	[204] BEDROOM
[104] KAMITOKU	[205] CLOSET
[105] DINING ROOM	[206] CLOSET
[106] LAUNDRY	[207] HALL
[107] KITCHEN	[208] BEDROOM
[108] PANTRY	[209] CLOSET
[109] BATH	[210] BATH
[110] STORAGE	[211] BEDROOM

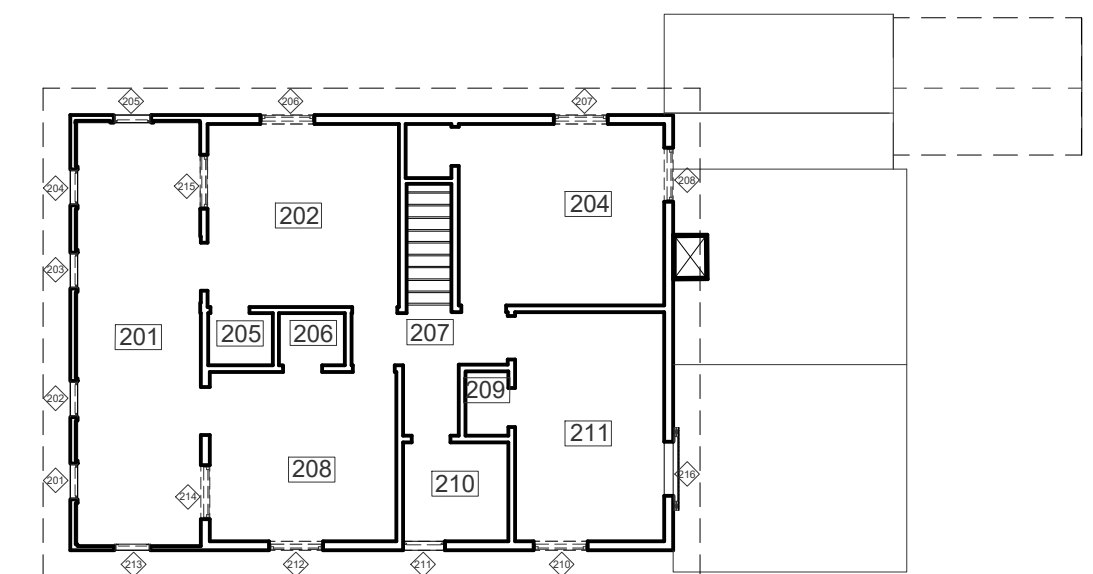


WINDOW ELEVATION TYPES

GROUND FLOOR



SECOND FLOOR



KEY PLAN

3/32" = 1'-0"

Architect



117 EAST COLORADO BLVD.
SUITE 600,
LOS ANGELES, CA 90013
T: 626.219.1785
www.kritzinger-rao.com

Consultants

Civil & Structural Engineer



4158 Sepulveda Blvd. Culver City, CA 90034
Tel: (310)683-9183
www.cwhowe.com

MEP / FA / FS & Lighting



700 N Glendale Ave., Suite 203, Glendale, CA 91205
www.budlong.com

Historic Preservation



4075 Buckton Ave., Suite 201, Riverside, CA 92501
Tel: (951)223-8897

Landscape Architect



6840 Midland Ave., Suite 100, Riverside, CA 92506
Tel: (951)781-1950
www.rhala.com

Owner

CITY OF RIVERSIDE
MUSEUM OF RIVERSIDE

Revisions

Drawn by:

Checked by:

Professional's Stamp

NOT FOR CONSTRUCTION

Project Title

HARADA HOUSE
PHASE 1

Sheet Title

SCHEDULES

Design Stage

50% CONSTRUCTION
DOCUMENTS

Project Address

3342 & 3356 Lemon Street
Riverside, CA
92501

Scale

N/A

Date

December 22, 2025

Sheet Number

A-602

HARADA HOUSE_ARCH_6005.1.DWG

PLUMBING GENERAL NOTES

- 49. ALL BACTERIA AND PRESSURE TESTS SHALL BE APPROVED BY THE ALW WATER INSPECTOR PRIOR TO PLACEMENT OF PERMANENT RESURFACING...
50. CONTRACTOR TO FURNISH AND INSTALL ALL WATER METERS THE CONTRACTOR SHALL COMPLETELY REMOVE ABANDONED WATER SERVICES AND SEVER FROM THE MAIN LINE ALL UNUSED WATER SERVICES WITHIN THE PROJECT VICINITY PER ALW REQUIREMENTS.
51. THE FIRE DEPARTMENT CONNECTION (FDC) SHALL NOT BE INSTALLED ON THE RISER OF THE BACKFLOW PREVENTER. ALW IS REQUIRED TO INSPECT THE BACKFLOW PREVENTER.
52. ALL BACKFLOW DEVICES SHALL BE APPROVED BY THE USC FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH...
53. NO WELDING ON EXISTING STEEL MAINS OR PIPE SHALL BE ALLOWED. ALL CONNECTIONS TO EXISTING STEEL MAINS OR PIPE SHALL BE DONE USING A TRANSITION COUPLING, UNLESS OTHERWISE APPROVED BY ALW.
54. EXISTING BUILDING SEWERS AND BUILDING DRAINS MAY BE USED IF SUCH SEWERS HAVE BEEN PROPERLY MAINTAINED AND FOUND UPON EXAMINATION AND TEST PERFORMED BY THE OWNER OR OWNER'S DESIGNATED AGENT THAT THEY ARE IN WORKING CONDITION AND FREE FROM ANY DEFECT.
55. WATER SUPPLY AND DRAIN PIPES UNDER ACCESSIBLE LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE BE CONFIGURED TO PROTECT AGAINST CONTACT. PROTECTORS, INSULATORS, OR BOTH SHALL COMPLY WITH ASME A112.18.9. 403.3
56. POTABLE WATER SUPPLY TRAP SEAL PRIMER VALVES SHALL COMPLY WITH ASSE 1018. DRAINAGE AND ELECTRONIC DESIGN TYPE TRAP SEAL PRIMER DEVICES SHALL COMPLY WITH ASSE 1044. 1007.2
57. PUBLIC LAVATORIES SHALL HAVE A WATER TEMPERING DEVICE THAT COMPLIES WITH ASSE 1070, ASME 112.1070 OR CSA B125.3. WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL TO MEET THIS PROVISION. 407.3
58. WATER SYSTEM PROVIDED WITH A PRESSURE REGULATING DEVICE WITHOUT A BYPASS SHALL BE PROVIDED WITH AN APPROVED, LISTED EXPANSION TANK. SHOW DETAIL ON THE PLAN. 608.2
59. ANY WATER SYSTEM PROVIDED WITH A CHECK VALVE OR A BACKFLOW PREVENTION DEVICE OR ANY OTHER NORMALLY CLOSED DEVICE THAT PREVENTS DISSIPATION OF BUILDING PRESSURE BACK INTO THE WATER MAIN, INDEPENDENT OF TYPE OF WATER HEATER USED, SHALL BE PROVIDED WITH AN APPROVED, LISTED EXPANSION TANK. SHOW DETAIL ON THE PLANS. 608.3.
60. THE TEMPERATURE AND PRESSURE RELIEF VALVE LOCATED ON THE STORAGE WATER HEATER/ BOILER SHALL BE INSTALLED PER THE LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. 505.2
61. ALL PLUMBING FIXTURES SHALL MEET OR BE LESS THAN THE FOLLOWING FLOW RATES PER CHAPTER 4 OF 2023 COUNTY OF LOS ANGELES PLUMBING CODE:
62. WHEN A DOMESTIC WATER HEATING SYSTEM IS INSTALLED, PROVIDE COMPLIANCE FORM 2022-NRCC-PLB-E FILLED OUT AND AFFIXED TO THE PLANS.

PLUMBING GENERAL NOTES

- 30. PIPE SHALL BE DUCTILE IRON CLASS 350. MINIMUM COVER TO FINISHED SURFACE SHALL BE THREE (3) FEET ON LOCAL RESIDENTIAL STREETS AND FOUR (4) FEET ON MAIN COLLECTOR AND ARTERIAL STREETS. WATER MAINS SHALL BE IMPORT SAND BEDDED AND SHADED TO 12" ABOVE TOP OF PIPE. WHEREVER A WATER LINE ENCOUNTERS AN OBSTRUCTION AND CROSSING OVER WILL RESULT IN LESS THAN 30" OF COVER OVER THE WATER LINE, IT SHALL CROSS UNDER OBSTRUCTION WITH A MINIMUM OF 12 INCHES CLEARANCE.
31. ALW REQUIRES A MINIMUM 1 FOOT VERTICAL SEPARATION FOR ALL UTILITIES CROSSING ALW WATER FACILITIES PER ALW STD W-16 & W-19. ALW WATER INSPECTOR SHALL VERIFY THE SEPARATION PRIOR TO BACKFILLING. ANY DEVIATION LESS THAN 1 FOOT REQUIRES A REQUEST TO BE MADE, THE REQUEST MUST BE IN WRITING AND MUST BE APPROVED BY ALW.
32. FOR WATER AND SEWER SEPARATION SEE LOS ANGELES COUNTY ENGINEER'S SANITARY DIVISION CHART S-C1 AS WELL AS ALW STD W-16 AND W-19. WHEREVER THE WATER LINE CROSSES OVER THE SEWER LINE AND THE SEPARATION AT CROSSING POINT IS ONE FOOT OR LESS. THE CONTRACTOR SHALL INSTALL THE WATER MAIN SO THAT THE PIPE SECTION IS CENTERED OVER THE SEWER LINE AND THERE SHALL NOT BE A JOINT WITHIN 6 FEET; 10 FEET WHEREVER THE WATERLINE CROSSES UNDER THE SEWER LINE.
33. CONTRACTOR SHALL REMOVE AND REPLACE ALL SERVICES IN CONFLICT WITH WATER MAIN REPLACEMENT OR INSTALLATION OF NEW WATER MAINS WITH NEW SERVICES OF THE SAME SIZE.
34. AS FIELD CONDITIONS WARRANT A COMBINATION AIR-VAC RELIEF VALVE ASSEMBLY SHALL BE INSTALLED AT FIRST HIGHEST POINT OF THE WATER LINE, OR AS DIRECTED BY ALW. SIMILARLY, A BLOW-OFF ASSEMBLY SHALL BE INSTALLED AT THE LOW POINTS OF THE WATER LINE, OR AS DIRECTED BY ALW.
35. ALL LINE REALIGNMENT DUE TO OTHER EXISTING UTILITIES SHALL BE APPROVED BY THE ALW INSPECTOR. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY ALW.
36. ALL FIRE SERVICE TO BE CONNECTED TO MAIN WITH A GATE VALVE OF THE SAME SERVICE SIZE. NO SERVICE BRANCH OFF BETWEEN FIRE HYDRANT VALVE AND FIRE HYDRANT.
37. THE EXACT LOCATION OF FIRE HYDRANTS, AIR RELEASE VALVES, AND BLOW-OFFS SHALL BE SET IN THE FIELD BY THE ALW INSPECTOR.
38. FIRE HYDRANT VALVES SHALL BE AT LEAST TEN (10) FEET AWAY FROM THE FIRE HYDRANT. INSTALLATION OF A NEW FIRE HYDRANT SHALL INCLUDE A TEE OR ELBOW, A SIX-INCH GATE VALVE, REQUIRED PIPING, ALL FITTINGS, AND THE FIRE HYDRANT, WITH A BLUE MARKER NEXT TO THE CENTERLINE STRIPE ON THE SAME SIDE OF THE FIRE HYDRANT, AND PAINTING TEN (10) FEET OF RED CURB AS PER PUBLIC STANDARDS AND ALW STD W-11.
39. DURING CONSTRUCTION, ALL ABANDONED FIRE HYDRANTS SHALL BE REMOVED, SALVAGED, AND RESTOCKED TO ALW CONSTRUCTION YARD. THE LATERAL SHALL BE CUT AND BLIND FLANGED AT THE MAIN.
40. THE CONTRACTOR SHALL COMPLETELY ABANDON, SEVER, AND REMOVE FROM THE MAIN LINE ALL UNUSED CONNECTIONS AND CROSSINGS INCLUDING ALL ABANDONED WATER FACILITIES WITHIN THE PROJECT VICINITY PER ALW REQUIREMENTS, SPECIFICATIONS AND STANDARDS. OPERATIONS.
41. THE EXACT LOCATIONS OF THE WATERLINE ABANDONING SHALL BE DETERMINED BY THE ALW INSPECTOR. ALL VALVES ON ABANDONED LINE TO BE CLOSED AND CANS TO BE FILLED WITH CONCRETE, WORK SHALL BE DONE IN THE PRESENCE OF ALW INSPECTOR. ALL OPENINGS RESULTING FROM THE CUTTING OR PARTIAL REMOVAL OF EXISTING PIPES OR SIMILAR STRUCTURES SHALL BE SEALED WITH 8 INCHES OF BRICK AND MORTAR OR 12 INCHES OF CONCRETE AT 100 FEET INTERVALS.
42. THE OWNER IS REQUIRED TO REMOVE ANY UNUSED WATER SERVICE/WATER FACILITY WITHIN THE PROJECT VICINITY AND SHALL ABANDON AND SEVER COMPLETELY FROM THE WATER MAIN PER ALW REQUIREMENTS.
43. ALL FITTINGS SHALL BE M.J. WITH RESTRAINING GLAND (MEGALUG OR APPROVED EQUAL) & THRUST BLOCK, EXCEPT AT FLANGE FITTING CONNECTIONS. ALL TAPPING SLEEVES SHALL BE FULL CIRCLE STAINLESS STEEL. ALL DRAWINGS OF EXISTING MAIN AT TIE-INS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL FURNISH ALL FITTINGS NECESSARY FOR DEVIATION OF PIPE ALIGNMENT NOT SHOWN ON THE PLANS.
44. EACH LOT SHALL HAVE A SEPARATE METERED WATER SYSTEM. ALL EXISTING WATER SERVICES SHALL BE EXAMINED BY THE WATER SUPERVISOR OR HIS REPRESENTATIVE AT THE TIME SUCH SERVICES HAVE BEEN EXPOSED AND PRIOR TO ANY REMOVALS. ALL WATER METERS SHALL BE SET 12-INCHES BEHIND THE BACK OF THE CONTRACTOR SHALL REPLACE ALL WATER BOXES AND VAULTS DAMAGED DURING CONSTRUCTION AS PER APPLICABLE STANDARD DRAWINGS.
45. SERVICES FROM 4-INCH AND ABOVE SHALL BE REPLACED UP TO EXISTING METERS, UNLESS OTHERWISE NOTED ON THE PLANS.
46. THE PHRASE "RE-CONNECT EXISTING SERVICE" SHALL BE UNDERSTOOD THAT THE EXISTING METER, METER BOX, AND SERVICE LINE SHALL BE COMPLETELY REMOVED AND A NEW SERVICE OF REQUIRED SIZE SHALL BE INSTALLED FROM THE MAIN TO THE NEW METER LOCATION AS PER APPLICABLE STANDARD DRAWINGS (INCLUDING METER BOXES AND THE BALL VALVE).
47. SHUT DOWN OF EXISTING TRANSMISSION MAINS SHALL BE LIMITED TO TWO (2) HOURS MAXIMUM, UNLESS DIRECTED OTHERWISE BY THE WATER SUPERVISOR. VALVES SHALL BE OPERATED BY ALW DIVISION PERSONNEL ONLY.
48. CONNECTIONS TO EXISTING WATER LINES SHALL BE WITH A MINIMUM 12-INCH LONG TRANSITION COUPLING (ROMAC 501 OR APPROVED EQUAL), ALL CONNECTION WORK SHALL BE DONE IN THE PRESENCE OF THE ALW INSPECTOR.

PLUMBING GENERAL NOTES

- 15. ALL PERMIT WORK SHALL CONFORM TO PERMIT REQUIREMENTS AT ALL TIMES. THE PLANS, SPECIFICATIONS, AND ALL NECESSARY PERMITS REQUIRED BY THE CITY OF AZUSA, ALW, AND BY THE COUNTY OF LOS ANGELES, PUBLIC WORKS DEPARTMENT SHALL BE ON THE JOB SITE AT ALL TIMES.
16. ALL CONSTRUCTION ACTIVITIES SHALL BE IN COMPLIANCE WITH NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GUIDELINES AND THE CLEAN WATER ACT.
17. DISCHARGES OF MATERIAL OTHER THAN STORM WATER ARE ALLOWED ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR, PARTS 117 AND 302.
18. POTENTIAL POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PANTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVE AND SOLVENTS; ASBESTOS FIBERS, PLANT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS AND HYDRAULIC, RADIATOR OR BATTER FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES, WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING, AND SUPER CHLORINATED POTABLE WATER LINE FLUSHINGS. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORM WATER RUN-OFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
19. THE CONTRACTOR WILL KEEP THE STREETS SWEEPED CLEAN, FREE OF TRASH AND DEBRIS. SAFE FOR VEHICULAR AND PEDESTRIAN TRAFFIC WHILE WORK IS IN PROGRESS AND AT THE END OF EACH DAY.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATING WITH OTHER SUBCONTRACTORS AS A REQUIRED TO ACCOMPLISH CONSTRUCTION OPERATIONS.
21. ALL WORK WHICH IS NOT IN THE PUBLIC RIGHT OF WAY SHALL BE DONE AT THE LEAST INCONVENIENCE TO THE PROPERTY OWNER, CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING LANDSCAPING, ALL PRIVATE OR PUBLIC WALLS, FENCES, OR SOILS REMOVED FOR THE CONSTRUCTION OF THIS PIPE LINE SHALL BE REPLACED TO MATCH EXISTING, CONTRACTOR SHALL FILL ALL TURF AND LANDSCAPED AREAS TO ORIGINAL GRADE.
22. ALL BACKFILL, COMPACTION, PAVING, CONCRETE RECONSTRUCTION, INCIDENTAL SEWER LINE RECONSTRUCTION, AND TRAFFIC CONTROL SHALL BE INSPECTED BY THE APPROPRIATED CITY OF AZUSA, ALW, OR COUNTY OF LOS ANGELES PUBLIC WORKS INSPECTORS. ALL FOLLOWING WORKS SHALL BE INSPECTED BY THE ALW WATER INSPECTOR:
(A) TRENCHING, BEDDING, AND SHADING
(B) PLACING OF PIPE, VALVES, FITTINGS, AND THRUST BLOCKS
(C) OTHER UNDERGROUND UTILITIES IN PLACE, VERTICAL AND HORIZONTAL CROSSING SEPARATION
(D) LEAKAGE TESTING, FLUSHING, DISINFECTION, AND BACTERIOLOGICAL TESTING
(E) VALVE BOXES RAISED TO GRADE AND LINES FLUSHED
(F) BACKFLOW PREVENTION DEVICE, METER, BLOW-OFF, AND AIR-VAC ASSEMBLIES
(F) FINAL INSPECTION
23. SCARIFY A.C. PAVING BEFORE TRENCHING. IF CUT LINE IS LESS THAN THREE FEET FROM AN EXISTING CUT LINE EXPANSION JOINT, OR EDGE, THE EXISTING PAVEMENT SHALL BE REMOVED TO CUT LINE, EXPANSION JOINT, OR EDGE OR AS DIRECTED BY THE INSPECTOR. SAW CUT P.C.C. SIDE WALK 1" DEEP PRIOR TO REMOVAL OF 3'x3' SECTION FOR TIE IN.
24. TRENCH BACKFILL AND STREET RESURFACING SHALL BE DONE IN ACCORDANCE WITH THE STANDARD PLANS OF THE CITY OF AZUSA OR COUNTY OF LOS ANGELES PUBLIC WORKS DEPARTMENTS RESPECTIVELY. THE CONTRACTOR SHALL REPLACE ALL STREET SIGNING, STRIPING, AND MARKERS IN KIND.
25. CONTRACTOR SHALL NOT BACKFILL TRENCH UNTIL THE INSPECTOR HAS OBTAINED AS-BUILT STATIONING ON ALL STRUCTURES. ALL BACKFILL FOR THE ENTIRE PROJECT SHALL BE 3/4" CRUSHED AGGREGATE BASE UNLESS OTHERWISE SPECIFIED OR APPROVED BY THE CITY OF AZUSA. BACKFILL IN PARKWAY AREAS SHALL BE A SAND SLURRY MIX, CONSISTING OF ONE (1) SACK OF CEMENT PER CUBIC YARD OF SAND, UP TO 12 (TWELVE) INCHES BELOW FINISHED SURFACE.
26. ANY CONCRETE CURB, GUTTER OR SIDEWALK REQUIRING REMOVAL FOR WATER MAIN INSTALLATION OR SERVICE CONNECTION SHALL BE REPLACED IN KIND AND SHALL BE APPROVED BY THE COUNTY OF LOS ANGELES INSPECTOR OR CITY OF AZUSA INSPECTOR. WHEN A CURB RETURN IS REMOVED FOR CONSTRUCTION, CONTRACTOR SHALL PROVIDE A CURB RAMP FOR A NEW CURB RETURN PER CITY OR COUNTY STANDARD PLAN.
27. COMPACTION TEST SHALL BE REQUIRED FOR ALL TRENCH BACKFILL IN ACCORDANCE WITH THE CITY OF AZUSA STANDARDS. CONTACT THE CITY ENGINEER TO SET TIMES AND LOCATIONS OF TESTS. CONTRACTOR TO PAY FOR ALL TESTS.
28. THE CONTRACTOR SHALL CONTACT THE CITY OF AZUSA AND L.A. COUNTY ENGINEERING OFFICE FOR INFORMATION REGARDING TRAFFIC LOOPS. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO REPLACEMENT OF ANY DAMAGED TRAFFIC LOOP.
29. REFER TO CITY OF AZUSA AND L.A. COUNTY PLAN FOR REPAIR OF OPEN TRENCH.

PLUMBING GENERAL NOTES

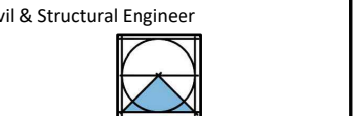
- 1. THIS WATER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, CURRENT AZUSA LIGHT & WATER (ALW) STANDARDS & SPECIFICATIONS, CITY OF AZUSA, COUNTY OF LOS ANGELES, DEPARTMENT OF PUBLIC WORKS STANDARDS PLANS, SECTION 308 OF THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" LATEST EDITION, AND SUBSEQUENT EDITIONS, ALL WORK SHALL BE SUBJECT TO THE ALW WATER INSPECTOR'S ACCEPTANCE AS A CONDITION OF COMPLETION OF WORK BY THE CONTRACTOR. IN ADDITION, ALL TRENCH BACKFILL, A.C. PAVING, AND CONCRETE REPLACEMENT SHALL BE SUBJECT TO THE CITY ENGINEER'S ACCEPTANCE AS A CONDITION OF COMPLETION OF WORK BY THE CONTRACTOR.
2. THE CONTRACTOR SHALL HAVE THE PROJECT LIMITS MARKED BY U.S.A. (DIGALERT) AT LEAST TWO WORKING DAYS PRIOR TO STARTING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR MAKING HIM/HER SELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES. THE CONTRACTOR SHALL VERIFY SITE CONDITIONS AND MAKE NECESSARY POT HOLES, NOTIFY THE VARIOUS UTILITIES TO MAKE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. ANY DELAY OR INCONVENIENCE CAUSED TO THE CONTRACTOR BY THE RELOCATION OF VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT, NO EXTRA COMPENSATION WILL BE ALLOWED, CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES. ALL U.S.A. MARKS SHALL BE CLEANED AND REMOVED WHEN THE PROJECT IS COMPLETED.
3. THE EXISTENCE AND LOCATION OF ALL UTILITIES, IMPROVEMENTS, AND STRUCTURES SHOWN ON THE PLANS ARE APPROXIMATE AND TAKEN FROM AVAILABLE RECORDS. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THEIR LOCATION AND PROTECT THEM IN PLACE REGARDLESS IF THEY ARE SHOWN ON THE PLANS OR NOT.
4. CONTRACTOR SHALL POT HOLE AND EXPOSE ALL UTILITIES THAT MAY CONFLICT WITH THE SCOPE OF WORK OF THE PROJECT. THIS SHALL BE DONE FAR ENOUGH IN ADVANCE SO THAT SUFFICIENT TIME IS AVAILABLE FOR THE CONTRACTOR TO MAKE THE NECESSARY ADJUSTMENTS TO CLEAR THESE UTILITIES. THESE ADJUSTMENTS SHALL BE MADE AT THE SOLE EXPENSE OF THE CONTRACTOR.
5. THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION TRAFFIC CONTROL AND CONSTRUCTION PHASING PLAN TO THE CITY OF AZUSA AND/OR COUNTY OF LOS ANGELES PUBLIC WORKS DEPARTMENT FOR APPROVAL. THE CONTRACTOR SHALL POST CUSTOM SIGNS AT RELATED INTERSECTIONS SO AS TO INFORM THE PUBLIC OF THE TIME LINE OF THE UPCOMING PROJECT AND ADVISE COMMUTERS TO CONSIDER ALTERNATE ROUTES. SUCH SIGNS SHALL BE IN PLACE A MINIMUM OF (10) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
6. PRIOR TO CONSTRUCTION OF THE WATER MAIN, THE CONTRACTOR, AT HIS OWN EXPENSE SHALL OBTAIN ALL NECESSARY PERMITS TO EXPOSE THE EXISTING WATER LINE WHERE CONNECTIONS AND CROSSINGS WILL OCCUR AND VERIFY THEIR ELEVATION AND LOCATION. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR DISCREPANCIES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. THE ALW DEPARTMENT WATER SYSTEM ENGINEER & WATER ENGINEER SHALL BE CONSULTED TO MAKE ANY/ALL REQUIRED INTERPRETATIONS OF THE PLANS. HOWEVER, THIS IN NO WAY RELIEVES THE CONTRACTOR OF HIS RESPONSIBILITY FOR CONSTRUCTING THE PROJECT TO ACCOMPLISH THE INTENT OF THE PLANS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO A FAILURE TO GIVE SUCH NOTIFICATION.
7. ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTOR AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATION" OF THE U.S. DEPARTMENT OF LABOR AND WITH THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS "CONSTRUCTION SAFETY ORDERS."
8. THE INSTALLING CONTRACTOR SHALL BE A CALIFORNIA LICENSED "A" OR "C-34" CONTRACTOR FOR ALL WORK ON ALW PUBLIC WATER FACILITIES.
9. CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, THE ENGINEER, L.A. COUNTY, THE CITY OF AZUSA, AND ALW AND HIS/HER REPRESENTATIVE, HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
10. CONTRACTOR SHALL SUBMIT THEIR SURVEY RECORDS TO THE CITY ENGINEER AND SHALL PROVIDE ALL THE NECESSARY SURVEY AND 'AS-BUILT' PLANS TO THE ALW INSPECTOR PRIOR TO FINAL INSPECTION.
11. CONTRACTOR SHALL OBTAIN CONSTRUCTION/ENCROACHMENT PERMITS FROM THE CITY OF AZUSA, ALW, AND THE COUNTY OF LOS ANGELES, DEPARTMENT OF PUBLIC WORKS PRIOR TO ANY WORK.
12. ALL INSPECTION REQUESTS MUST BE MADE 48 HOURS PRIOR TO THE DESIRED DATE OF INSPECTION.
13. THE CONTRACTOR SHALL NOTIFY THE CITY OF AZUSA, ALW, AND THE COUNTY OF LOS ANGELES, DEPARTMENT OF PUBLIC WORKS FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION AND AT LEAST (2) WORKING DAYS NOTICE WHEN INSPECTIONS OR ENGINEERING JUDGEMENT BECOMES NECESSARY AS SET FORTH IN THE STANDARDS.
14. TEMPORARY CONSTRUCTION METERS SHALL BE OBTAINED FROM ALW WITH A DEPOSIT PER THE CURRENT ALW FEE SCHEDULE.

Architect



117 EAST COLORADO BLVD. SUITE 600, LOS ANGELES, CA 90013 T: 626.219.1785 www.kritzinger-rao.com

Consultants



C.W. HOWE 4158 Sepulveda Blvd. Culver City, CA 90234 Tel: (310)838-0263 www.cwhowe.com

MEP / FA / F/S & Lighting



An MBEISBEIDELSBE Firm 6442 Indiana Ave., Suite 100, Riverside, CA 92506 Tel: (951)283-5190 www.rhla.com

Historic Preservation



JM RESEARCH & CONSULTING 4076 Brocton Ave., Suite 203, Riverside, CA 92503 Tel: (951)233-6897

Landscape Architect



RHA LANDSCAPE ARCHITECTS 6442 Indiana Ave., Suite 100, Riverside, CA 92506 Tel: (951)283-5190 www.rhla.com

Owner



CITY OF RIVERSIDE MUSEUM OF RIVERSIDE

Revisions

Table with 3 columns for revision tracking.

Drawn by:

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Professional's Stamp

Project Title HARADA HOUSE PHASE 1

Sheet Title PLUMBING GENERAL NOTES

Design Stage

Project Address 3342 & 3356 Lemon Street Riverside, CA 92501

Scale N.T.S

Date

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