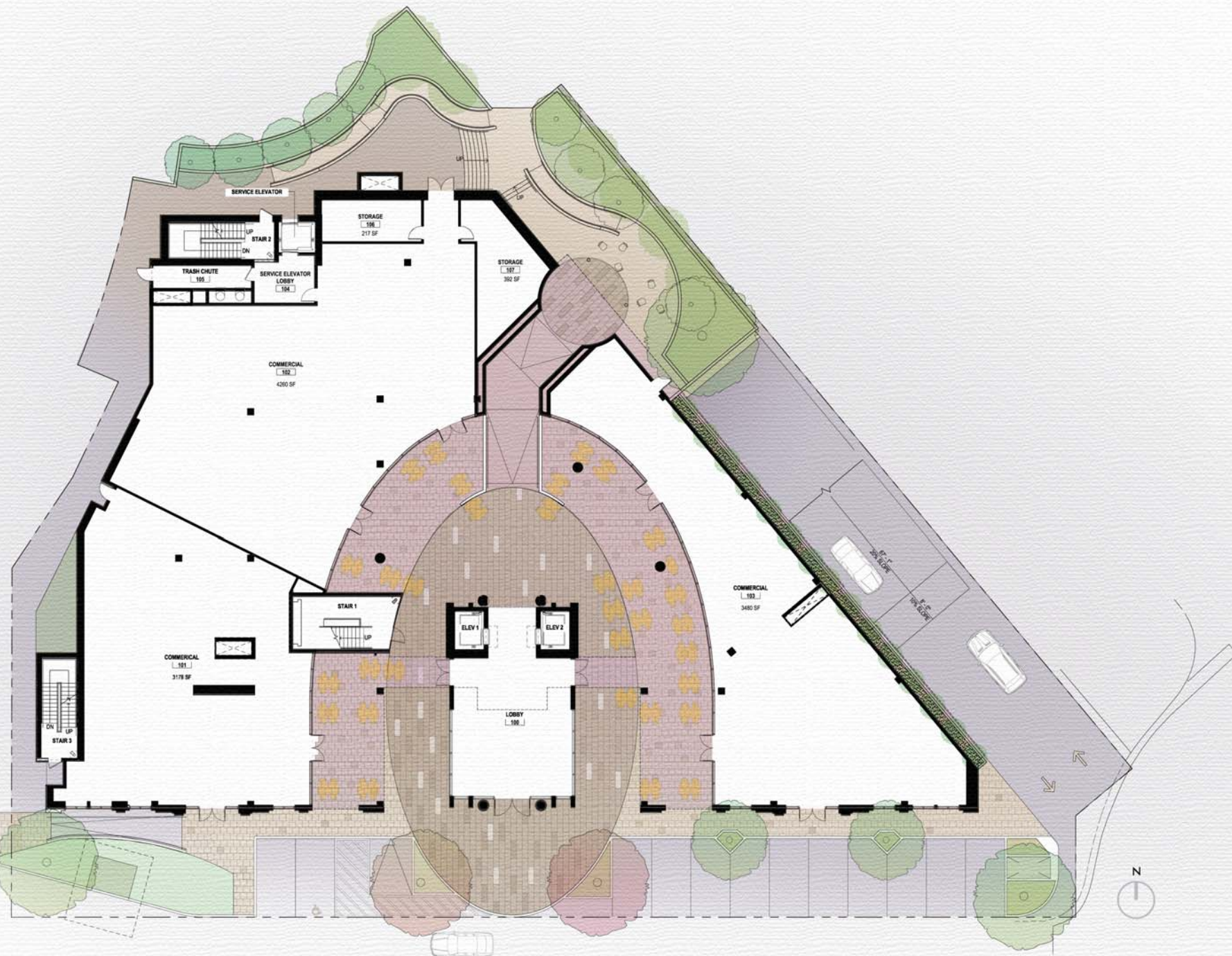




UNIVERSITY CAMPUS HOTEL

1277 UNIVERSITY AVENUE RIVERSIDE CA 92501

Exhibit 8 - Project Plans (Site Plans)

Site Plan
scale: 1/8" = 1'-0"

PRIME INVESTMENT INTERNATIONAL INC.
17700 CASTLETON ST. SUITE 409
CITY OF INDUSTRY, CA 91748

UNIVERSITY VILLAGE - PAD K



PRIME INVESTMENT INTERNATIONAL, INC
17700 CASTLETON STREET, SUITE 469
CITY OF INDUSTRY, CA 91748
ATTN: PAUL LIN
(626) 965-3311

RICK ENGINEERING COMPANY
1770 IOWA AVENUE, SUITE 100
RIVERSIDE, CA 92507
PHONE: (951) 782-0707
FAX: (951) 782-0723
ATT: KRISTIN WERKSMAN

250-240-037

PROPERTY BOUNDARY	
ADA PATH OF TRAVEL	
EASEMENT	
PLANTER AREA	
EXISTING SEWER LINE	
EXISTING WATER LINE	
EXISTING ELECTRIC	
PROPOSED AC PAVEMENT	
PROPOSED CONCRETE	
PROPOSED HANDRAIL	
PROPOSED LANDSCAPE	
PROPOSED BIORETENTION PLANTER	
PROPOSED DECORATIVE PAVERS	
PROPOSED TRUNCATED DOME	



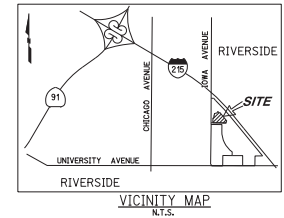
RICK
EAK ENGINEERING & COMPANY
1770 BOWMAN AVENUE • SUITE 100
REVERSH, CA 92507
951.782.2037
(FAX) 951.782.0723
rickengineering.com

PLOT DATE: 20-FEB-2018 JN 17034

Exhibit 8 - Project Plans (Site Plans)

PRELIMINARY GRADING EXHIBIT

IN THE CITY OF RIVERSIDE, CALIFORNIA
UNIVERSITY VILLAGE - PAD K



APPLICANT/OWNER/DEVELOPER

PRIME INVESTMENT INTERNATIONAL, INC.
17100 CASTLETON STREET, SUITE 469
CITY OF INDUSTRY, CA 91748
ATTN: PAUL LIN
(626) 965-3311

ENGINEER/CONTACT PERSON

RICK ENGINEERING COMPANY
1710 IOWA AVENUE, SUITE 100
RIVERSIDE, CA 92507
PHONE: (951) 782-0707
FAX: (951) 782-0723
ATTN: KRISTIN WEIRSMAN

ASSESSOR PARCEL NUMBER

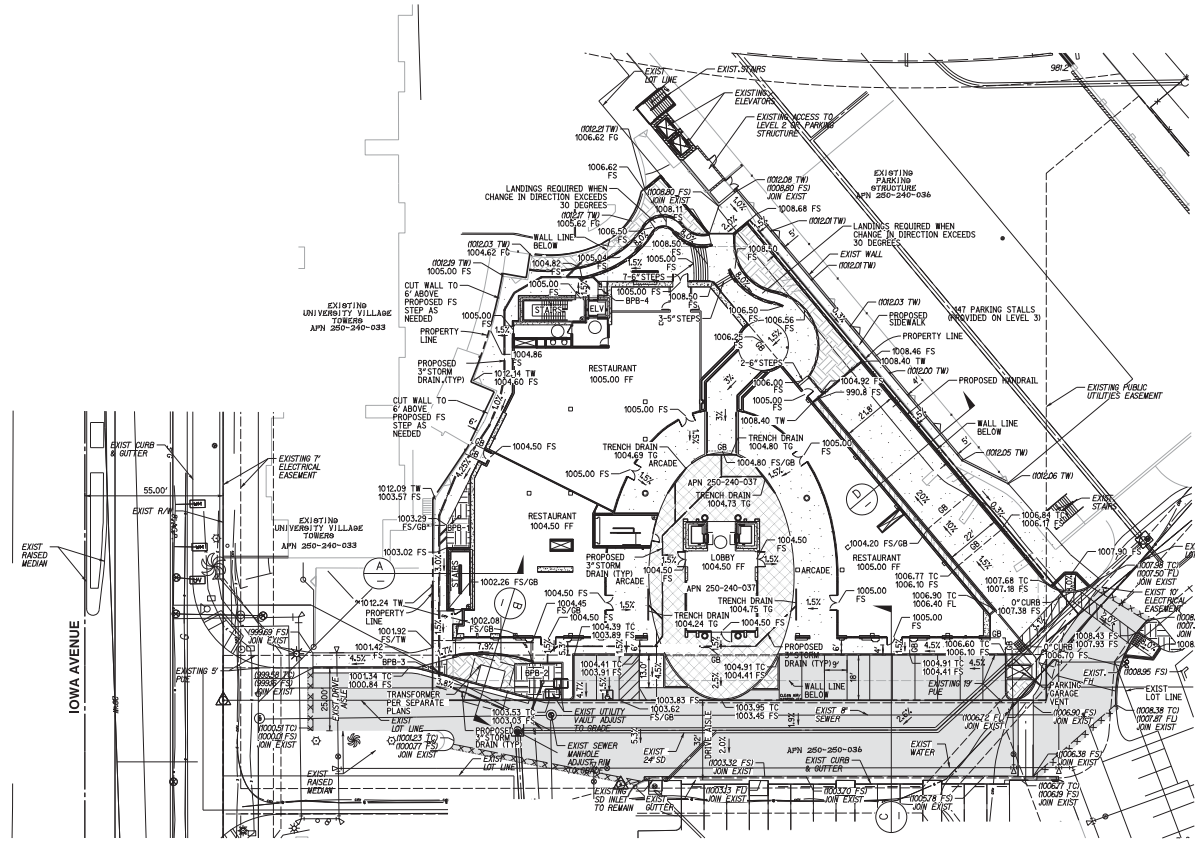
250-240-037

ABBREVIATIONS

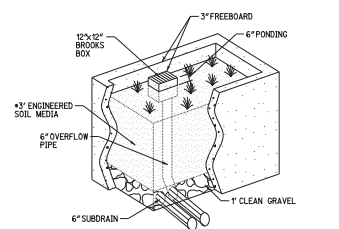
EXISTING	EXIST/EX
FINISHED FLOOR	FF
FINISHED GRADE	FG
FINISHED SURFACE	FS
FIRE HYDRANT	FH
FLOW LINE	FL
GRADE BREAK	GB
PUBLIC UTILITY EASEMENT	PUE
RIGHT OF WAY	R/W
STORM DRAIN	SD
TOP OF CURB	TC
TOP OF WALL	TW
PROPERTY LINE	PL
BIORETENTION PLANTER BOX	BPB
TOP OF GRADE	TG

LEGEND

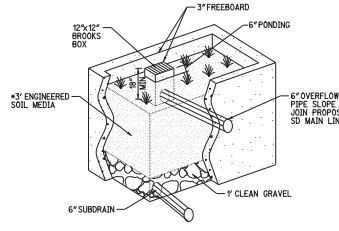
PROPERTY BOUNDARY	---
PROPOSED CURB	---
EXISTING WALL	---
EXISTING SEWER LINE	---
EXISTING WATER LINE	---
EXISTING ELECTRIC	---
EXISTING STORM DRAIN	---
EXISTING ELEVATIONS	000.00
SLOPE	2%
PROPOSED AC PAVEMENT	---
PROPOSED CONCRETE	---
PROPOSED WALL	---
PROPOSED HANDRAIL	---
PROPOSED LANDSCAPE	---
PROPOSED BIORETENTION PLANTER	---
PROPOSED DECORATIVE PAVERS	---
PROPOSED TRUNCATED DOWNS	---
PROPOSED STORM DRAIN	---



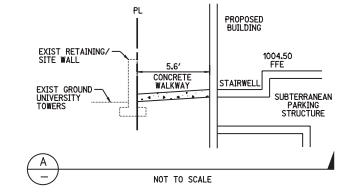
SOIL PROPERTIES	
PERCENT RANGE COMPONENT	
70-80	SAND
15-20	SILT
5-10	CLAY



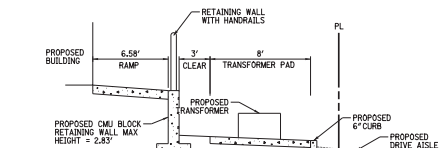
RAISED PLANTER BOX ISOMETRIC VIEW
NOT TO SCALE
BPB-1, BPB-2 & BPB-3



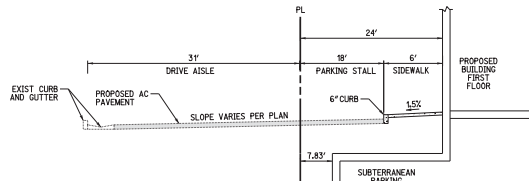
RECESSED PLANTER BOX ISOMETRIC VIEW
NOT TO SCALE
BPB-2, BPB-3, BPB-4



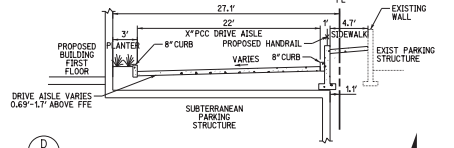
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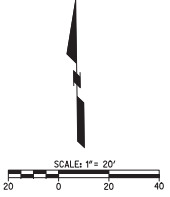
NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



DATE PREPARED: JANUARY 25, 2018
REVISED: FEBRUARY 21, 2018
PRELIMINARY GRADING
UNIVERSITY VILLAGE
PAD K
CITY OF RIVERSIDE
IN THE COUNTY OF RIVERSIDE, CALIFORNIA
SHEET C-3





UNIVERSITY CAMPUS HOTEL

1277 UNIVERSITY AVENUE RIVERSIDE CA 92501

PRIME INVESTMENT INTERNATIONAL INC.
17700 CASTLETON ST, SUITE 469
CITY OF INDUSTRY, CA 91748



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UNIVERSITY CAMPUS HOTEL
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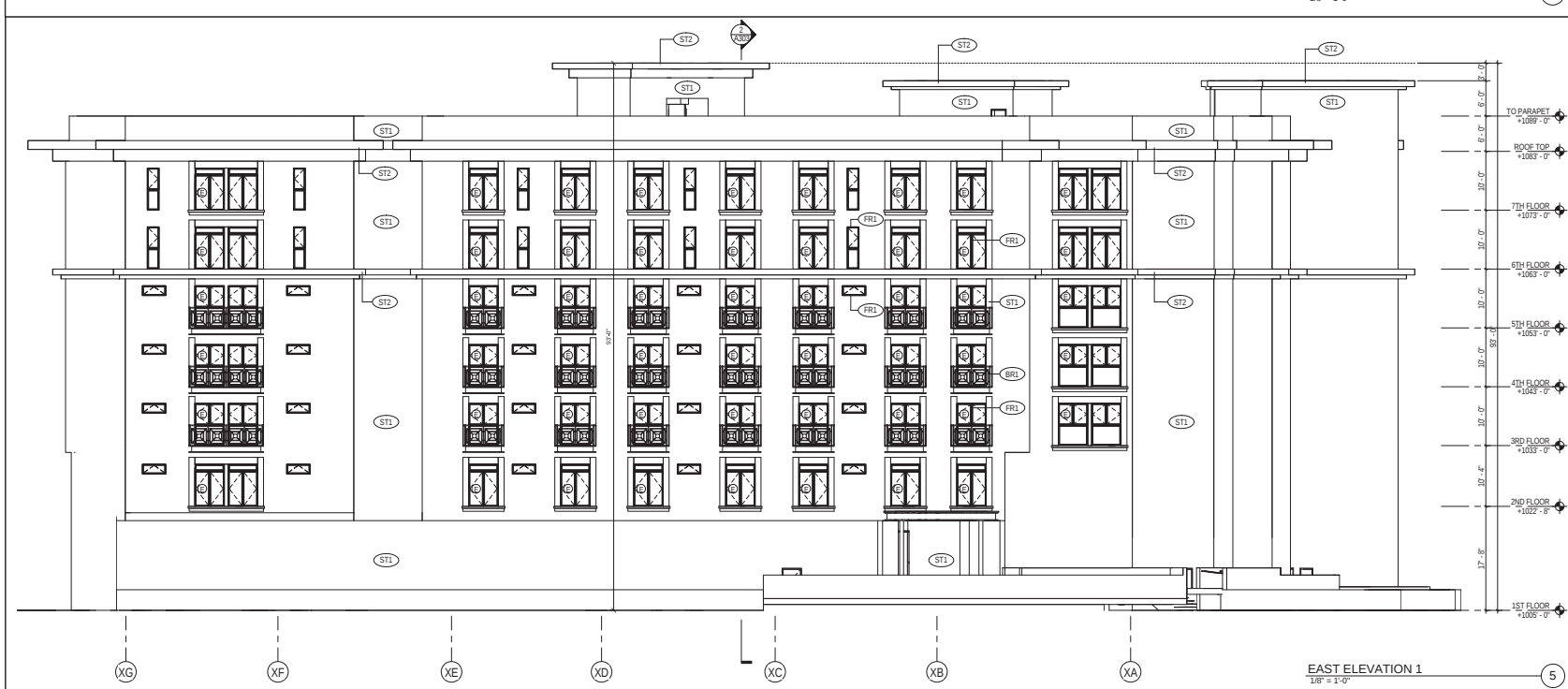
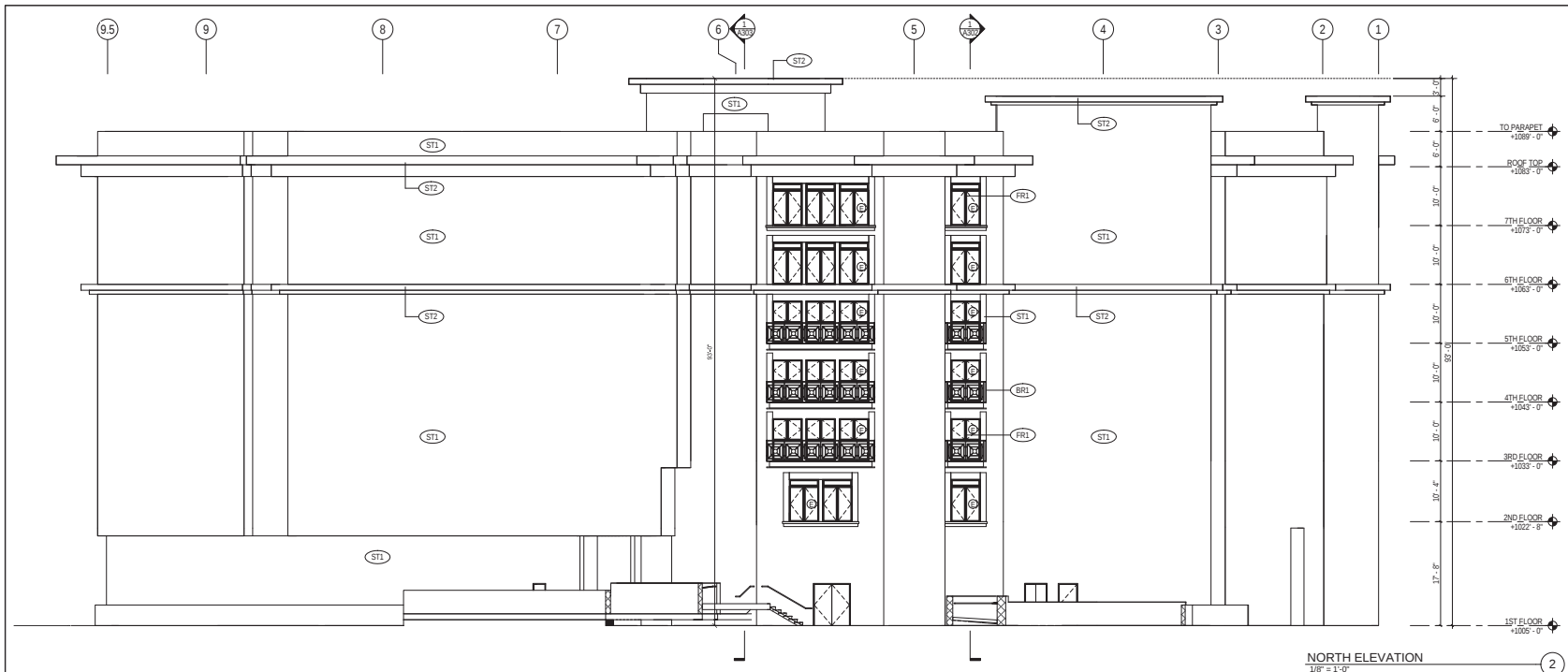
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Exhibit 8 - Project Plans (Building Elevations)



UNIVERSITY CAMPUS HOTEL
1277 UNIVERSITY AVENUE RIVERSIDE CA 92501

PRIME INVESTMENT INTERNATIONAL INC.
17700 CASTLETON ST, SUITE 469
CITY OF INDUSTRY, CA 91748



NOTES	
TO PARAPET +1089'-0" ROOF TOP +1083'-0" 7TH FLOOR +1073'-0" 6TH FLOOR +1063'-0" 5TH FLOOR +1053'-0" 4TH FLOOR +1043'-0" 3RD FLOOR +1033'-0" 2ND FLOOR +1022'-0" 1ST FLOOR +1005'-0"	
NORTH ELEVATION 1/8" = 1'-0"	
TO PARAPET +1089'-0" ROOF TOP +1083'-0" 7TH FLOOR +1073'-0" 6TH FLOOR +1063'-0" 5TH FLOOR +1053'-0" 4TH FLOOR +1043'-0" 3RD FLOOR +1033'-0" 2ND FLOOR +1022'-0" 1ST FLOOR +1005'-0"	
EAST ELEVATION 1 1/8" = 1'-0"	

PATRICK CHIU & ASSOCIATES

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626.272.7058

UNIVERSITY CAMPUS HOTEL

1277 UNIVERSITY AVENUE
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PRIME INVESTMENT INTERNATIONAL, INC.
1700 CASTLETON ST., SUITE 400
CITY OF INDUSTRY, CA 91748

PLANNING DESIGN REVIEW

16-012

21 FEB 2018

LEGEND

ST1 PLASTER FINISH, SMOOTH TROWEL

ST2 PLASTER FINISH, SMOOTH TROWEL, ACCENT COLOR

BRI METAL BALCONY RAILING

FRI VINYL FRAME

FR2 ALUMINUM FRAME

MP1 METAL PANEL

MP2 METAL FENCE

EW EGRESS WINDOW

A200

Exhibit 8 - Project Plans (Building Elevations)



NOTES	
1	XXX

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626.272.7058

UNIVERSITY CAMPUS HOTEL

1277 UNIVERSITY AVENUE
RIVERSIDE, CA 92501



SHEET NOTES	
A.	ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNO.
B.	ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
C.	OUTSIDE AIR WALL LOUVERS TO BE 10'-0" AWAY FROM ALL EXHAUSTS.
D.	EXHAUST LOUVERS TO BE 3'-0" FROM OUTSIDE AIR INLET.

LEGEND	
(ST1)	PLASTER FINISH, SMOOTH TROWEL
(ST2)	PLASTER FINISH, SMOOTH TROWEL, ACCENT COLOR
(BR1)	METAL BALCONY RAILING
(FR1)	VINYL FRAME
(FR2)	ALUMINUM FRAME
(MP1)	METAL PANEL
(MP2)	METAL FENCE
(E)	EGRESS WINDOW

PRIME INVESTMENT INTERNATIONAL, INC.
1700 GASTILUTION ST, SUITE 400
CITY OF INDIANAPOLIS, IN 46204

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PLANNING DESIGN REVIEW

16-012

21 FEB 2018

REVISIONS

ELEVATIONS

A201

Exhibit 8 - Project Plans (Building Elevations)



UNIVERSITY CAMPUS HOTEL

1277 UNIVERSITY AVENUE
RIVERSIDE, CA 92501

PATRICK CHIU & ASSOCIATES

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SAN GABRIEL, CA 91776
626.272.7058

NOTES

PRIME INVESTMENT INTERNATIONAL, INC.
17700 GASTILTON ST., SUITE 400
CITY OF INDUSTRY, CA 91748

PLANNING DESIGN REVIEW
16-012
21 FEB 2018
REVISED

SHEET NOTES

A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNO.

B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.

C. OUTSIDE AIR WALL LOUVERS TO BE 10'-0" AWAY FROM ALL EXHAUSTS.

D. EXHAUST LOUVERS TO BE 3'-0" FROM OUTSIDE AIR INLET.

LEGEND

(ST1) PLASTER FINISH, SMOOTH TROWEL

(ST2) PLASTER FINISH, SMOOTH TROWEL, ACCENT COLOR

(BRL) METAL BALCONY RAILING

(FRL) VINYL FRAME

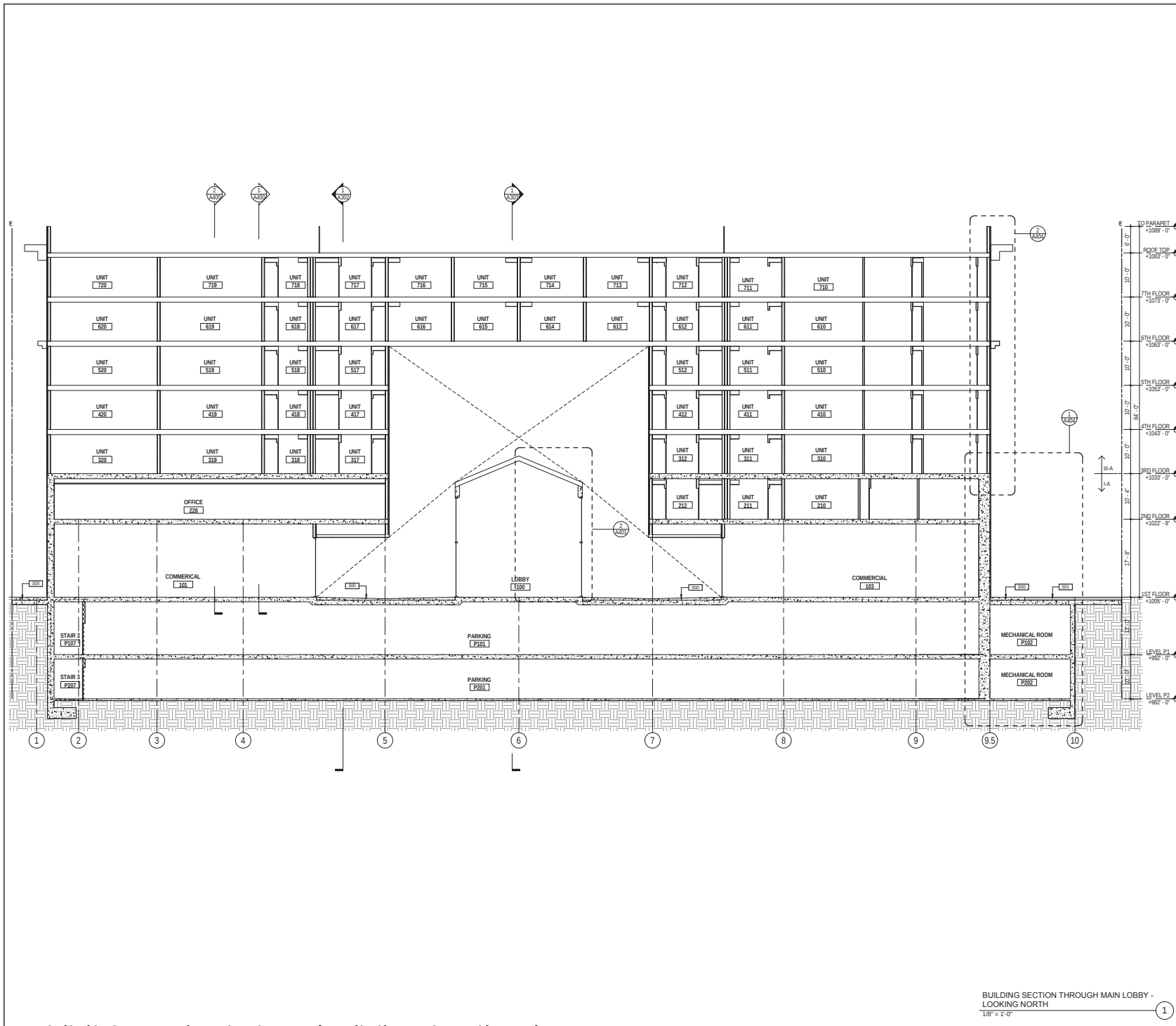
(FR2) ALUMINUM FRAME

(MP1) METAL PANEL

(MP2) METAL FENCE

(E) EGRESS WINDOW

Exhibit 8 - Project Plans (Building Elevation Details)



NOTES

- 300 CONCRETE TOPPING SLAB OVER W.P. MEMBRANE
- 301 ASPHALT PAVING

PATRICK CHIU & ASSOCIATES

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626.272.7058

UNIVERSITY CAMPUS HOTEL

1277 UNIVERSITY AVENUE
RIVERSIDE, CA 92501

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CITY OF INDUSTRY, CA 91748

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DATE: 16-012
21 FEB 2018

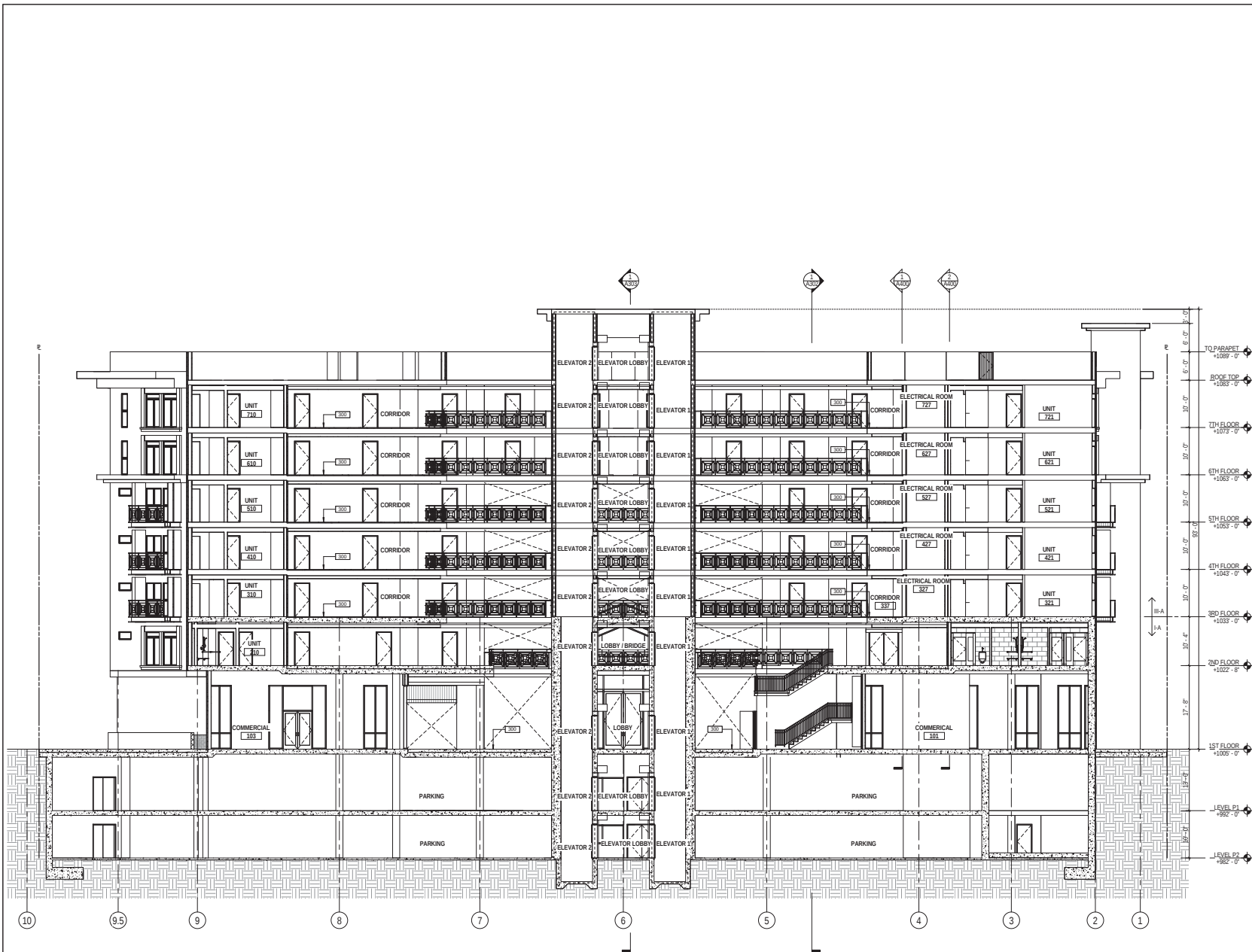
LEGEND

----- 2 HR WALL

BUILDING SECTION THROUGH MAIN LOBBY - LOOKING NORTH
1/8" = 1'-0"

A300

Exhibit 8 - Project Plans (Building Sections)



UNIVERSITY CAMPUS HOTEL

1277 UNIVERSITY AVENUE
RIVERSIDE, CA 92501

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INTERNATIONAL, INC.
17700 CASTLETON ST., SUITE 400
CITY OF INDUSTRY, CA 91748

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DATE: 21 FEB 2018
BY: 16-012
PROJECT: UNIVERSITY CAMPUS HOTEL

1/8" = 1'-0"

NOTES

300 CONCRETE TOPPING SLAB OVER W.P. MEMBRANE
302 PLANTER

LEGEND

----- 2 HR WALL

PLAN

W/E BUILDING SECTION THROUGH ELEVATOR - LOOKING SOUTH

SECTION

1

PATRICK CHIU & ASSOCIATES

300 W. CLARY STREET
SAN GABRIEL, CA 91776
626.272.7058

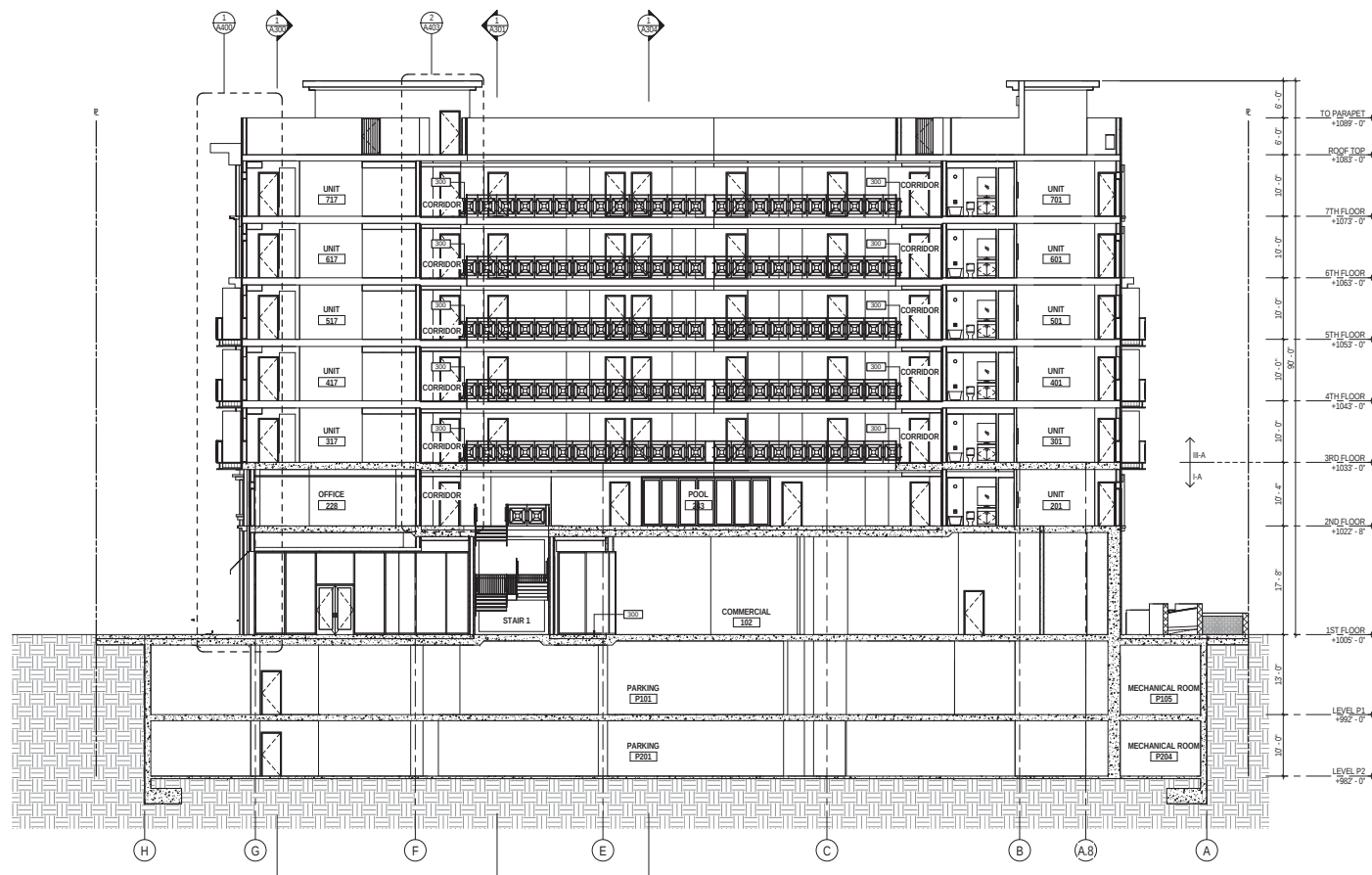
Exhibit 8 - Project Plans (Building Sections)

NOTES

- 300 CONCRETE TOPPING SLAB OVER
- W.P. MEMBRANE
- 302 PLANTER
- 303 RAMP

LEGEND

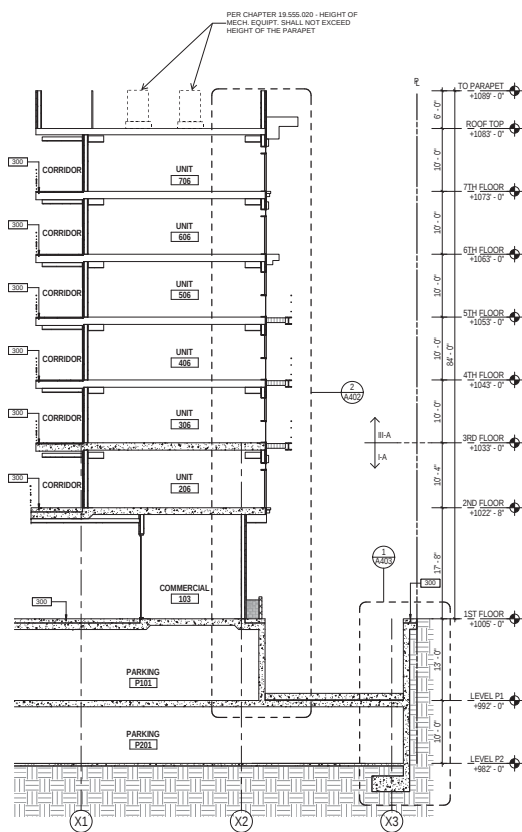
----- 2 HR WALL



N/S BUILDING SECTION - LOOKING WEST
1/8" = 1'-0"

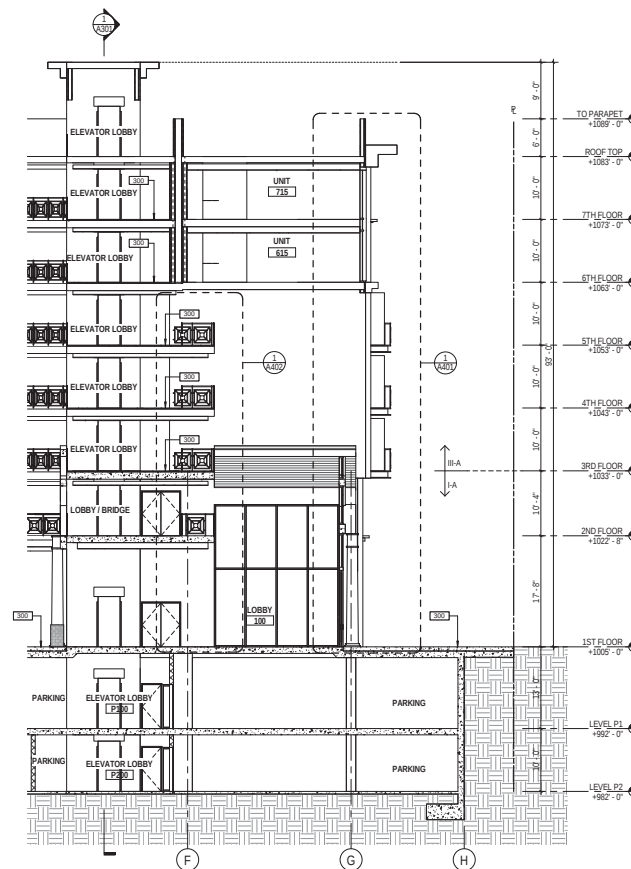
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Exhibit 8 - Project Plans (Building Sections)



PARTIAL BUILDING SECTION THROUGH
PARKING RAMP - LOOKING NORTH
1/8" = 1'-0"

2



PARTIAL BUILDING SECTION THROUGH
MAIN LOBBY - LOOKING EAST
1/8" = 1'-0"

1

NOTES

- 300 CONCRETE TOPPING SLAB OVER
- W.P. MEMBRANE
- 302 PLANTER

LEGEND

----- 2 HR WALL

**PATRICK CHIU
& ASSOCIATES**

300 W. CLARY STREET
SAN GABRIEL, CA 91776
626.272.7058

UNIVERSITY CAMPUS HOTEL

1277 UNIVERSITY AVENUE
RIVERSIDE, CA 92501

PRIME INVESTMENT
INTERNATIONAL, INC.
17700 CASTLETON ST., SUITE 400
CITY OF INDUSTRY, CA 91748

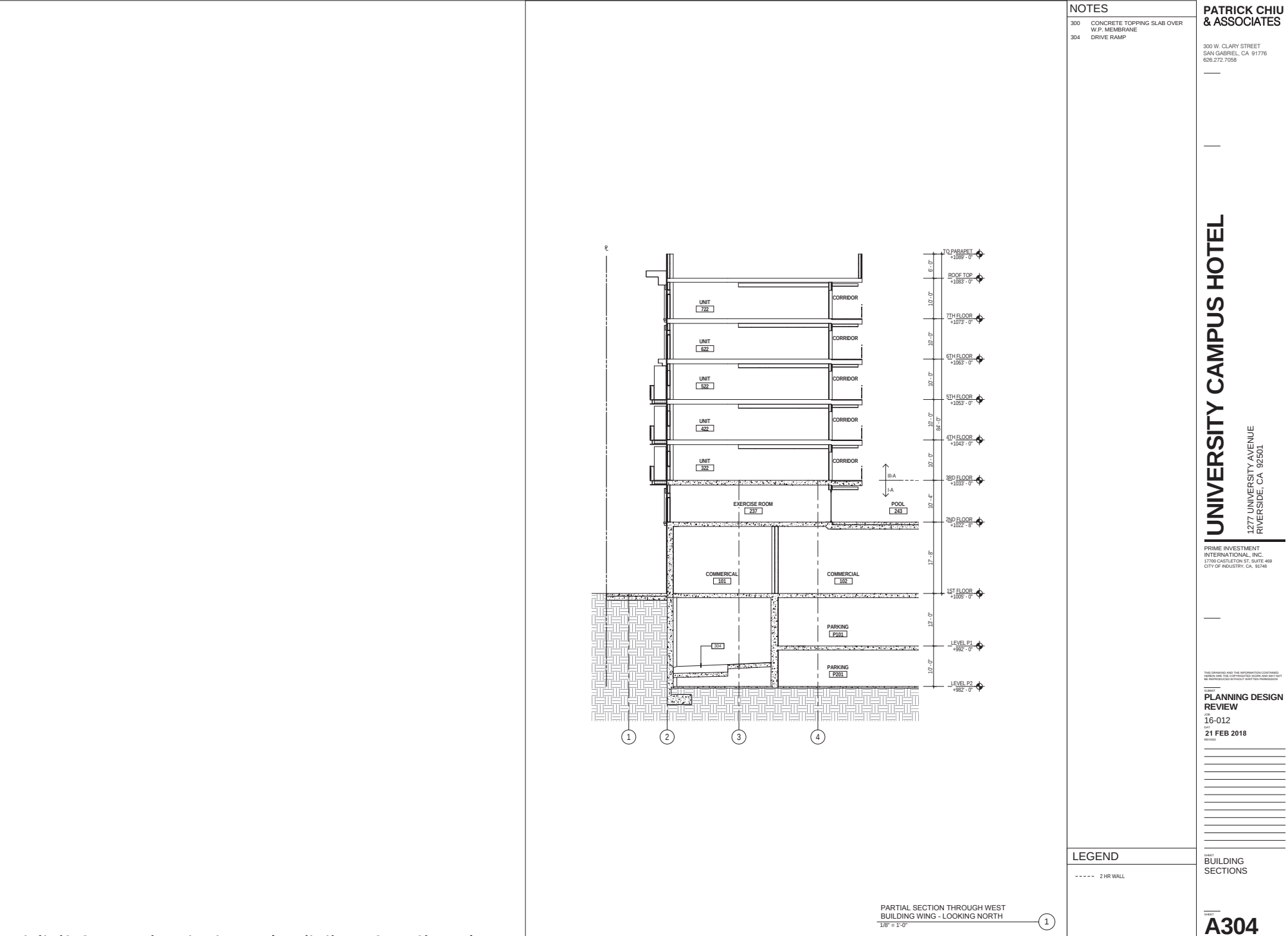
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DATE: 16-012
21 FEB 2018
REVISED:

DATE: 16-012
21 FEB 2018
REVISED:

A303

Exhibit 8 - Project Plans (Building Sections)



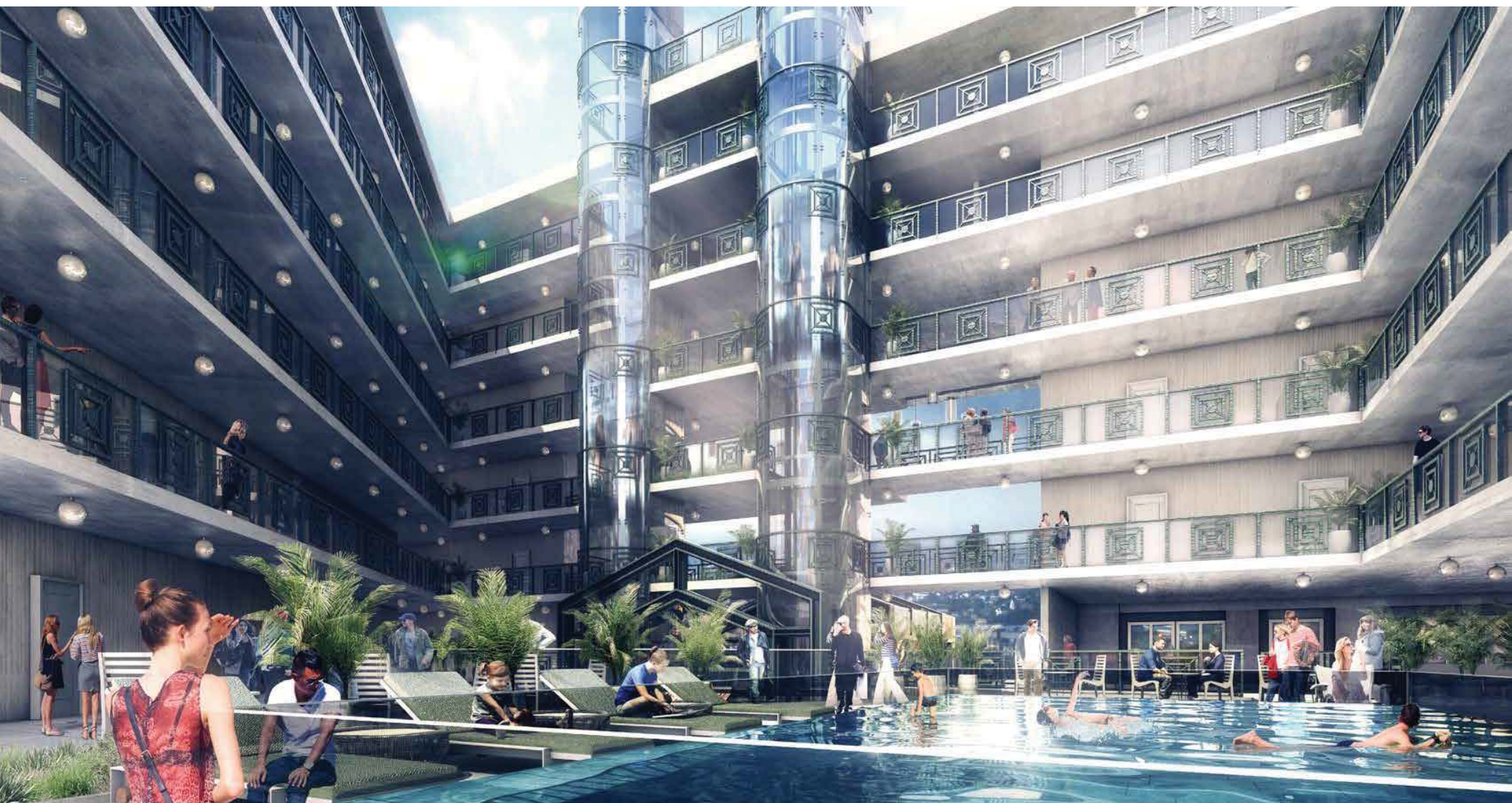


UNIVERSITY CAMPUS HOTEL

SURROUNDING INFLUENCE STUDY

EXTERIOR PERSPECTIVE

Exhibit 8 - Project Plans (Renderings)

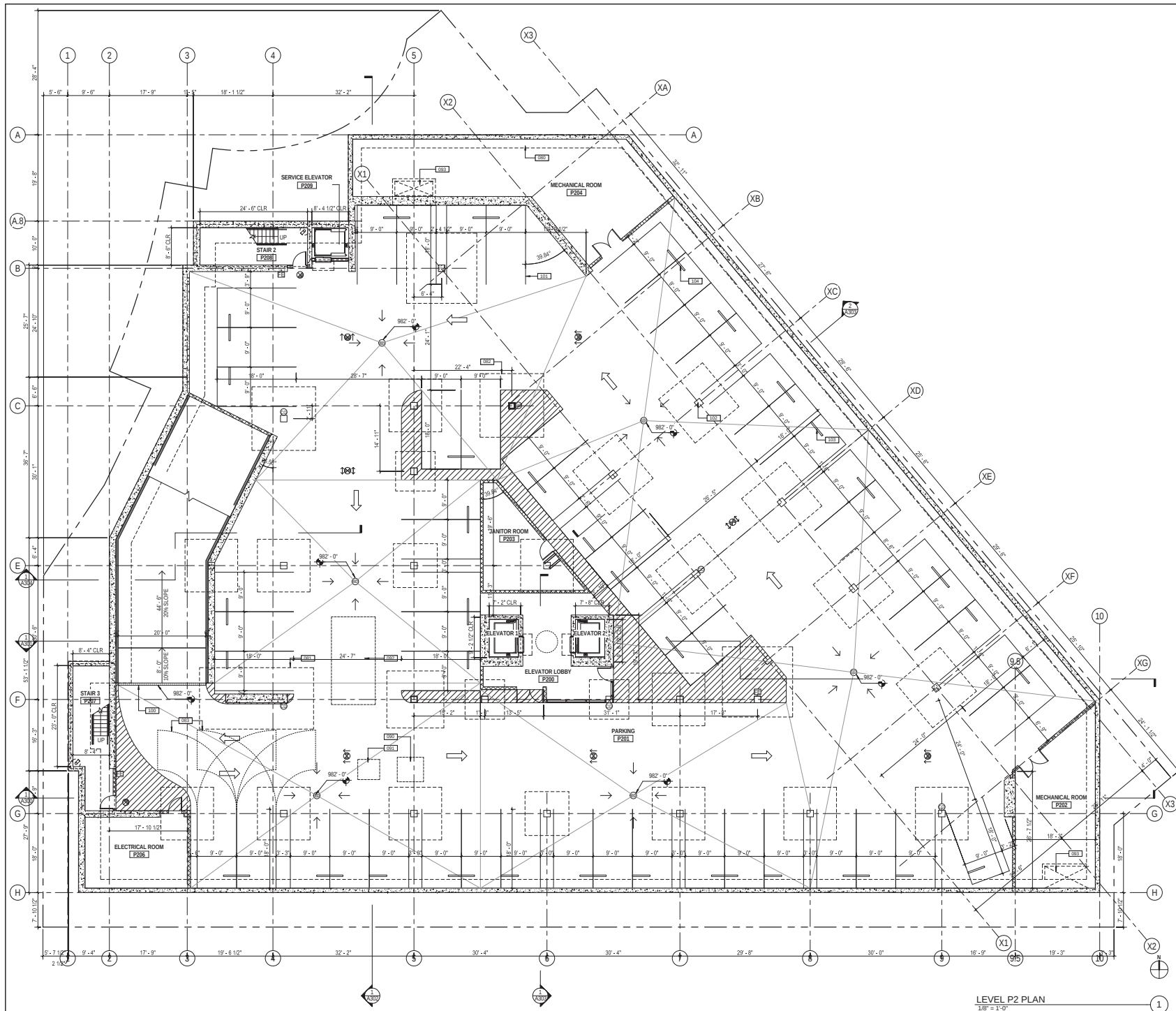


UNIVERSITY CAMPUS HOTEL

SURROUNDING INFLUENCE STUDY

INTERIOR PERSPECTIVE

Exhibit 8 - Project Plans (Renderings)



NOTES	
080	PERIMETER FOOTING, PER STRUCTURAL
081	SHEAR WALL FOOTING, PER STRUCTURAL
082	COLUMN FOOTING, PER STRUCTURAL
083	BACKING OUT TURNING MOVEMENTS FOR VEHICLE
090	SEWAGE EJECTOR PER PLUMBING DWGS
091	SUMP PUMP PER PLUMBING DWGS
092	GREASE INTERCEPTOR PER PLUMBING DWGS
093	LINE OF OPENING ABOVE TO 2HR SHAFT
100	TRENCH DRAIN
101	PARKING SPACE STRIPPING, TYP.
102	COLUMN WITH STEEL CORNER GUARD, TYP.
103	4'-0" LONG CONCRETE WHEEL STOP, TYP.
104	6'-0" LONG CONCRETE WHEEL STOP, TYP.

**PATRICK CHIU
& ASSOCIATES**

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626.272.7058

UNIVERSITY CAMPUS HOTEL

1277 UNIVERSITY AVENUE
RIVERSIDE, CA 92501

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOM UNO.
- B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- C. SEE SHEETS A990-A993 FOR TYPICAL ACCESSIBILITY REQUIREMENTS.
- D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL, FLOOR & CEILING ASSEMBLIES.
- E. PROVIDE PIPE GUARDS AT ALL EXPOSED PIPES.

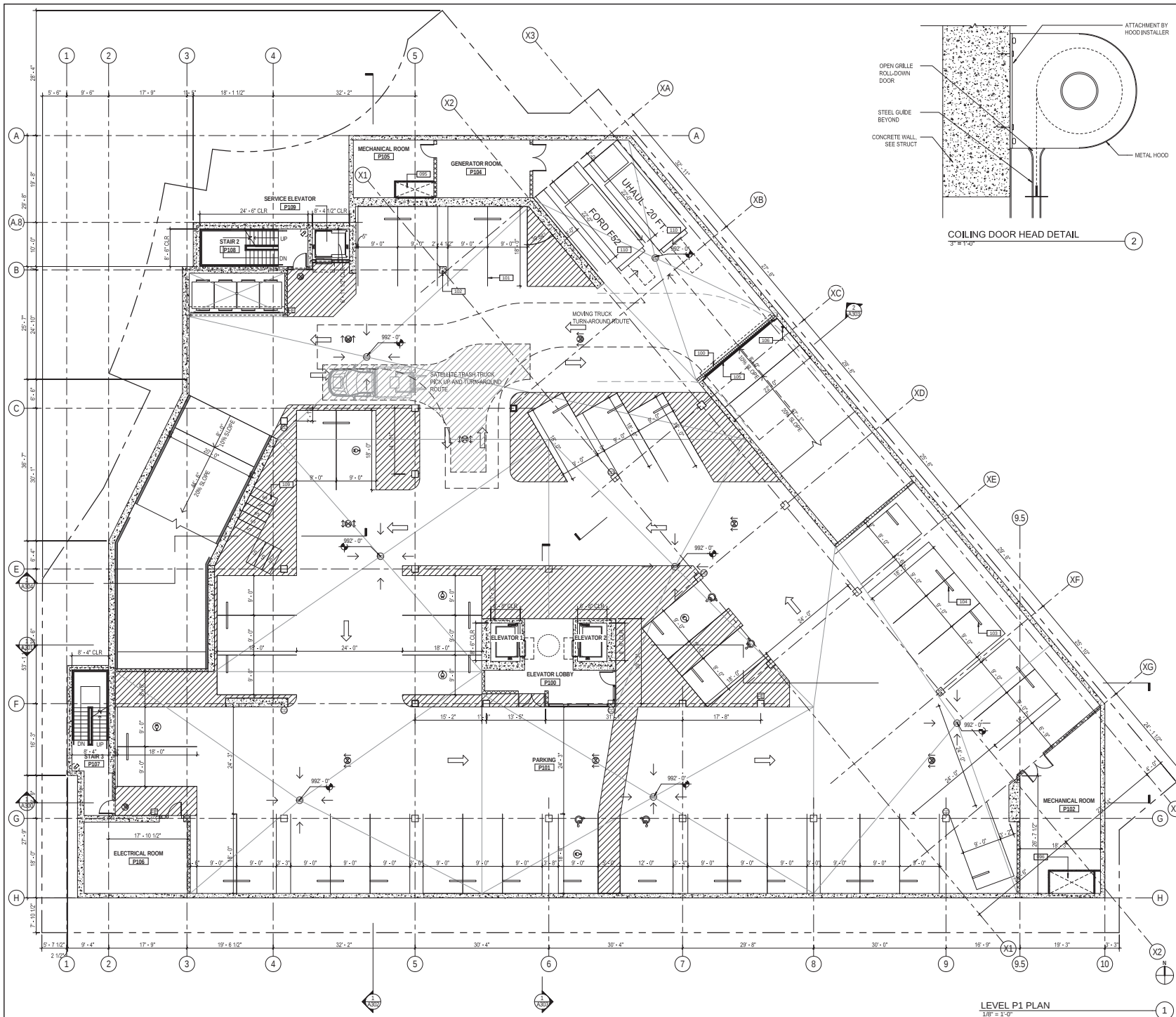
3)

**PRIME INVESTMENT
INTERNATIONAL, INC.**
17700 CASTLETON ST., SUITE 469
CITY OF INDUSTRY, CA, 91748

**PLANNING DESIGN
REVIEW**
JOB
16-012
DATE
21 FEB 2018
REVISED

SHEET
LEVEL P2 PLAN

A100



NOTES	
095	EXHAUST SHAFT
096	INTAKE SHAFT
100	TRENCH DRAIN
101	PARKING SPACE STRIPPING, TYP.
102	COLUMN WITH STEEL CONER GUARD, TYP.
103	4'-0" LONG CONCRETE WHEEL STOP, TYP.
104	6'-0" LONG CONCRETE WHEEL STOP, TYP.
105	GARAGE ACCESS GATE - OPEN GRILLE ROLL-DOWN DOOR, SEE DETAIL 2
106	FIRE KNOX BOX
109	BIKE PARKING
110	LOADING/UNLOADING ZONE

SHEET NOTES	
A.	ALL DIMENSIONS ARE TO FOM UNO.
B.	ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
C.	SEE SHEETS A800-A890 FOR TYPICAL ACCESSIBILITY REQUIREMENTS.
D.	ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL, FLOOR & CEILING ASSEMBLIES.
E.	PROVIDE PIPE GUARDS AT ALL EXPOSED PIPES.

LEGEND	
	CONCRETE BLOCK WALL
	CONCRETE COLUMN
	SEE SHEET A800 FOR WALL TYPES
	EMERGENCY DRAIN, SLOPE TO DRAIN
	CO2 SENSOR
	STANDPIPE
	FIRE EXTINGUISHER
	2 HOUR ASSEMBLY
	EXIT SIGN
	GROUNDING AC OUTLET FOR FUTURE ELECTRICAL VEHICLE CHARGING STATION (208/240 V, 40 AMP)

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 626.272.7058

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 1277 UNIVERSITY AVENUE
 RIVERSIDE, CA 92501

PRIME INVESTMENT INTERNATIONAL, INC.
 17700 GASTILTON ST., SUITE 400
 CITY OF INDUSTRY, CA 91748

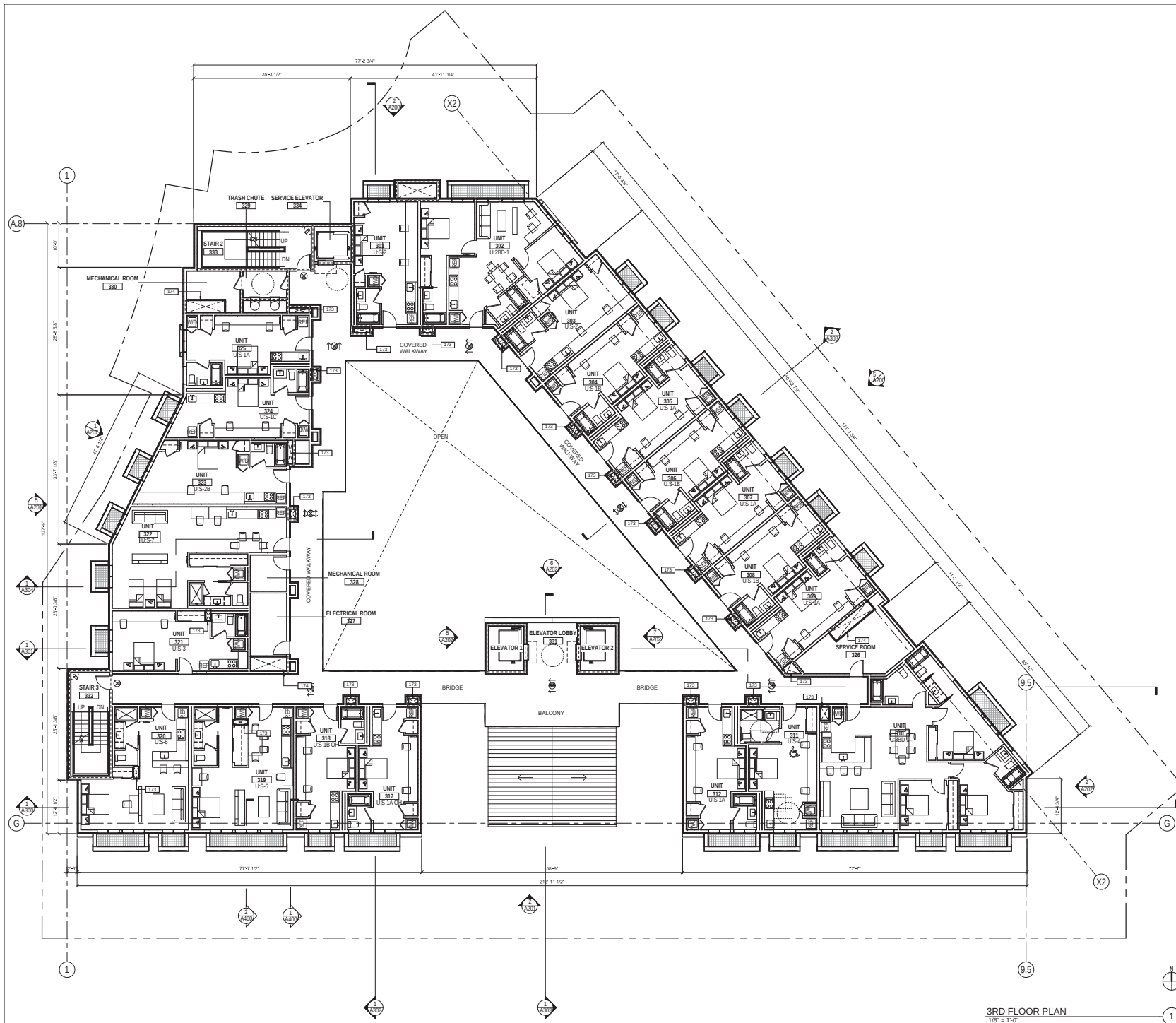
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PLANNING DESIGN REVIEW
 16-012
 21 FEB 2018
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LEVEL P1 PLAN

A101
PROJECT NO. 16-012

Exhibit 8 - Project Plans (Floor Plans)



NOTES

173 UNIT SHAFT
174 COMMERCIAL GREASE EXHAUST
SHAFT

ROOM COUNT / AREA

ROOM	TYPE	AREA	QUANTITY
STUDIO	5-1A	399 SF	6
STUDIO	5-1B	399 SF	4
STUDIO	5-1C	379 SF	1
STUDIO	5-2	383 SF	2
STUDIO	5-2B	438 SF	1
STUDIO	5-3	401 SF	1
STUDIO	5-4	398 SF	1
STUDIO	5-5	417 SF	1
STUDIO	5-6	538 SF	1
STUDIO	5-7	750 SF	1
2 BED	2B2D+1	805 SF	1
3 BED	3B2D+1	1,353 SF	1
TOTAL			21

SHEET NOTES

A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNO.

B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.

C. SEE SHTS 04-04-02 FOR TYP ACCESSIBILITY REQUIREMENTS.

D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL AND CEILING ASSEMBLIES.

E. DWELLING UNITS SHALL BE SEPARATED WITH 1-HOUR FIRE-RESISTIVE CONSTRUCTION AT WALLS AND FLOORS.

F. SEE SHT ABXX FOR SOUND TRANSMISSION CONTROL DETAILS.

G. SEE SHT ABXX FOR TYP FIRESTOPPING DETAILS.

H. PROVIDE ROOM & UNIT IDENTIFICATION SIGNAGE.

I. PROVIDE LEVEL LANDINGS @ EXT DOORS AND GATES.

LEGEND

3-HR FIRE WALL

2-HR RATED WALL

WOOD POST PER STRUCT DWGS

SEE SHT ABXX FOR WALL TYPES

WATER CURTAIN

DOWNSPOUT

SOFFIT ABOVE @ 7'-0" AFF

DECK DRAIN, SLOPE TO DRAIN AT 1/4" PER FT MIN

PLANTER DRAIN, SLOPE TO DRAIN AT 1/4" PER FT MIN

ELECTRICAL PANEL

PATRICK CHIU & ASSOCIATES

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626.272.7058

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RIVERSIDE, CA 92501

PRIME INVESTMENT INTERNATIONAL, INC.

17700 GARDEN ST., SUITE 400
CITY OF INDUSTRY, CA 91748

PLANNING DESIGN REVIEW

16-012
21 FEB 2018
(10/20)

THIRD FLOOR PLAN

A130

Exhibit 8 - Project Plans (Floor Plans)