

planet

fitness

RIVERSIDE

3380 TYLER STREET

RIVERSIDE, CA 92503

VICINITY PLAN

PLANET FITNESS

PROJECT CODE ANALYSIS

APPLICABLE BUILDING CODES:

1. BUILDING: 2022 CALIFORNIA BUILDING CODE

2. ACCESSIBILITY: 2022 CALIFORNIA BUILDING CODE CHAPTER 11B

3. FIRE PREVENTION: 2022 CALIFORNIA FIRE CODE

4. MECHANICAL: 2022 CALIFORNIA MECHANICAL CODE

5. ELECTRICAL: 2022 CALIFORNIA ELECTRICAL CODE

6. PLUMBING: 2022 CALIFORNIA PLUMBING CODE

7. ENERGY: 2022 CALIFORNIA ENERGY CODE

8. GREEN CODE: 2022 CALIFORNIA GREEN BUILDING STANDARD CODE (CAL GREEN)

BUILDING DATA:

1. OCCUPANCY: GYMNASIUM WITHOUT SPECTATOR SEATING / FITNESS CENTER

2. USE GROUP: A-3 ASSEMBLY

3. CONSTRUCTION TYPE: TYPE IIB

4. BUILDING TYPE: OPEN MALL

5. SPRINKLERED: YES

6. FIRE ALARM: YES

7. GROSS FLOOR AREA: 20,004

FIRE RESISTANCE RATING REQUIREMENTS OF BUILDING ELEMENTS (CBC TABLE 601):

1. STRUCTURAL FRAME..... 0 HR

2. EXTERIOR BEARING WALLS AND PARTITIONS..... 0 HR

3. INTERIOR BEARING WALLS AND PARTITIONS..... 0 HR

4. EXTERIOR NON-BEARING WALLS AND PARTITIONS..... 0 (PER CBC TABLE 602)

5. INTERIOR NON-BEARING WALLS AND PARTITIONS..... 0 HR

6. FLOOR CONSTRUCTION..... 0 HR

7. ROOF CONSTRUCTION..... 0 HR

MINIMUM FIRE RESISTANCE RATING OF WALLS SEPARATING TENANT SPACES:
1-HOUR (SECTION CBC AND CFC)

OCCUPANT LOAD: 293 PERSONS
(REFER TO AREA CALCULATIONS ON SHEET T-101 FOR ADDITIONAL INFORMATION).

EGRESS CALCULATIONS:
(SEE SHEET T-101)

PROJECT DATA

APN: 138-110-022

ADDRESS: 338 TYLER ST., RIVERSIDE, CA 92503

SPECIFIC PLAN: NOT IN A SPECIFIC PLAN

LAND USE DESIGNATIONS: CITY

GENERAL PLAN POLICY OVERLAYS: N/A

AREA PLAN (RCIP): CITIES OF RIVERSIDE AND NORCO

GENERAL PLAN POLICY AREAS: NOT IN A GENERAL PLAN POLICY AREA

ZONING CLASSIFICATIONS (ORD. 348): MIXED USE - VILLAGE

ZONING OVERLAYS: N/A

EXISTING LAND USE: COMMERCIAL RETAIL / RETAIL STORE

LOT SIZE: 2.82 ACRES

AREA OF DISTURBANCE: 25,663 S.F. / 0.59 ACRES

HOURS OF OPERATION: 24/7

NUMBER OF EMPLOYEES: 14

PROJECT DATA

1. SIGNAGE UNDER SEPARATE REVIEW AND PERMIT. SIGNS SHOWN ON THIS DRAWING SET ARE SHOWN FOR GENERAL SIZE, TYPE, AND LOCATION ONLY. SIGN SHOP DRAWINGS TO BE SUBMITTED BY TENANT SIGN VENDOR TO LANDLORD REPRESENTATIVE FOR REVIEW PRIOR TO FABRICATION AND INSTALLATION. G.C. TO COORDINATE ALL REQUIRED APPROVALS AND PERMITTING (AS REQUIRED), INCLUDING FOR INSTALLATION AND WIRING.

2. G.C. TO COORDINATE SUB-TRADE WORK PERMITS (INCLUDING FILING OF SUB-TRADE SHOP DRAWINGS) AS REQUIRED BY LOCAL AUTHORITIES, INCLUDING BUT NOT LIMITED TO SPRINKLER, FIRE ALARM, ELECTRICAL, LOW VOLTAGE / DATA, MECHANICAL, PLUMBING AND STOCK SHELVING PERMITS AND DRAWINGS.

3. G.C. TO COORDINATE ALL SPECIAL INSPECTIONS INCLUDING BUT NOT LIMITED TO STRUCTURAL, SPRINKLER AND LIFE SAFETY SYSTEMS.

SCOPE OF WORK

INTERIOR ALTERATION CONSISTING OF NEW INTERIOR PARTITIONS, FINISHES AND FIXTURES, NEW ELECTRICAL AND LIGHTING SYSTEMS, NEW AND EXISTING MECHANICAL SYSTEMS AND CONTROLS, NEW TOILET PLUMBING AND FIXTURES, CHANGE IN USE.

BUILDING DEPARTMENT NOTES

1. THIS WORK IS FILED TO SHOW TENANT LAYOUT ONLY.

2. CHANGE IN USE, NO CHANGE IN OCCUPANCY.

3. ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2022 CALIFORNIA BUILDING CODE AND ALL OTHER APPLICABLE LAWS.

4. THE ENTIRE SPACE IS PROVIDED WITH AN EXISTING SPRINKLER SYSTEM AND FIRE ALARM SYSTEM. SPRINKLER AND FIRE ALARM MODIFICATIONS TO BE FILED UNDER SEPARATE APPLICATIONS.

5. DOORS:
(A) ALL NEW DOORS SHALL BE INCOMBUSTIBLE AND A MINIMUM OF 3'-0" WIDE UNLESS OTHERWISE NOTED.
(B) ALL NEW DOOR HARDWARE IS TO BE ADA ACCESSIBLE.

6. GENERAL CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLAN AT THE JOB SITE BEFORE COMMENCING ANY WORK.

7. NO WORK AT SITE TO COMMENCE UNTIL PLAN HAS BEEN APPROVED AND PERMIT ISSUED BY THE DEPARTMENT OF BUILDINGS.

8. ALL SIGNS WILL BE FILED UNDER SEPARATE PERMIT.

DEFERRED SUBMITTALS

SIGNAGE

PROJECT DIRECTORY

TENANT

TAYMAX GROUP ACQUISITION, LLC
A PLANET FITNESS FRANCHISE
27 NORTHWESTERN DRIVE, SUITE 2
SALEM, NH 03079

CONTACT:
POSITION: MORGAN MCSWEENEY
PHONE: DIRECTOR OF CONSTRUCTION
603-537-4861
EMAIL: mmcsweeney@taymaxgroup.com

CONTACT:
POSITION: RANDY ADAM
PHONE: SENIOR PROJECT MANAGER
210-425-5708
EMAIL: radam@taymaxgroup.com

ARCHITECT

SARGENTI ARCHITECTS
461 FROM ROAD - SECOND FLOOR
PARAMUS, NJ 07652

CONTACT:
POSITION: ANDREA GOMES
PHONE: SENIOR PROJECT MANAGER
201-280-5462
EMAIL: agomes@sargentiarch.com

LANDLORD

KELLOW TYLER BOULEVARD ASSOCIATES, LLC
C/O TRANSTAR PROPERTY MANAGEMENT
2101 E. COAST HIGHWAY, STE 110
CORONA DEL MAR, CA 92625

BUILDING DEPARTMENT

CITY OF RIVERSIDE
3900 MAIN STREET
RIVERSIDE, CA 92522

PR-2023-001528 (CUP, DR) Exhibit 7 - Project Plans

PLANET FITNESS

GENERAL NOTES

1. CONTRACTOR(S) SHALL VERIFY ALL SITE DIMENSIONS ON ALL SITE CONDITIONS, EXISTING CONSTRUCTION GRADES AND UTILITIES ON PROJECT AND CONTRACT DOCUMENTS AT PROJECT SITE PRIOR TO COMMENCING CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND OWNER FOR CLARIFICATION BEFORE STARTING THE WORK.

2. CONTRACTOR AND SUBCONTRACTOR(S) ARE TO VERIFY ALL EXISTING AND NEW CONDITIONS ON THE JOB SITE PRIOR TO ORDERING, PURCHASING OR INSTALLING NEW FIXTURES, EQUIPMENT OR MATERIALS.

3. CONTRACTOR(S) SHALL CONTACT LOCAL UTILITY COMPANIES FOR ANY INFORMATION ON UNDERGROUND OR HIDDEN UTILITIES PRIOR TO COMMENCING WITH ANY WORK. THE CONTRACTOR(S) SHALL BEAR ANY AND ALL EXPENSES FOR, AND SHALL RESTORE TO EXISTING CONDITIONS ANY DAMAGE TO EXISTING UNDERGROUND OR HIDDEN UTILITIES, PIPING CONDUITS, EQUIPMENT, ETC.

4. ERRORS OR OMISSIONS IN ANY SCHEDULE OR ON ANY DRAWINGS DO NOT RELIEVE THE CONTRACTOR(S) FROM EXECUTING THE WORK INTENDED ON THE DRAWINGS OR DESCRIBED IN THE SPECIFICATION.

5. THE CONTRACTOR AND SUBCONTRACTOR(S) SHALL WALK THE SITE INSIDE AND OUT TO PERFORM A SCOPE OF WORK INSPECTION, ANY AND ALL ADDITIONS OR CLARIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO SUBMITTING A BID, NO CHANGE ORDERS WILL BE PAID ON THE BASE BID.

6. THE CONTRACTOR(S) SHALL VERIFY THE SITE LOCATION, OPENINGS, AND REQUIREMENTS OF ALL WORK AND EQUIPMENT TO BE FURNISHED BY THE OWNER OR OTHERS, WITH THE MANUFACTURER OF SUPPLIER BEFORE STARTING ANY RELATED WORK TO SAID EQUIPMENT.

7. NOTES ON DRAWINGS SHALL TAKE PRECEDENCE TO GENERAL NOTES, LARGE SCALE DETAILS AND SMALL SCALE DETAILS, DO NOT SCALE DRAWINGS. IN CASE OF ANY DISCREPANCY CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO STARTING ANY WORK.

8. ALL LISTED MANUFACTURERS WILL BE HELD TO A STANDARD OF QUALITY. SUBSTITUTIONS WILL BE ACCEPTED. SUBSTITUTIONS MUST BE SUBMITTED FOR APPROVAL TO THE ARCHITECT AND THE OWNER PRIOR TO INSTALLATION. CONTRACTOR SHALL PAY ALL COSTS IN ANCILLARY TO A SUBSTITUTION WHERE GRANTED. THIS INCLUDES COSTS INCURRED BY ANY CONTRACTOR OR SUBCONTRACTOR OR THE OWNER, THE ARCHITECT, THE ENGINEERS, OR ANY OTHER PARTY. THIS INCLUDES COSTS RESULTING FROM DIFFERENCES OF DETAILS, CONFIGURATION, AND DIMENSION BETWEEN THE SPECIFIED AND SUBSTITUTED EQUIPMENT. THIS INCLUDES COSTS TO PROVIDE FEATURES OF THE SPECIFIED EQUIPMENT WHICH MAY BE MANUFACTURER'S OPTIONS OF THE SUBSTITUTED EQUIPMENT.

9. THE DRAWINGS AND/OR INTENT OF WORK TO BE PROVIDED, OF ALL TRADES AND SUBCONTRACTORS ARE TO BE CONSIDERED PART OF THE CONTRACT DOCUMENTS. PRIOR TO COMMENCING WITH ANY WORK EACH INDIVIDUAL CONTRACTOR AND SUB-CONTRACTOR SHALL REVIEW THE DRAWINGS OF ALL OTHER CONTRACTORS AND SUBCONTRACTORS (ALL TRADES) AND COORDINATE THEIR WORK WITHIN. SHOULD THERE BE ANY CONFLICT BETWEEN TRADES, CONTRACTORS OR SUBCONTRACTORS, IT SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER IMMEDIATELY, PRIOR TO COMMENCING WITH ANY WORK.

10. ALL MATERIALS, FINISH AND COLOR SELECTIONS SHALL BE APPROVED BY THE OWNER PRIOR TO ANY INSTALLATION. CONTRACTOR(S) SHALL SUBMIT ALL SHOP DRAWINGS, PRODUCT LITERATURE, COLOR AND/OR MATERIAL SAMPLES TO THE ARCHITECT FOR APPROVAL. IN NO CASE SHALL A REPRODUCTION OF THE CONTRACT DOCUMENTS BE USED AS A SHOP DRAWING. ALL SHOP DRAWINGS AND PRODUCT SPECIFICATIONS SUBMITTED MUST BEAR CONTRACTOR'S STAMP OF APPROVAL, WHICH INDICATES THAT HE HAS REVIEWED THE MATERIAL AND THEY ARE IN CONFORMANCE WITH THE CONTRACT DRAWINGS, SHOP DRAWINGS AND PRODUCT SPECIFICATIONS THAT DO NOT BEAR THE CONTRACTOR'S STAMP WILL NOT BE ACCEPTED.

11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ALL SUBCONTRACTORS TO REMOVE ALL RUBBISH AND DEBRIS AND DISPOSE OF PROPERLY AND LEGALLY. THE SITE AND BUILDINGS MUST BE CLEANED ON A REGULAR BASIS.

12. WHERE REQUIRED BY CODE ALL WOOD BLOCKING, PLYWOOD, PARTICLE BOARD, WOOD PRODUCTS, ETC. (INTERIOR AND EXTERIOR) SHALL MEET SMOKE AND FLAME SPREAD REQUIREMENTS OF FIRE RESISTIVE WOOD FOR NON-COMBUSTIBLE BUILDINGS OR SHALL BE FIRE RETARDANT WHERE REQUIRED BY CODE.

13. ALL INTERIOR FINISHES SHALL MEET OR EXCEED FLAME SPREAD AND SMOKE DEVELOPMENT REQUIREMENTS AS REQUIRED BY APPLICABLE CODES.

14. MILLWORK SHOWN IS FOR DESIGN INTENT ONLY. MILLWORK VENDOR/CONTRACTOR IS RESPONSIBLE FOR FIELD DIMENSIONING AND FIT VERIFICATION.

15. ANY REQUIRED ROOFING BY LANDLORD OR TENANT'S ROOFER TO BE APPROVED BY LANDLORD SO AS NOT TO AFFECT MANUFACTURER'S WARRANTY OF ROOF.

16. COORDINATE APPROVED LOCATION OF CONSTRUCTION DUMPSTER WITH LANDLORD AND OWNER PRIOR TO PLACEMENT.

17. ALL WORK BY G.C. UNLESS OTHERWISE NOTED, G.C. SHALL PATCH AND REPAIR / REPAINT LANDLORD PROPERTY (NEUTRAL PIERCE, ETC.) IF DAMAGED DURING TENANT IMPROVEMENTS.

18. G.C. TO MEET WITH BUILDING OPERATIONS MANAGER PRIOR TO START OF WORK. COORDINATE WITH THE LANDLORD'S FIRE PROTECTION ENGINEER (AS APPLICABLE).

19. ALL WORK, MATERIALS AND EQUIPMENT ARE TO BE STORED INSIDE PRIVATE PROPERTY.

20. G.C. SHALL OBTAIN PERMITS FOR ALL CONSTRUCTION AND / OR USE OF EQUIPMENT IN THE PUBLIC RIGHT OF WAY AND / OR EASEMENTS PRIOR TO START OF CONSTRUCTION.

21. G.C. SHALL KEEP A COMPLETE UP TO DATE SET OF CONSTRUCTION DRAWINGS AND SHOP DRAWINGS OF ALL TRADES, WITH LATEST REVISIONS, ON SITE AT ALL TIMES.

22. G.C. SHALL RECORD ALL DEVIATIONS FROM PLANS MADE DURING CONSTRUCTION. ALL CHANGES SHALL BE INDICATED AND MARKED ON A RECORD SET OF DRAWINGS TO BE KEPT ON SITE, AT THE COMPLETION OF THE PROJECT A COMPLETE AND ACCURATE AS-BUILT RECORD SET SHALL BE SUBMITTED TO THE TENANT AND ARCHITECT.

23. G.C. SHALL COORDINATE AND SCHEDULE ALL FINAL INSPECTIONS AND SIGN-OFFS REQUIRED FOR THE CERTIFICATE OF OCCUPANCY. G.C. IS RESPONSIBLE FOR SUBMITTING ALL MATERIALS AND DOCUMENTS REQUIRED FOR SIGN-OFFS BY THE BUILDING DEPARTMENT, LANDLORD, OWNER OR OTHERWISE.

24. NO WORK AT SITE TO COMMENCE UNTIL PLAN HAS BEEN APPROVED AND PERMIT ISSUED BY THE DEPARTMENT OF BUILDINGS.

DRAWING INDEX

| DWG. | DIVISION | REVISION | | | | | | | | | |
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PROFESSIONAL SEAL:

DATE

05/19/23

ISSUE

ZONING SET

PROJECT INFORMATION:

PROJECT NUMBER

9261-23

DRAWN BY:

MP

REVIEWED BY:

IGAG

TOTAL SQ. FT.:

20,004

DATE:

5/19/23

DRAWING TITLE:

TITLE SHEET

DRAWING NUMBER:

T-100

PROJECT NO: 9261-23

LOCATION: RIVERSIDE

3380 TYLER ST.

RIVERSIDE, CA 92503

461 FROM ROAD, PARAMUS, NJ 07652

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LICENSED ARCHITECT

ROBERT J. SARGENTI

NO. C-31084

07/31/25

Renewal

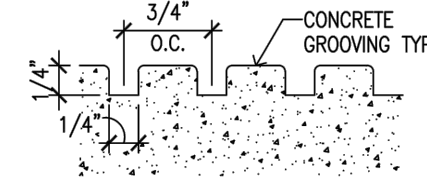
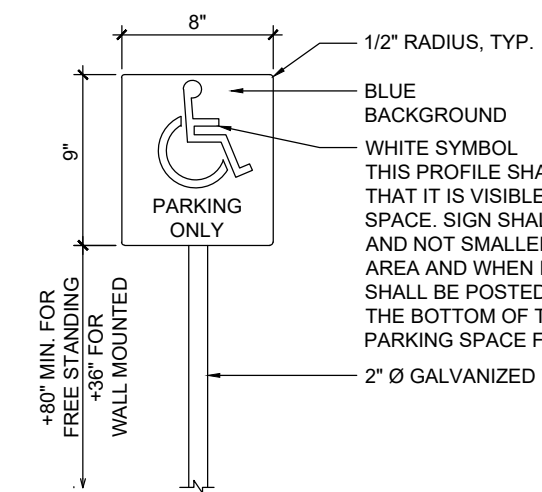
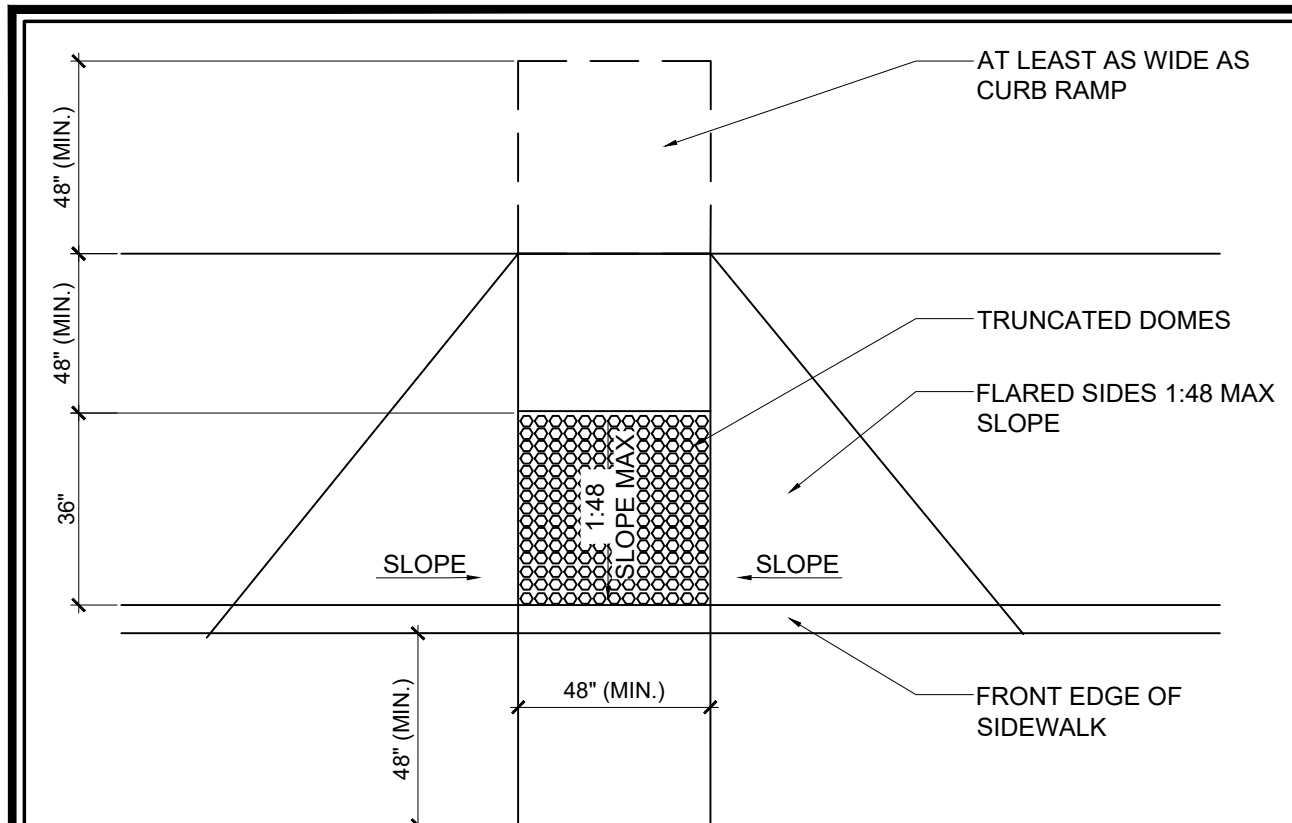
State of California

ARCHITECT OF RECORD

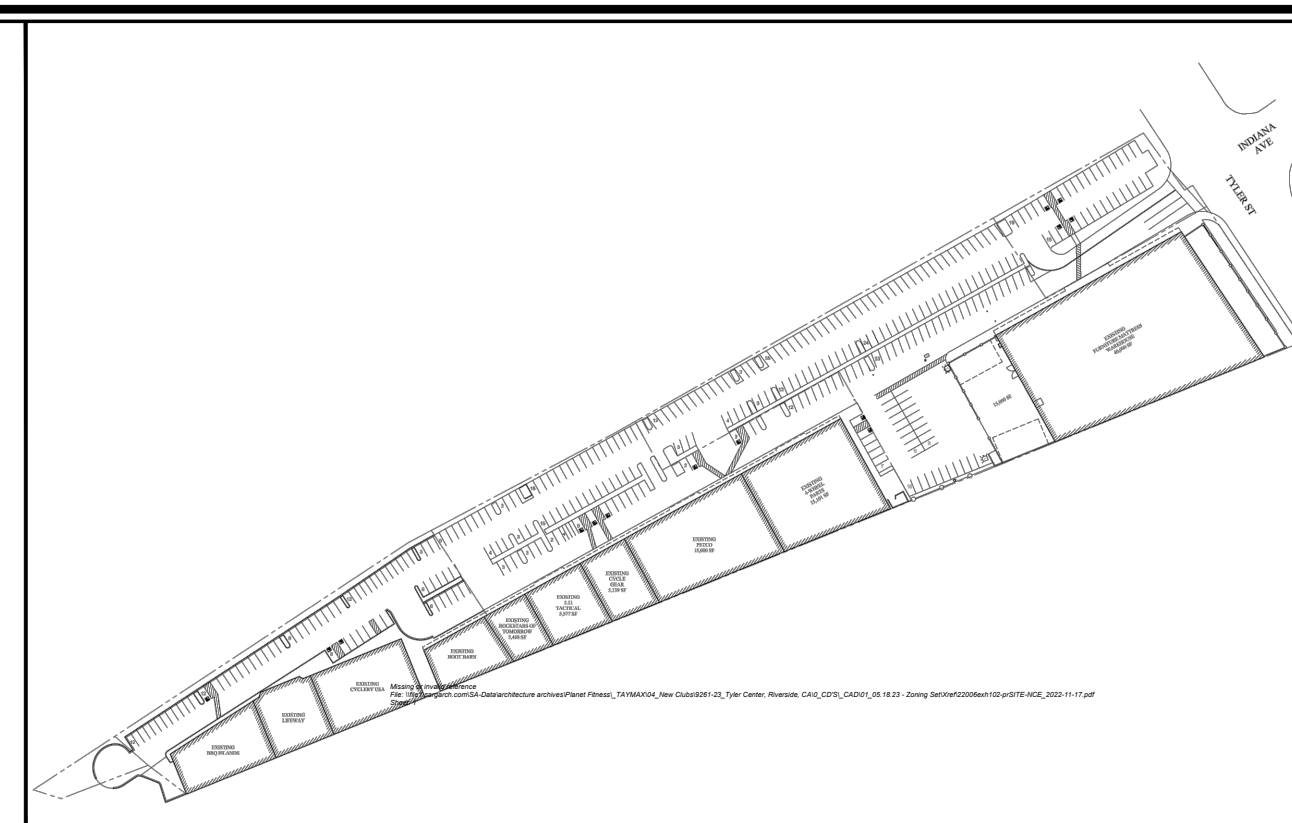
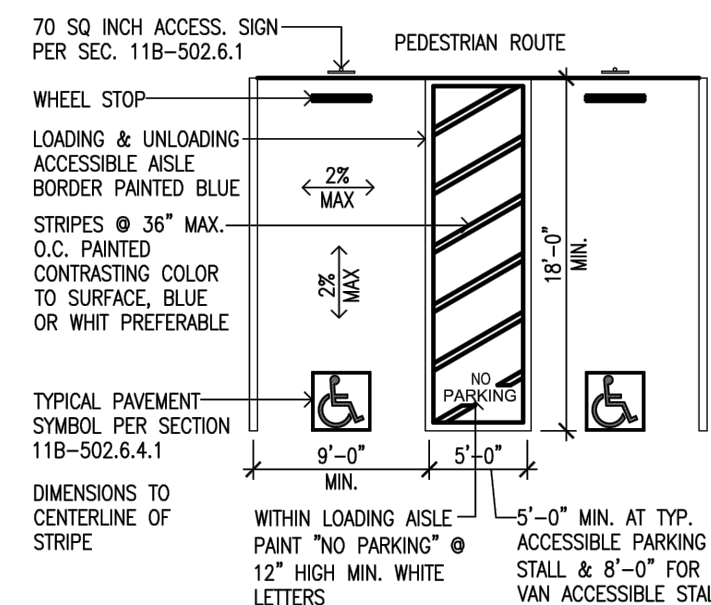
LOCATION: RIVERSIDE, CA

PROJECT: PLANET FITNESS

PLOT SCALE: 1:1

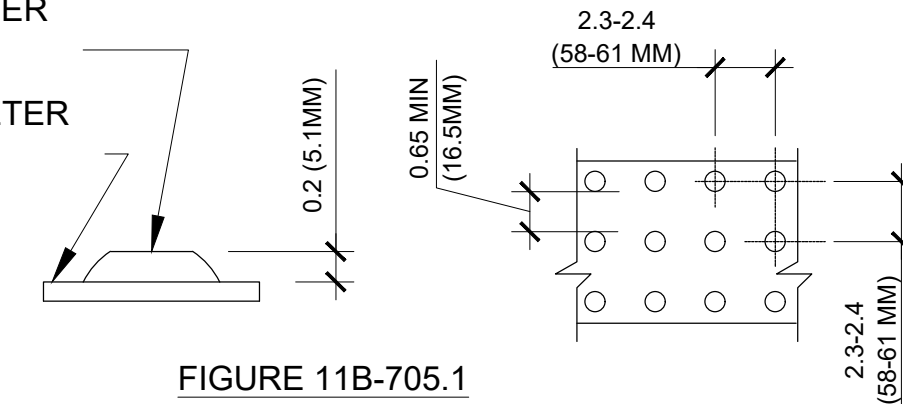


NOTE:
CURB RAMPS SHALL BE A MIN. 48" WIDE AND NOT EXCEED 8.33% SLOPE.
CURB RAMPS SHALL HAVE 12" WIDE GROOVED BORDER (GROOVES 1/4" X 1/4" X 3/4" O.C.) AT TOP EDGE ADJOINING SIDEWALK PER 2013 CBC SEC.11B-502

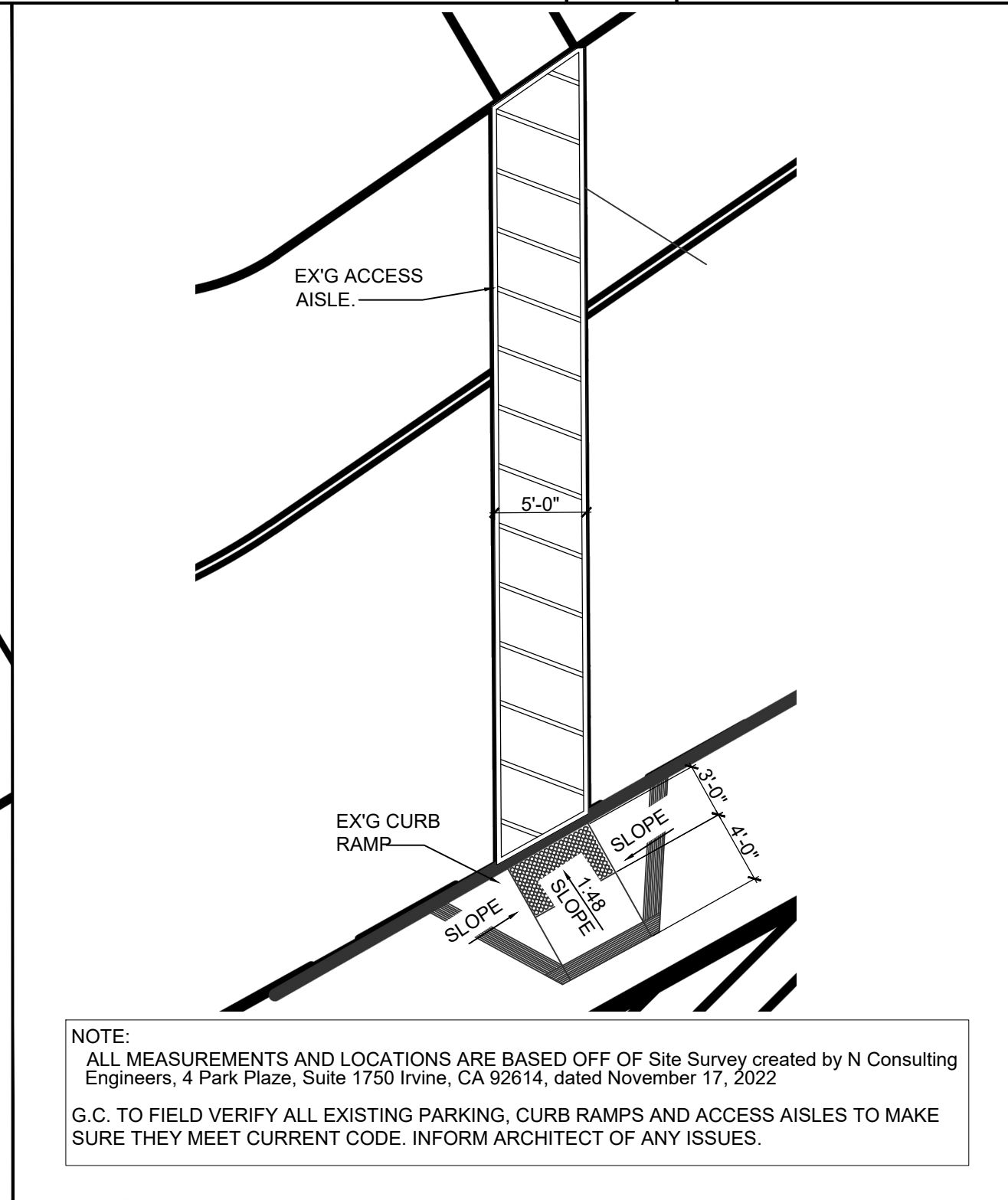
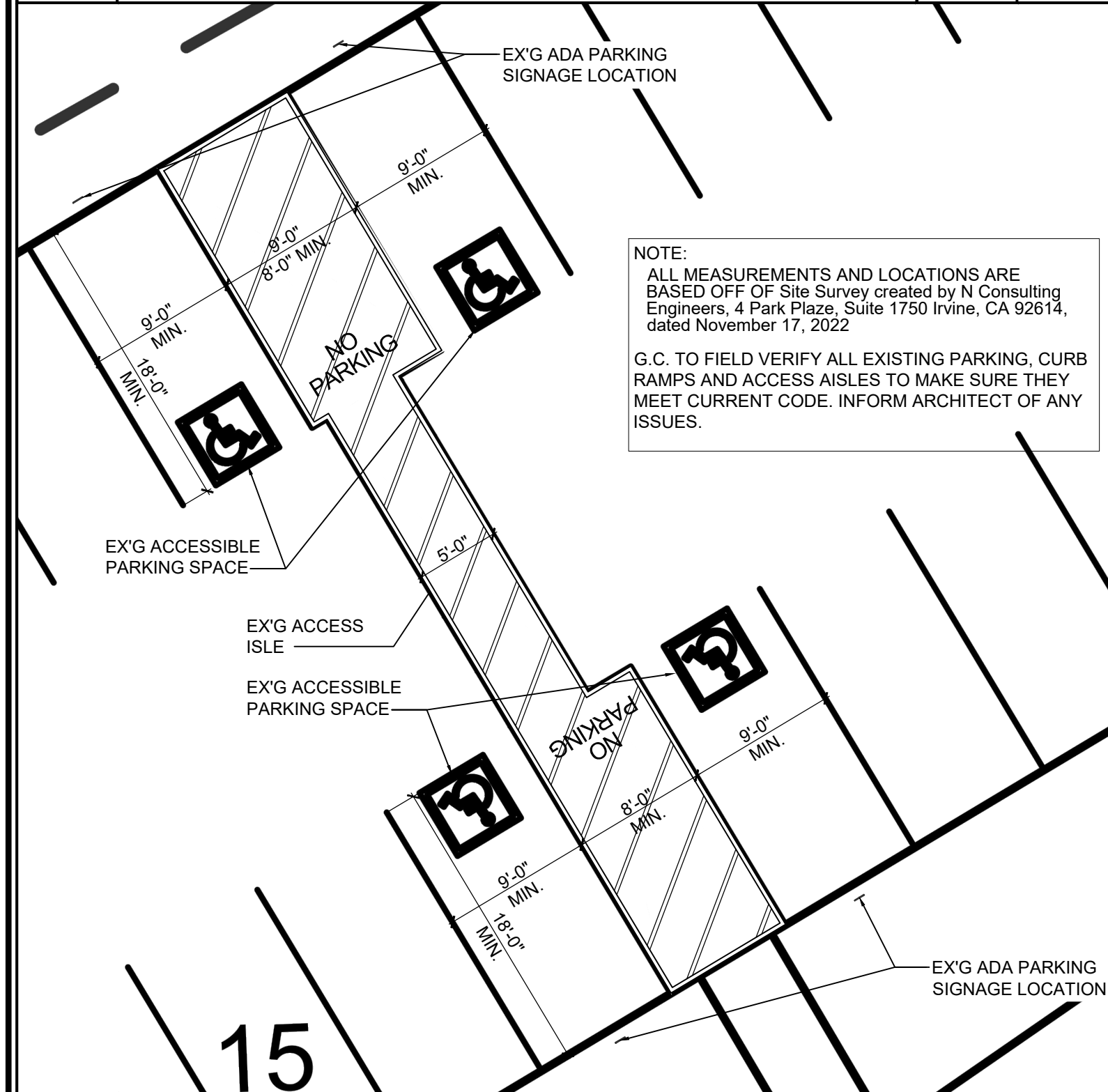


TOP OF DIAMETER
OF 0.45-0.47

BASE OF DIAMETER
OF 0.9-0.92



| | | | | | | | | | | | |
|---|------------------|---|----------------------------|---|-----------------|---|--------------------------|---|-------------------|---|---------------------------|
| 2 | CURB RAMP DETAIL | 3 | ADA PARKING SIGNAGE DETAIL | 4 | GROOVING DETAIL | 5 | ADA PARKING STALL DETAIL | 6 | ACCESSIBILITY MAP | 7 | DETECTABLE WARNING DETAIL |
| | NTS | | NTS | | NTS | | NTS | | NTS | | NTS |



| | | | |
|---|---------------------------------------|---|-------------------------------------|
| 8 | ENLARGED EX'G ACCESSIBLE PARKING PLAN | 9 | ENLARGED EX'G ACCESSIBLE AISLE PLAN |
| | 1/8" = 1'-0" | | 1/8" = 1'-0" |







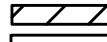
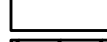
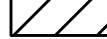



















EXISTING ACCESSORY STRUCTURE AND GATE.

GENERAL NOTES

1. SIGNS SHALL BE PLACED TO EACH ENTRANCE TO OFF STREET PARKING. SIGNS SHALL NOT BE LESS THAN 17" X 22" IN SIZE WITH 1" HIGH LETTERING WHICH STATES THE FOLLOWING:
UNAUTHORIZED VEHICLES PARKING IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING
THE REQUIRED PLACARD OR PARKING PLATES ISSUED BY THE CITY OF CHICAGO MAY BE
RECLAIMED AT _____ OR BY TELEPHONING _____ 2022 CBC SEC. 11B-502.8.1
2. THE ACCESSIBLE ROUTE AS DELINEATED IS A BARRIER FREE ROUTE 48" MIN. IN WIDTH WITH NO
CURBS OR CHANGES IN SURFACE. THE CROSS SLOPE SHOULD NOT EXCEED 2% AND
SLOPE IN THE DIRECTION OF TRAVEL IS FREE OF OVERHANG OBSTRUCTIONS BELOW 80" AND
OBJECTS PROTRUDING GREATER THAN 4" FROM A LEVEL ABOVE 27" AND BELOW 80" (THE
ARCHITECT SHALL VERIFY EXISTING CONDITIONS AND DELINEATE ANY REQUIRED UPGRADES
INCLUDING THOSE FOR CURB RAMP) PER CBC 1127B.5
3. G.C. TO RE-STRIPE ALL PARKING STALLS AND ACCESSIBLE ROUTES AS REQ'D.
4. SIDEWALK TO HAVE MINIMUM G/F. WIDTH (4 FT. SIDEWALK WIDTH +2 FT. FOR VEHICLE
OVERHANG) PER 2022 CBC SEC. 11B-403.5.1
5. G.C. TO VERIFY (E) CONDITION OF CURB RAMP. SEE DETAILS 2/1028 & 9/7102, UPDATE EXISTING
AS REQUIRED.
6. G.C. TO VERIFY EXISTING CONDITION OF ACCESSIBLE PARKING STALLS PER DETAILS 5/7102 &
7/97102 UPDATE EXISTING AS REQUIRED.
7. PROVIDE THE WORDS "NO PARKING" (12" HIGH LETTERS) IN THE LOADING/UNLOADING SPACE.
8. SURFACE OF ACCESSIBLE PARKING SPACES SHALL HAVE OUTLINE OF A WHEELCHAIR WITH
OCCUPANT 36" X 36" MINIMUM DIMENSION PER 2022 CBC 11B-502.6.4.1.
9. PLOT PLAN PARKING AREAS ARE APPROXIMATE. G.C. TO VERIFY THAT THE EXIT DISCHARGE TO
THE PUBLIC STREETS IS A MINIMUM 20'.
10. SLOPE AT PARKING STALL AND LOADING ZONE NOT EXCEED 2% IN ANY DIRECTION.

PARKING PLAN LEGEND

| | | | |
|---|----------------------------------|---|------------------------|
| P | ~ Public Utility Easement |  | ~ Gas Island |
| R | ~ Radius |  | ~ Monitoring Well |
| L | ~ Arc Length |  | ~ Handicap Space |
| C | ~ Chord Length |  | ~ Sign |
| CB | ~ Chord Bearing |  | ~ Utility Pole |
| R/W | ~ Right-of-Way |  | ~ Light Pole |
| P/L | ~ Adjoiner Property Line |  | ~ Wall (As Noted) |
| € | ~ Centerline |  | ~ Concrete Area |
| | ~ Monumentation Found as Noted |  | ~ No Parking Area |
|  | ~ No. of Regular Parking Spaces |  | ~ Building Area |
|  | ~ No. of Handicap Parking Spaces |  | ~ Electric Vault |
|  | ~ Curb Inlet Basin w/ Grate |  | ~ Electric Box |
|  | ~ Catch Basin |  | ~ Gas Pump |
|  | ~ Sanitary Manhole |  | ~ Canopy Support Post |
|  | ~ Fire Hydrant |  | ~ Telephone Manhole |
|  | ~ Post Indicator Valve |  | ~ Electric Meter |
|  | ~ Water Valve |  | ~ Electric Transformer |
|  | ~ Water Meter | | |



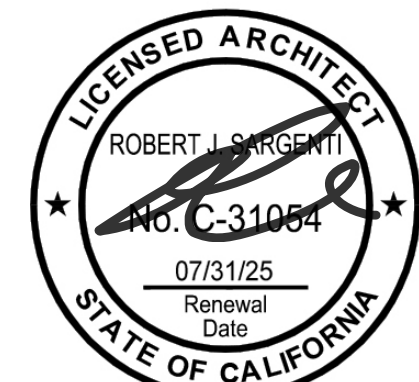
LOCATION:
RIVERSIDE
3380 TYLER ST.
RIVERSIDE, CA 92503



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ARCHITECT OF RECORD

PROFESSIONAL SEAL:

ENGINEER OF RECORD

[illegible]

| | | |
|---|----------|--------------|
| ▲ | 01/04/24 | CUP COMMENTS |
| ▲ | 12/13/23 | CUP COMMENTS |
| ▲ | 12/07/23 | CUP COMMENTS |
| ▲ | 10/13/23 | CUP COMMENTS |
| ▲ | DATE | REVISION |

| PROJECT INFORMATION: | |
|----------------------|---------|
| PROJECT NUMBER: | 9261-23 |
| DRAWN BY: | MP |
| REVIEWED BY: | IG/AG |
| TOTAL SQ. FT.: | 20,004 |
| DATE: | 5/19/23 |

DRAWING TITLE:

SITE PLAN

DRAWING NUMBER:

T-103

PROJECT NO.: 9261-23

LOCATION: RIVERSIDE, CA

PROJECT: PI ANET FITNESS

PLOT SCALE: 1:1



ESABERGENT

ARCHITECTURAL SEAL:

PROFESSIONAL SEAL:

| DATE | ISSUE |
|------|-------|
|------|-------|

| | |
|----------|--------------|
| 12/07/23 | CUP COMMENTS |
| 10/13/23 | CUP COMMENTS |
| DATE | REVISION |

DRAWING TITLE:

LOCATION: RIVERSIDE, CA

PROJECT: PLANET FITNESS

PLOT SCALE: 1:1



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| | | | |
|---------------------------------------|--|---------------|--------------------|
| ISSUE: | | SITE: | |
| PROJECT ADDRESS: | | PF RIVERSIDE | |
| 3380 TYLER ST. RIVERSIDE, CA 92503 | | TITLE: | |
| CLIENT: | | EXISTING SITE | |
| PLANET FITNESS | | DRAWN: | SCALE AT D: |
| ***** | | S.S. | 1" = 50' |
| ***** | | CHECKED: | DATE: 10/4/2023 |
| ***** | | D.H.K. | PROJECT NO: 22-006 |
| ***** | | REV. COUNT: | SHEET |
| ***** | | 1 OF 1 | SHEETS |
| ***** | | EXH101 | |

| | | |
|---|---------------|--------------------------|
| 1 | SCALE | EXISTING CIVIL SITE PLAN |
| | 1" = 50' - 0" | |

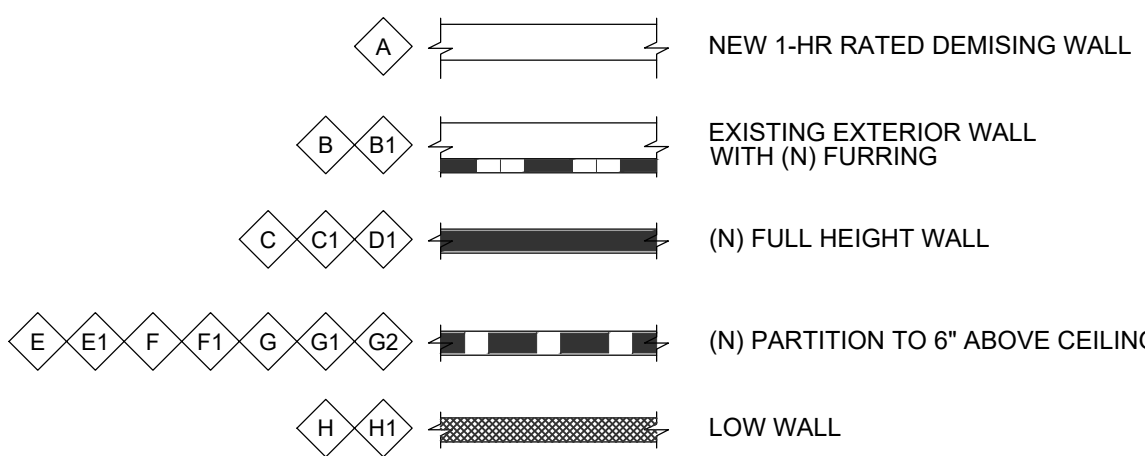


GENERAL NOTES










- MIN. CLEARANCE BETWEEN ALL EQUIPMENT ON EXIT ACCESS ROUTES TO BE MIN. 4" CLEAR TYP.
G.C. TO PROVIDE SOLID BLOCKING AT ALL WALL MOUNTED GRAB BARS, COUNTERS, TELEVISIONS AND MIRRORS.
USE ONE LAYER OF SCHEDULED MATERIAL UNLESS OTHERWISE INDICATED ON PARTITION SCHEDULE.
CONTRACTOR TO VERIFY THE METAL STUD GAUGE, SIZE AND BRACING REQUIREMENTS AS PER MANUFACTURERS METAL STUD SCHEDULE.
USE GALVANIZED METAL STUDS WHERE MOISTURE PROTECTION IS REQUIRED.

PARTITION LEGEND

SEE A-500 FOR MORE INFORMATION



LEGEND

- | | |
|---|----------------------------|
|  | PLAN KEY NOTES |
|  | PARTITION TYPES, SEE A-500 |
|  | DOOR TYPE, SEE A-002 |
|  | DETAIL NUMBER |
|  | DRAWING NUMBER |
|  | ENLARGED PLAN NUMBER |
|  | DRAWING NUMBER |
|  | ELEVATION PLAN NUMBER |
|  | DRAWING NUMBER |

KEYED NOTES

- | | |
|----|---|
| | LEASE LINE. |
| 2 | NEW 1-HR RATED DEMISING WALL BY TENANT REFER TO WALL TYPES FOR MORE INFORMATION. |
| 3 | EXISTING STRUCTURAL COLUMN, TYPICAL. PROTECT DURING CONSTRUCTION. GC TO PROVIDE (N) FINISHES AS SHOWN ON DETAIL 130A-501. |
| 4 | EXISTING STOREFRONT GLAZING AND FRAMING TO REMAIN IN ITS ENTIRETY. GC TO PROTECT DURING CONSTRUCTION AND CLEAN TO BRING TO LIKE-NEW CONDITION. |
| 5 | EXISTING STOREFRONT ENTRY DOORS TO REMAIN IN ITS ENTIRETY. GC TO PROTECT DURING CONSTRUCTION. REFER TO DOOR SCHEDULE FOR MORE INFORMATION. |
| 6 | ADA COUNTER. SEE DETAIL 5/A-503 |
| 7 | COUNTER. SEE DETAIL 5/A-503 |
| 8 | NEW GYP. BD. GEAR SOFFIT ABOVE. REFER TO REFLECTED CEILING PLAN AND ENLARGED DETAILS FOR MORE INFORMATION. |
| 9 | NOT USED |
| 10 | NEW SOFFIT WALL ABOVE. G.C. TO MATCH ADJACENT CONSTRUCTION. |
| 11 | NEW BEVERAGE COOLER. PROVIDE 4" AT TOP AND SIDES BETWEEN COOLER AND WALL. SEE DETAIL 4/A-504 FOR MORE INFORMATION. |
| 12 | NEW ACCESSIBLE HIGH/Low DRINKING FOUNTAIN. REFER TO PLUMBING DWGS FOR MORE INFO. |
| 13 | NEW CHECK-IN DESK. REFER TO SHEET A-102 FOR MORE INFORMATION. |
| 14 | NOT USED |
| 15 | NEW WALL MOUNTED MIRRORS. SEE SHEET A-300 AND INTERIOR ELEVATIONS FOR MORE INFORMATION. |
| 16 | WALL-MOUNTED TELEVISION. REFER TO SHEET A-300 FOR MORE INFORMATION. |
| 17 | NEW TELEVISIONS MOUNTED FROM NEW TRUSSES ABOVE. RE: 1/A-505. |
| 18 | EXISTING STOREFRONT FINISHES TO REMAIN. G.C. TO PROTECT DURING CONSTRUCTION. |
| 19 | PLANET FITNESS "STOP LIGHT" CENTERED OVER ENTRANCE. G.C. TO PROVIDE POWER. |
| 20 | WALL MOUNTED LUNG ALARM WITH WALL GRAPHIC. G.C. TO PROVIDE POWER. SEE INTERIOR ELEVATIONS FOR MOUNTING HEIGHT. |
| 21 | NEW BUILD OUT AT "NO CRITICS" WALL. REFER TO DETAIL 8/A-503. |
| 22 | NEW WALLET LOCKERS. REFER TO 6/A-503 FOR MORE INFORMATION. |
| 23 | NEW RACEWAY. G.C. TO COORDINATE TRENCHING FOR CONDUIT RUNS TO FLOOR BOX. SEE DETAIL 12/A501. |
| 24 | G.C. TO PROVIDE 12"X12" WHITE ACCESS PANEL IN THIS AREA FOR SPRINKLER TEST VALVE. |
| 25 | LOCATION OF NEW NON-ILLUMINATED MISSION STATEMENT SIGNAGE BY TENANT. SEE INTERIOR ELEVATIONS |
| 26 | LOCATION OF ILLUMINATED PF LOGO SIGN. REFER TO INTERIOR ELEVATIONS FOR MORE INFORMATION. |
| 27 | LOCATION OF ELECTRICAL EQUIPMENT. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION. |
| 28 | LOCATION OF NEW EMPLOYEE LOCKERS. |
| 29 | NEW LOW WALL WITH GRANITE SILL. REFER TO INTERIOR ELEVATIONS FOR MORE INFORMATION. |
| 30 | LOCATION OF NEW SECURITY MONITOR, INSIDE CABINET. |
| 31 | EXISTING SIDEWALK AND CURB CUT TO REMAIN. PATCH/REPAIR AS REQUIRED. |
| 32 | EXISTING STOREFRONT OVERHANG TO REMAIN. PROTECT DURING CONSTRUCTION. |
| 33 | NEW VESTIBULE ENTRY DOORS, GLAZING AND FRAMING TO MATCH STOREFRONT. SEE DOOR SCHEDULE FOR MORE INFORMATION. |
| 34 | EXISTING EGRESS DOOR TO REMAIN IN ITS ENTIRETY. GC TO PROTECT DURING CONSTRUCTION REFER TO DOOR SCHEDULE FOR MORE INFORMATION. |
| 35 | EXISTING STRUCTURAL COLUMN TO REMAIN. G.C. TO PROTECT DURING CONSTRUCTION. |
| 36 | LOCATION OF EXTERIOR ILLUMINATED SIGNAGE. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION. |
| 37 | G.C. TO INSTALL HATCHED AREA TO MATCH EXISTING CONSTRUCTION. PAINT EXTERIOR SIDE TO MATCH EXISTING BUILDING STANDARDS. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION. |
| 38 | EXISTING EXTERIOR DOORS TO REMAIN. G.C. TO CLEAN AND BRING TO LIKE NEW CONDITION, PATCH/REPAIR AS REQUIRED. G.C. TO REPLACE HARDWARE AS REQUIRED. |
| 39 | EXISTING EGRESS STAIRS AND RAILING TO REMAIN IN ITS ENTIRETY. G.C. TO PATCH/REPAIR AS REQUIRED AND ENSURE MEETS CBC ADA CODES. |
| 40 | EXISTING PAPER BACK INSULATION TO REMAIN. G.C. TO VERIFY INSULATION IS IN GOOD WORKING CONDITION AND REPLACE/FURNISH AS REQUIRED. PREP TO RECEIVE NEW TENANT FINISHES. |
| 41 | LOCATION OF EXISTING SPRINKLER MAIN. RE: A-200 FOR MORE INFORMATION. |
| 42 | LOCATION OF EXISTING ROOF DRAIN TO REMAIN. |
| 43 | LOCATION OF EXISTING ROOF LADDER AND HATCH TO REMAIN. G.C. TO PROTECT DURING CONSTRUCTION. |
| 44 | NEW MOUNTED TV VIDEO WALL. |



LOCATION:
RIVERSIDE
3380 TYLER ST.
RIVERSIDE, CA 92503



FROM ROAD, PARAMUS, NJ 07652
73.253.9393 • WWW.SARGARCH.COM

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ARCHITECT OF RECORD

PROFESSIONAL SEAL:

ENGINEER OF RECORD

| DATE | ISSUE |
|----------|------------|
| 05/19/23 | ZONING SET |

[illegible]

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| 12/07/23 | CUP COMMENTS |
| 10/13/23 | CUP COMMENTS |

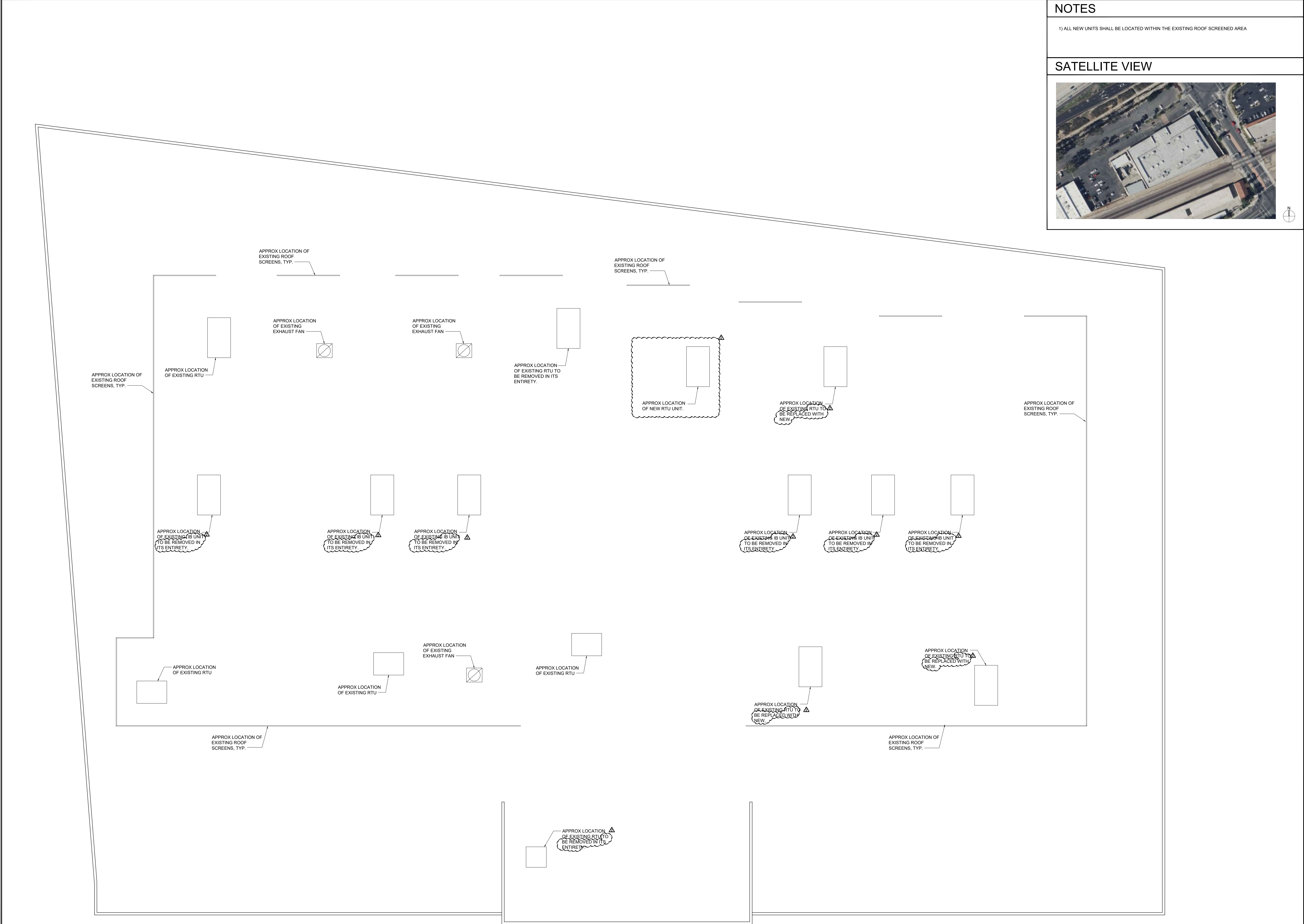
| PROJECT INFORMATION: | |
|----------------------|---------|
| PROJECT NUMBER: | 9261-23 |
| DRAWN BY: | MP |
| REVIEWED BY: | IG/AG |
| TOTAL SQ. FT.: | 20,004 |
| DATE: | 5/19/23 |

DRAWING TITLE:

CONSTRUCTION
PLAN & NOTES

DRAWING NUMBER:

A-100



NOTES

1) ALL NEW UNITS SHALL BE LOCATED WITHIN THE EXISTING ROOF SCREENED AREA

SATELLITE VIEW

planet fitness

LOCATION:
RIVERSIDE
3380 TYLER ST.
RIVERSIDE, CA 92503

SARGENT & SARGENT

461 FROM ROAD, PARAMUS, NJ 07652
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LICENSED ARCHITECT
ROBERT L. SARGENT
No. C-31084
07/31/25
Renewal Date
STATE OF CALIFORNIA

ARCHITECT OF RECORD

PROFESSIONAL SEAL:

ENGINEER OF RECORD

DATE
05/19/23

ISSUE
ZONING SET

REVISION

PROJECT INFORMATION:

PROJECT NUMBER: 9261-23

DRAWN BY: MP

REVIEWED BY: IGIAG

TOTAL SQ. FT.: 20,004

DATE: 5/19/23

DRAWING TITLE:

EXISTING ROOF PLAN

DRAWING NUMBER:

A-200

PR-2023-001528 (CUP, DR) Exhibit 7 - Project Plans

The SARGENT logo, featuring the word "SARGENT" in a bold, sans-serif font, with a stylized "S" that incorporates a vertical bar.

ARCHITECTURAL SEAL:

LICENSED ARCHITECT
 ROBERT J. SARGENT
 No. C-31054
 07/31/25
 Renewal Date
 STATE OF CALIFORNIA

PROFESSIONAL SEAL:

ENGINEER OF RECORD

| | |
|----------|------------|
| 05/19/23 | ZONING SET |
|----------|------------|

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| 10/07/00 | OUR COMMENTS |
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|------|----------|
| DATE | REVISION |
|------|----------|

PROJECT NUMBER: 9261-23

| | |
|----------------|--------|
| TOTAL SQ. FT.: | 20,004 |
|----------------|--------|

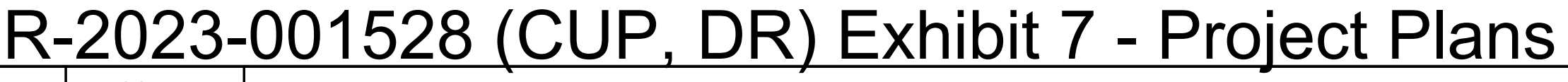
DRAWING TITLE:

PLAN AND EXTERIOR

ELEVATION _____

A 700

7700



A-700



RIVERSIDE

3380 TYLER ST.
VERSIDE, CA 92503



SAGENT

FROM ROAD, PARAMUS, NJ 0765

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ARCHITECT OF RECORD

PROFESSIONAL SEAL:

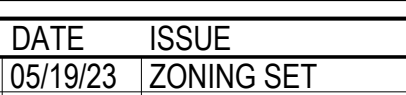


SCALE

3/16" = 1' - 0"

STOREFRONT EXTERIOR ELEVATION RENDERING

EXISTING STOREFRONT PICTURES



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| 12/07/23 | CUP COMMENTS |
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| | |
|----------|--------------|
| 10/13/23 | CUP COMMENTS |
|----------|--------------|

| | |
|------|----------|
| DATE | REVISION |
|------|----------|

PROJECT INFORMATION:

PROJECT NUMBER: 9261-23

AWN BY: MP

VIEWED BY: IG/AG

TOTAL SQ. FT.: 20,004

DATE: 5/19/23

DRAWING TITLE: _____

EXTERIOR ELEVATION

EXTERIOR ELEVATION

RENDERING

DRAWING NUMBER:

OWNING NUMBER:

A 700

A-702

7102

PR-2023-001528 (CUP, DR) Exhibit 7 - Project Plans

SCALE

3/16" = 1' - 0"

STOREFRONT ENTRY RENDERING

A-702

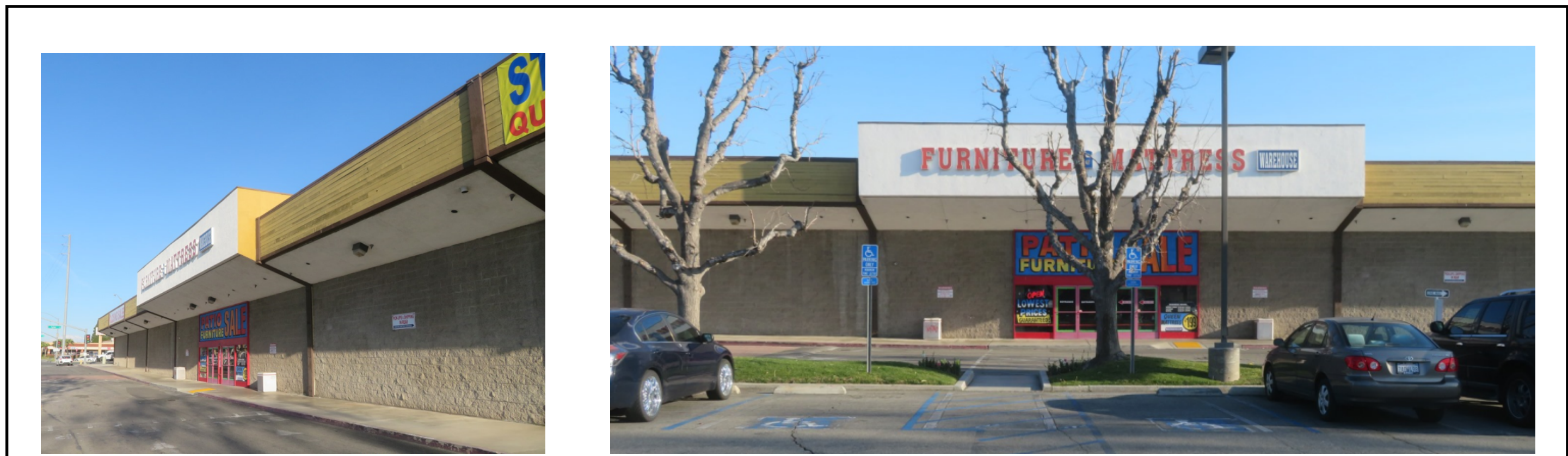


RIVERSIDE
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RIVERSIDE, CA 92503

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SCALE

3/16" = 1' - 0"

STOREFRONT EXTERIOR ELEVATION RENDERING

EXISTING STOREFRONT PICTURES



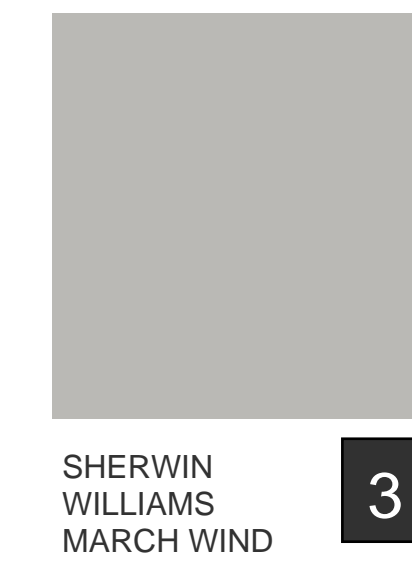
NICHIHA
VINTAGEWOOD
BARK

1



NICHIHA
VINTAGEWOOD
ASH

2



SHERWIN
WILLIAMS
MARCH WIND
SW7668

3



SHERWIN
WILLIAMS
PEPPERCORN
7674

4

PR-2023-001528 (CUP, DR) Exhibit 7 - Project Plans

SCALE

3/16" = 1' - 0"

STOREFRONT ENTRY RENDERING

PROJECT INFORMATION:

| | |
|-----------------------|----------|
| <u>OBJECT NUMBER:</u> | 9261-23 |
| <u>DRAWN BY:</u> | MP |
| <u>VIEWED BY:</u> | IG/AG |
| <u>TOTAL SQ. FT.:</u> | 20,004 |
| <u>DATE:</u> | 05/19/23 |

EXTERIOR ELEVATION
RENDERING

A-701

LOCATION: RIVERSIDE, CA

PROJECT: PLANET FITNESS

PLOT SCALE: 1-1