

PROPERTY LEGAL DESCRIPTION
 3356 LEMON STREET
 APN: 213-122-005

THAT PORTION OF BLOCK 3, RANGE 4 OF THE TOWN OF RIVERSIDE, AS SHOWN BY MAP ON FILE IN BOOK 7, PAGE 17 OF MAPS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE EASTERLY LINE OF LEMON STREET, 125 FEET NORTHERLY FROM THE SOUTHWESTERLY CORNER OF SAID BLOCK 3, RANGE 4; THENCE RUNNING AT RIGHT ANGLES EASTERLY, PARALLEL WITH THE NORTHERLY LINE OF FOURTH STREET, 100 FEET; THENCE AT RIGHT ANGLES NORTHERLY AND PARALLEL WITH THE EASTERLY LINE OF LEMON STREET, 40 FEET; THENCE AT RIGHT ANGLES WESTERLY, PARALLEL WITH THE NORTHERLY LINE OF FOURTH STREET, 100 FEET TO THE EASTERLY LINE OF LEMON STREET; THENCE AT RIGHT ANGLES SOUTHERLY ALONG THE EASTERLY LINE OF LEMON STREET, 40 FEET TO THE POINT OF COMMENCEMENT.

BASIS OF BEARINGS
 CITY OF RIVERSIDE SURVEY CONTROL
 STATION: 3036
 LOCATION: INTERSECTION OF LIME STREET AND FOURTH STREET
 HORIZONTAL DATUM: NAD83

STATION: 5468 (AGA BM 17-43)
 LOCATION: NE CORNER OF LIME STREET AND THIRD STREET
 HORIZONTAL DATUM: NAD83
 VERTICAL DATUM: NAVD 29
 ELEVATION: 860.433

BASIS OF ELEVATIONS
 CITY OF RIVERSIDE VERTICAL CONTROL BENCH-MARK
 ID: BM 17-43
 DESCRIPTION: PK NAIL AND CITY ENGINEER TAG, BACK OF CATCH BASIN
 LOCATION: NORTHEAST CORNER OF LIME STREET AND THIRD STREET
 DATUM: NAVD 29
 ELEVATION: 860.433 FEET

NOTE
 THIS MAP OF EXISTING IMPROVEMENTS AND/OR TOPOGRAPHY WAS FIELD SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL BASED ON PROJECT REQUIREMENTS. THIS MAP IS INTENDED FOR USE ONLY AS A DESIGN AID FOR THAT PROJECT, CHANGES IN THE SCOPE, DESIGN, OR SIGNIFICANT DELAYS IN DESIGN AND/OR CONSTRUCTION MAY REQUIRE UPDATE OF THE MAPPING.

THE PROPERTY BOUNDARY SHOWN HEREON IS THE RESULT OF A PRECISE RETRACEMENT OF THE PROPERTY DESCRIBED ABOVE, A PROCEDURE OF SURVEY DEPICTING PHYSICAL EVIDENCE AND MEASUREMENT DATA IS AVAILABLE FOR REVIEW UPON REQUEST.

THE LOCATION OF UTILITIES SHOWN ON THIS MAP IS FROM SURFACE INFORMATION GATHERED DURING THE FIELD SURVEY, THE PRECISE LOCATION AND DEPTH OF LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION.

LEGEND	
	PROPERTY LINE
	CENTER LINE
	LOT LINE
	RIGHT OF WAY
	BOUNDARY LINE DATA (BEARING/DISTANCE)
	FOUND LEAD & DISC "1.53000" PER ROS 110/42 SET AT OFFSET SHOWN
	FOUND 1" PIPE "1.5300" PER ROS 110/42
	EDGE OF CONCRETE
	CURB & GUTTER
	CMU WALL
	CONCRETE SURFACE
	SEWER LINE
	WATER LINE
	GAS LINE
	TELECOMM LINE
	FENCE: WOOD
	FENCE: CHAIN-LINK
	VALVE
	TREE (TRUNK TO SCALE)
	SPOT ELEVATION
	GROUND CONTOUR (5' INTERVAL)
	GROUND CONTOUR (1' INTERVAL)
(NOTE: LABEL ORIENTATION INDICATES POSITIVE SLOPE)	

ABBREVIATIONS			
AP	ANGLE POINT	GRND	GROUND
ASPH	ASPHALT	MH	MANHOLE
BLDG	BUILDING	PP	UTILITY POLE
CIP	CAST IN PLACE	(R)	RADIAL BEARING
CMU	CONCRETE MASONRY UNIT	ROW	RIGHT OF WAY
CONC	CONCRETE	SS	SANITARY SEWER
DI	DRAIN INLET	TC	TOP OF CURB
EL	ELEVATION	TG	TOP OF GRATE (DRAIN)
FF	FINISHED FLOOR	TW	TOP OF WALL
FL	FLOWLINE	TYP	TYPICAL
FW	FENCE	UG	UNDERGROUND
GB	GRADE BREAK	WM	WATER METER

8" 4" 0 8" 16"
 SCALE IN FEET

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 metromap.sds@gmail.com

REVISIONS:

TOPOGRAPHIC SURVEY

HARADA HOUSE
 3356 LEMON STREET
 RIVERSIDE, CA 92501

SURVEY DATE
 MARCH 17, 2023

MAP/DRAWING DATE
 MAY 4, 2023

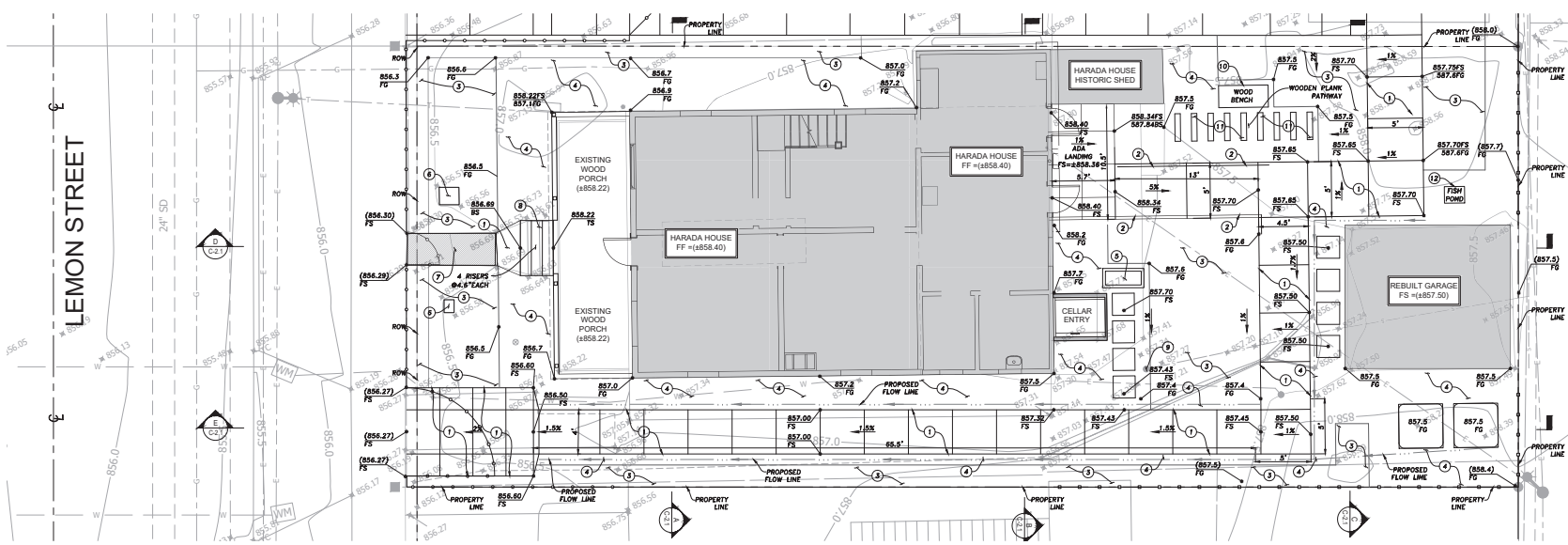
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DRAWN BY: VF

JOB No:

SHEET TITLE:

Exhibit 4 - Phase 2 Project Plans

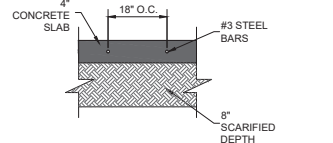


NOTES:

- REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED ON GRADING AND FOUNDATION EARTHWORK WHERE SITE EXCEEDS 60,000 SF, CUT OR FILL SLOPES EXCEED 2:1, CUTS EXCEED 40 FT IN HEIGHT AND WITHIN 20 FT OF A PROPERTY LINE, PROJECTS INVOLVE UNUSUAL HAZARDS, SHORING WORK INCLUDING SLOT CUTS.
- SURVEY SHOWN WAS USED AS A BASIS FOR THIS PLAN AND DESIGN. CONTRACTOR SHOULD VERIFY ALL ELEVATIONS PROPOSED AND EXISTING PRIOR TO CONSTRUCTION AND NOTIFY THIS OFFICE OF ANY DISCREPANCIES.
- RETAINING WALLS TO BE CONSTRUCTED PER SEPARATE PERMIT.
- CONTRACTOR SHALL TO THE BEST OF THEIR ABILITIES SHALL INCLUDE THE MINIMUM REQUIREMENTS FOR CONSTRUCTION PROJECTS BY IMPLEMENTING THE BEST MANAGEMENT PRACTICES AS DETAILED IN THE BMP HANDBOOK AND ADOPTED BY THE CITY OF RIVERSIDE.
- DIRECT ALL ROOF DRAINAGE VIA GRAVITY FLOW AND OUTLET THRU AN APPROVED DEVICE TO AN APPROVED LOCATION.
- CONTRACTOR TO ALLOW FOR DEMOLITION AND REPLACEMENT OF EXISTING SIDEWALK, CURB AND GUTTER ALONG PROPERTY LINES IF DAMAGED AT LEMON STREET.
- ALL DAMAGED OR OFF-GRADE CURB, CUTTER, SIDEWALK, DRIVEWAY APPROACH OR A.C. PAVEMENT SHALL BE REPAIRED OR REPLACED.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A PUBLIC WORKS PERMIT.
- CONTRACTOR SHALL PROVIDE A COPY OF PERMIT FROM CALIFORNIA DIVISION OF INDUSTRIAL SAFETY FOR EXCAVATIONS OR TRENCHES OVER 5 FEET VERTICAL CUTS OR WORK THAT MAY JEOPARDIZE WORKERS.
- DECORATIVE CONCRETE AND HARDSCAPE PER ARCHITECTURAL PLANS.
- DIMENSIONAL CONTROL PLAN AND STRIPING PLAN PER ARCHITECTURAL PLANS.
- A PRECONSTRUCTION CONFERENCE SHOULD BE HELD AT THE SITE PRIOR TO THE BEGINNING OF GRADING OPERATIONS WITH THE OWNER, CONTRACTOR, CIVIL ENGINEER AND GEOTECHNICAL ENGINEER IN ATTENDANCE. SPECIAL SOIL HANDLING REQUIREMENTS CAN BE DISCUSSED AT THAT TIME.
- GRADING SHOULD COMMENCE WITH THE REMOVAL OF ALL EXISTING VEGETATION AND EXISTING IMPROVEMENTS FROM THE AREA TO BE GRADED. ALL EXISTING UNDERGROUND IMPROVEMENTS PLANNED FOR REMOVAL SHOULD BE COMPLETELY EXCAVATED AND THE RESULTING DEPRESSIONS PROPERLY BACKFILLED. DELETERIOUS DEBRIS SUCH AS WOOD AND ROOT STRUCTURES SHOULD BE EXPORTED FROM THE SITE SHOULD NOT BE MIXED WITH THE FILL SOILS. ASPHALT AND CONCRETE SHOULD NOT BE MIXED WITH THE FILL SOILS UNLESS APPROVED BY THE GEOTECHNICAL ENGINEER.
- POTABLE WATER AND SEWER CONNECTIONS PER CONCEPTUAL PLUMBING PLANS.
- SEWER CONNECTION ON PUBLIC RIGHT-OF-WAY SHALL REQUIRE A SEPARATE PERMIT FROM ENGINEERING DIVISION.
- UTILITY TRENCHES SHOULD BE PROPERLY BACKFILLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE GREEN BOOK (LATEST EDITION). THE PIPE SHOULD BE BEDDED WITH CLEAN SANDS (SAND EQUIVALENT GREATER THAN 30) TO A DEPTH OF AT LEAST ONE FOOT OVER THE PIPE. THE USE OF GRAVEL IS NOT ACCEPTABLE UNLESS USED IN CONJUNCTION WITH FILTER FABRIC. THE REMAINDER OF THE TRENCH BACKFILL MAY BE DERIVED FROM ONSITE SOIL OR APPROVED IMPORT SOIL, COMPACTED AS NECESSARY, UNTIL THE REQUIRED COMPACTION IS OBTAINED.
- ALL TRENCH AND FOUNDATION EXCAVATION BOTTOMS MUST BE OBSERVED AND APPROVED BY THE GEOTECHNICAL ENGINEER (A REPRESENTATIVE OF _____), PRIOR TO PLACING BEDDING SANDS, FILL, STEEL, GRAVEL OR CONCRETE.

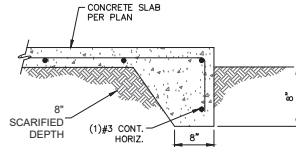
CONSTRUCTION NOTES:

- PROPOSED CONCRETE WALKWAYS, 4" THICK SLAB WITH #3 REBAR PLACED 16" O.C. EACH WAY AT MID DEPTH. CONTRACTOR TO SCARIFY MINIMUM 8-INCHES BELOW EXISTING GRADE.
- PROPOSED WALL AND GUARD RAIL PER DETAIL HERE ON.
- PROPOSED LANDSCAPE PLANTING PER LANDSCAPE PLANS.
- PROPOSED GRAVEL LANDSCAPE FEATURE. DEPTH OF GRAVEL PER PLAN.
- PROPOSED PLANTER FEATURE PER LANDSCAPE PLANS.
- EXISTING MONUMENT SIGNS TO BE REINSTALLED ON RAISED PEDESTAL.
- PROTECT-IN-PLACE CONCRETE PATH WITH PAW PRINTS. CONTRACTOR TO PRESERVE CONCRETE SLAB
- PROPOSED DECK STAIRS PER STRUCTURAL PLANS. BOTTOM LANDING TO BE JOINED TO EXISTING CONCRETE PATH.
- EXISTING SEWER CLEANOUT TO BE PROTECTED-IN-PLACE.
- PROPOSED WOOD BENCH TO BE INSTALLED PER LANDSCAPE PLANS.
- EXISTING WOOD PLANK AND BLACK STONE FEATURE TO BE PROTECTED-IN-PLACE AND REINSTALLED OR REPAIRED AS REQUIRED.
- PROPOSED FISH POND TO BE INSTALLED PER LANDSCAPE PLAN.

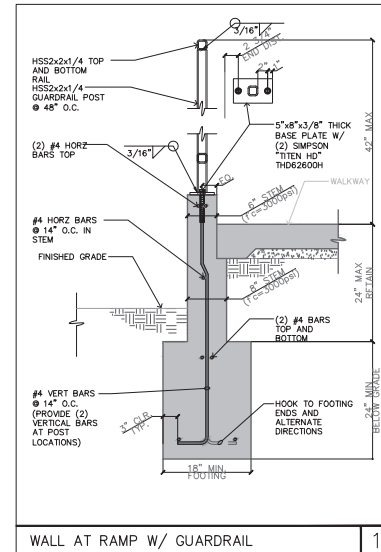


NOTE:
CONSTRUCT 4" RCC SITE WALKWAY WITH #3 BARS PLACED 16" ON CENTER AT MID DEPTH OVER 8" OF SCARIFIED DEPTH PER GEOTECHNICAL REPORT NO. 7691 PAGE 8-11

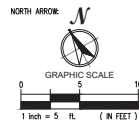
CONCRETE WALKWAY DETAIL 1



CONCRETE WALKWAY DETAIL 2



WALL AT RAMP W/ GUARDRAIL



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Revisions

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 Checked by:
 Professional's Stamp



Project Title
 HARADA HOUSE
 PHASE 2

Sheet Title
 PRECISE GRADING

Design Stage
 CONSTRUCTION
 DEVELOPMENT

Project Address
 3356 & 3342
 Lemon Street
 Riverside, CA
 92501

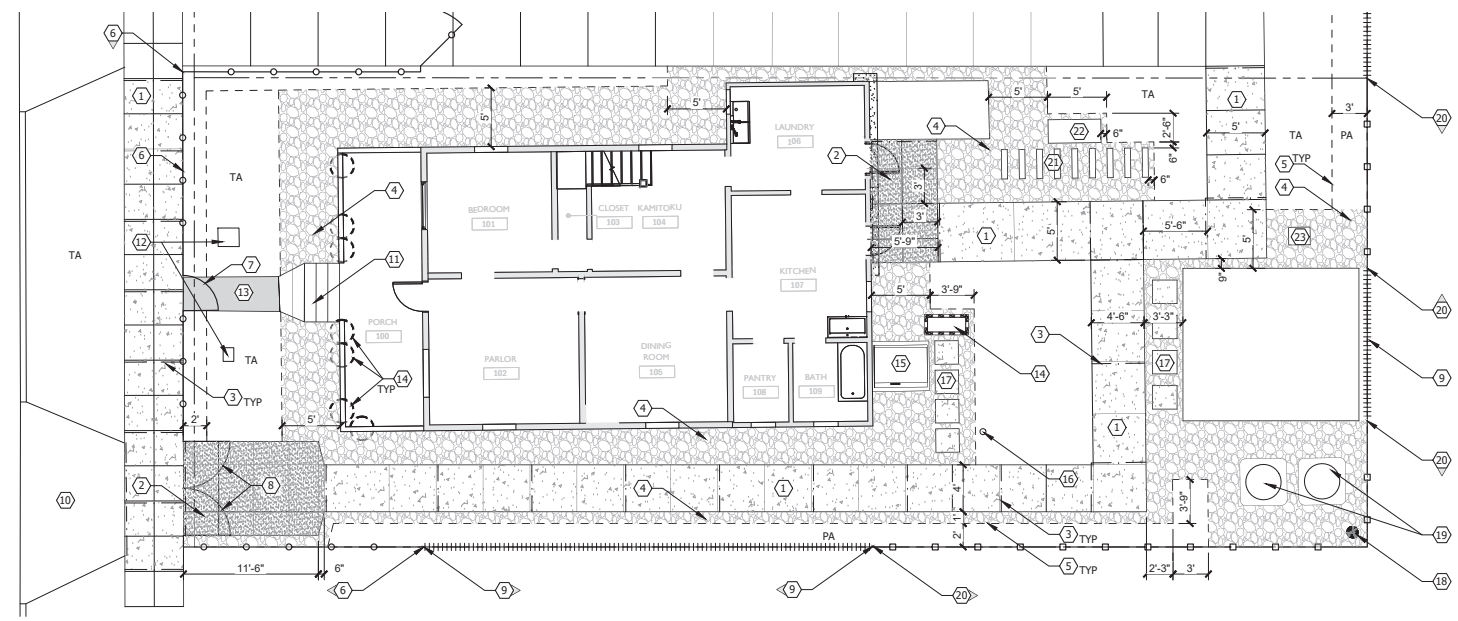
Scale
 1 inch = 5 ft.

Date

Sheet Number
C2

PRECISE GRADING PLANS

LEMON STREET



CONSTRUCTION LEGEND

BID STATUS	SYM.	QTY.	DESCRIPTION	REMARKS/DETAIL
BASE BID	①	761 SF	CONSTRUCT 4" THICK NATURAL GRAY CONCRETE WITH MEDIUM BROOM FINISH AND 30"O.C. SCORE JOINTS AS SHOWN.	DETAIL 'A', SHEET L-4
BASE BID	②	155 SF	CONSTRUCT 4" THICK NATURAL GRAY CONCRETE WITH ACID ETCH FINISH AND SCORE JOINTS AS SHOWN.	DETAIL 'A', SHEET L-4
BASE BID	③	134 LF	1/2" THICK EXPANSION JOINT	DETAIL 'A', SHEET L-4
BASE BID	④	986 SF	3" THICK LAYER OF 1"-2"DIA. DECORATIVE ROCK, MEXICAN SUNBURST AVAILABLE FROM DECORATIVE STONE SOLUTIONS, 800-699-1878	DETAIL 'B', SHEET L-4
BASE BID	⑤	239 LF	FURNISH AND INSTALL 3/16" X 4" PERMASTRIP ALUMINUM EDGING WITH BRONZE DURAFLEX FINISH. AVAILABLE THROUGH PERMALOC EDGING 800-356-9660	DETAIL 'C', SHEET L-4 INSTALL PER MANUFACTURER'S RECOMMENDATIONS
BASE BID	⑥	52 LF	FURNISH AND INSTALL 36" TALL CLASSIC WROUGHT IRON FENCE, TRADITIONAL GRADE - COLOR: BLACK. AVAILABLE THROUGH IRON FENCE SHOP 800-261-2729. ALLOW 12-16 WEEK LEAD TIME.	DETAIL 'D', SHEET L-4 INSTALL PER MANUFACTURER'S RECOMMENDATIONS
BASE BID	⑦	1 EA	FURNISH AND INSTALL CUSTOM 36" WIDE X 36" TALL CLASSIC WROUGHT IRON GATE, TRADITIONAL GRADE - COLOR: BLACK. AVAILABLE THROUGH IRON FENCE SHOP 800-261-2729. ALLOW 12-16 WEEK LEAD TIME.	DETAIL 'E', SHEET L-4 INSTALL PER MANUFACTURER'S RECOMMENDATIONS
BASE BID	⑧	1EA	FURNISH AND INSTALL (2) 4 FT WIDE X 36" TALL CLASSIC WROUGHT IRON GATE, TRADITIONAL GRADE - COLOR: BLACK. AVAILABLE THROUGH IRON FENCE SHOP 800-261-2729. ALLOW 12-16 WEEK LEAD TIME.	DETAIL 'E', SHEET L-4 INSTALL PER MANUFACTURER'S RECOMMENDATIONS
BASE BID	⑨	52 LF	FURNISH AND INSTALL 6 FT TALL REDWOOD PERIMETER FENCE.	DETAIL 'F', SHEET L-4
BASE BID	⑩	---	EXISTING DRIVE APRON TO REMAIN	FOR REFERENCE ONLY
BASE BID	⑪	--	WOOD STEPS	PER ARCHITECT'S PLANS
BASE BID	⑫	--	EXISTING MONUMENT SIGNS TO REMAIN	FOR REFERENCE ONLY
BASE BID	⑬	--	EXISTING CONCRETE PAVING WITH IMPRINTS, TO REMAIN	FOR REFERENCE ONLY

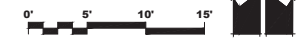
QUANTITIES ARE GIVEN FOR ESTIMATING PURPOSES ONLY. CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING MATERIAL IN ALL AREAS AS DESIGNATED ON PLAN AT NO ADDITIONAL COST TO THE OWNER.

PA = PLANTING AREA
TA = TURF/GRASS AREA

CONSTRUCTION LEGEND (CONT)

BID STATUS	SYM.	QTY.	DESCRIPTION	REMARKS/DETAIL
BASE BID	⑭	REFER TO PLANTING PLAN	FURNISH AND INSTALL POTTERY. REFER TO PLANTING PLAN POT SCHEDULE FOR MAKE AND MODEL	REFER TO SHEET L-3 FOR POT SCHEDULE
BASE BID	⑮	--	EXISTING CELLAR ACCESS, TO REMAIN	FOR REFERENCE ONLY
BASE BID	⑯	--	EXISTING SEWER CLEAN OUT TO REMAIN	FOR REFERENCE ONLY
BASE BID	⑰	8 EA	CONSTRUCT 24"SQ X 4" THICK NATURAL GRAY CONCRETE PADS WITH MEDIUM BROOM FINISH.	DETAIL 'A', SHEET L-4
BASE BID	⑱	--	RELOCATED SECURITY CAMERA	FOR REFERENCE ONLY
BASE BID	⑲	--	PROPOSED AIR CONDITIONER CONDENSERS	FOR REFERENCE ONLY
BASE BID	⑳	70 SF	FURNISH AND INSTALL 6 FT TALL DARK WOOD LATTICE FENCE, CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO CONSTRUCTION	DETAIL 'G', SHEET L-4
BASE BID	㉑	--	EXISTING WOOD PLANK WALKWAY WITH BLACK PEBBLES, TO REMAIN	FOR REFERENCE ONLY
BASE BID	㉒	--	EXISTING BENCH TO BE RETRIEVED FROM STORAGE, AND SET LEVEL ON 4" THICK CONCRETE PAD	FOR REFERENCE ONLY
BASE BID	㉓	--	EXISTING GOLDFISH POND TO BE RETRIEVED FROM STORAGE, AND SET LEVEL ON 4" THICK CONCRETE PAD	FOR REFERENCE ONLY

PLAN CROSS REFERENCE:
FOR CORRESPONDING IRRIGATION PLAN, REFER TO SHEET L-2
FOR CORRESPONDING PLANTING PLAN, REFER TO SHEET L-3
FOR CORRESPONDING CONSTRUCTION DETAILS, REFER TO SHEETS L-4



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Owner
 CITY OF RIVERSIDE
 MUSEUM OF RIVERSIDE

Drawn by:
 Checked by:
 Professional's Stamp

NOT FOR CONSTRUCTION

Project Title
 HARADA HOUSE
 PHASE 2

Sheet Title
 CONSTRUCTION
 PLAN

Design Stage
 80% PROGRESS
 CONSTRUCTION
 DOCUMENTS

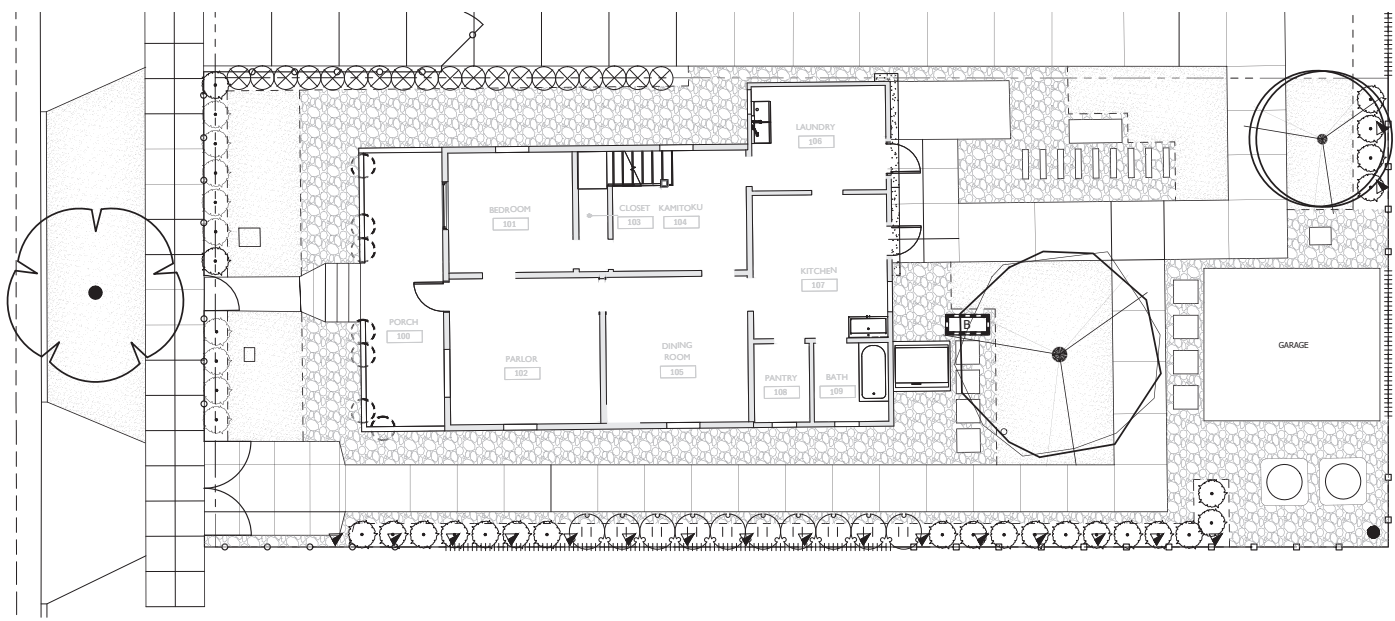
Project Address
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 Riverside, CA
 92501

Scale
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Date
 November 20, 2025

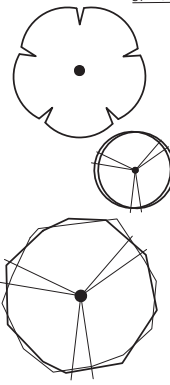
Sheet Number
 L-1

LEMON STREET



PLANTING NOTES:

- CONTRACTOR TO VERIFY QUANTITIES BASED ON SPACING AND ADD ADDITIONAL PLANT MATERIAL (AT NO ADDITIONAL COST TO THE OWNER) REQUIRED TO MAINTAIN DESIGN INTENT DUE TO EXISTING SITE CONDITIONS NOT ANTICIPATED DURING DESIGN. LANDSCAPE ARCHITECT TO APPROVE FINAL LAYOUT IN FIELD PRIOR TO INSTALLATION.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF SITE CONDITIONS WHICH PREVENT INSTALLATION PER PLANS AND SPECIFICATIONS.
- IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL PRIOR TO INSTALLATION OF PLANT MATERIAL.
- TREES AND SHRUBS SHALL BE PLANTED AFTER CONCRETE PLACEMENT, BUT NOT BEFORE IRRIGATION COVERAGE TEST NO.1 HAS BEEN APPROVED. (SEE SPECIFICATIONS)
- REFER TO SOILS REPORT IN BID DOCUMENTS FOR ACCURATE SOIL AMENDMENTS. BID DOCUMENT SOILS REPORT RECOMMENDATIONS TO TAKE PRECEDENCE OVER PLANTING SPECIFICATION CALLOUTS. REFER TO PLANTING DETAIL SHEET L-6 FOR SOIL MANAGEMENT PLAN REQUIREMENTS. CONTRACTOR SHALL CONDUCT ADDITIONAL AGRONOMIC SOILS TESTING PRIOR TO SOIL AMENDMENT BUT AFTER SLOPE GRADING HAS REACHED SUBSTANTIAL COMPLETION. THE RECOMMENDATIONS OF THE SOIL REPORT SHALL SUPERCEDE THE SOIL PREPARATION AND BACKFILL MIX SPECIFICATIONS (SEE SPECIFICATIONS). THE CONTRACTOR SHALL SUBMIT A COPY OF ALL SOILS REPORTS TO THE LANDSCAPE ARCHITECT PRIOR TO THE MODIFICATION OF THESE SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS AND/OR REPLACEMENT OF ANY DAMAGED LANDSCAPE AREAS BEYOND THE LIMIT OF WORK, INCLUDING REPAIRING ANY IRRIGATION LINES/SPRINKLER HEADS, THAT IS A DIRECT RESULT OF THE LANDSCAPE CONSTRUCTION AND/OR HIS SUB-CONTRACTOR. REPLACEMENT ITEMS SHALL BE EXACT DUPLICATION OF ORIGINAL WORK OR PLANTS, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
- CLEAN-UP SHALL TAKE PLACE ON A DAILY BASIS UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL GRADES AND FLOW LINES AS SHOWN ON THE GRADING PLAN.
- TRUNKS OF TREES PLANTED WITHIN TURF AREAS SHALL BE INSTALLED WITH TRUNK GUARDS TO PROTECT FROM MOWERS AND TRIMMERS.
- NO CHANGES OR SUBSTITUTIONS TO BE MADE WITHOUT REVISION TO THE PLANS AND APPROVED BY THE CITY OF RIVERSIDE.
- CONTRACTOR SHALL INSTALL DEEPROOT BARRIERS IN ALL AREAS WHERE TREES ARE INSTALLED WITHIN 6' (MIN.) OF HARDSCAPE PER DETAIL 'C', SHEET L-8 AND SHALL BE A MAXIMUM OF 12" DEEP. ROOT BARRIERS SHALL NOT ENCIRCLE THE TREE ROOTBALL BUT SHALL BE LOCATED AT EDGE OF HARDSCAPE AND EXTEND BEYOND CENTER OF TREE A MINIMUM OF 5' IN EACH DIRECTION.
- SEE DETAIL 'C', SHEET L-6 FOR SHRUB IN POTTERY INSTALLATION DETAIL.



PLANT SCHEDULE

SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	WUCOLS
	<i>Koeleruteria bipinnata</i> / Golden Rain Tree	24" Box	Mod
	<i>Prunus armeniaca</i> / Apricot	24" Box	Mod
	<i>Prunus persica</i> / Peach	48" Box	Mod

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	WUCOLS
	<i>Shrubs / Groundcover</i> <i>Callistemon v. 'Little John'</i> / Dwarf Bottlebrush	5 Gal	Low
	<i>Canna generalis</i> / Red Cannas	5 Gal	Mod
	<i>Pittosporum t. 'Dwarf Variegata'</i>	5 Gal	Mod
	<i>Westringia f 'Blue Gem'</i> / Blue Gem Coast Rosemary	5 Gal	Mod
	Marathon	SOD	High
	3" thick layer of 1"-2" dia. Decorative Rock, Mexican Sunburst available from Decorative Stone Solutions, 800-699-1878		
	<i>Vines</i> <i>Ipomoea tricolor</i> / Morning Glory	5 Gal @ 60" o.c.	Mod
	Japanese Sake or Shoyu 5 Gallon Wooden Keg planters with <i>Aspidistra eliator</i> / Cast Iron Plant	1 Gal	Mod
	<i>Arachnoides s. 'Variegata'</i> / Indian Holly Fern	1 Gal	Mod
	Raised vegetable garden with		

CITY PLANTING NOTES

- PRIOR TO ANY PLANTING, email Tree Inspector at gtanaka@riversideca.gov, to schedule inspection to determine precise locations and quantities at time of scheduled site inspection after fine grading and hardscape installation is complete. Planting, staking, irrigation, root barriers, trunk protectors, to Landscape & Forestry specifications.
- PLANTING HEIGHT:** Trunk flare area to be installed 2" above final grade keeping all mulch, grass, etc., at least 6" away from trunk base.
- TRUNK PROTECTORS:** ArborGard or similar tree trunk protectors. Polyethylene, 0.060" (1.52 mm) thickness.
- STAKING:** Trees are to be double-staked outside the root ball, using four 32" long Cinch-Ties (minimum length) in the following manner: 1) install tree with nursery stake facing in the direction of either of the two support stakes; 2) remove nursery stake; 3) hold tree trunk at different points to find the spot where the top does not bend over; 4) install two Cinch-Ties, 6" above this point, looping one be around trunk and attaching it to one support stake with one galvanized nail; then looping the other tie around trunk and attaching to the other support stake with a galvanized nail; 5) attach remaining two Cinch-Ties to the tree trunk at waist level in the same manner as the first tie.
- AUTOMATIC IRRIGATION:** Installation of automatic irrigation system to provide deep-root watering to trees is required.
- ROOT BARRIERS:** If tree is located within eight feet of hardscape, install 24-inch deep Root Guides/Barriers, or approved equal, along hardscape, NOT around root ball. The root control barrier shall be an injection molded or extruded modular component made of high-density polyethylene plastic. Root barriers shall be installed vertically along the EDGES of the adjacent hardscape with the root deflecting ribs facing inward away from the hardscape for a total of 12 feet (centered 6 feet either side of trunk) along curb and/or sidewalk edges immediately adjacent to tree. The top of the root barriers shall be even with the top of adjacent curb and sidewalk. Root barriers are to form a barrier along adjacent hardscape. It is very important that panels be installed with tops HORIZONTAL, and the root guiding ribs therefore VERTICAL. Root barriers are also available in rolls.

PLAN CROSS REFERENCE:
FOR CORRESPONDING CONSTRUCTION PLAN, REFER TO SHEET L-1
FOR CORRESPONDING IRRIGATION PLAN, REFER TO SHEET L-2
FOR CORRESPONDING PLANTING DETAILS, REFER TO SHEET L-8



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 MEP / FA / RIS & Lighting
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 Architectural Historian
JM RESEARCH & CONSULTING
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 www.jmrc.com
 Landscape Architect
RHA LANDSCAPE ARCHITECTS
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 www.rha.com
 Owner
CITY OF RIVERSIDE
 MUSEUM OF RIVERSIDE

Drawn by:
 Checked by:
 Professional's Stamp

Project Title
HARADA HOUSE
 PHASE 2

Sheet Title
 PLANTING
 PLAN

Design Stage
 60% PROGRESS
 CONSTRUCTION
 DOCUMENTS

Project Address
 3356 Lemon Street
 Riverside, CA
 92501

Scale
 1"=5'-0"

Date
 November 20, 2025

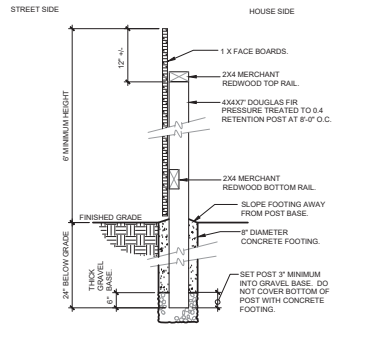
Sheet Number
 L-3

9/10/25_P2004

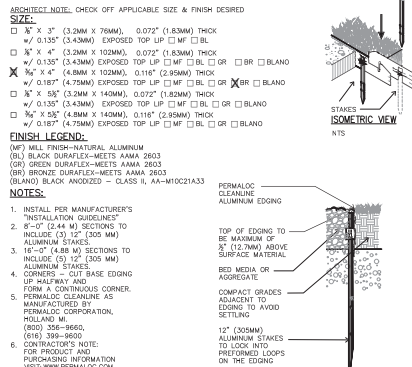
Exhibit 4 - Phase 2 Project Plans



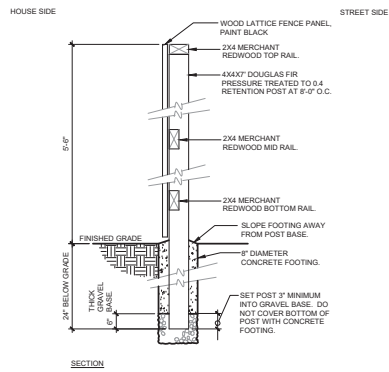
H JAPANESE SAKE / SHOYU 5 GALLON WOODEN KEG
SCALE: N.T.S.



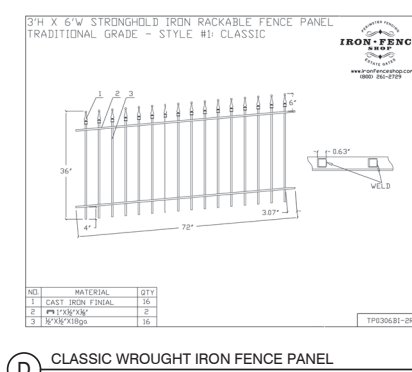
F SOLID PANEL WOOD FENCE
SCALE: 1" = 1'-0"



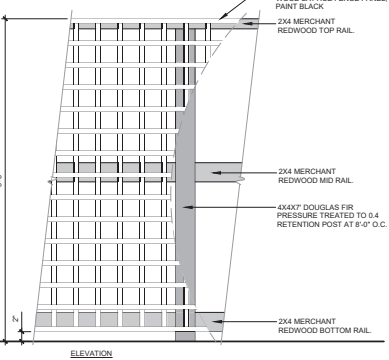
C 4" ALUMINUM EDGING
SCALE: 3/4" = 1'-0"



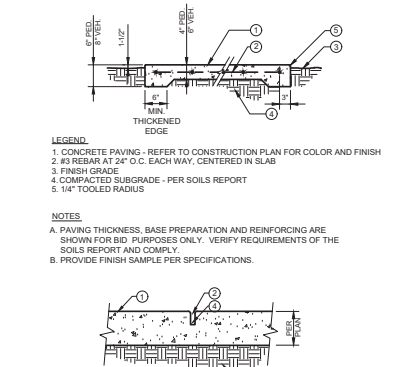
G DARK WOOD LATTICE FENCE
SCALE: 1" = 1'-0"



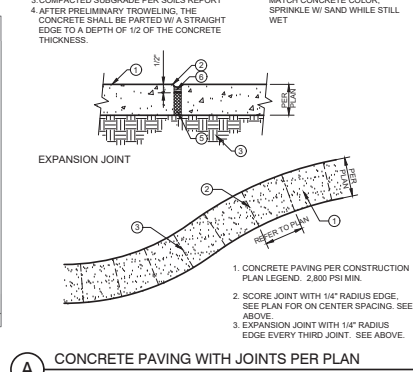
D CLASSIC WROUGHT IRON FENCE PANEL
SCALE: N.T.S.



E CUSTOM CLASSIC WROUGHT IRON GATE (3' x 3')
SCALE: N.T.S.



A CONCRETE PAVING WITH JOINTS PER PLAN
SCALE: 3/4" = 1'-0"



B DECORATIVE ROCK WITH ALUMINUM EDGING
SCALE: N.T.S.

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Owner
CITY OF RIVERSIDE
MUSEUM OF RIVERSIDE

Project Title
HARADA HOUSE PHASE 2

Sheet Title
CONSTRUCTION DETAILS

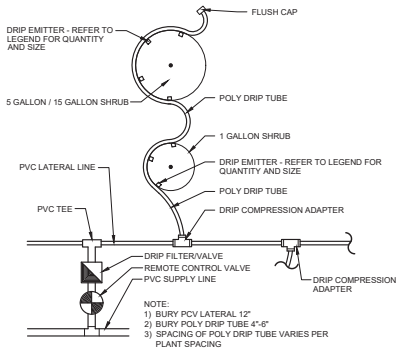
Design Stage
80% PROGRESS CONSTRUCTION DOCUMENTS

Project Address
3356 Lemon Street
Riverside, CA 92501

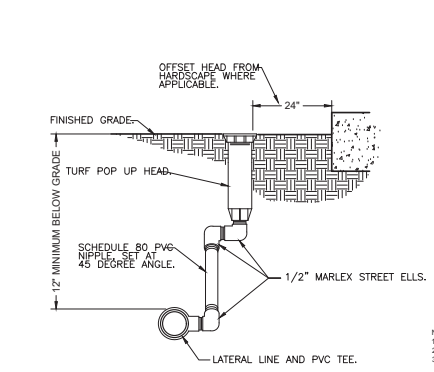
Scale
AS NOTED

Date
November 20, 2025

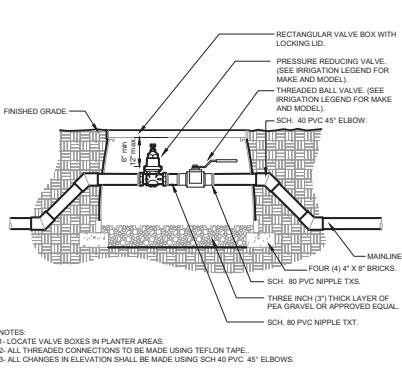
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L-4



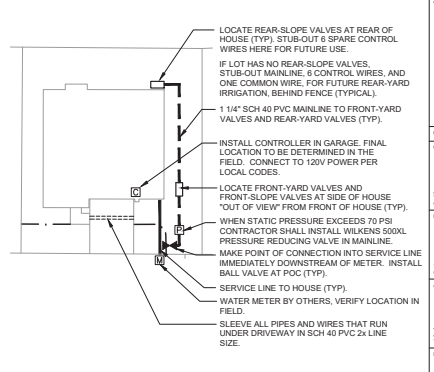
I LANDSCAPE DRIPLINE - PVC TO DRIP TUBE
1" = 1"



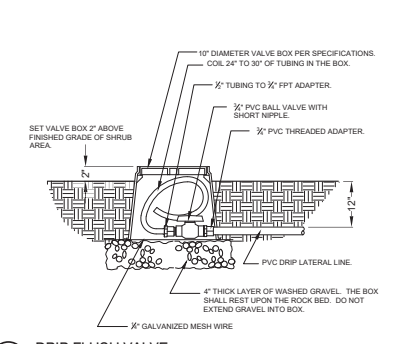
G TURF SPRAY MARLEX ASSEMBLY
3" = 1'0"



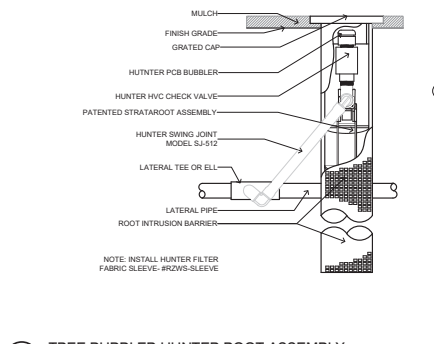
D BALL VALVE - PRESSURE REDUCING VALVE
1 1/2" = 1'0"



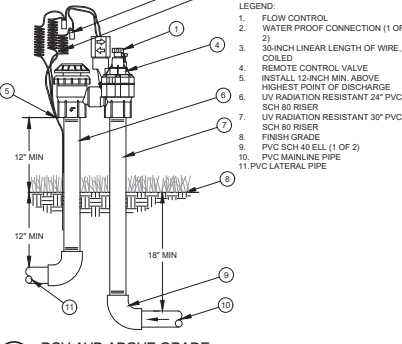
A RESIDENTIAL POC TYPICAL
3/8" = 1'0"



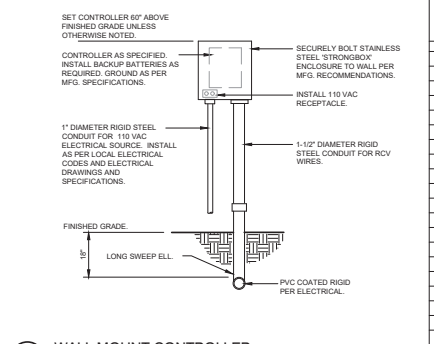
J DRIP FLUSH VALVE
NTS



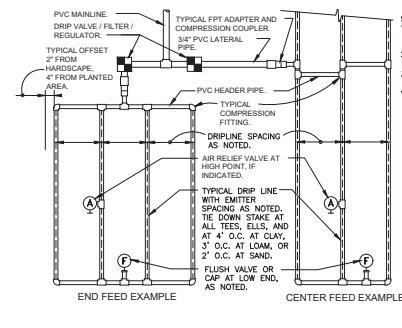
H TREE BUBBLER HUNTER ROOT ASSEMBLY
1" = 1"



E RCV-ABV ABOVE GRADE
1" = 1"



B WALL MOUNT CONTROLLER
NTS



K TYPICAL DRIPLINE LAYOUT REQUIREMENTS
3" = 1'0"

SLOPED CONDITION NOTE:

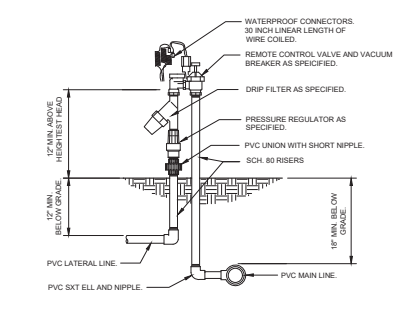
1. INSTALL AIR RELIEF VALVE AT HIGHEST POINT.
2. SPACING AS NOTED ON TOP 1/3 OF SLOPE.
3. SPACING AT BOTTOM 1/3 AS NOTED PLUS 20%.
4. WHEN ELEVATION CHANGE IS 10 FT OR MORE, ZONE BOTTOM 1/3 SEPARATELY.

		MAXIMUM LATERAL LENGTH (FEET)			
		EMITTER FLOW RATE GPH		EMITTER FLOW RATE GPH	
PSI	SPACING	12" SPACING	18" SPACING	24" SPACING	SPACING
10	12	125	96	175	135
20	24	191	144	255	198
30	36	256	192	333	255
40	48	320	240	420	320
50	60	384	288	510	390
60	72	450	336	600	450

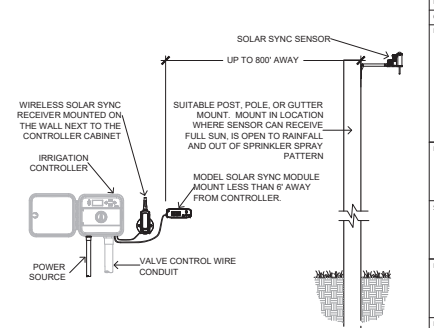
		MAXIMUM LATERAL LENGTH (FEET)	
		EMITTER FLOW RATE GPH	
PSI	SPACING	12" SPACING	18" SPACING
10	12	125	96
20	24	191	144
30	36	256	192
40	48	320	240
50	60	384	288
60	72	450	336

		MAXIMUM LATERAL LENGTH (FEET)	
		EMITTER FLOW RATE GPH	
PSI	SPACING	12" SPACING	18" SPACING
10	12	125	96
20	24	191	144
30	36	256	192
40	48	320	240
50	60	384	288
60	72	450	336

F DRIP RCV/ABV/FILTER/REG ABOVE GRADE
1 1/2" = 1'0"



F DRIP RCV/ABV/FILTER/REG ABOVE GRADE
1 1/2" = 1'0"



C ET SYSTEM
3/8" = 1'0"

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Owner
CITY OF RIVERSIDE
MUSEUM OF RIVERSIDE

Project Title
HARADA HOUSE PHASE 2

Sheet Title
IRRIGATION DETAILS

Design Stage
60% PROGRESS CONSTRUCTION DOCUMENTS

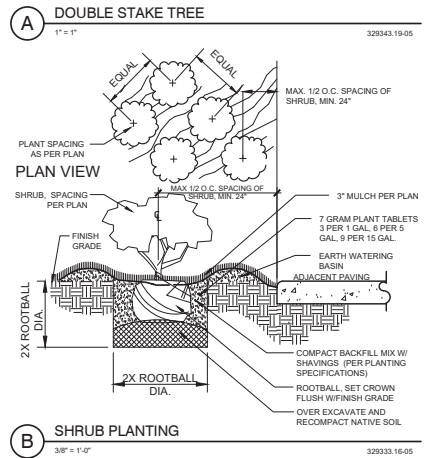
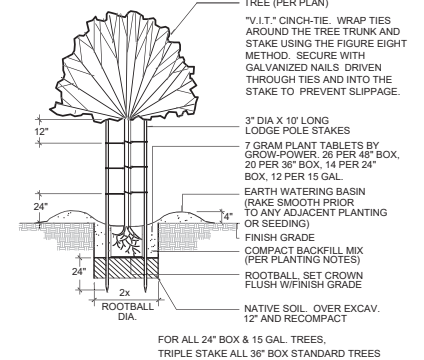
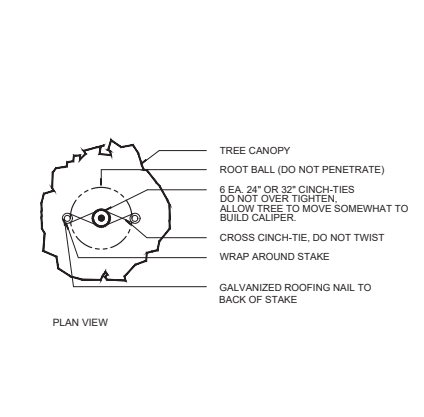
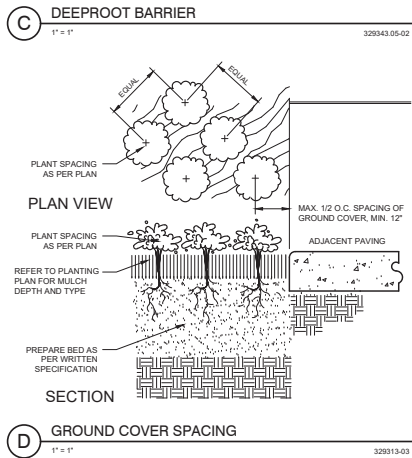
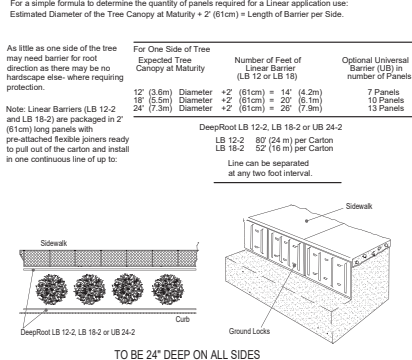
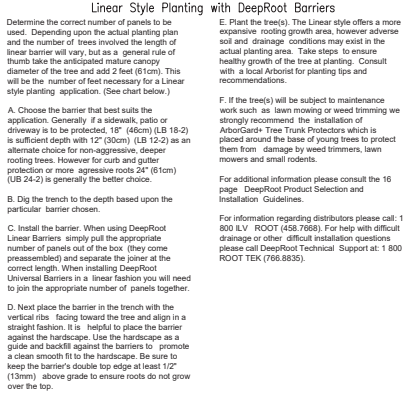
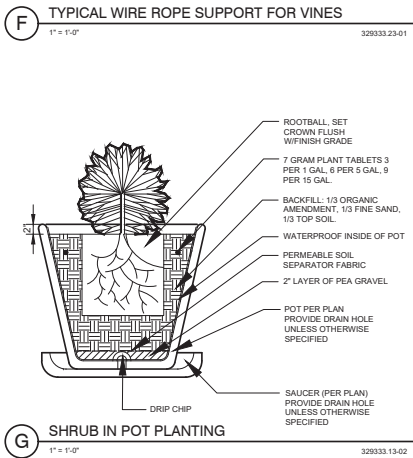
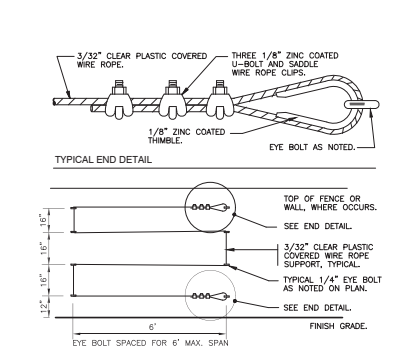
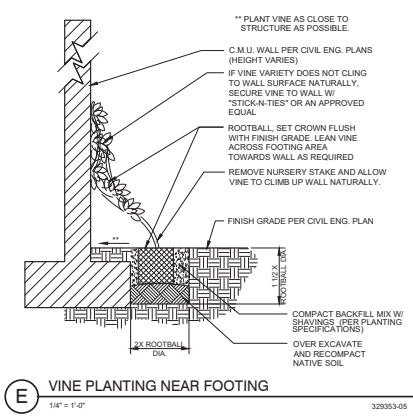
Project Address
3356 Lemon Street
Riverside, CA 92501

Scale
AS NOTED

Date
November 20, 2025

Sheet Number
L-5

1587_06/04



Linear Style Planting with DeepRoot Barriers

Determine the correct number of panels to be used. Depending upon the actual planting plan and the number of trees involved the length of linear barrier will vary, but as a general rule of thumb take the anticipated mature canopy diameter of the tree and add 2 feet (61cm). This will be the number of feet necessary for a Linear style planting application. (See chart below.)

A. Choose the barrier that best suits the application. Generally, if a sidewalk, patio or driveway is to be protected, 12' (61cm) (LB 18-2) is sufficient depth with 12' (30cm) (LB 12-2) as an alternate choice for non-aggressive, deeper rooting trees. However for curb and gutter protection or more aggressive roots 24' (61cm) (LB 24-2) is generally the better choice.

B. Dig the trench to the depth based upon the particular barrier chosen.

C. Install the barrier. When using DeepRoot Linear Barriers simply pull the appropriate number of panels out of the box (they come preassembled) and separate the corner at the correct length. When installing DeepRoot Universal Barriers in a linear fashion you will need to join the appropriate number of panels together.

D. Next place the barrier in the trench with the vertical ribs facing toward the tree and align in a straight fashion. It is helpful to place the barrier against the hardscape. Use the hardscape as a guide and backfill against the barriers to promote a clean smooth fit to the hardscape. Be sure to keep the barrier's double top edge at least 1/2" (13mm) above grade to ensure roots do not grow over the top.

E. Plant the tree(s). The Linear style offers a more expansive rooting growth area, however adverse soil and drainage conditions may exist in the actual planting area. Take steps to ensure healthy growth of the tree at planting. Consult with a local Arborist for planting tips and recommendations.

F. If the tree(s) will be subject to maintenance work such as lawn mowing or weed trimming we strongly recommend the installation of ArborCare® Tree Trunk Protectors which is placed around the base of young trees to protect them from damage by weed trimmers, lawn mowers and small rodents.

For additional information please consult the 16 page DeepRoot Product Selection and Installation Guidelines.

For information regarding distributors please call: 1 800 414-7669 (458-7669). For help with difficult drainage or other difficult installation questions please call DeepRoot Technical Support at: 1 800 ROOT-TEK (766-8835).

For a simple formula to determine the quantity of panels required for a Linear application use:
Estimated Diameter of the Tree Canopy at Maturity x 2' (61cm) = Length of Barrier per Side.

As little as one side of the tree may need barrier for root direction as there may be no hardscape edge where requiring protection.

For One Side of Tree	Expected Tree Canopy at Maturity	Number of Feet of Linear Barrier (LB 12 or LB 18)	Optional Universal Barrier (UB) in number of Panels
12' (3.6m)	Diameter	+2' (61cm) = 14' (4.2m)	7 Panels
18' (5.5m)	Diameter	+2' (61cm) = 20' (6.1m)	10 Panels
24' (7.3m)	Diameter	+2' (61cm) = 26' (7.9m)	13 Panels

Note: Linear Barriers (LB 12-2 and LB 18-2) are packaged in 2' (61cm) long panels with pre-attached flexible piners ready to pull out of the carton and install in one continuous line of up to:

DeepRoot LB 12-2, LB 18-2 or LB 24-2	Per Carton
LB 12-2	87' (24 m)
LB 18-2	52' (16 m)

Line can be separated at any two foot interval.

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Owner
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MUNICIPALITY OF RIVERSIDE

Drawn by:
Checked by:
Professional's Stamp

Project Title
HARADA HOUSE PHASE 2

Sheet Title
PLANTING DETAILS

Design Stage
80% PROGRESS CONSTRUCTION DOCUMENTS

Project Address
3356 Lemons Street
Riverside, CA 92501

Scale
AS NOTED

Date
November 20, 2025

Sheet Number
L-8

9/21/26/24

PAD SCHEDULE			
SYMBOL	SIZE	BOTTOM REBAR	TOP REBAR
(1)	3'-0" x 2'-0" x 1/4" THICK	(4) #4 EACH WAY	(4) #4 EACH WAY
(2)	3'-0" x 3'-0" x 1/4" THICK	(5) #4 EACH WAY	(5) #4 EACH WAY

NOTES:
 F_c = 3,000 PSI W/ CONTINUOUS SPECIAL INSPECTION
 F_y = 60,000 PSI

GRADE BEAM SCHEDULE						
BEAM	WIDTH	DEPTH	TOP STEEL	BOTT. STEEL	FACE STEEL	TIES
1	18"	24"	(3) #5 BARS	(3) #5 BARS	-	#4 @ 7" O.C.
2	12"	24"	(2) #5 BARS	(2) #5 BARS	-	#4 @ 7" O.C.

NOTES:
 F_c = 3,000 PSI W/ CONTINUOUS SPECIAL INSPECTION
 F_y = 60,000 PSI

MAIN HOUSE FOUNDATION PER PHASE 1 STRUCTURAL SHORING PLANS

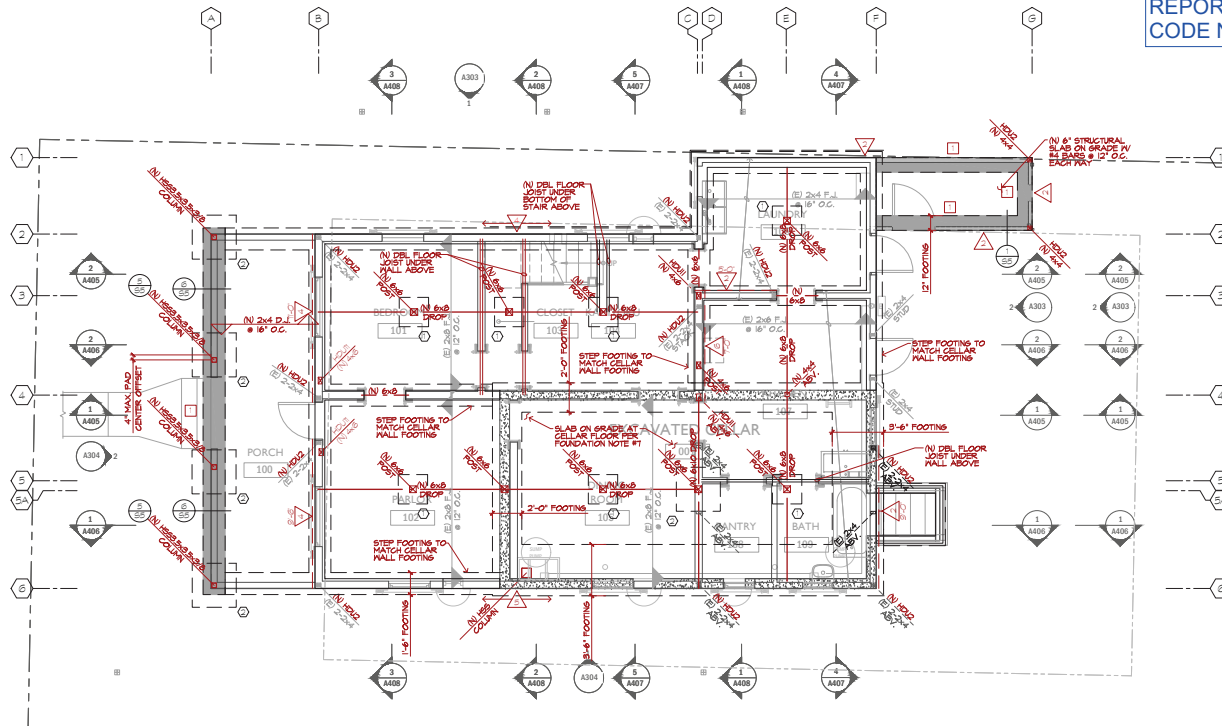
8. SOIL FILE/REPORTS BY JOHN R. BYERLY, INC. WHICH ARE CONSIDERED A PART OF THESE PLANS.
 A. FILE NO. 54875 / REPORT NO. 1769 DATED MARCH 11, 2023
 B. FILE NO. 54875 / REPORT NO. 1776 DATED APRIL 03, 2023
 C. FILE NO. 54875 / REPORT NO. 1722 DATED APRIL 13, 2023
 D. FILE NO. 54875 / REPORT NO. 1738 DATED MAY 03, 2023
9. SOIL ENGINEER FROM JOHN R. BYERLY, INC. TO REVIEW AND APPROVE THESE PLANS BEFORE RECEIVING PERMIT. SOIL ENGINEER TO SIGN THESE PLANS TO VERIFY COMPLIANCE WITH THE SOIL REPORT RECOMMENDATIONS. ALL FOUNDATION ENHANCEMENTS MUST BE OBSERVED AND APPROVED BY SOIL ENGINEER PRIOR TO PLACEMENT OF REINFORCING STEEL.
10. BEARING MATERIAL IS COMPETENT NATURAL SOIL. "MAXIMUM ALLOWABLE BEARING CAPACITY PRESSURE IS 3000PSF/3000PSF. MINIMUM ESTIMATED B-SECTION DEPTH IS 5'-0" BELOW EXTERIOR GRADE.
11. SOILS AT SITE HAVE BEEN FOUND TO HAVE NEGLIGIBLE LEVELS OF SOLUBLE SULFATE CONCENTRATION IN CONTACT WITH THE ON SITE SOIL SHOULD BE DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE.
 PER 30089.1(M) SOIL SAMPLES SHOULD BE OBTAINED AT THE TIME OF INITIAL GRADING FOR TESTING TO DETERMINE THE SOLUBLE SULFATE CONCENTRATION.
12. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.

13. LEGEND:
- + NEW SLAB ON GRADE FOUNDATION
 - EXISTING BEAM
 - EXISTING DECK JOIST
 - EXISTING FLOOR JOIST
 - NEW BEAM
 - NEW DECK JOIST

FOUNDATION NOTES

- PAD FOOTING INDICATOR - SEE PAD SCHEDULE FOR SIZE AND REINFORCEMENT.
- GRADE BEAM INDICATOR - SEE GRADE BEAM SCHEDULE FOR SIZE AND REINFORCEMENT.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, SLAB DEPRESSIONS, CURBS AND ELEVATIONS.
- REFER TO THE SHEAR WALL SCHEDULE FOR THE ANCHOR BOLT SPACING AND SILL PLATE DIMENSIONS. (MAXIMUM SILL PLATE SPACING @ 48" O.C. FROM END OF PLATE)
- FOUNDATION SILL PLATES SHALL BE PRESERVATIVE-TREATED LUMBER. **ALL ANCHOR BOLTS AND OTHER FASTENERS IN PRESERVATIVE-TREATED SILL PLATES SHALL BE GALVANIZED OR STAINLESS STEEL.**
- PLATE WASHERS
- ALL ANCHOR BOLT SHALL HAVE THE STEEL PLATE WASHERS AS NOTED ON NOTE 11 OF THE SHEAR WALL SCHEDULE.
- ANCHOR BOLT
- ALL THE HOLD DOWNS SHALL BE RE-TIGHTENED JUST PRIOR TO CONCRETE WALL FRAMING.
- SLAB ON GRADE
 - #4 CONCRETE SLAB W/ #4 @ 18" O.C. EA. WAY ON 10" MIN. VAPOR BARRIER ON 4" GRAVEL BED ON GRADE OR PER SOILS REPORT RECOMMENDATION AND CALIFORNIA GREEN BUILDING CODE MINIMUM REQUIREMENTS (SECTION 4.505.2). F_c = 3000 PSI (INCREASE AS FOR MORE CRACK CONTROL); F_y = 60,000 PSI.
 - CONTROL JOINTS SHALL BE LOCATED NO MORE THAN 10' APART IN EACH DIRECTION UNLESS SPECIFIED OTHERWISE BY ARCHITECT.

NEED UPDATED SOILS REPORT FOR NEW ASCE CODE NEXT YEAR



HARADA HOUSE BASEMENT FOUNDATION PLAN

50%CD PROGRESS SET

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Owner
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Project Engineer: RG
 Drawn by: DI
 Project No.: 25005
 Professional's Stamp
CRITICAL PATH METHOD

Project Title
HARADA HOUSE & INTERPRETIVE CENTER
 REHABILITATION & CONSTRUCTION ARCHITECTURAL DESIGN PROJECT

Sheet Title
HARADA HOUSE BASEMENT FOUNDATION PLAN

Design Stage
DESIGN DEVELOPMENT

Project Address
 3342 & 3356 Lemon Street
 Riverside, CA 92501

Scale
 1/4" = 1'-0"

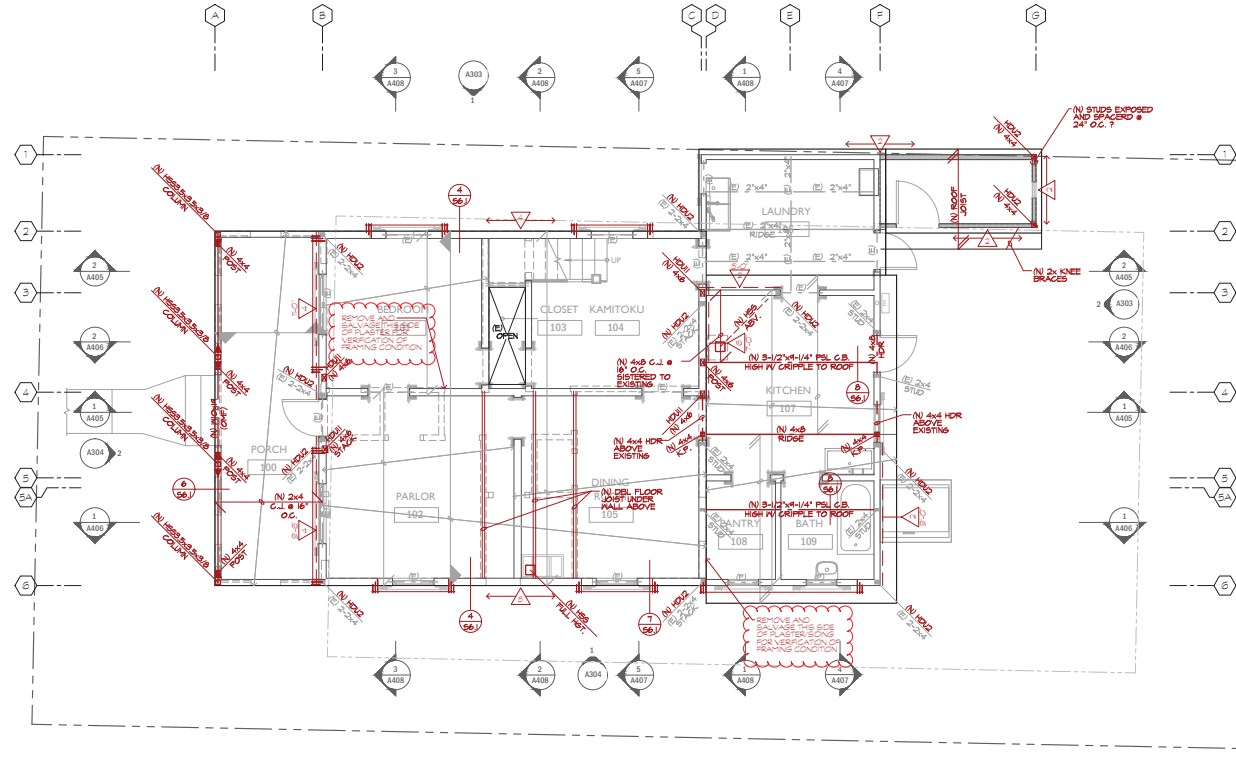
Date

Sheet Number
S2

- 14) INTERIOR STUDS ARE MINIMUM 2x3-3/4 @ 16" O.C. (VERIFY IN FIELD)
EXTERIOR STUDS ARE MINIMUM 2x3-3/4 @ 16" O.C. (VERIFY IN FIELD)
- 15) ALL BEAMS DESIGNATED AS STRUTS TO HAVE PLYWOOD BOUNDARY NAILING
- 16) CONTRACTOR TO VERIFY ALL (E) CONDITIONS AND NOTIFY ENGINEER OF RECORD IF THERE ARE ANY DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS
- 17) ♦ DENOTES DEAD LOAD DEFLECTION
CONTRACTOR AND ARCHITECT TO COORDINATE FRAMING OR CAMBER IN BEAM AS REQUIRED FOR FINISH
- ◆ DENOTES LIVE LOAD DEFLECTION
CONTRACTOR AND ARCHITECT TO COORDINATE FINISHES, TRACKS, WINDOWS, AND DOORS TO ACCOMMODATE DEFLECTIONS
SEE LIVE LOAD AND DEAD LOAD DEFLECTIONS ARE NOTIVE
- 18) EXISTING SHEATHING ABOVE CEILING JOIST AND EXISTING N V STRAIGHT SHEATHING AT ROOF TO BE REMOVED ROOF TO HAVE ALL NEW SHEATHING PER NOTE #5
- 19) FOR ALL DETERIORATED EXISTING FRAMING
♦STUD FRAMING TO BE SISTERED WITH 2x OF MATCH DEPTH
JOIST FRAMING TO BE SISTERED WITH 1x3/4x LVL 2 OF MATCH DEPTH
- 20) AFTER PHASE 1S COMPLETE REMOVE ALL TEMPORARY SHEATHING ON ONE SIDE OF THE BUILDING THEN FOR AND ARCHITECT TO INSPECT EXPOSED EXISTING FRAMING, PRIOR TO INSTALLATION OF NEW FRAMING REPEAT PROCEDURE ON REMAINING SIDES OF BUILDING.

- 7) NEW ROOF DIAPHRAGM MATERIAL AND NAILING
5/8" CON PLYWOOD (INDEX 3218) W/ 10x COMMON NAILS (2x4x DIA x 2x4x LONG + 2x2x0x8 @ 12" @ O.C. AT PANEL EDGES AND BUILDING PERIMETER BOUNDARY) AND 2" O.C. @ PANEL FIELDS. ALL EDGES SHALL BE BLOCKED WITH PLAT 2x4x.
- 8) EXISTING FLOOR DIAPHRAGM MATERIAL AND NAILING
1x STRAIGHT SHEATHING TO REMAIN.
- 9) SEE FRAMING SYMBOL KEY OR PLAN FOR JOIST SIZES
- 10) MINIMUM HANGERS
2x JOISTS TO BEAMS: SIMPSON U SERIES
4x BEAMS TO BEAM: HU
8x BEAMS TO BEAM: HW
1x 6x BEAM: HW, W
- 11) TRIMMERS
1x2x3-3/4" TRIMMER REQUIRED FOR 4x8 HEADERS AND SMALLER L.V.O.
- 12) DENOTES HORIZONTAL STRAP BETWEEN WALL TOP PLATES AND BEAM OR DOUBLE JOISTS OR BETWEEN TWO BEAMS OR TOP AT PLATE BREAK - SEE TYPICAL DETAILS AND PLAN (STAYS MIN L.V.O.)
- 13) (N) = NEW MEMBER (E) = EXISTING MEMBER (D) = DECK JOIST
F.J. = FLOOR JOIST R.J. = ROOF JOIST C.J. = CEILING JOIST
F.B. = FLOOR BEAM R.B. = ROOF BEAM C.B. = CEILING BEAM
= BEAM (SIZE AS NOTED ON PLAN)
- ◆ = DOUBLE JOIST
- ◆ = SINGLE JOIST
- ◆ = EXISTING (E) ROOF JOISTS 2x4x R.J. @ 20" O.C. L.V.O.
- ◆ = EXISTING (E) CEILING JOISTS 1x3/4x C.J. @ 16" O.C. L.V.O.
- ◆ = EXISTING (E) FLOOR JOISTS 2x7 F.J. @ 21" O.C. L.V.O.
- ◆ = EXISTING WALLS TO REMAIN
- ◆ = LOW WALL

- ### FRAMING PLAN NOTES
- 1) △ SHEARWALL INDICATOR - SEE SHEARWALL SCHEDULE
 - 2) DENOTES LIMITS OF SHEARWALL PLYWOOD TO BE PLACED ON INDICATED SIDE OF WALL
 - 3) DENOTES SHEARWALL TO EXTEND ENTIRE WALL LINE
 - 4) EXISTING PLASTER SHALL BE SALVAGED FOR INTERIOR WALLS WHEN EXPOSING TO VERIFY CONDITION OF EXISTING FRAMING. EXISTING SILL AND TOP PLATE CONNECTION TO BE VERIFIED. ADD 18x4x COMMON NAILS @ 8" O.C. BOTTOM SILL AND ADD 8" @ 22" O.C. FOR TOP PLATE
 - 5) DENOTES POST BELOW ROOF OR FLOOR FRAMING. PROVIDE MULTIPLE STUDS AT ALL BEAMS FOR FULL BEARING UNLESS NOTED OTHERWISE (2x2 MIN. IF NOT SPECIFIED)
 - 6) DENOTES POST ABOVE LEVEL SHOWN.
 - 7) DENOTES POST STACKS DIRECTLY WITH POST ABOVE. PROVIDE SILD BLOCKING BELOW.
 - 8) DENOTES KING POST TO BEAM BELOW.
 - 9) PROVIDE NEW DOUBLE FLOOR JOISTS UNDER ALL PARALLEL WALLS AND PROVIDE BLOCKING BELOW ALL PERPENDICULAR WALLS
 - 10) DENOTES SIMPSON HOLDOWN AND POST IN WALL TO POST IN WALL BEAM, DOUBLE JOIST OR FOUNDATION BELOW. 2x2x POST MINIMUM IF NOT SPECIFIED.



HARADA HOUSE LOW ROOF FRAMING / SECOND FLOOR FRAMING PLAN

50%CD PROGRESS SET

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Landscape Architect
RHA

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Owner
CITY OF RIVERSIDE
 MUSEUM OF RIVERSIDE

Project Engineer: RG
 Drawn by: DJ
 Project No.: 254005
 Professional's Stamp
CITY OF RIVERSIDE
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL & STRUCTURAL ENGINEERING
 No. 10000

Project Title
HARADA HOUSE & INTERPRETIVE CENTER
 REHABILITATION & CONSTRUCTION
 ARCHITECTURAL DESIGN PROJECT

Sheet Title
 HARADA HOUSE
 LOW ROOF FRAMING
 / SECOND FLOOR
 FRAMING PLAN

Design Stage
 DESIGN DEVELOPMENT

Project Address
 3342 & 3356 Lemon Street
 Riverside, CA
 92501

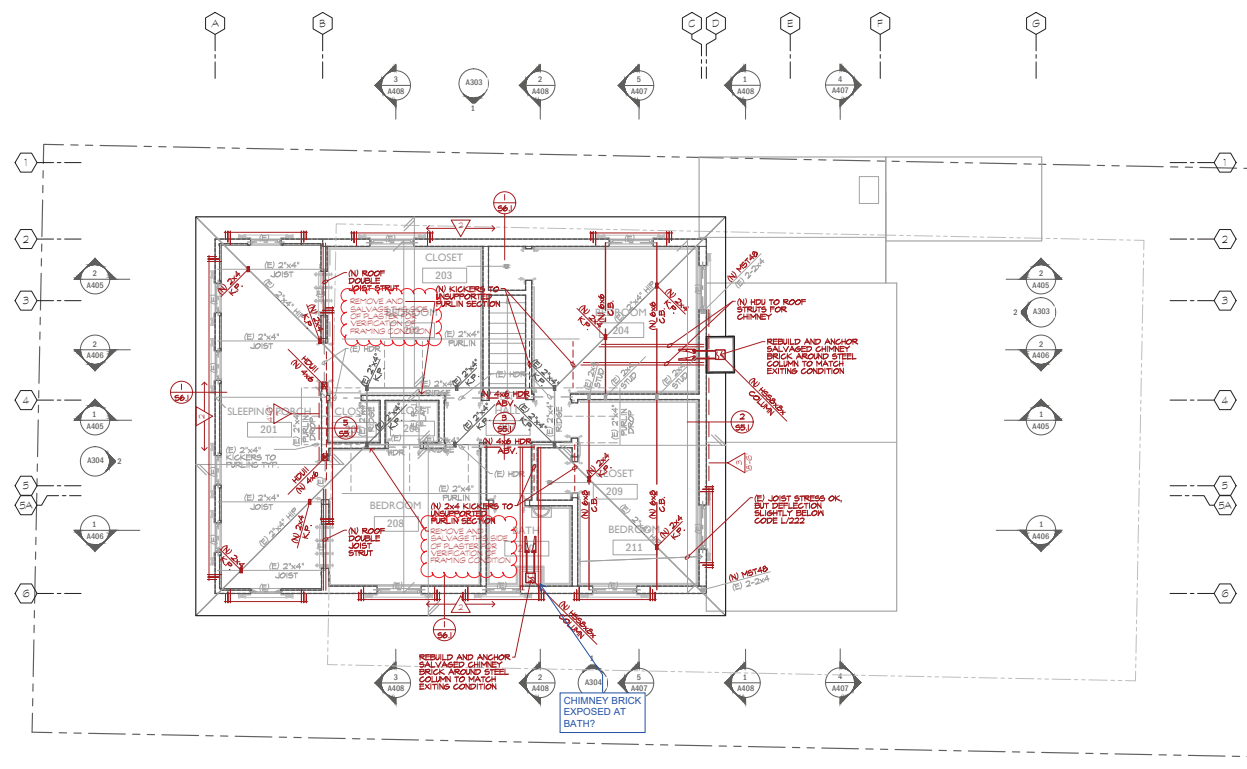
Scale
 1/4" = 1'-0"

Date

Sheet Number
S3

- (N) = NEW MEMBER
 - (E) = EXISTING MEMBER
 - R.J. = ROOF JOIST
 - C.J. = CEILING JOIST
 - R.B. = ROOF BEAM
 - = BEAM (SIZE AS NOTED ON PLAN)
 - == = DOUBLE JOIST
 - = SINGLE JOIST
 - = EXISTING (E) ROOF JOISTS 2"x4" R.J. @ 24" O.C. I.N.O.
 - = EXISTING (E) CEILING JOISTS 2"x4" C.J. @ 18" O.C. I.N.O.
 - = EXISTING WALLS TO REMAIN
 - = LOW WALL
- 1) INTERIOR STUDS ARE MINIMUM 2"x3-3/4" @ 18" O.C. (VERIFY IN FIELD)
 - EXTERIOR STUDS ARE MINIMUM 2"x3-3/4" @ 18" O.C. (VERIFY IN FIELD)
 - 2) ALL BEAMS DESIGNATED AS 'STRUTS' TO HAVE PLYWOOD BOUNDARY NAILING
 - 3) CONTRACTOR TO VERIFY ALL (E) CONDITIONS AND NOTIFY ENGINEER OF RECORD IF THERE OCCUR ANY DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS
 - 4) DENOTES DEAD LOAD DEFLECTION
CONTRACTOR AND ARCHITECT TO COORDINATE FRAMING OR CHAMFER IN BEAM AS REQUIRED FOR FINISH
 - 5) DENOTES LIVE LOAD DEFLECTION
CONTRACTOR AND ARCHITECT TO COORDINATE FINISHES, TRACKS, WINDOWS AND DOORS TO ACCOMMODATE DEFLECTIONS
NOTE LIVE LOAD AND DEAD LOAD DEFLECTIONS ARE ADDITIVE
 - 6) FOR ALL DETERIORATED EXISTING FRAMING:
STUD FRAMING TO BE SISTERED WITH 2x OF NO. 2 OR MATCH DEPTH JOIST FRAMING TO BE SISTERED WITH 1-3/4" LVL 2.0E OF MATCH DEPTH
 - 7) AFTER PHASE 1 IS COMPLETE REMOVE TYP. TEMPORARY SHEATHING ON ONE SIDE OF THE BUILDING THEN E.O.R. AND ARCHITECT TO INSPECT EXPOSED EXISTING FRAMING. PRIOR TO INSTALLATION OF NEW FRAMING. REPEAT PROCEDURE ON REMAINING SIDES OF BUILDING.

- ### FRAMING PLAN NOTES
- 1) SHEARWALL INDICATOR - SEE SHEARWALL SCHEDULE
 - 2) DENOTES LIMITS OF SHEARWALL PLYWOOD TO BE PLACED ON INDICATED SIDE OF WALL
 - 3) DENOTES SHEARWALL TO EXTEND ENTIRE WALL LINE
 - 4) DENOTES KING POST TO BEAM BELOW
 - 5) DENOTES SIMPSON HOLLOWAN AND POST IN WALL TO POST IN WALL BEAM DOUBLE JOIST OR FOUNDATION BELOW. 2"x4" POST MINIMUM IF NOT SPECIFIED.
 - 6) NEW ROOF DIAPHRAGM MATERIAL AND NAILING
5/8" CDX PLYWOOD (INDEX S218) W/ 12x COMMON NAILS (D148 DA X 24x4 LONG) EXPOSED @ 12" @ O.C. AT PANEL EDGES AND BUILDING PERIMETER (BOUNDARY), AND 12" O.C. @ PANEL FIELDS. EXISTING SHEATHING ABOVE CEILING JOIST AND EXISTING IN STRAIGHT SHEATHING AT ROOF TO BE REMOVED. ROOF TO HAVE ALL NEW SHEATHING PER NOTE #6
 - 7) SEE FRAMING SYMBOL KEY OR PLAN FOR JOIST SIZES
 - 8) MINIMUM HANGERS
2x JOISTS TO BEAMS: SIMPSON 'U' SERIES
4x BEAMS TO BEAM: HU
6x BEAMS TO BEAM: HUT
8x BEAMS: HW, W
 - 9) TRIMMERS
1/2"x3-3/4" TRIMMER REQUIRED FOR ALL HEADERS I.N.O.
 - 10) DENOTES HORIZONTAL STRAP BETWEEN WALL TOP PLATES AND BEAM OR DOUBLE JOIST OR BETWEEN TWO BEAMS AT BREAK - SEE TYPICAL DETAILS AND PLAN. (M5748 MIN. I.N.O.)



HARADA HOUSE ROOF FRAMING PLAN

50%CD PROGRESS SET

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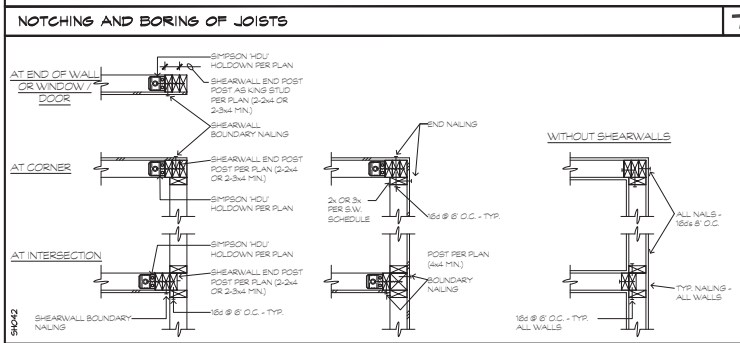
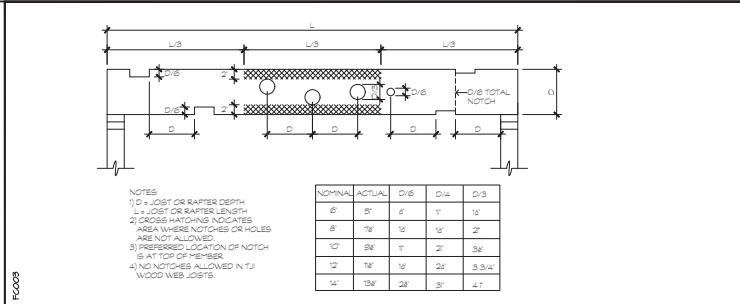
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Owner
 CITY OF RIVERSIDE
 MUSEUM OF RIVERSIDE

Project Engineer: RG
 Drawn By: DI
 Project No.: 25005
 Professional's Stamp
 HARADA HOUSE ROOF FRAMING PLAN
 Design Stage: DESIGN DEVELOPMENT
 Project Address: 3342 & 3356 Lemon Street, Riverside, CA 92501
 Scale: 1/4" = 1'-0"
 Date:
 Sheet Number: S4

Exhibit 4 - Phase 2 Project Plans



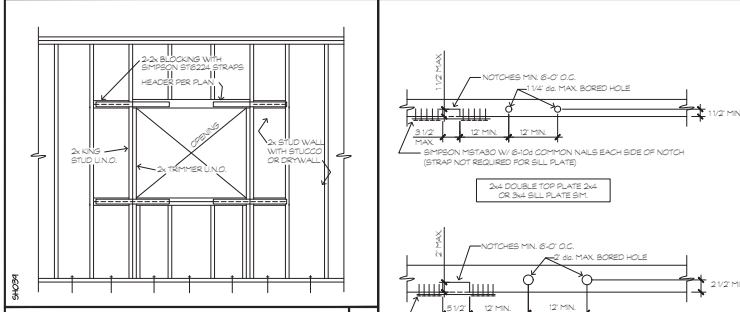
TYPICAL SHEARWALL CORNERS AND INTERSECTIONS

SHEARWALL SCHEDULE PER 2025 CBC (BASED ON 2021 IBC)

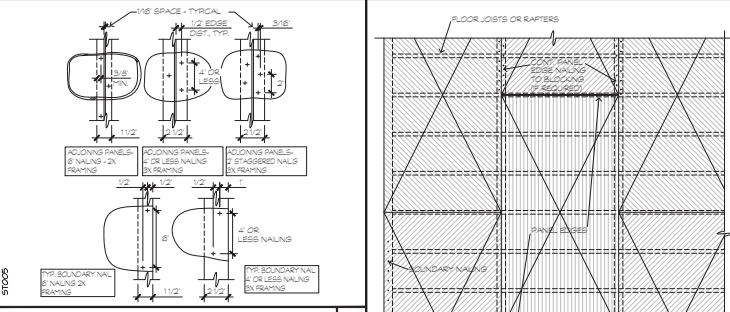
NO.	MATERIALS	2 SIDES			3x FRMS			BOUNDARY			EDGE	FIELD (1)	SHEAR TRANSFER			VALUE PLF (6) (7)
		BLOCKED	YES	NO	SIZE (5)	SIZE (5)	SIZE (5)	CLIP	MID SILL (6)	MID SILL (6)			UPLIFT/RETRO (12)			
1	15/32" STRUCT I PLYWOOD	NO	YES	NO	6"	6"	6"	12"	160 # 5"	14"	14"	160 # 5"	14"	14"	40"	280
2	15/32" STRUCT I PLYWOOD	NO	YES	NO	10d	6"	6"	12"	160 # 5"	14"	14"	160 # 5"	14"	14"	40"	312
3	15/32" STRUCT I PLYWOOD	NO	YES	YES	4"	4"	4"	12"	505 # 7" (4)	12"	12"	505 # 7" (4)	12"	12"	32"	480
4	15/32" STRUCT I PLYWOOD	NO	YES	YES	4"	4"	4"	12"	505 # 7" (4)	12"	12"	505 # 7" (4)	12"	12"	32"	580
5	15/32" STRUCT I PLYWOOD	NO	YES	YES	4"	4"	4"	12"	505 # 7" (4)	12"	12"	505 # 7" (4)	12"	12"	24"	612
6	15/32" STRUCT I PLYWOOD	NO	YES	YES	4"	4"	4"	12"	505 # 7" (4)	12"	12"	505 # 7" (4)	12"	12"	20"	780
7	15/32" STRUCT I PLYWOOD	NO	YES	YES	4"	4"	4"	12"	505 # 7" (4)	12"	12"	505 # 7" (4)	12"	12"	18"	800

- NOTES: (1) NAILING TO STUDS PER PLAN AT 12" O.C. ALL NAILS TO BE COMMON.
 (2) 160 COMMON NAIL TRANSFER THRU BOTTOM SILL OR 3/8" DIA. LAGS - SEE NOTE (4), OR 1/4"x6" SIMPSON SOB SCREWS - SEE NOTE (4).
 (3) SIMPSON SOB BENT CLIP OR SIMPSON L174 FLAT FRAMING CLIP.
 (4) 3x FRAMING REQUIRED AT ALL ADJOINING PANEL EDGES, AND BOTTOM SILL PLATES THAT REST ON CONCRETE OR MAGNETIC ONLY, EXCEPT DOUBLE TOP-PLATES MINIMUM 1/2" EDGE NAILING DISTANCE AT PANEL EDGES AND NOT LESS THAN 3/4" FROM EDGE OF CONNECTION MEMBERS. USE 3x MEMBERS AT BOUNDARIES WHEN NAILING SPACED AT 4" O.C. OR LESS.
 (5) USE SIMPSON "36" EPOXY FOR RETROFIT BOLTS - T' EMBED - WITH SPECIAL INSPECTION.
 (6) VALUES PER AFPA SOPNS-2021.
 (7) STRUCTURAL OBSERVATION BY THE STRUCTURAL ENGINEER IS REQUIRED FOR ALL WALLS WITH A VALUE GREATER THAN 300 PLF PERIODIC SPECIAL INSPECTION IS REQUIRED WHEN NAILING OF SHEATHING IS 4" O.C. OR CLOSER PER 2022 CBC SECTION 1705.11.
 (8) NAILS SHALL BE STAGGERED IN TWO LINES ALONG PANEL EDGES WHEN NAIL SPACING IS 2" O.C. OR WHEN 10d COMMON NAILS SPACED 8" O.C. PENETRATE FRAMING MORE THAN 1/2".
 (9) AT BOTTOM SILL PLATE FLOOR TRANSFER PROVIDE 3/8" DIAMETER LAG SCREWS WITH CUT WASHERS 8" EMBEDMENT INTO BLOCKING BELOW. HOLES MUST BE PRE-DRILLED. STAGGER LAGS 1/2" MIN. USE MIN. 4x BLOCKING BELOW OR 3 1/2" LSL BLOCKING).
 (10) SHEATHING NAILS AND SCREWS SHALL BE DRIVEN SO THAT THEIR HEAD IS FLUSH WITH THE SURFACE OF THE SHEATHING. USE MIN. 4x BLOCKING BELOW OR 3 1/2" LSL BLOCKING).
 (11) 3/4" X 8" 3/4" PLATE WASHERS ARE REQUIRED. A DIAGONALLY SLOTTED HOLE OF 3/8" WIDTH AND 1-3/4" LENGTH IN WASHER IS PERMITTED PROVIDED A STANDARD CUT WASHER IS PLACED BETWEEN THE SLOTTED PLATE WASHER AND NUT PER 2022 CBC SECTION 1705.11.
 (12) AT RAISED WOOD FOUNDATIONS, WHERE OCCURS, UPLIFT SIMPSON RETROFIT PLATE USE (3) SOB 1/4" dia. x 8" WOOD SCREWS INTO SILL PLATE & (2) 1/2" dia. THREADED RODS W/ SIMPSON "SET EPXY INTO EXISTING CONCRETE FOUNDATION - DRESS 4 1/2".
 (13) WHERE PLYWOOD IS APPLIED ON BOTH SIDES OF SHEARWALL, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS.
 (14) AT BOTTOM SILL PLATE FLOOR TRANSFER PROVIDE 1/4"x6" SIMPSON SOB SCREWS WITH 2-3/4" EMBEDMENT INTO BLOCKING BELOW. STAGGER SCREWS 1/2" MIN. USE MIN. 4x BLOCKING BELOW OR 3 1/2" LSL BLOCKING).
 (15) 10d COMMON = 8" X 0.148" (MAY USE ALTERNATE PLYWOOD NAIL = 2-3/8" X 0.148"). 8d COMMON = 2-1/2" X 0.131"
 (16) FOUNDATION SILL PLATES SHALL BE PRESSURE-TREATED LUMBER (CBC 2304.2.1.4). ANCHOR BOLTS AND OTHER FASTENERS IN RETROFIT-TREATED SILL PLATES SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL PER CBC 2304.10.3).
 (17) CLIPS TO BE ON EACH SIDE OF WALL WITH SPACING PER SCHEDULE.
 (18) STUDS MUST BE SPACED A MAXIMUM OF 16" O.C.

TYPICAL WINDOW STRAPS - ALL WINDOWS



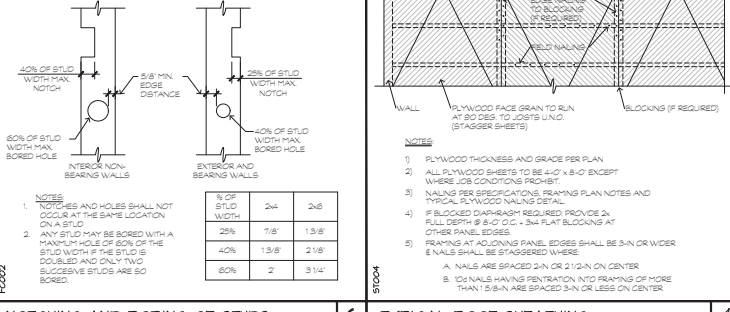
TYP. NOTCHES AND BORINGS IN TOP AND BOTTOM PLATES



TYPICAL ROOF SHEATHING

LAG SCREW REQUIREMENTS

LAG SCREW DIAMETER (IN)	LAG SCREW LENGTH (IN)	LAG SCREW TYPE	LAG SCREW TYPE
1/4, 5/16, 3/8	NOT REQ.	RED WOOD	NOT REQ.
1/2	5/8	1/4	1/4
5/8	1 1/8	3/8	3/8
3/4	1 1/2	1/2	1/2
7/8	1 3/4	5/8	5/8
1	2	3/4	3/4



TYPICAL DOUBLE TOP-PLATE NAILING AND CORNER LAP

TYP. NOTCHES AND BORINGS IN TOP AND BOTTOM PLATES

TYPICAL WINDOW STRAPS - ALL WINDOWS

NOTE: NAILS MAY BE REQUIRED TO BE REPLACED WITH SCREWS TO MITIGATE IMPACT RELATED DAMAGE.
 8d AND 10d COMMON NAILS EQUIVALENT FOR SHEATHING OF SEISMIC SYSTEMS USE SIMPSON "MSNTL" #9 SCREWS OF EQUIVALENT LENGTH OR GREATER (ESR#1472).
 COMMON FRAMING NAILS EQUIVALENT: SIMPSON "SDWS" FRAMING SCREWS (ER#-192)

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RHA LANDSCAPE ARCHITECTS
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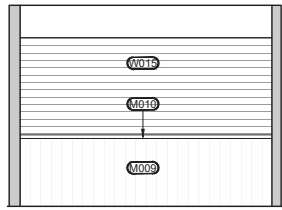
Project Engineer: RG
 Drawn by: DI
 Project No.: 25005
 Professional's Stamp

Project Title: **HARADA HOUSE & INTERPRETIVE CENTER**
 REHABILITATION & CONSTRUCTION ARCHITECTURAL DESIGN PROJECT

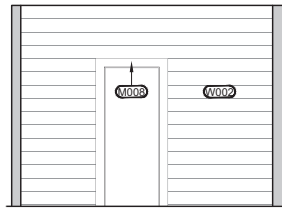
Sheet Title: **ROOF FRAMING PLAN**
 Design Stage: **DESIGN DEVELOPMENT**
 Project Address: 3342 & 3356 Lemon Street, Riverside, CA 92501
 Scale: 1/4" = 1'-0"
 Date:
 Sheet Number: **S6**

					<p>Architect 137 EAST COLORADO BLVD. SUITE 600 LOS ANGELES, CA 90013 T: 626.219.1785 www.kritzinger-rao.com</p> <p>Consultants Civil & Structural Engineer 4888 Sepulveda Blvd. Suite 100, Encinitas, CA 92025 www.cwhowe.com 8607 / 761.775 & 600.000</p> <p> 4850 Sepulveda Ave., Suite 100, Encinitas, CA 92025 www.building.com Historic Preservation</p> <p> 4850 Sepulveda Ave., Suite 100, Encinitas, CA 92025 www.imresearch.com</p> <p>Landscaping Architect 4850 Sepulveda Ave., Suite 100, Encinitas, CA 92025 www.rha.com</p> <p>Owner Riverside</p> <p>Project Engineer: RG Drawn By: DJ Project No.: 25005 Professional's Stamp </p>
	<p>10 SHEAR TRANSFER AT FLOOR 7</p>			<p>SHEAR TRANSFER AT ROOF EAVE 1</p>	
			<p>INTERIOR SHEAR TRANSFER TO ROOF 5</p>	<p>SHEAR TRANSFER AT ROOF EAVE 2</p>	
	<p>12 HIGH CEILING BEAM ABV. KITCHEN 8</p>		<p>CEILING CONNECTION TO HALLWAY HEADER 3</p>	<p>CEILING CONNECTION TO HALLWAY HEADER 3</p>	<p>Project Title HARADA HOUSE & INTERPRETIVE CENTER REHABILITATION & CONSTRUCTION ARCHITECTURAL DESIGN PROJECT</p> <p>Sheet Title ROOF FRAMING PLAN</p> <p>Design Stage DESIGN DEVELOPMENT</p> <p>Project Address 3342 & 3356 Lemon Street Riverside, CA 92501</p> <p>Scale 1" = 1'-0"</p> <p>Date</p> <p>Sheet Number</p>
	<p>13</p>	<p>9 SHEAR TRANSFER AT FLOOR ABV. PORCH 6</p>	<p>SHEAR TRANSFER AT FLOOR 4</p>	<p>S6.1</p>	

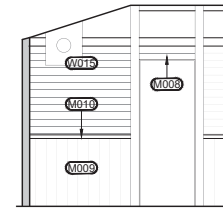
Exhibit 4 - Phase 2 Project Plans



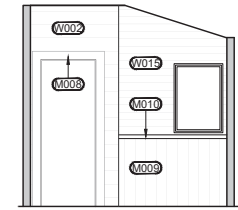
NORTH



SOUTH

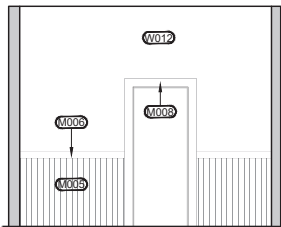


EAST

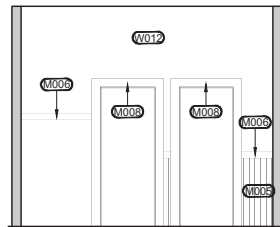


WEST

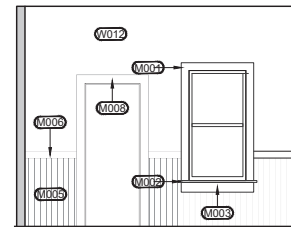
1 — 106 LAUNDRY
3/8" = 1'-0"



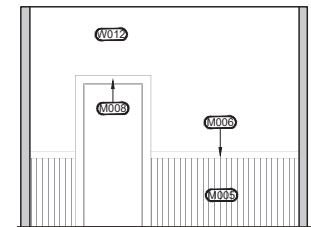
NORTH



SOUTH

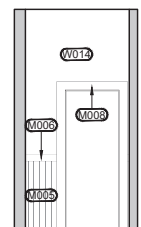


EAST

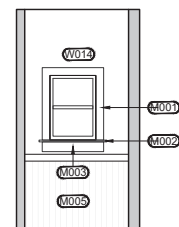


WEST

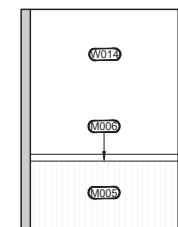
2 — 107 KITCHEN
3/8" = 1'-0"



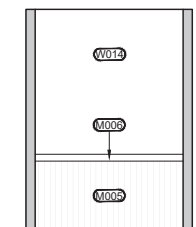
NORTH



SOUTH

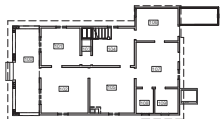


EAST



WEST

3 — 108 PANTRY
3/8" = 1'-0"



KEY PLAN
1/16" = 1'-0"

4

GENERAL NOTES

- REPAIR AND RESTORE ALL PENETRATIONS MADE DURING LIFTING & STABILIZATION OPERATIONS
- FOR FINISH SCHEDULE REFER TO PAGE A-604

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 www.cwhowe.com

MER / FA / FS & Lighting

 100 N. Garfield Ave., Suite 100, Glendale, CA 91205
 www.bbuilding.com

Historic Preservation

 JM RESEARCH & CONSULTING
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 Tel: (310) 224-9887

Landscaper/Architect

 RHA LANDSCAPE ARCHITECTS
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 www.rha.com

Owner
 CITY OF RIVERSIDE
 MUSEUM OF RIVERSIDE

Drawn by:

Checked by:

Professional's Stamp

Project Title

**HARADA HOUSE
 PHASE 2**

Sheet Title

INTERIOR
 ELEVATIONS

Design Stage
 50% CONSTRUCTION
 DOCUMENTS

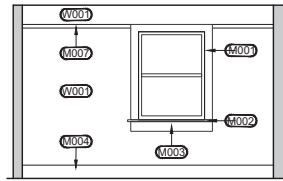
Project Address
 3342 & 3356 Lemon Street
 Riverside, CA
 92501

Scale
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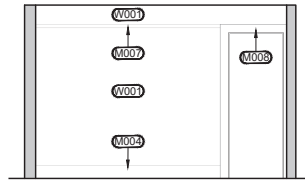
Date
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Sheet Number
A-205

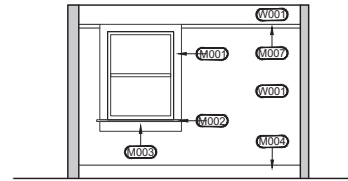
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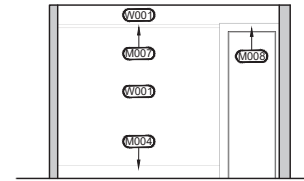
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SOUTH

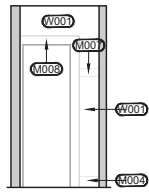


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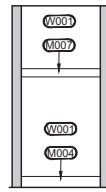


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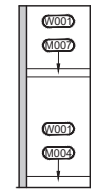
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3/8" = 1'-0"



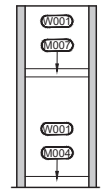
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SOUTH

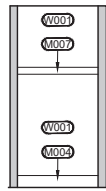


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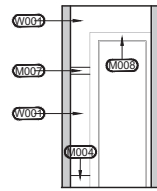


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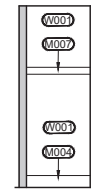
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3/8" = 1'-0"



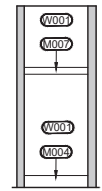
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SOUTH

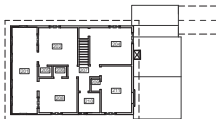


EAST



WEST

3 — 206 CLOSET
3/8" = 1'-0"



4 — KEY PLAN
1/16" = 1'-0"

GENERAL NOTES

- REPAIR AND RESTORE ALL PENETRATIONS MADE DURING LIFTING & STABILIZATION OPERATIONS
- FOR FINISH SCHEDULE REFER TO PAGE A-604

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LANDSCAPE ARCHITECTURE

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Owner
 CITY OF RIVERSIDE
 MUSEUM OF RIVERSIDE

Project Title
**HARADA HOUSE
 PHASE 2**

Sheet Title
 INTERIOR
 ELEVATIONS

Design Stage
 50% CONSTRUCTION
 DOCUMENTS

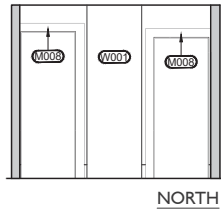
Project Address
 3342 & 3356 Lemon Street
 Riverside, CA
 92501

Scale
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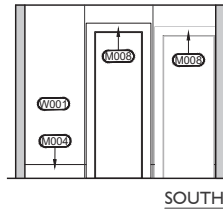
Date
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Sheet Number
A-208

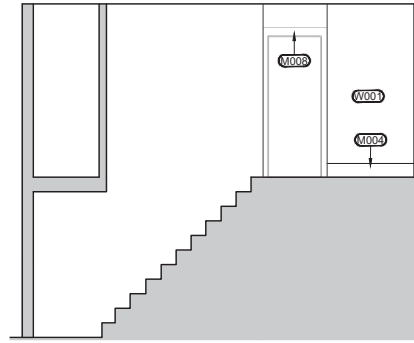
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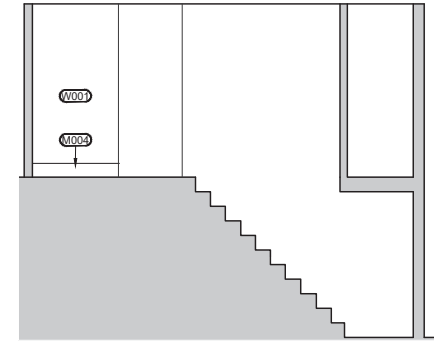
NORTH



SOUTH

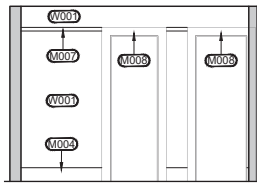


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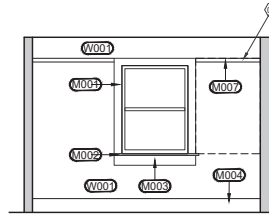


WEST

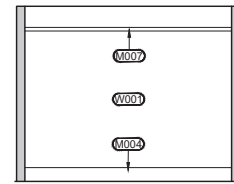
1 — 207 HALL
3/8" = 1'-0"



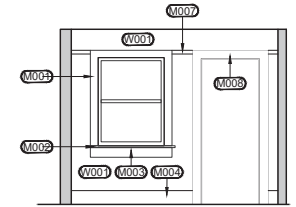
NORTH



SOUTH

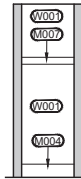


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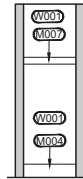


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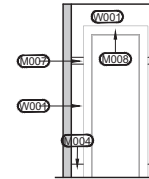
2 — 208 BEDROOM
3/8" = 1'-0"



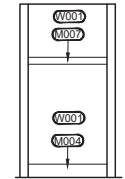
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SOUTH

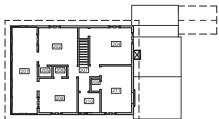


EAST



WEST

3 — 209 CLOSET
3/8" = 1'-0"



4 — KEY PLAN
1/16" = 1'-0"

GENERAL NOTES

- REPAIR AND RESTORE ALL PENETRATIONS MADE DURING LIFTING & STABILIZATION OPERATIONS
- FOR FINISH SCHEDULE REFER TO PAGE A-604

KEYNOTES

- REINSTALL THE INSCRIPTION PANEL PER THE RECOMMENDATION IN THE HARADA INSCRIPTION PANEL TREATMENT REPORT

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Owner
**CITY OF RIVERSIDE
 MUSEUM OF RIVERSIDE**

Drawn by:

Checked by:

Professional's Stamp

Project Title

Sheet Title

Design Stage

Project Address

Scale

Date

Sheet Number

NOT FOR CONSTRUCTION

HARADA HOUSE PHASE 2

INTERIOR ELEVATIONS

50% CONSTRUCTION DOCUMENTS

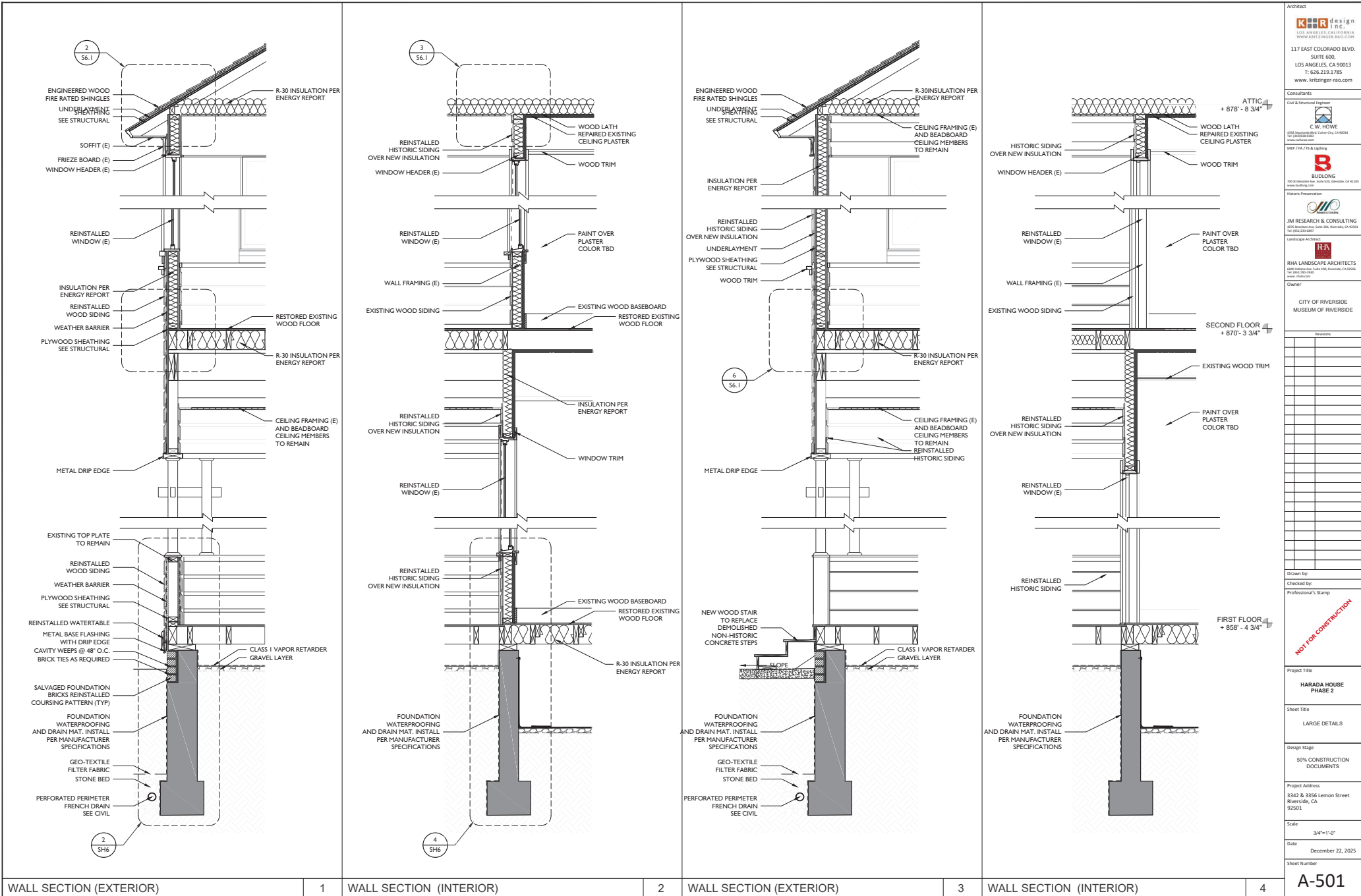
3342 & 3356 Lemon Street
 Riverside, CA
 92501

3/16" = 1'-0"

December 15, 2025

A-209

HARADA HOUSE_ARCH_2025.DWG



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 WWW.CWHOWE.COM
 MEP / FA / RIS & Lighting
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RHA
 RHA LANDSCAPE ARCHITECTS
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Owner
 CITY OF RIVERSIDE
 MUSEUM OF RIVERSIDE

Drawn by:
 Checked by:
 Professional's Stamp

Project Title
HARADA HOUSE PHASE 2

Sheet Title
 LARGE DETAILS

Design Stage
 50% CONSTRUCTION DOCUMENTS

Project Address
 3342 & 3356 Lemon Street
 Riverside, CA 92501

Scale
 3/4" = 1'-0"

Date
 December 22, 2025

Sheet Number
A-501

NOT FOR CONSTRUCTION

Exhibit 4 - Phase 2 Project Plans

DOOR SCHEDULE
GROUND FLOOR

1 ——— DOOR SCHEDULE
N/A

DOOR MARK	EXISTING/NEW	TYPE	ROOM	SIZE			DOOR		FRAME		GLASS	MANUFACTURER	REMARKS
				WIDTH	HEIGHT	THK.	MATERIAL	FINISH	MATERIAL	FINISH			
101	E	SWING	100	2'-6"	6'-6"	N/A	WOOD	CLEAR	WOOD	CLEAR	N/A	TBD	PRESERVE HINGES & HARDWARE / NUMBER & STORE
102	E	H	102	-	-	0'-1.34"	-	-	-	-	Y	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
103	E	A	101	2'-6"	6'-8"	0'-1.2"	-	-	-	-	N/A	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
104	E	A	101	2'-4"	6'-6"	0'-1.2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
105	E	A	105	2'-6"	6'-8"	0'-1.2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
106	E	A	105	2'-8"	6'-8"	0'-1.2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
107	E	A	104	2'-8"	6'-6"	0'-1.2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
108	E	A	108	2'-6"	6'-4"	0'-1.2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
109	E	A	109	2'-6"	6'-4"	0'-1.2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
110	NEW	A	107	2'-6"	6'-6"	0'-1.34"	-	-	-	-	Y	-	DOOR TO BE ADA COMPLIANT OPENING TO THE OUTSIDE
111	NEW	-	107	6'-0"	6'-0"	N/A	-	-	-	-	N/A	-	REMOVED
112	E	-	106	2'-6"	6'-4"	0'-1.2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE
113	E	-	106	2'-6"	6'-8"	0'-1.34"	-	-	-	-	Y	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
114	E	-	110	TBC	TBC	0'-1.2"	-	-	-	-	N/A	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
115	NEW	H	102	2'-6"	6'-11"	0'-1.34"	N/A	N/A	N/A	N/A	N/A	-	EXISTING HISTORIC JAMB & TRIM IS NOT TO BE DAMAGED IN DOOR INSTALLATION. HARDWARE TO BE INSTALLED AT EXISTING LOCATIONS.
116	NEW	I	106	2'-6"	6'-8"	0'-1.34"	-	-	-	-	N/A	-	EXISTING HISTORIC JAMB & TRIM IS NOT TO BE DAMAGED IN DOOR INSTALLATION. HARDWARE TO BE INSTALLED AT EXISTING LOCATIONS.
117	NEW	J	107	2'-6"	6'-8"	0'-1.34"	-	-	-	-	N/A	-	EXISTING HISTORIC JAMB & TRIM IS NOT TO BE DAMAGED IN DOOR INSTALLATION. HARDWARE TO BE INSTALLED AT EXISTING LOCATIONS.

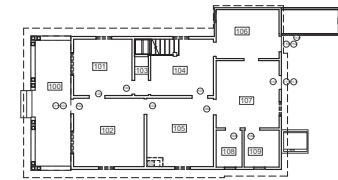
SECOND FLOOR

DOOR MARK	EXISTING/NEW	TYPE	ROOM	SIZE			DOOR		FRAME		GLASS	MANUFACTURER	REMARKS
				WIDTH	HEIGHT	THK.	MATERIAL	FINISH	MATERIAL	FINISH			
201	E	G	201	2'-6"	6'-8"	0'-1.34"	-	-	-	-	N/A	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE / SHEAR OVER OPENING
202	E	C	202	2'-6"	6'-8"	0'-1.2"	WOOD	CLEAR	WOOD	CLEAR	Y	TBD	PRESERVE HINGES & HARDWARE / NUMBER & STORE
203	E	B	202	2'-0"	6'-6"	0'-1.2"	-	-	-	-	N/A	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
204	E	B	202	2'-4"	6'-8"	0'-1.2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
205	E	B	204	2'-4"	6'-5"	0'-1.2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
206	E	B	204	2'-0"	6'-8"	0'-1.2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
207	E	B	211	2'-3"	6'-5"	0'-1.2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
208	E	B	211	2'-0"	6'-6"	0'-1.2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
209	E	B	210	2'-0"	6'-8"	0'-1.2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
210	E	B	208	2'-6"	6'-6"	0'-1.2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
211	E	B	208	2'-0"	6'-8"	0'-1.2"	-	-	-	-	-	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE
212	E	C	208	2'-6"	6'-8"	0'-1.2"	-	-	-	-	Y	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE / SHEAR OVER OPENING / TAG WITH ASSOCIATED LOOSE SCREEN DOOR & STORE
213	E	G	201	2'-6"	6'-8"	0'-1.34"	-	-	-	-	N/A	-	PRESERVE HINGES & HARDWARE / NUMBER & STORE / SHEAR OVER OPENING

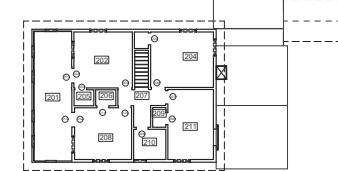
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- [100] PORCH
- [101] BEDROOM
- [102] PARLOR
- [103] CLOSET
- [104] KAMITOKU
- [105] DINING ROOM
- [106] LAUNDRY
- [107] KITCHEN
- [108] PANTRY
- [109] BATH
- [110] STORAGE
- [201] SLEEPING PORCH
- [202] BEDROOM
- [203] CLOSET
- [204] BEDROOM
- [205] CLOSET
- [206] CLOSET
- [207] HALL
- [208] BEDROOM
- [209] CLOSET
- [210] BATH
- [211] BEDROOM

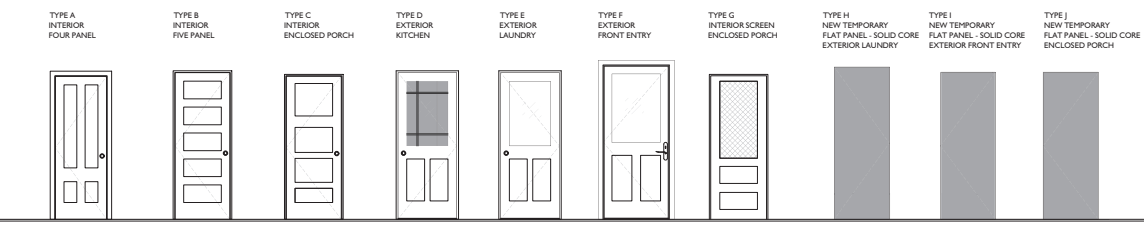
GROUND FLOOR



SECOND FLOOR



2 ——— KEY PLAN
3/2" = 1'-0"



DOOR ELEVATION TYPES

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KOR design
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 Tel: (951) 514-9887

Landscape Architect
RHA LANDSCAPE ARCHITECTS
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Owner
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 MUSEUM OF RIVERSIDE

Revisions

Drawn by:
 Checked by:
 Professional's Stamp

NOT FOR CONSTRUCTION

Project Title
**HARADA HOUSE
 PHASE 1**

Sheet Title
SCHEDULES

Design Stage
**50% CONSTRUCTION
 DOCUMENTS**

Project Address
**3342 & 3356 Lemon Street
 Riverside, CA
 92501**

Scale
 N/A

Date
 December 22, 2025

Sheet Number
A-601

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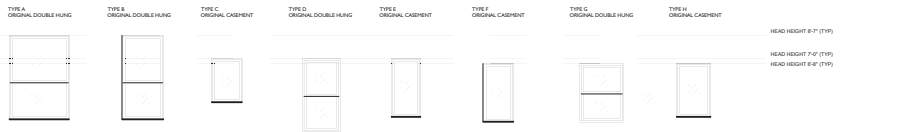
WINDOW SCHEDULE

GROUND FLOOR

MARK	EXISTING / REPLACEMENT / NEW	ROOM	WIDTH	HEIGHT	HEAD HEIGHT	TYPE	OPERATION	MATERIAL	FINISH	GLASS	SPECIFICATION	U-FACTOR	SHGC	MANUFACTURER	MODEL	REMARKS
101	E	102	4'-1"	9'-0"	8'-3 1/2"	A	DOUBLE HUNG	WOOD	TBD	NA	TBD	NA	NA	NA	NA	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
102	E	101	4'-1"	9'-0"	8'-3 1/2"	A	"	"	"	"	"	"	"	"	"	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
103	E	101	2'-10"	5'-0"	8'-7"	B	DOUBLE HUNG	"	"	"	"	"	"	"	"	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
104	E	104	2'-10"	9'-0"	8'-2"	B	"	"	"	"	"	"	"	"	"	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
105	E	106	2'-1"	3'-0"	6'-5"	C	CASEMENT	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
106	E	107	2'-3"	5'-0"	7'-1"	B	DOUBLE HUNG	"	"	"	"	"	"	"	"	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
107	E	109	2'-1"	3'-0"	7'-0"	C	CASEMENT	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
108	E	108	2'-1"	3'-0"	7'-0"	C	"	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
109	E	105	2'-10"	5'-0"	8'-2"	B	DOUBLE HUNG	"	"	"	"	"	"	"	"	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
110	E	102	2'-10"	9'-0"	8'-2"	B	"	"	"	"	"	"	"	"	"	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE

SECOND FLOOR

MARK	EXISTING / REPLACEMENT / NEW	ROOM	WIDTH	HEIGHT	HEAD HEIGHT	TYPE	OPERATION	MATERIAL	FINISH	GLASS	SPECIFICATION	U-FACTOR	SHGC	MANUFACTURER	MODEL	REMARKS
201	E	201	2'-0"	4'-0"	6'-8"	F	CASEMENT	WOOD	"	NA	"	NA	NA	NA	NA	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
202	E	201	2'-0"	4'-0"	6'-8"	F	"	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
203	E	201	2'-0"	4'-0"	6'-8"	F	"	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
204	E	201	2'-0"	4'-0"	6'-8"	F	"	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
205	E	201	2'-1"	4'-0"	6'-8"	F	"	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
206	E	202	3'-0"	4'-0"	6'-8"	G	DOUBLE HUNG	"	"	"	"	"	"	"	"	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
207	E	204	3'-0"	4'-0"	6'-8"	G	"	"	"	"	"	"	"	"	"	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
208	E	204	3'-0"	4'-0"	6'-8"	G	"	"	"	"	"	"	"	"	"	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
209	E	211	3'-0"	4'-0"	6'-8"	G	"	"	"	"	"	"	"	"	"	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
210	E	211	3'-0"	4'-0"	6'-8"	G	"	"	"	"	"	"	"	"	"	REMOVE SASH & SASH WEIGHTS/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
211	E	210	2'-4"	3'-8"	6'-8"	H	CASEMENT	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
212	E	208	3'-0"	4'-0"	6'-8"	G	DOUBLE HUNG	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
213	E	201	2'-0"	4'-0"	6'-8"	F	CASEMENT	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
214	E	208	3'-0"	4'-0"	6'-8"	G	DOUBLE HUNG	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
215	E	202	3'-0"	4'-0"	6'-8"	G	"	"	"	"	"	"	"	"	"	REMOVE SASH/ NUMBER & STORE/ SHEAR OVER OPENING FOR HOUSE LIFT/ INSTALL VENT OPENING AFTER FOUNDATION WORK IS COMPLETE
216	NEW	211	3'-0"	4'-0"	6'-8"	G	DOUBLE HUNG	WOOD	TBD	LOW-E	TBD	0.3	0.23	TBD		TO BE REPLACE IN KIND



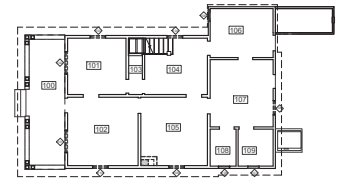
WINDOW ELEVATION TYPES

1 WINDOW SCHEDULE

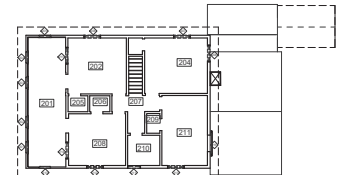
ROOM ID

- 1101 PORCH
- 1101 BEDROOM
- 1102 PARLOR
- 1103 CLOSET
- 1104 KAMITOKU
- 1105 DINING ROOM
- 1106 LAUNDRY
- 1107 KITCHEN
- 1108 PANTRY
- 1109 BATH
- 1110 STORAGE
- 2011 SLEEPING PORCH
- 2012 BEDROOM
- 2013 CLOSET
- 2014 BEDROOM
- 2015 CLOSET
- 2016 CLOSET
- 2017 HALL
- 2018 BEDROOM
- 2019 CLOSET
- 2020 BATH
- 2021 BEDROOM

GROUND FLOOR



SECOND FLOOR



2 KEY PLAN 3/92" = 1'-0"

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Revisions

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Project Title
HARADA HOUSE
 PHASE 2

Sheet Title
 SCHEDULES

Design Stage
 50% CONSTRUCTION DOCUMENTS

Project Address
 3342 & 3356 Lemon Street
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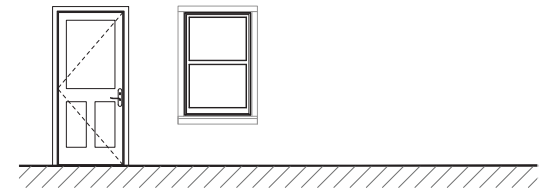
Scale
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Date
 December 22, 2025

Sheet Number
A-602

HARADA HOUSE_ARCH_5805.DWG

MOLDING SCHEDULE								
DOOR MARK	MATERIAL	LOCATION	SIZE		FINISH		MANUFACTURER	REMARKS
				THK.	MATERIAL			
(M001)	WINDOW CASING	AS SHOWN			TBD	TBD	TBD	
(M002)	WINDOW SILL	AS SHOWN			*	*	*	
(M003)	WINDOW APRON	AS SHOWN			*	*	*	
(M004)	BASEBOARD	AS SHOWN			*	*	*	
(M005)	WAINSCOTTING	AS SHOWN			*	*	*	
(M006)	CHAIR RAIL	AS SHOWN			*	*	*	
(M007)	PLATE RAIL	AS SHOWN			*	*	*	
(M008)	DOOR CASING	AS SHOWN			*	*	*	
(M009)	WAINSCOTTING	AS SHOWN			*	*	*	
(M010)	CHAIR RAIL	AS SHOWN			*	*	*	



1 MOLDING SCHEDULE
N/A

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 Checked by:
 Professional's Stamp

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Project Title
**HARADA HOUSE
 PHASE 2**

Sheet Title
 SCHEDULES

Design Stage
 50% CONSTRUCTION
 DOCUMENTS

Project Address
 3342 & 3356 Lemon Street
 Riverside, CA
 92501

Scale
 N/A

Date
 December 15, 2025

Sheet Number
A-603

HARADA HOUSE_ARCH_50% DOC

FIXTURES SCHEDULE						
#	ITEM	FINISH	COLOR	TYPE	MODEL	SPECIFICATIONS
001	TOILET	PORCELAIN	TBD	FLOOR MOUNTED	TBD	-
002	SINK	-	-	WALL MOUNTED	-	-
003	SINK FAUCET	-	N/A	N/A	-	-
004	TOILET	PORCELAIN	TBD	FLOOR MOUNTED	TBD	-
005	SINK	-	-	WALL MOUNTED	-	-
006	SINK FAUCET	-	N/A	N/A	-	-
007	KITCHEN SINK	STAINLESS STEEL	-	-	-	-
008	KITCHEN SINK FAUCET	-	N/A	-	-	-
009	LAUNDRY SINK	ENAMELED CAST IRON	-	-	-	-
010	LAUNDRY SINK FAUCET	-	N/A	-	-	-
011	FISH POND	N/A	N/A	-	-	-

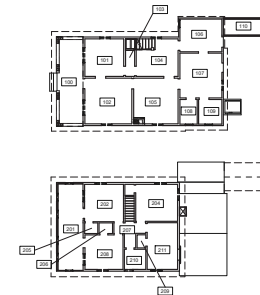
1 FIXTURE SCHEDULE

FINISH KEY						
MARK	MATERIAL	LOCATION	TYPE	MANUFACTURER	REMARKS	
WALL FINISH						
W001	PLASTER (E)	AS SHOWN	TBD	TBD	PREPARE SURFACE PER MANUFACTURER SPECIFICATION. REMOVE COLOR COAT. REPAIR CRACKS & BUBBLES. POLISH & APPLY WATER RESISTANT SEALER. SEE FINISH SCHEDULE.	
W002	WOOD SIDING (E)	AS SHOWN	-	-	-	
W003	WALLPAPER (E)	101	-	-	-	
W004	WALLPAPER (E)	101	-	-	-	
W005	WALLPAPER RAIL (E)	101	-	-	-	
W006	WALLPAPER (E)	102	-	-	-	
W007	WALLPAPER (E)	103	-	-	-	
W008	WALLPAPER (E)	103	-	-	-	
W009	WALLPAPER (E)	104	-	-	-	
W010	WALLPAPER (E)	104	-	-	-	
W011	WALLPAPER RAIL (E)	104	-	-	-	
W012	WALLPAPER (E)	107	-	-	-	
W013	WALLPAPER (E)	107	-	-	-	
W014	WALLPAPER (E)	108	-	-	-	
W015	WOOD SIDING (E)	106	-	-	-	
CONCRETE FINISH						
S001	TBD	ACCESS	TBD	TBD	TBD	
S002	-	INTERNAL PATHWAY	-	-	-	
WOOD FLOORING						
F001	TBD	FIRST FLOOR	TBD	TBD	TBD	
F002	TBD	SECOND FLOOR	-	-	-	
EXTERIOR FINISH						
E001	TBD	SIDING	TBD	TBD	TBD	
E002	-	-	-	-	-	
ROOF FINISH						
R001	TBD	ROOF	TBD	TBD	TBD	
R002	-	-	-	-	-	
R003	-	-	-	-	-	

2 FINISH SCHEDULE

KEY PLAN
1/16" = 1'-0"

- | | |
|------------------|-----------------|
| 100 PORCH | 201 SLEEP PORCH |
| 101 BEDROOM | 202 BEDROOM |
| 102 PARLOR | 203 CLOSET |
| 103 CLOSET | 204 BEDROOM |
| 104 KAMITOKU | 205 CLOSET |
| 105 DINNING ROOM | 206 CLOSET |
| 106 LAUNDRY | 207 HALL |
| 107 KITCHEN | 208 BEDROOM |
| 108 PANTRY | 209 CLOSET |
| 109 BATHROOM | 210 BATHROOM |
| 110 STORAGE | 211 BEDROOM |



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MUSEUM OF RIVERSIDE

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Checked by:
Professional's Stamp

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Project Title

HARADA HOUSE
PHASE 2

Sheet Title

SCHEDULES

Design Stage

50% CONSTRUCTION
DOCUMENTS

Project Address
3342 & 3356 Lemon Street
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92501

Scale

N/A

Date

December 15, 2025

Sheet Number

A-604

HARADA HOUSE_ARCH_5805.DWG

MECHANICAL NOTES	GENERAL NOTES	GENERAL NOTES	REFRIGERANT PIPING NOTES	Architect																																								
<p>SCOPE OF WORK</p> <p>1. THE WORK INCLUDED UNDER THIS SECTION CONSISTS OF FURNISHING ALL MATERIALS, EQUIPMENT AND LABOR, AND THE PERFORMING OF ALL FUNCTIONS, EXCEPT AS OTHERWISE SPECIFIED HEREIN OR SHOWN ON THE DRAWINGS TO BE PERFORMED BY OTHERS, AND FOR THE INSTALLATION OF ALL HEATING AND COOLING EQUIPMENT, PIPING AND ALL DUCTWORK, GRILLES, REGISTERS, ETC., INCLUDING ALL CONNECTIONS TO EACH SYSTEM AS SPECIFIED HEREIN AND SHOWN ON THE DRAWINGS. IT SHALL FURTHER INCLUDE FURNISHING AND INSTALLING ALL MISCELLANEOUS ITEMS REQUIRED FOR THE OPERATION OF THE SYSTEM, WHETHER SPECIFICALLY CALLED OUT OR NOT.</p> <p>2. SPECIAL INSPECTIONS: WHERE THE PLANS INDICATE SPECIAL INSPECTIONS AND REPORT, OR AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION (AHJ), THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, HIRE AN INDEPENDENT THIRD PARTY INSPECTOR OR TESTING AGENCY TO PERFORM THE REQUIRED INSPECTIONS FOR THE TYPES OF WORK REQUIRED OR IDENTIFIED ON THE SPECIAL INSPECTION FORM. THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL SIGNED REPORT TO THE REGISTERED DESIGN PROFESSIONAL ENGINEER, PROVIDING TEST RESULTS AND STATING WHETHER THE ITEMS REQUIRING SPECIAL INSPECTION WERE IN COMPLIANCE WITH THE INSPECTION REQUIREMENTS. PROVIDE ADDITIONAL COST FOR ENGINEER'S SEALED LETTER OF APPROVAL.</p>	<p>EQUIPMENT</p> <p>1. ALL MECHANICAL EQUIPMENT SHALL BE PROPERLY LISTED AND LABELED BY AN APPROVED AGENCY.</p> <p>2. ALL EQUIPMENT SHALL BE LABELED WITH STEEL TAGS EMBOSSED WITH 1/4" HIGH LETTERS, PERMANENTLY ATTACHED. TAG SHALL CLEARLY INDICATE THE AREA SERVED BY THE EQUIPMENT.</p> <p>3. MAINTAIN MANUFACTURER'S RECOMMENDATIONS FOR ALL REQUIRED SERVICE CLEARANCES AND INSTALLATION OF EQUIPMENT.</p> <p>CLEANUP</p> <p>1. REMOVE AS MUCH DIRT, SCRAP MATERIAL AND DEBRIS AS POSSIBLE, AT THE END OF EACH WORKING DAY TO PREVENT HAZARDOUS CONDITIONS AND EXCESS DUST.</p> <p>FINAL TESTS</p> <p>1. AN INDEPENDENT ABC, NEBB OR TABB CERTIFIED CONTRACTOR SHALL BALANCE AIR DISTRIBUTION TO VALUES LISTED ON DRAWINGS. A FINAL COPY OF THE TEST AND BALANCE REPORT SHALL BE PROVIDED TO THE ENGINEER UPON COMPLETION OF THE REPORT. A PROJECT SHALL NOT BE CONSIDERED IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS UNTIL SUCH A REPORT HAS BEEN PROVIDED TO THE ENGINEER.</p> <p>2. BEFORE ACCEPTANCE AND FINAL PAYMENT, IT SHALL BE DEMONSTRATED THAT ALL APPARATUS ARE FUNCTIONING PROPERLY AND EFFICIENTLY. THE CONTRACTOR SHALL MAKE A THOROUGH TEST OF EACH SUPPLY, RETURN, AND EXHAUST SYSTEMS TO ASSURE THAT EACH DIFFUSER AND REGISTER HAS THE PROPER QUANTITY OF AIR IN ACCORDANCE WITH ABC OR NEBB, PROVIDE ADDITIONAL COMFORT BALANCE ADJUSTMENTS PER OWNER/TECHNANEN REQUIREMENTS TO ADDRESS ANY NEEDED VARIATIONS IN DESIGN AIR FLOWS.</p> <p>3. THE TEST AND BALANCE CONTRACTOR HAS THE RIGHT TO COMMUNICATE ANY INFORMATION TO THE MECHANICAL ENGINEER.</p>	<p>5. MECHANICAL EQUIPMENT AND DUCTWORK ARE SHOWN AT APPROXIMATE LOCATIONS. FINAL MEASURE FINAL DUCTWORK LOCATIONS PRIOR TO FABRICATION AND MAKE ADJUSTMENTS AS REQUIRED TO FIT THE DUCTWORK WITHIN THE AVAILABLE SPACE. VERIFY THAT FINAL EQUIPMENT LOCATIONS MEET MANUFACTURER'S RECOMMENDATIONS REGARDING SERVICE CLEARANCE AND PROPER AIRFLOW CLEARANCE AROUND EQUIPMENT.</p> <p>6. INDOOR AIR QUALITY MEASURES: PROTECT INSIDE OF (INSTALLED AND DELIVERED) HVAC UNITS FROM EXPOSURE TO DUST, DIRT, PAINT AND MOISTURE. REPLACE INSULATION THAT HAS GOTTEN WET AT ANY TIME DURING CONSTRUCTION, DRYING THE INSULATION IS NOT ACCEPTABLE. SEAL ANY TEARS OR JOINTS OF INTERNAL FIBERGLASS INSULATION. REMOVE DEBRIS FROM CEILING/RETURN AIR FLENUM INCLUDING DUST.</p> <p>7. OVERHEAD HANGERS AND SUPPORTS FOR EQUIPMENT SHALL BE FASTENED TO BUILDING JOISTS OR BEAMS. DO NOT ATTACH HANGERS AND SUPPORTS TO THE ABOVE FLOOR SLAB OR ROOF.</p> <p>8. COORDINATE LOCATION OF EQUIPMENT SUPPORTS WITH LOCATION OF EQUIPMENT ACCESS PANELS/DOORS TO ENABLE SERVICE OF EQUIPMENT AND/OR FILTER REPLACEMENT.</p> <p>9. SEAL PENETRATIONS THROUGH THE BUILDING COMPONENTS IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS.</p> <p>10. LOCATE AND SET TEMPERATURE AND HUMIDITY SENSORS AT LOCATIONS SHOWN ON PLANS. VERIFY EXACT LOCATIONS WITH OWNER PRIOR TO INSTALLATION. INSTALL DEVICES 48" AFF TO MEET ADA REQUIREMENTS UNLESS NOTED OTHERWISE ON DWGS. PROVIDE INSULATED BACKING FOR THERMOSTATS MOUNTED ON EXTERIOR BUILDING WALLS.</p> <p>11. PROVIDE A NEW SET OF AIR FILTERS IN UNITS PRIOR TO TESTING, ADJUSTING AND BALANCING AND BEFORE TURNING SYSTEM(S) OVER TO OWNER.</p> <p>12. PLACEMENT AND STARTUP OF THE MECHANICAL UNITS SHALL BE BY THE MECHANICAL CONTRACTOR.</p> <p>13. EITHER WHEN STORED OR MOVED INTO ROUGH FRAME, HVAC EQUIPMENT OPENINGS AND DUCTS SHALL BE PROTECTED AND PROTECTION SHALL BE MAINTAINED UNTIL FINAL STARTUP OF THE SYSTEM.</p> <p>14. ALL HVAC UNITS INSTALLED AND OPERATIONAL DURING CONSTRUCTION AND UP TO THE POINT OF OCCUPANCY SHALL BE INSTALLED WITH MERV 13 FILTERS.</p>	<p>1. REFRIGERANT PIPING MATERIALS AND SIZES SHALL BE PER MANUFACTURER'S RECOMMENDATIONS. VENT ALL ENTRAINED AIR FROM PIPING SYSTEM.</p> <p>2. REFRIGERANT PIPES PENETRATING FRAMING MEMBERS SHALL BE PROTECTED BY STEEL NAIL PLATES NOT LESS THAN NO. 18 GAUGE (0.0478 INCH) IN THICKNESS. THE NAIL PLATE SHALL EXTEND ALONG THE WALL NOT LESS THAN 1-1/2" BEYOND THE OUTSIDE DIAMETER OF THE PIPE.</p> <p>3. REFRIGERANT PIPING INSTALLED UNDERGROUND SHALL BE PROTECTED FROM DAMAGE BY PROVIDING WATER/TIGHT CASING. REFER TO MANUFACTURER'S INSTALLATION GUIDELINES.</p>	<p>Architect KOR design inc. 1117 EAST COLORADO BLVD. SUITE 600, LOS ANGELES, CA 90013 T: 626.219.1785 www.kritznager-rao.com</p> <p>Consultants C.W. HOWE 4544 Sepulveda Blvd. Culver City, CA 90230 Tel: (310) 551-1100 www.cwhowe.com</p> <p>MEP / FA / IS / S / D B An ISO 9001:2015 Certified Firm 10000 Sepulveda Blvd. Van Nuys, CA 91411 Tel: (818) 708-2222 www.bgroup.com</p> <p>MEP Research & Consulting JM RESEARCH & CONSULTING 10000 Sepulveda Blvd. Van Nuys, CA 91411 Tel: (818) 708-2222 www.jmrc.com</p> <p>RHA LANDSCAPE ARCHITECTS RHA LANDSCAPE ARCHITECTS 10000 Sepulveda Blvd. Van Nuys, CA 91411 Tel: (818) 708-2222 www.rha.com</p> <p>Owner CITY OF RIVERSIDE MUSEUM OF RIVERSIDE</p>																																								
<p>COORDINATION</p> <p>1. CONTRACT DRAWINGS ARE DIAGRAMMATIC AND INTENDED TO SHOW APPROXIMATE LOCATIONS. COORDINATE WORK WITH ALL TRADES TO AVOID INTERFERENCE. INSTALLED HVAC WORK WHICH INTERFERES WITH THE WORK OF OTHER TRADES DUE TO LACK OF COORDINATION SHALL BE RE-INSTALLED AT NO ADDITIONAL COST TO THE OWNER.</p> <p>2. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATING WORK WITH OTHER TRADES AFFECTED BY EACH OTHERS WORK.</p> <p>3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS WHICH MAY AFFECT HIS WORK BEFORE SUBMITTING BIDS.</p> <p>4. PERFORMANCE OF ALL WORK SHALL BE SCHEDULED AS APPROVED BY THE OWNER. AVOID INTERFERENCE WITH FUNCTIONS IN OTHER PARTS OF THE FACILITY, AND COORDINATE WITH THE WORK OF OTHER TRADES. SERVICES SHALL NOT BE INTERRUPTED WITHOUT WRITTEN PRIOR APPROVAL OF THE OWNER.</p> <p>5. PROTECT EXISTING BUILDING STRUCTURE AND GROUNDS FROM DAMAGE WHICH MAY OCCUR DURING DEMOLITION WORK. ANY DAMAGE TO THE EXISTING FACILITIES SHALL BE REPAIRED, REPLACED, OR RESTORED TO THE ORIGINAL CONDITION AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER.</p> <p>6. SPACE ABOVE CEILINGS IS CRITICAL - THE CONTRACTOR SHALL VERIFY SPACE ABOVE CEILING & COORDINATE WITH PLUMBING, ELECTRICAL, STRUCTURAL, FIRE PROTECTION, ARCHITECTURAL, AND ALL OTHER TRADES INVOLVED BEFORE COMMENCEMENT OF WORK.</p>	<p>GUARANTEE</p> <p>1. THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS, EQUIPMENT AND WORKMANSHIP FROM DEFECT OF WORKMANSHIP, AND SHALL REPLACE OR REPAIR WITHOUT ADDITIONAL COST TO THE OWNER ALL DEFECTIVE MATERIAL AND WORKMANSHIP, FOR A PERIOD OF (1) YEAR AFTER COMPLETION AND ACCEPTANCE OR AS CALLED FOR BY SPECIFICATIONS.</p> <p>CLOSEOUT</p> <p>1. SUBMIT THE SPECIFIED NUMBER OF COPIES OF SHOP DRAWINGS FOR MATERIALS, FIXTURES AND EQUIPMENT. INDICATE MANUFACTURERS, TRADE NAMES, SPECIFIC MODEL NUMBERS, AND TECHNICAL INFORMATION FOR EACH ITEM BEING FURNISHED.</p> <p>2. ASSEMBLE OPERATION MANUALS FOR EACH ITEM INSTALLED FURNISH EQUIPMENT CUT SHEET AND CONTROL WIRING DIAGRAMS. SUBMIT COPIES AS DEFINED UNDER GENERAL CONDITIONS.</p> <p>3. ALL SYSTEMS SHALL BE COMPLETE AND FULLY OPERATIONAL. ACCEPTANCE BY THE OWNER SHALL BE A CONDITION OF THE CONTRACT.</p> <p>4. ALL MATERIALS, WORKMANSHIP, AND EQUIPMENT SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR AFTER SYSTEM ACCEPTANCE.</p> <p>5. PROVIDE TYPE WRITTEN OPERATING INSTRUCTIONS AND EQUIPMENT WARRANTIES TO THE OWNERS REPRESENTATIVES.</p> <p>6. CONTRACTOR SHALL FURNISH RECORD SET DRAWINGS CONSISTING OF REPRODUCIBLE CAD FILES UPON COMPLETION OF WORK FOR OWNERS USE. MINIMUM SCALE SHALL BE 1/8"= 1'-0". THE COMPLETE SET OF RECORD DOCUMENTS SHALL BE IN AN AUTOCAD FORMAT AS REQUIRED BY OWNER, ON COMPACT DISC.</p> <p>7. CONTRACTOR SHALL MAKE FINAL INSPECTION AND TESTS IN THE PRESENCE OF THE OWNER AND SHALL SUPPLY ALL LABOR, MATERIALS, INSTRUMENTS, AND EQUIPMENT REQUIRED FOR TESTING.</p>	<p>15. EITHER WHEN STORED OR MOVED INTO ROUGH FRAME, HVAC EQUIPMENT OPENINGS AND DUCTS SHALL BE PROTECTED AND PROTECTION SHALL BE MAINTAINED UNTIL FINAL STARTUP OF THE SYSTEM.</p> <p>16. ALL HVAC UNITS INSTALLED AND OPERATIONAL DURING CONSTRUCTION AND UP TO THE POINT OF OCCUPANCY SHALL BE INSTALLED WITH MERV 13 FILTERS.</p>	<p>COMMISSIONING NOTES</p> <p>1. A COMMISSIONING PLAN AND REPORT WHICH MEETS THE REQUIREMENTS OF THE CURRENT CECb CODE SHALL BE PROVIDED FOR ALL NEW MECHANICAL SYSTEMS UNLESS EXEMPT BY CODE.</p> <p>2. A COMMISSIONING PLAN SHALL BE DEVELOPED BY A CERTIFIED COMMISSIONING PROFESSIONAL (CCP) AND SHALL INCLUDE THE FOLLOWING ITEMS:</p> <p>2.1. A NARRATIVE DESCRIPTION OF THE ACTIVITIES THAT WILL BE ACCOMPLISHED DURING EACH PHASE OF COMMISSIONING, INCLUDING THE PERSONNEL INTENDED TO ACCOMPLISH EACH OF THE ACTIVITIES.</p> <p>2.2. A LISTING OF THE SPECIFIC EQUIPMENT, APPLIANCES OR SYSTEMS TO BE TESTED AND A DESCRIPTION OF THE TESTS TO BE PERFORMED.</p> <p>2.3. FUNCTIONS TO BE TESTED, INCLUDING, BUT NOT LIMITED TO CALIBRATIONS AND ECONOMIZER CONTROLS</p> <p>2.4. CONDITIONS UNDER WHICH THE TEST WILL BE PERFORMED. AT A MINIMUM, TESTING SHALL AFFIRM WINTER AND SUMMER DESIGN CONDITIONS AND FULL OUTSIDE AIR CONDITIONS.</p> <p>2.5. MEASURABLE CRITERIA FOR PERFORMANCE.</p> <p>3. PROVIDE A "PRELIMINARY COMMISSIONING REPORT" AND A "FINAL COMMISSIONING REPORT" TO THE OWNER AND MAKE AVAILABLE TO THE CODE OFFICIAL UPON REQUEST.</p>	<p>MEP Research & Consulting JM RESEARCH & CONSULTING 10000 Sepulveda Blvd. Van Nuys, CA 91411 Tel: (818) 708-2222 www.jmrc.com</p> <p>RHA LANDSCAPE ARCHITECTS RHA LANDSCAPE ARCHITECTS 10000 Sepulveda Blvd. Van Nuys, CA 91411 Tel: (818) 708-2222 www.rha.com</p> <p>Owner CITY OF RIVERSIDE MUSEUM OF RIVERSIDE</p>																																								
<p>CODES AND PERMITS</p> <p>1. ALL MATERIALS, EQUIPMENT AND INSTALLATION MUST COMPLY WITH ALL APPLICABLE LAWS, CODES, RULES AND REGULATIONS, REQUIRED BY CITY, COUNTY AND STATE, AS WELL AS FEDERAL REQUIREMENTS.</p> <p>2. COMBUSTIBLE MATERIALS SHALL NOT BE USED IN A NON-COMBUSTIBLE BUILDING AS DEFINED BY THE BUILDING CODE. COMBUSTIBLE MATERIALS MAY BE PROTECTED AS SPECIFIED BY THE ENGINEER AND ARCHITECT OF RECORD.</p> <p>3. PERMITS: OBTAIN AND PAY FOR ALL REQUIRED PERMITS, LICENSES AND FEES.</p> <p>4. INSPECTIONS: FURNISH OWNER WITH CERTIFICATE OF INSPECTION AND APPROVAL BY LOCAL AUTHORITIES PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL WORK MUST BE INSPECTED.</p>	<p>ORDER OF PRECEDENCE OF DOCUMENTS</p> <p>1. SHOULD A CONFLICT ARISE BETWEEN CONSTRUCTION DOCUMENTS, THE ORDER OF PRECEDENCE SHALL BE:</p> <ol style="list-style-type: none"> SPECIAL PROVISIONS GENERAL PROVISIONS SPECIFICATIONS DETAILS ON DRAWINGS PLAN DRAWINGS <p>2. THE ENGINEER OF RECORD SHALL BE NOTIFIED BEFORE A DECISION IS MADE.</p>	<p>CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING PARTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR):</p> <p>PART 1 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE PART 2 2022 CALIFORNIA BUILDING CODE (CBC) VOLUME 1 AND 2 PART 3 2022 CALIFORNIA ELECTRICAL CODE (CEC) PART 4 2022 CALIFORNIA MECHANICAL CODE (CMC) PART 5 2022 CALIFORNIA PLUMBING CODE (CPC) PART 6 2022 CALIFORNIA ENERGY CODE (CEC) PART 7 CURRENTLY VACANT PART 8 2022 CALIFORNIA HISTORICAL BUILDING CODE PART 9 2022 CALIFORNIA FIRE CODE (FCF) PART 10 2022 CALIFORNIA EXISTING BUILDING CODE PART 11 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE PART 12 2022 CALIFORNIA REFERENCED STANDARDS</p>	<p>AIR BALANCING</p> <p>HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS (INCLUDING) HYDRONIC SYSTEMS SHALL BE BALANCED IN ACCORDANCE WITH ONE OF THE FOLLOWING METHODS.</p> <ol style="list-style-type: none"> ABC NATIONAL STANDARDS FOR TOTAL SYSTEM BALANCE. ACCA MANUAL B. ASHRAE 111. NEBB PROCEDURAL STANDARDS FOR TESTING ADJUSTING BALANCING OF ENVIRONMENTAL SYSTEMS. SMACNA HVAC SYSTEMS TESTING, ADJUSTING, AND BALANCING. 	<p>MEP Research & Consulting JM RESEARCH & CONSULTING 10000 Sepulveda Blvd. Van Nuys, CA 91411 Tel: (818) 708-2222 www.jmrc.com</p> <p>RHA LANDSCAPE ARCHITECTS RHA LANDSCAPE ARCHITECTS 10000 Sepulveda Blvd. Van Nuys, CA 91411 Tel: (818) 708-2222 www.rha.com</p> <p>Owner CITY OF RIVERSIDE MUSEUM OF RIVERSIDE</p>																																								
<p>PRODUCTS</p> <p>1. ALL PRODUCTS SHALL BE NEW AND UNUSED OF ESTABLISHED AND REPUTABLE AMERICAN MANUFACTURERS. ITEMS OF EQUIPMENT USED FOR THE SAME PURPOSE SHALL BE OF THE SAME MANUFACTURER.</p> <p>2. SYSTEMS SHALL BE COMPLETE AND OPERABLE. ANY ACCESSORIES REQUIRED FOR THE OPERATION OF THE SYSTEM SHALL BE INCLUDED AS THOUGH SPECIFICALLY INDICATED TO BE PROVIDED. SUCH ACCESSORIES INCLUDE BUT ARE NOT LIMITED TO FILTERS, CONDENSATE DRAINS, RELIEF VALVES, SERVICE VALVES, THERMOSTATS, VIBRATION ISOLATORS, ETC. MOTOR STARTERS FOR PREWIRED EQUIPMENT (AND OTHER PROTECTION AND CONTROL DEVICES) ARE ALSO INCLUDED IN THIS SPECIFICATION.</p> <p>3. SPECIFIC REFERENCE TO A MANUFACTURER'S PRODUCT IS ONLY TO ESTABLISH TYPE, QUALITY, AND PERFORMANCE REQUIRED. THESE QUALIFICATIONS ARE IN ADDITION TO THE REQUIREMENTS SHOWN ON THE DRAWINGS AND SPECIFICATIONS. LISTING OF ALTERNATE EQUIPMENT MANUFACTURERS SHALL NOT BE CONSTRUED AS AN UNCONDITIONAL APPROVAL OF THE PRODUCTS OF THOSE MANUFACTURERS.</p> <p>4. ACCEPTABLE HVAC EQUIPMENT MANUFACTURERS: AS SPECIFIED ELSEWHERE IN THESE DOCUMENTS.</p> <p>5. PROVIDE CLEARANCES AS PER MANUFACTURERS RECOMMENDATIONS.</p>	<p>GENERAL NOTES</p> <p>1. PRIOR TO SUBMITTING BID, MECHANICAL CONTRACTOR SHALL BECOME FULLY ACQUAINTED WITH THE CONDITIONS OF THE PROJECT, REVIEW THE GENERAL NOTES, SPECIFICATIONS AND OTHER DRAWINGS FOR ADDITIONAL REQUIREMENTS WHICH MAY NOT BE SPECIFICALLY CALLED OUT IN THIS PORTION OF THE CONSTRUCTION DOCUMENTS. NOTIFY ENGINEER AND/OR OWNER OF CONFLICTS OR DISCREPANCIES PRIOR TO SUBMISSION OF BID.</p> <p>2. COORDINATE THE INSTALLATION OF THE MECHANICAL SYSTEMS WITH OTHER TRADES TO ENSURE A NEAT AND ORDERLY INSTALLATION. COORDINATE WITH OTHER TRADES TO AVOID CONFLICTS. ANY MODIFICATIONS REQUIRED DUE TO LACK OF COORDINATION WILL BE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR AT NO EXTRA COST TO THE OWNER.</p> <p>3. AVOID DAMAGING SURFACES AND EQUIPMENT DURING WORK. REPAIR DAMAGE CAUSED DURING CONSTRUCTION AT NO EXTRA COST TO THE OWNER.</p> <p>4. ALL MECHANICAL EQUIPMENT SHOWN ON THE MECHANICAL PLANS SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR UNLESS OTHERWISE NOTED. 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<p>SUBSTITUTIONS</p> <p>1. SUBSTITUTIONS OF MATERIALS OR PRODUCTS SHOWN HEREIN SHALL BE BY OWNER'S OR ENGINEER'S WRITTEN APPROVAL. ANY DEVIATION FROM THESE DRAWINGS WILL NOT BE ALLOWED.</p> <p>2. MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ANY SUBSTITUTIONS AND COSTS OF CHANGES INCURRED BY OTHER TRADES DUE TO THE SUBSTITUTIONS. OTHER TRADES INCLUDE: ELECTRICAL, PLUMBING, STRUCTURAL, ROOFING, OR ANY TRADE EFFECTED BY THE SUBSTITUTION.</p> <p>GENERAL REQUIREMENTS FOR CONTROLS AND CONTROL WIRING</p> <p>1. ALL CONTROL EQUIPMENT, INTEGRAL STARTERS, INTERLOCKING STARTERS, SMOKE DETECTORS, RELAYS, TRANSFORMERS, PANELS AND OTHER DEVICES SHOWN, SPECIFIED OR NEEDED FOR A COMPLETE CONTROL SYSTEM ARE TO BE PROVIDED AND INSTALLED UNDER THIS MECHANICAL DIVISION. COMPONENTS AND WIRING NOT SHOWN, BUT REQUIRED FOR THE PROPER OPERATION OF EQUIPMENT OR CONTROL SYSTEMS, SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE PROJECT.</p> <p>2. POWER WIRING, LOW VOLTAGE WIRING AND RACEWAYS RELATED TO CONTROLS SYSTEMS ARE TO BE PROVIDED AND INSTALLED UNDER THIS MECHANICAL DIVISION.</p> <p>3. INSTALLATION OF ALL EQUIPMENT, DEVICES AND WIRING SHALL CONFORM TO THE NATIONAL ELECTRIC CODE. ALL CONTROLS SHALL BE FURNISHED AND PROPERLY IDENTIFIED WITH INSTRUCTIONS FOR PROPER CONNECTIONS. RESPONSIBILITY FOR PROPER CONNECTIONS AND OPERATION IS INCLUDED UNDER THE MECHANICAL CONTRACTORS RESPONSIBILITY. VERIFY ALL VOLTAGES, PHASES AND ELECTRICAL CONNECTIONS WITH THE ELECTRICAL CONTRACTOR BEFORE ORDERING ANY EQUIPMENT, AND IF DISCREPANCIES OCCUR, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.</p> <p>4. ALL TEMPERATURE CONTROLS ARE TO BE TESTED, ADJUSTED, AND CALIBRATED FOR PROPER OPERATION.</p> <p>5. COORDINATE EXACT THERMOSTAT AND/OR MOUNTING HEIGHT ABOVE FINISHED FLOOR AND FINAL LOCATION WITH THE OWNER.</p> <p>6. THERMOSTATS LOCATED ON EXTERIOR WALLS SHALL HAVE AN INSULATED SUB-BASE.</p>	<p>GENERAL NOTES</p> <p>1. PRIOR TO SUBMITTING BID, MECHANICAL CONTRACTOR SHALL BECOME FULLY ACQUAINTED WITH THE CONDITIONS OF THE PROJECT, REVIEW THE GENERAL NOTES, SPECIFICATIONS AND OTHER DRAWINGS FOR ADDITIONAL REQUIREMENTS WHICH MAY NOT BE SPECIFICALLY CALLED OUT IN THIS PORTION OF THE CONSTRUCTION DOCUMENTS. NOTIFY ENGINEER AND/OR OWNER OF CONFLICTS OR DISCREPANCIES PRIOR TO SUBMISSION OF BID.</p> <p>2. COORDINATE THE INSTALLATION OF THE MECHANICAL SYSTEMS WITH OTHER TRADES TO ENSURE A NEAT AND ORDERLY INSTALLATION. COORDINATE WITH OTHER TRADES TO AVOID CONFLICTS. ANY MODIFICATIONS REQUIRED DUE TO LACK OF COORDINATION WILL BE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR AT NO EXTRA COST TO THE OWNER.</p> <p>3. AVOID DAMAGING SURFACES AND EQUIPMENT DURING WORK. REPAIR DAMAGE CAUSED DURING CONSTRUCTION AT NO EXTRA COST TO THE OWNER.</p> <p>4. 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M-4.6	MECHANICAL DETAILS																																											
M-4.7	MECHANICAL DETAILS																																											
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M-4.10	MECHANICAL DETAILS																																											
M-4.11	MECHANICAL DETAILS																																											
M-5.1	MECHANICAL CONTROLS																																											
M-6.1	MECHANICAL SPECIFICATIONS																																											
M-6.2	MECHANICAL SPECIFICATIONS																																											
M-7.1	MECHANICAL TITLE- 24 FORMS																																											

Exhibit 4 - Phase 2 Project Plans

BUILDING FLUSHOUT	
AFTER ALL INTERIOR FINISHES HAVE BEEN INSTALLED, FLUSH OUT THE BUILDING BY SUPPLYING CONTINUOUS VENTILATION WITH ALL AIR HANDLING UNITS AT THEIR MAXIMUM OUTDOOR AIR RATE AND ALL SUPPLY FANS AT THEIR MAXIMUM POSITION AND RATE FOR AT LEAST 14 DAYS.	
1. DURING THIS TIME, MAINTAIN AN INTERNAL TEMPERATURE OF AT LEAST 60°F AND RELATIVE HUMIDITY NO HIGHER THAN 60 PERCENT. IF EXTENUATING CIRCUMSTANCES MAKE THESE TEMPERATURE AND HUMIDITY LIMITS UNACHIEVABLE, THE FLUSHOUT MAY BE CONDUCTED UNDER CONDITIONS AS CLOSE AS POSSIBLE TO THESE LIMITS, PROVIDED THAT DOCUMENTATION OF THE EXTENUATING CIRCUMSTANCES IS PROVIDED IN WRITING.	
2. OCCUPANCY MAY START AFTER 4 DAYS, PROVIDED FLUSH-OUT CONTINUES FOR THE FULL 14 DAYS. DURING OCCUPIED TIMES, THE THERMAL COMFORT CONDITIONS OF TITLE 24 MUST BE MET.	

ROOF MOUNTED EQUIPMENT	
1. ACCESS LOCKS, SCREW, AND BOLTS SHALL BE OF CORROSION- RESISTANT MATERIAL.	
2. ALL EQUIPMENT SHALL BE PERMANENTLY IDENTIFIED BY TAGGING WITH PHENOLIC OR PERMANENT LABEL ALONG WITH AREA OR SPACE SERVED BY THE EQUIPMENT. BARCODES SHALL ALSO BE PROVIDED FOR EACH EQUIPMENT.	
3. THE ROOF CURBS SHALL HAVE HOT DIPPED GALVANIZED FINISH.	
4. DUCTWORK CONNECTIONS TO THE EQUIPMENT SHALL BE PROVIDED WITH FLEXIBLE CONNECTORS.	

POLLUTANT CONTROL

INDOOR AIR QUALITY DURING CONSTRUCTION	
TEMPORARY VENTILATION DURING CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH THE FOLLOWING:	
1. VENTILATION DURING CONSTRUCTION SHALL BE ACHIEVED THROUGH OPENINGS IN THE BUILDING SHELL USING FANS TO PRODUCE NOT LESS THAN THREE AIR CHANGES PER HOUR.	
2. THE SUPPLY AND RETURN HVAC SYSTEM OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST OR DEBRIS THAT CAN COLLECT IN THE SYSTEM.	
3. THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. VENTILATION SHALL BE PROVIDED IN ACCORDANCE WITH THE CONTROL MEASURES OF THE SMACNA IAQ GUIDELINES FOR OCCUPIED BUILDINGS DURING CONSTRUCTION.	
4. THE PERMANENT HVAC SYSTEM SHALL NO BE USED DURING CONSTRUCTION TO CONDITION AND VENTILATE THE BUILDING WITHIN THE REQUIRED TEMPERATURE RANGE FOR MATERIAL AND EQUIPMENT INSTALLATION. WHERE REQUIRED, A SUPPLEMENTAL HVAC SYSTEM SHALL BE USED DURING CONSTRUCTION.	

SHOP DRAWING NOTE

1. PRIOR TO STARTING WORK, SUBMIT SHOP DRAWINGS FOR ALL MECHANICAL EQUIPMENT AND DUCTWORK.	
2. CONTRACTOR SHALL PROVIDE FIELD LAYOUT SHOP DRAWINGS FOR ENGINEER REVIEW PRIOR TO FABRICATION AND INSTALLATION. SHOP DRAWINGS SHALL BE INDUSTRY STANDARD SHOWING ELEVATION HEIGHTS OF ALL NEW AND EXISTING EQUIPMENT. SHOP DRAWINGS SHALL BE COORDINATED WITH VARIOUS TRADES INVOLVED IN THE PROJECT.	

OBD OAR	OPPOSED BLADE DAMPER OUTSIDE AIR REGISTER
(R) RA RF RG RH (RL) RLA RM RPM (RS) RR	REMOVE RETURN AIR RETURN FAN RETURN GRILLE RELATIVE HUMIDITY RELOCATED RATED LOAD AMPS ROOM REVOLUTIONS PER MINUTE RETURN REGISTER REMOVE AND SAVE FOR RELOCATION
SA SP SP SPEC SR	SUPPLY AIR SUPPLY AIR FAN STATIC PRESSURE SPECIFICATIONS SUPPLY REGISTER
TD TEMP TSTAT TYP TSP	TEMPERATURE DIFFERENCE TEMPERATURE THERMOSTAT TYPICAL TOTAL STATIC PRESSURE
UH UNO UTR	UNIT HEATER UNLESS NOTED OTHERWISE UP THROUGH ROOF
V VENT VERT VTR	VOLT VENTILATION VERTICAL VENT THROUGH ROOF
W W WBT WMS	WITH WATT WET BULB TEMPERATURE WIRE MESH SCREEN
ZD	ZONE DAMPER

CALGREEN NOTES

NOTE TO CONTRACTORS: THE NOTES BELOW ARE COMPOSITE AND NOT ALL NOTES MAY APPLY TO THIS PROJECT.	
1. DEVELOP A WRITTEN PLAN OF PROCEDURES FOR TESTING & ADJUSTING SYSTEMS. SYSTEMS TO BE INCLUDED FOR TESTING & ADJUSTING SHALL INCLUDE, AS APPLICABLE TO THE PROJECT:	
1.1. HVAC SYSTEM & CONTROLS	
1.2. INDOOR & OUTDOOR LIGHTING & CONTROLS	
1.3. WATER HEATING SYSTEMS	
1.4. RENEWABLE ENERGY SYSTEMS	
1.5. LANDSCAPE IRRIGATION SYSTEMS	
1.6. WATER REUSE SYSTEMS	
2. PERFORM TESTING & ADJUSTING PROCEDURES IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS & APPLICABLE STANDARDS ON EACH SYSTEM.	
3. BEFORE A NEW SPACE CONDITIONING SYSTEM SERVING A BUILDING OR SPACE IS OPERATED FOR NORMAL USE, THE SYSTEM SHOULD BE BALANCED IN ACCORDANCE WITH THE PROCEDURES DEFINED BY THE TESTING ADJUSTING AND BALANCING BUREAU NATIONAL STANDARDS, ETC.	
4. AFTER COMPLETION OF TESTING, ADJUST, & BALANCING, PROVIDE A FINAL REPORT OF TESTING SIGNED BY THE INDIVIDUAL RESPONSIBLE FOR PERFORMING THESE SERVICES.	
5. PROVIDE THE BUILDING OWNER OR REPRESENTATIVE WITH DETAILED OPERATING & MAINTENANCE INSTRUCTIONS & COPIES OF GUARANTEES/ WARRANTIES FOR EACH SYSTEM.	
6. INCLUDE A COPY OF ALL INSPECTION VERIFICATIONS AND REPORTS REQUIRED BY THE ENFORCING AGENCY.	
7. THE PERMANENT HVAC SYSTEM SHALL ONLY BE USED DURING CONSTRUCTION IF NECESSARY TO CONDITION THE BLDING WITHIN THE REQUIRED TEMPERATURE RANGE FOR MATERIAL AND EQUIPMENT INSTALLATION. IF THE HVAC SYSTEM IS USED DURING CONSTRUCTION, USE RETURN AIR FILTERS WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8. BASED ON ASHRAE 52.2-1999, OR AN AVERAGE EFFICIENCY OF 30 PERCENT BASED ON ASHRAE 52.1-1992. REPLACE ALL FILTERS IMMEDIATELY PRIOR TO OCCUPANCY OR AT CONCLUSION OF CONSTRUCTION.	
8. IN MECHANICALLY VENTILATED BUILDINGS, PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH AIR FILTRATION MEDIA FOR OUTSIDE AND RETURN AIR PRIOR TO OCCUPANCY THAT PROVIDES AT LEAST A MERV OF 8.	
9. FOR BUILDINGS EQUIPPED WITH DEMAND CONTROL VENTILATION, CO2 SENSORS & VENTILATION CONTROLS SHALL BE SPECIFIED & INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITION OF THE CALIFORNIA ENERGY CODE, SEC. 121(c).	
10. INSTALLATION OF HVAC, REFRIGERATION, & FIRE SUPPRESSION EQUIPMENT SHALL COMPLY WITH SEC. 5.508.1.1 AND 5.508.1.2 OF THE CURRENT CALIFORNIA GREEN BUILDING STANDARDS CODE.	
11. INSTALL HVAC, REFRIGERATION, & FIRE SUPPRESSION EQUIPMENT THAT DO NOT CONTAIN CFC.	
12. INSTALL HVAC, REFRIGERATION, & FIRE SUPPRESSION EQUIPMENT THAT DO NOT CONTAIN HALON.	

EQUIP. TYPE UNIT#	SHEET#	EQUIPMENT REFERENCE, UNIT NUMBER AND SHEET NUMBER
SD		DUCT MOUNTED SMOKE DETECTOR
1		DEMOLITION NOTE #1
1		CONSTRUCTION NOTE #1
		ROOF MOUNTED DUCT SUPPORT
		POINT OF CONNECTION
		POINT OF DISCONNECT

HVAC ABBREVIATIONS

ABBREVIATION	DESCRIPTION
AC	AIR CONDITIONING UNIT
AD	ACCESS DROOP
AFF	ABOVE FINISHED FLOOR
AH	AIR HANDLING UNIT
BDD	BACK DRAFT DAMPER (WEIGHTED)
BFP	BACKFLOW PREVENTER
BT	BYPASS TIMER
BTUH	BRITISH THERMAL UNITS PER HOUR
CC	COOLING COIL
CD	CEILING DIFFUSER
CFM	CUBIC FEET PER MINUTE
CWR	CHILLED WATER RETURN
CWS	CHILLED WATER SUPPLY
CW	CHILLED WATER
CLG	CEILING
CU	CONDENSING UNIT
CV	CONSTANT VOLUME
CONT.	CONTINUOUS
CSFD	COMBINATION SMOKE FIRE DAMPER
(D)	EXISTING TO DEMOLISH
DAL	DISCHARGE AIR LOUVER
DB	DECIBELS
DBT	DRY BULB TEMPERATURE
DCV	DEMAND CONTROL VENTILATION (CO2)
DDC	DIRECT DIGITAL CONTROL
DIA	DIAMETER
DN	DOWN
DTR	DOWN THROUGH ROOF
(E)	EXISTING
EACH	EACH
EAT	ENTERING AIR TEMPERATURE
EF	EXHAUST FAN
EG	EXHAUST GRILLE
EFF	EFFICIENCY
EMCS	ENERGY MANAGEMENT CONTROL SYSTEM
EMS	ENERGY MANAGEMENT SYSTEM
ER	EXHAUST REGISTER
ESP	EXTERNAL STATIC PRESSURE
(ETR)	EXISTING TO REMAIN
'F	DEGREES, FAHRENHEIT
FAU	FORCED AIR UNIT
FC	FAN COIL UNIT
FCU	FAN COIL UNIT
FD	FIRE DAMPER
FLR	FLOOR
FLA	FULL LOAD AMPS
PFM	FEET PER MINUTE
FT	FEET
FV	FACE VELOCITY
HZ	HERTZ
HPU	HEAT PUMP UNIT
HP	HORSE POWER
HW	HOT WATER
HWR	HOT WATER RETURN
HWS	HOT WATER SUPPLY
IN	INCHES
IN, W.C.	INCHES OF WATER COLUMN
IFM	INDOOR FAN MOTOR
LAT	LEAVING AIR TEMPERATURE
LBS	POUNDS
LRA	LOCKED ROTOR AMPS
MAX	MAXIMUM
MBH	ONE THOUSAND BTUH
MCA	MINIMUM CIRCUIT AMPS
MCOCP	MAXIMUM OVER CURRENT PROTECTION
MD	MOTORIZED DAMPER
MIN	MINIMUM
MFS	MAXIMUM FUSE SIZE
MVD	MANUAL VOLUME DAMPER
(N)	NEW
N/A	NOT APPLICABLE
NC	NOISE CRITERIA
NIC	NOT IN CONTRACT
NCK	NECK
NO	NUMBER
NTS	NOT TO SCALE
OFM	OUTDOOR FAN MOTOR
OSA	OUTSIDE AIR
OAI	OUTSIDE AIR INTAKE
OAL	OUTSIDE AIR LOUVER

DUCTWORK SYMBOLS	
	SUPPLY DUCT RISER IN PLAN
	RETURN DUCT RISER IN PLAN
	EXHAUST DUCT RISER
	RECTANGULAR DUCTWORK (WIDTH X DEPTH)
	FLAT OVAL DUCTWORK
	ROUND DUCTWORK (SIZE, DIAMETER)
	1\"/>
	SQUARE-THROATED ELBOW W/TURNING VANES
	RADIUS ELBOW
	RADIUS TEE
	SQUARE-THROATED TEE
	CHANGE IN ELEVATION WITH RELATION TO AIR FLOW
	VOLUME DAMPER
	TRANSITION WITH FLAT SIDE
	TRANSITION ON CENTER
	RECTANGULAR-TO-ROUND TRANSITION
	TAKE-OFF TAP TO RECTANGULAR DUCT AND VOLUME DAMPER
	CONICAL TAP TO RECTANGULAR DUCT AND VOLUME DAMPER
	COMBINATION SMOKE/FIRE DAMPER (CSFD)
	FIRE DAMPER (FD)
	FLEXIBLE CONNECTOR
	EXISTING DUCTWORK TO REMAIN (DASHED)
	EXISTING TO BE REMOVED (HATCHED)
	NEW DUCTWORK (SOLID)
	(L) NEW LINED DUCTWORK (SOLID)
	(DWL) NEW DOUBLE WALL LINED DUCTWORK (SOLID)
	NEW FLEXIBLE DUCT (MAXIMUM LENGTH 5'-0")
	ACCESS REQUIRED FOR EQUIPMENT SERVICE
	SIDE WALL REGISTER/GRILLE
	RETURN GRILLE WITH ACOUSTICALLY LINED BOOT
	CEILING DIFFUSER 4-WAY THROW
	CEILING DIFFUSER 3-WAY THROW
	CEILING DIFFUSER 2-WAY THROW
	CEILING DIFFUSER 1-WAY THROW
	RETURN AIR GRILLE
	EXHAUST GRILLE
	THERMOSTAT (MAX. 48\"/>
	TEMPERATURE SENSOR (MAX. 48\"/>
	CARBON DIOXIDE SENSOR (MAX. 48\"/>
	BYPASS TIMER (MAX. 48\"/>
	MANUAL VOLUME DAMPER
	EQUIPMENT TAG, DESCRIPTION FAU, ROOM NUMBER D30, UNIT NUMBER 1
	DETAIL REFERENCE, DETAIL 1, SHEET NUMBER M-1
	DOOR LOUVER MIN. 12x12
	DOOR UNDERCUT MAX. 1"
	SECTION REFERENCE, SECTION 1 SHEET M-1

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Project Title
**HARADA HOUSE
 PHASE 2**

Sheet Title
**MECHANICAL
 LEGEND AND
 ABBREVIATIONS**

Design Stage

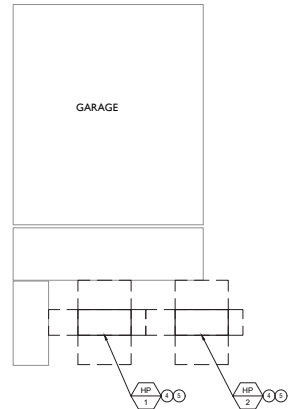
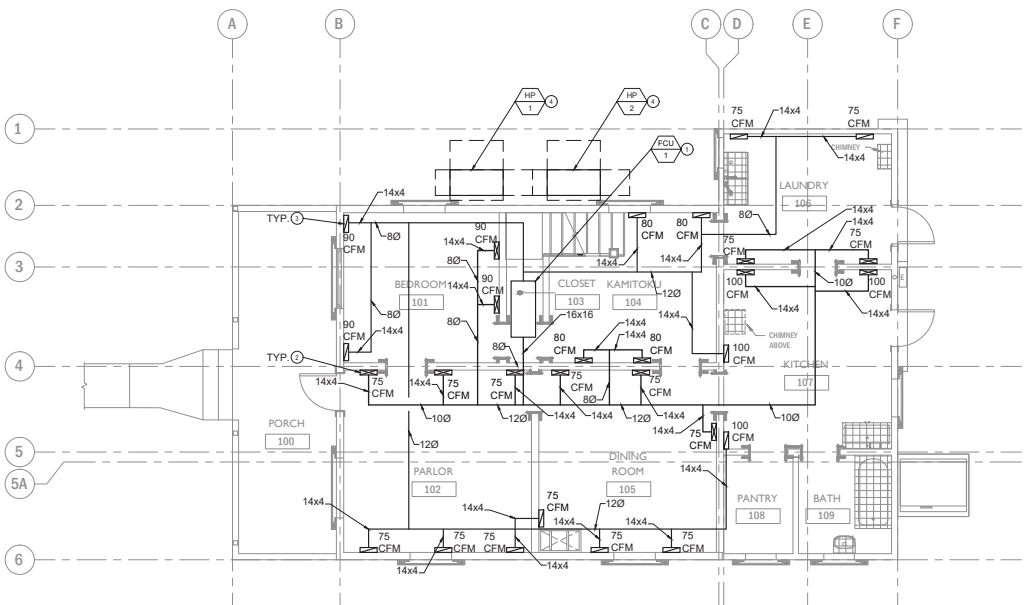
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M-0.2

Exhibit 4 - Phase 2 Project Plans



MECHANICAL FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



GENERAL NOTES

- NON-RESIDENTIAL PROJECTS
- A. ALL DUCT EXPOSED TO CONDITION SPACE SHALL BE LINED INTERNALLY WITH 1 INCH OF ACOUSTICAL LINING.
 - B. ALL SUPPLY, RETURN AND OUTSIDE AIR DUCT TAKEOFF BRANCHES SHALL BE PROVIDED WITH A VOLUME DAMPER. REMOTE MANUAL CONTROL DAMPER SHALL BE USED WHERE NO ACCESSIBLE CEILING.
 - C. MECHANICAL SYSTEMS INSTALLATION MUST MAINTAIN INTEGRITY OF WALLS, PARTITIONS AND FLOORS DESIGNATED AS EITHER FIRE RATED OR "SMOKE TIGHT". SEAL AROUND ALL PENETRATIONS THROUGH RATED OR SMOKE TIGHT ASSEMBLIES. COORDINATE WITH GC PLANS AND GENERAL CONTRACTOR WHERE APPLICABLE.
 - D. ALL THE DUCT SIZES SHOWN IN PLAN ARE WITHOUT DUCT LINING.
 - E. EXHAUST OUTLET SHALL BE 3-FEET AWAY FROM ANY OPENINGS TO THE BUILDING, MIN 10-FT AWAY FROM OUTSIDE AIR INTAKE, AND 3-FEET AWAY FROM THE PROPERTY LINE.
 - F. ALL DUCTWORK BETWEEN FLOOR JOISTS SHALL BE PROVIDED WITH FIRE WRAP WITH FIRE RATING SIMILAR TO THE FLOOR CONSTRUCTION.
 - G. EXISTING CONDITIONS ARE PER AS-BUILT DRAWINGS AND SITE SURVEY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND INSTALLATION OF ANY WORK.
 - H. EXISTING DUCT AND PIPE DIMENSION AND ROUTING SHOWN ON THE PLAN IS BASED ON ASSUMPTION DUE TO LIMITED ACCESS TO THE CEILING SPACE AND MAY VARY FROM ACTUAL SITE CONDITION. CONTRACTOR TO VERIFY SIZES AND ROUTING ON SITE.
 - I. PROVIDE 1" UNDER CUT AT BATHROOM DOORS.
 - J. INSTALL BACK-DRAFT DAMPER IN OUTSIDE AIR INTAKE, EXHAUST AIR AND RELIEF AIR DUCTWORK.
 - K. ALL AIR-DISTRIBUTION SYSTEM DUCTS AND PLENUMS SHALL BE INSTALLED, SEALED, AND INSULATED TO MEET THE REQUIREMENTS OF 2022 CALIFORNIA MECHANICAL CODE SECTIONS 601.0, 602.0, 603.0, 604.0, 605.0 AND "HVAC DUCT CONSTRUCTION STANDARDS METAL AND FLEXIBLE" AS PUBLISHED BY SMACNA.

KEY NOTES

- 1 INSTALL NEW DUCTED TYPE FAN COIL UNIT WITH ALL RELATED ACCESSORIES MOUNTED IN CRAWL SPACE.
- 2 4X14 FLOOR SUPPLY DIFFUSER.
- 3 4X14 FLOOR RETURN REGISTER.
- 4 INSTALL NEW OUTDOOR CONDENSER UNIT WITH ALL RELATED ACCESSORIES.
- 5 RUN PIPING UNDERGROUND TO FAN COIL UNITS PER MANUFACTURER RECOMMENDATION.

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Project Title
**HARADA HOUSE
 PHASE 2**

Sheet Title
**MECHANICAL FIRST
 FLOOR PLAN**

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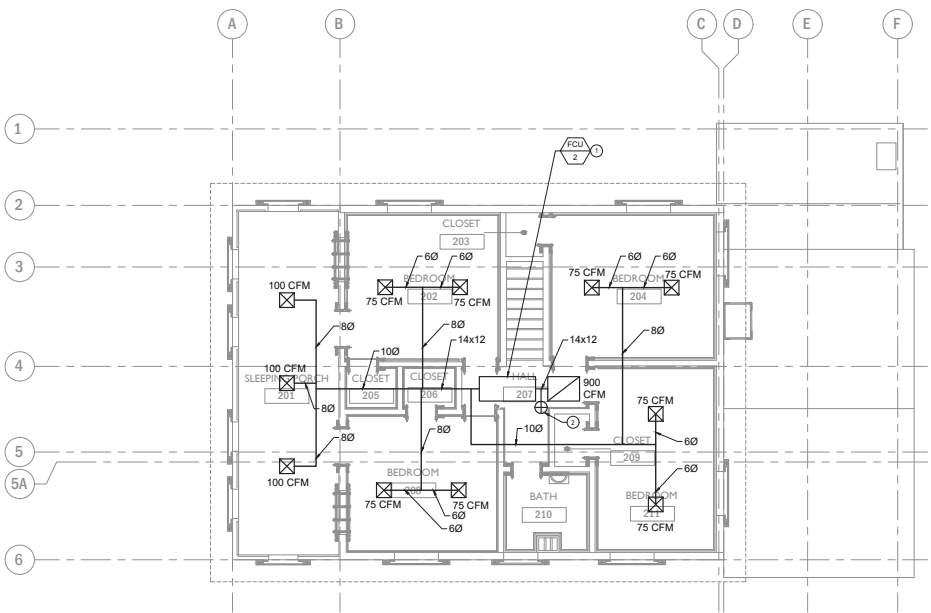
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Sheet Number
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M-1.1 MECHANICAL FIRST FLOOR PLAN DWG

Exhibit 4 - Phase 2 Project Plans

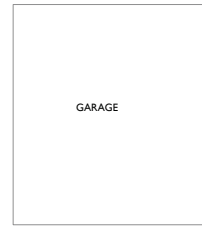


KEY NOTES

- 1 INSTALL NEW DUCTED TYPE FAN COIL UNIT WITH ALL RELATED ACCESSORIES MOUNTED IN ATTIC SPACE.
- 2 RUN 10"Ø DUCT UP TO ROOF AND TERMINATE IN A GOOSENECK FOR 300 CFM OF OUTSIDE AIR.

GENERAL NOTES

- NON-RESIDENTIAL PROJECTS
- A. ALL DUCT EXPOSED TO CONDITION SPACE SHALL BE LINED INTERNALLY WITH 1 INCH OF ACOUSTICAL LINING.
 - B. ALL SUPPLY, RETURN AND OUTSIDE AIR DUCT TAKEOFF BRANCHES SHALL BE PROVIDED WITH A VOLUME DAMPER. REMOTE MANUAL CONTROL DAMPER SHALL BE USED WHERE NO ACCESSIBLE CEILING.
 - C. MECHANICAL SYSTEMS INSTALLATION MUST MAINTAIN INTEGRITY OF WALLS, PARTITIONS AND FLOORS DESIGNATED AS EITHER FIRE RATED OR "SMOKE TIGHT". SEAL AROUND ALL PENETRATIONS THROUGH RATED OR SMOKE TIGHT ASSEMBLIES. COORDINATE WITH GC PLANS AND GENERAL CONTRACTOR WHERE APPLICABLE.
 - D. ALL THE DUCT SIZES SHOWN IN PLAN ARE WITHOUT DUCT LINING.
 - E. EXHAUST OUTLET SHALL BE 3-FEET AWAY FROM ANY OPENINGS TO THE BUILDING, MIN 10-FT AWAY FROM OUTSIDE AIR INTAKE, AND 3-FEET AWAY FROM THE PROPERTY LINE.
 - F. ALL DUCTWORK BETWEEN FLOOR JOISTS SHALL BE PROVIDED WITH FIRE WRAP WITH FIRE RATING SIMILAR TO THE FLOOR CONSTRUCTION.
 - G. EXISTING CONDITIONS ARE PER AS-BUILT DRAWINGS AND SITE SURVEY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND INSTALLATION OF ANY WORK.
 - H. EXISTING DUCT AND PIPE DIMENSION AND ROUTING SHOWN ON THE PLAN IS BASED ON ASSUMPTION DUE TO LIMITED ACCESS TO THE CEILING SPACE AND MAY VARY FROM ACTUAL SITE CONDITION. CONTRACTOR TO VERIFY SIZES AND ROUTING ON SITE.
 - I. PROVIDE 1" UNDER CUT AT BATHROOM DOORS.
 - J. INSTALL BACK-DRAFT DAMPER IN OUTSIDE AIR INTAKE, EXHAUST AIR AND RELIEF AIR DUCTWORK.
 - K. ALL AIR-DISTRIBUTION SYSTEM DUCTS AND PLENUMS SHALL BE INSTALLED, SEALED, AND INSULATED TO MEET THE REQUIREMENTS OF 2022 CALIFORNIA MECHANICAL CODE SECTIONS 601.0, 602.0, 603.0, 604.0, 605.0 AND "HVAC DUCT CONSTRUCTION STANDARDS METAL AND FLEXIBLE" AS PUBLISHED BY SMACNA.



MECHANICAL SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"
 1
 M-1.2

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PHASE 2

Sheet Title
MECHANICAL
SECOND
FLOOR PLAN

Design Stage

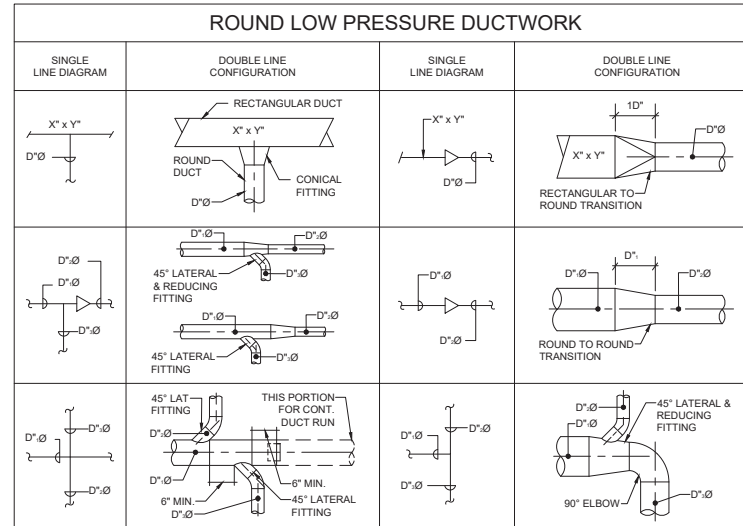
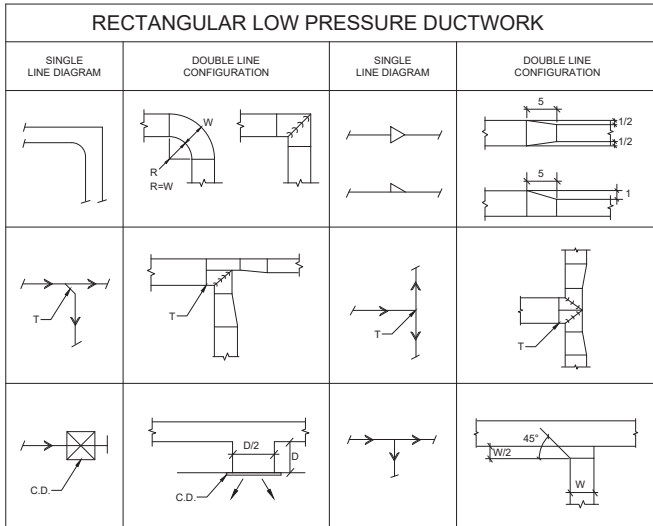
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Exhibit 4 - Phase 2 Project Plans



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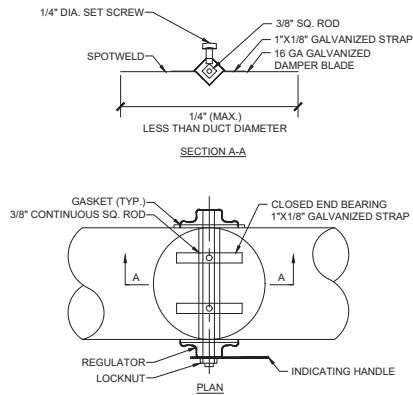
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DUCTWORK DETAILS FOR RECTANGULAR AND ROUND ELBOW

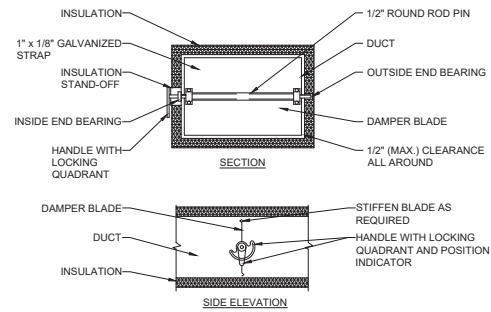
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- NOTES:
1. LOCK DAMPER DURING AIR BALANCE AND MARK QUADRANT TO RECORD AIR BALANCED DAMPER POSITION.
 2. PROVIDE "HAT" SECTION AT QUADRANT FOR ALL EXTERNALLY INSULATED DUCTWORK.
 3. PROVIDE FLUORESCENT COLORED MARKERS AT ALL VOLUME DAMPERS LOCATIONS.

ROUND VOLUME DAMPER UP TO 14 INCH DIAMETER

N.T.S. 3

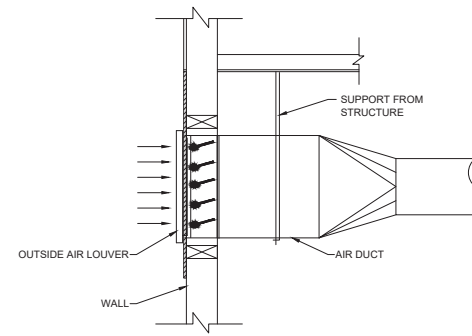
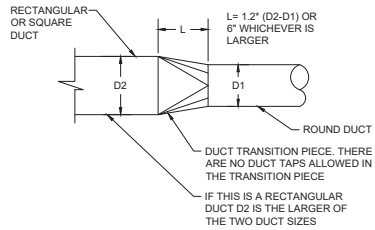


- NOTES:
1. DELETE INSULATION STAND-OFF ON DUCTWORK WITHOUT EXTERIOR INSULATION.
 2. DETAIL SHOWS SINGLE BLADE DAMPER. MULTI-BLADE DAMPERS INSTALLATIONS SHALL BE SIMILAR.
 3. LOCK DAMPER DURING AIR BALANCE AND MARK QUADRANT TO RECORD AIR BALANCED DAMPER POSITION.
 4. PROVIDE "HAT" SECTION AT QUADRANT FOR ALL EXTERNALLY INSULATED DUCTWORK.
 5. PROVIDE FLUORESCENT COLORED MARKERS ON CEILING AT ALL VOLUME DAMPERS LOCATIONS.

RECTANGULAR MANUAL VOLUME DAMPER

N.T.S. 1

M-4.1



DUCT TRANSITION DIAGRAM

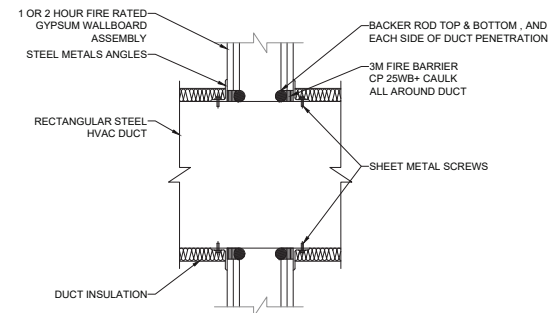
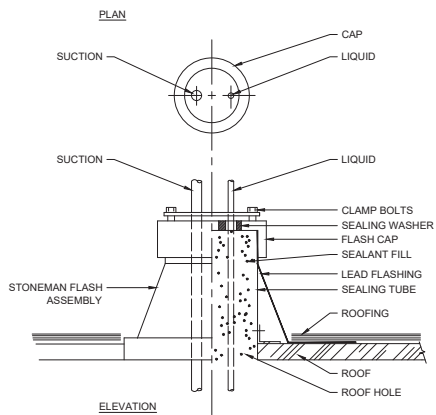
N.T.S.

4

OUTSIDE AIR LOUVE

N.T.S.

2



NOTES:

1. UL SYSTEM NO. WL7008
2. PENETRATION THROUGH HORIZONTAL RATING SIMILAR AT STORAGE CEILING BELOW AUDITORIUM.

PIPE FLASHING DIAGRAM

N.T.S.

3

DUCT PENETRATION THROUGH RATED ROOF

N.T.S.

1

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HARADA HOUSE PHASE 2

Sheet Title
MECHANICAL DETAILS

Design Stage

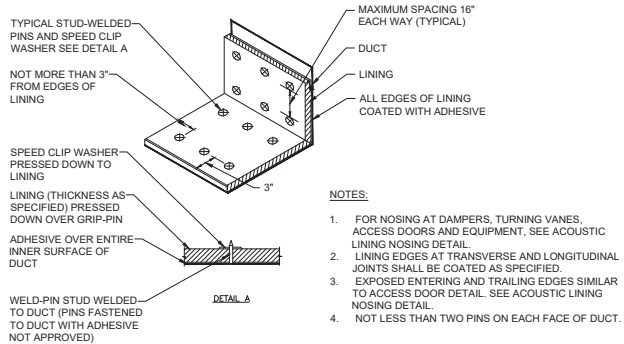
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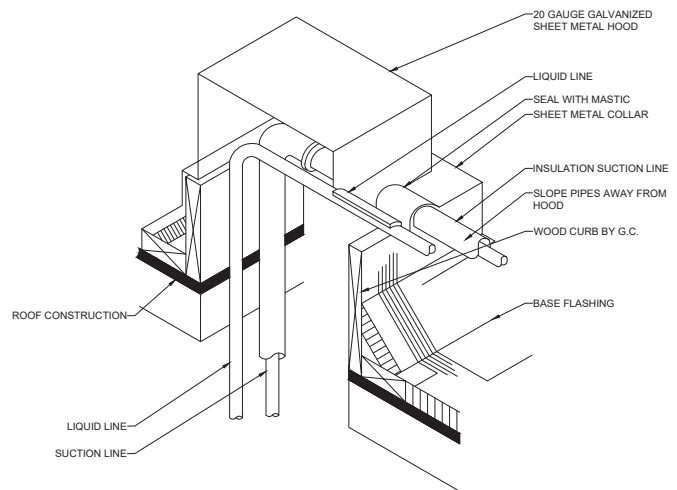
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M-4.3

M-4.3 MECHANICAL DETAILS.DWG



- NOTES:**
1. FOR NOSING AT DAMPERS, TURNING VANES, ACCESS DOORS AND EQUIPMENT, SEE ACOUSTIC LINING NOSING DETAIL.
 2. LINING EDGES AT TRANSVERSE AND LONGITUDINAL JOINTS SHALL BE COATED AS SPECIFIED.
 3. EXPOSED ENTERING AND TRAILING EDGES SIMILAR TO ACCESS DOOR DETAIL. SEE ACOUSTIC LINING NOSING DETAIL.
 4. NOT LESS THAN TWO PINS ON EACH FACE OF DUCT.

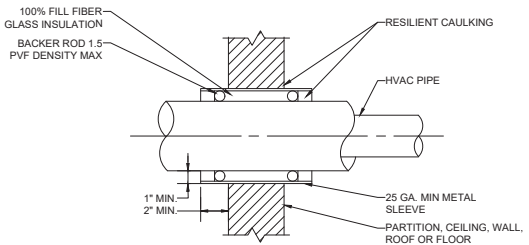


ACOUSTIC LINING INSTALLATION DETAIL

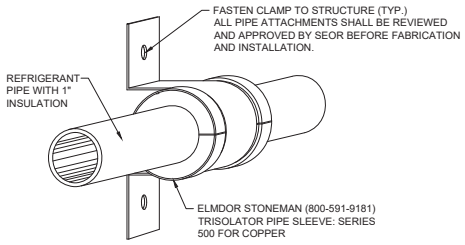
N.T.S. 4

PIPING THROUGH ROOF DIAGRAM

N.T.S. 2



- NOTES:**
1. PROVIDE PITCH POCKET CONSTRUCTION, ADDITIONAL FLASHING, OR WEATHER CAP AS REQUIRED FOR WATERPROOF CONSTRUCTION. DO NOT MECHANICALLY TIE PIPE TO STRUCTURE IN ANY WAY. SPACE BETWEEN PIPE AND SLEEVE SHALL BE FREE OF ANY FOREIGN MATERIAL.
 2. ALL HVAC PIPES SHALL NOT CONTACT STRUCTURE AT ANY TIME. WEDGES SHALL NOT BE USED TO MAINTAIN PIPE IN POSITION.
 3. ALL HVAC PIPES MUST BE APPROXIMATELY CENTERED IN OPENING. PROVIDE ADDITIONAL CLEARANCE FOR POSITIONAL CHANGE OF PIPE DUE TO LOADING OF PIPE OR OPERATION OF SYSTEM.
 4. ALL FIRE STOPPING AND FILL MATERIALS SHALL BE LISTED.



REFRIGERANT PIPE PENETRATION THROUGH WALL

N.T.S. 3

REFRIGERANT PIPE WALL ATTACHMENT DIAGRAM

N.T.S. 1

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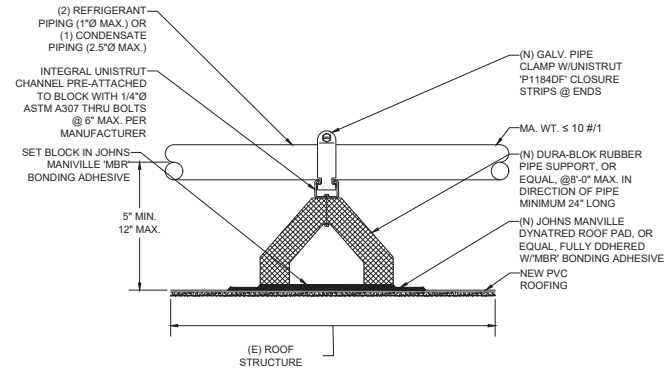
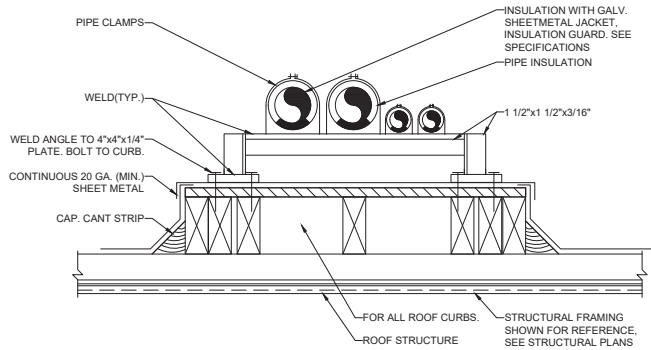
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- NOTE:
1. RUBBER SLEEPER SUPPORT NOT ALLOWED FOR GAS PIPING.
 2. ALL EXPOSED STEEL COMPONENTS SHALL BE HOT DIP GALVANIZED.

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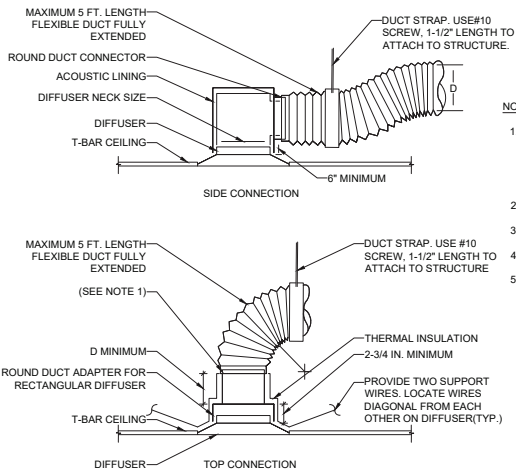
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ROOF MOUNTED REFRIGERANT PIPE SUPPORT DIAGRAM

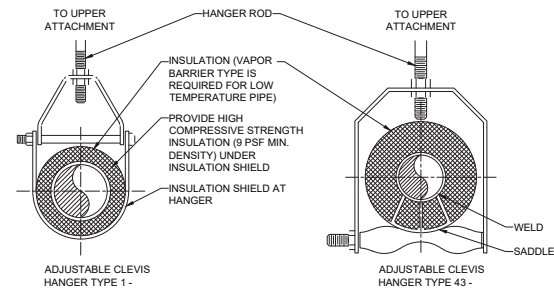
N.T.S. 4

ROOFTOP PIPE / CONDUIT RUBBER SLEEPER SUPPORT

N.T.S. 2



- NOTES:
1. THE CONNECTION OF THE FLEXIBLE DUCT TO THE DEVICE SHALL BE WITH A NYLON STRAP SECURELY SEALED TO THE DEVICE COLLAR.
 2. FLEXIBLE DUCT 7' 0" MAXIMUM LENGTH.
 3. FLEXIBLE DUCT SHALL NOT HARD-LID CEILIN.
 4. INSTALL WITH DUCT FROM SAGGING.
 5. FOR INSTALLATION AT T-BAR CEILING ONLY. NO SHEET METAL SCREW ATTACHING DIFFUSER TO T-BAR GRID REQUIRED.



MAXIMUM PIPE TUBING SUPPORT SPACING						
NOM. SIZE [IN]	THRU 3/4"	1	1 1/4	1 1/2	2	2 1/2
PIPE (FT)	7	7	7	9	10	11
TUBING (FT)	5	6	7	8	8	9

DIFFUSER FLEXIBLE CONNECTION DIAGRAM

N.T.S. 3

PIPE HANGERS DETAIL

N.T.S. 1

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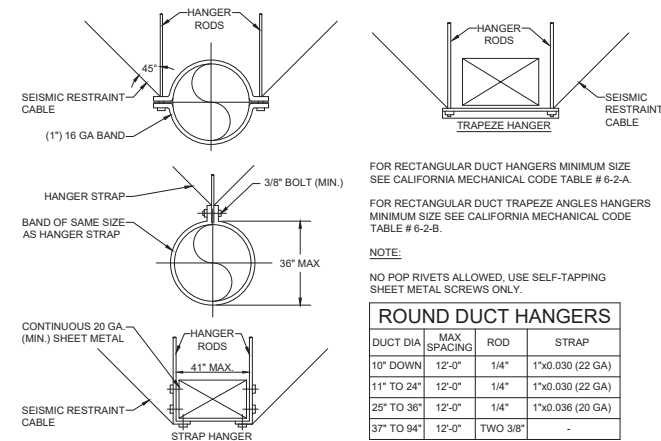
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N.T.S. | 2

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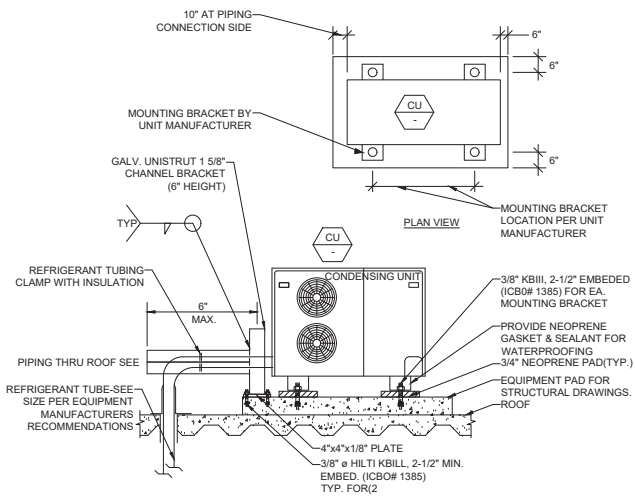
FOR RECTANGULAR DUCT HANGERS MINIMUM SIZE SEE CALIFORNIA MECHANICAL CODE TABLE # 6-2-A.

FOR RECTANGULAR DUCT TRAPEZE ANGLES HANGERS MINIMUM SIZE SEE CALIFORNIA MECHANICAL CODE TABLE # 6-2-B.

NOTE:
NO POP RIVETS ALLOWED. USE SELF-TAPPING SHEET METAL SCREWS ONLY.

ROUND DUCT HANGERS			
DUCT DIA.	MAX SPACING	ROD	STRAP
10" DOWN	12'-0"	1/4"	1"x0.030 (22 GA)
11" TO 24"	12'-0"	1/4"	1"x0.030 (22 GA)
25" TO 36"	12'-0"	1/4"	1"x0.036 (20 GA)
37" TO 94"	12'-0"	TWO 3/8"	-

- NOTES:
- FOR HANGERS SIZE AND SPACING, SEE 2017 SMACNA HVAC DUCT CONSTRUCTION STANDARDS TABLE 5-1. FOR TRAPEZE ALLOWABLE LOAD SEE TABLE 5-3.
 - FOR UPPER ATTACHMENT TO BUILDING, SEE SMACNA HVAC DUCT CONSTRUCTION STANDARDS WITH SPECIFIC STRUCTURAL ENGINEER APPROVAL. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS WITH DETAILS AND SUPPORT LOCATIONS.



DUCT SUPPORT DIAGRAMS

N.T.S. | 3

ROOF CONDENSING UNIT MOUNTING DETAIL

N.T.S. | 1

M-4.7

1.00 GENERAL

1.01 GENERAL REQUIREMENTS

A. DRAWINGS AND GENERAL PROVISIONS OF CONTACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS APPLY TO THIS SECTION.

1.02 PRINCIPAL WORK IN THIS SECTION

A. GENERAL REQUIREMENTS

1. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, DESIGN DOCUMENTS, AND THIS SPECIFICATION AS APPLICABLE ARE PART OF THIS CONTRACT.
2. RELATED DOCUMENTS: ARCHITECTURAL AND OTHER DISCIPLINE SPECIFICATIONS, EQUIPMENT SPECIFICATION PACKAGE, GENERAL, SPECIAL AND SUPPLEMENTARY CONDITIONS, SHALL FORM A PART OF THESE SPECIFICATIONS.

3. SCOPE OF WORK: PROVIDE ALL REQUIRED LABOR, MATERIALS, EQUIPMENT AND CONTRACTOR'S SERVICES NECESSARY FOR COMPLETE AND SAFE INSTALLATION OF WORK IN CONFORMITY WITH REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION; AS INDICATED ON DRAWINGS AND/OR HEREIN SPECIFIED OR DESCRIBED.

4. SITE CLEANLINESS: KEEP SITE FREE FROM THIS SECTION'S SURPLUS MATERIAL, TOOLS AND RUBBISH AT ALL TIMES DURING CONSTRUCTION PERIOD AND, UPON COMPLETION, LEAVE SITE IN CLEAN CONDITION.

5. SITE SECURITY: PROTECT THIS SECTION'S MATERIALS AND EQUIPMENT FROM ALL DAMAGE DUE TO FIRE, THEFT, VANDALISM, WEATHER, ETC.

6. DAMAGE TO OTHER WORK: REPAIR ANY DAMAGE CAUSED BY THIS SECTION TO WORK OF OTHER SECTIONS.
7. DAMAGE TO FIREPROOFING: REPAIR ANY DAMAGED FIREPROOFING CAUSED BY THIS SECTION TO INTEGRITY OF ORIGINAL CONSTRUCTION.

8. SITE SAFETY: CONTRACTOR AGREES THAT HE AND HIS SUBCONTRACTORS AND HIS AND THEIR AGENTS AND EMPLOYEES WILL PROTECT AND MAINTAIN A SAFE PLACE TO WORK AND THAT HE AND THEY WILL COMPLY WITH ALL LAWS AND REGULATIONS OF ANY GOVERNMENTAL AUTHORITY HAVING JURISDICTION THEREOF, AND CONTRACTOR AGREES TO INDEMNIFY, DEFEND AND HOLD HARMLESS, ENGINEER, OWNER AND ARCHITECT FROM AND AGAINST ANY LIABILITY, LOSS, DAMAGE OR EXPENSE, INCLUDING ATTORNEY'S FEES, ARISING FROM A FAILURE OR ALLEGED FAILURE ON THE PART OF CONTRACTOR, THIS SUBCONTRACTORS AND HIS AND THEIR AGENTS, SERVANTS AND EMPLOYEES TO PROVIDE AND MAINTAIN A SAFE PLACE TO WORK OR TO COMPLY WITH ALL LAWS AND REGULATIONS OF ANY GOVERNMENTAL AUTHORITY HAVING JURISDICTION THEREOF.

VERIFICATION OF EXISTING:

9. A. BEFORE SUBMITTING BID, BECOME THOROUGHLY FAMILIAR WITH ACTUAL EXISTING CONDITIONS AND OF THE PRESENT INSTALLATIONS, TO WHICH CONNECTIONS MUST BE MADE OR WHICH MUST BE CHANGED OR ALTERED. THE INTENT OF THE WORK IS SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN, AND NO CONSIDERATION WILL BE GRANTED BY REASON OF LACK OF FAMILIARITY ON THE PART OF THE CONTRACTOR WITH ACTUAL PHYSICAL CONDITIONS, REQUIREMENTS, AND PRACTICES AT THE SITE.

10. REQUIREMENTS OF OTHER SECTIONS: CAREFULLY CHECK THE DOCUMENTS OF OTHER SECTIONS TO ASCERTAIN THE REQUIREMENTS OF ANY INTERFACING MATERIALS OR EQUIPMENT BEING FURNISHED AND/OR INSTALLED BY THAT SECTION, WHICH RELATE TO THIS SECTION, AND PROVIDE THE PROPER INSTALLATION AND/OR CONNECTION.

11. INFORMATION TRANSFER: TRANSMIT ALL INFORMATION REQUIRED FOR WORK BEING PERFORMED BY OTHER SECTIONS IN AMPLE TIME FOR THE PROPER INSTALLATION AND CONNECTION, AND FOR THE PROVISION OF ALL OPENINGS REQUIRED IN FLOORS AND WALLS.

12. HOLES AND STRUCTURE: FIELD DRILLING AND CUTTING OF HOLES IN BUILDING STRUCTURE REQUIRED FOR WORK UNDER THIS SECTION SHALL BE COORDINATED THROUGH THE GENERAL CONTRACTOR AND APPROVED BY OWNER AND BUILDING STRUCTURAL ENGINEER. ALL SUCH CO-ORDINATION, DRILLING, CUTTING AND REINFORCING COSTS SHALL BE BORNE BY THIS CONTRACTOR.

13. SLEEVES: FURNISH AND SET ALL SLEEVES FOR THE PASSAGE OF DISTRIBUTION SYSTEM THROUGH WALLS, ROOF AND FLOORS AND ELSEWHERE AS WILL BE REQUIRED FOR THE PROPER PROTECTION OF EACH COMPONENT PASSING THROUGH BUILDING SURFACES. COORDINATE THIS WORK WITH THE GENERAL CONTRACTOR IN ORDER TO PROPERLY EXPEDITE AND PERFORM THIS WORK.

14. PASSAGE OF EQUIPMENT: CHECK THE DIMENSIONAL REQUIREMENTS OF EQUIPMENT OF THIS SECTION TO ENSURE THAT SUCH EQUIPMENT CAN PASS THROUGH THE NECESSARY AREAS TO REACH ITS ULTIMATE INSTALLED LOCATION. INCLUDE IN BID COSTS FOR ALL WORK REQUIRED, INCLUDING ANY WORK REQUIRED TO MOVE THE EQUIPMENT THROUGH THE SITE TO THIS FINAL LOCATION, INCLUDING ANY DISMANTLING AND RE-ASSEMBLY.

15. SIGNAGE: PROVIDE SIGNAGE REQUIRED BY CODES AND AUTHORITIES HAVING JURISDICTION.

16. WARRANTY: SUBMIT A SINGLE GUARANTEE STATING THAT ALL PORTIONS OF THE WORK ARE IN ACCORDANCE WITH CONTRACT REQUIREMENTS. GUARANTEE ALL WORK AGAINST FAULTY AND IMPROPER MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER, EXCEPT THAT WHERE GUARANTEES OR WARRANTIES FOR LONGER TERMS ARE SPECIFIED BY CONTRACT, SUCH LONGER TERM SHALL APPLY.

B. GENERAL ITEMS:

1. ACCESS DOORS PANELS: PROVIDE CONCEALED EQUIPMENT INCLUDING CONTROLS, VALVES, ETC., REQUIRING ACCESS, WITH ADEQUATELY SIZED ACCESS DOORS/PANELS. IN REMOVABLE TYPE CEILING, PROVIDE ACCESS TILE IDENTIFICATION ONLY. SEE PARAGRAPH 2.09 HEREIN.

2. CUTTING AND PATCHING FOR MECHANICAL WORK.

3. INSULATION: FURNISH INSULATION FOR ALL EQUIPMENT AND DISTRIBUTION SYSTEM THAT PERMIT HEAT LOSS OR GAIN OR WILL FORM CONDENSATION. REPLACE ANY DAMAGED OR REMOVED INSULATION ON EXISTING SYSTEMS.

4. COORDINATE ALL NEW WORK WITH EXISTING INSTALLATIONS.

1.03 SUBMITTALS

A. PROVIDE SIX (6) COPIES OF SUBMITTAL MATERIAL WITH DESCRIPTIVE DATA FOR ALL PRODUCTS AND MATERIALS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING, PRIOR TO INSTALLATION. ALL SUBMITTALS SHALL BE HIGHLIGHTED TO INDICATE SPECIFIC PRODUCTS OR MATERIALS BEING USED.

B. SUBMIT PRODUCT DATA, DRAWINGS, TEST REPORTS FOR THE FOLLOWING ITEMS PER THIS DIVISION'S GENERAL PROVISIONS:

- 1. COORDINATED LAYOUT PLANS, SHOWING WORK OF ALL TRADES, INCLUDING BUT NOT LIMITED TO DUCTWORK; HVAC, PLUMBING, FIRE PROTECTION PIPING; ELECTRICAL CONDUITS AND BUS DUCTS; EQUIPMENT.
2. DUCTWORK ACCESSORIES.
3. DUCTWORK TYPICAL CONSTRUCTION.
4. DUCT SEALING.
5. FLEXIBLE DUCTING.
6. DAMPERS.

- 7. INSULATION AND ACOUSTICAL LINING.
8. PIPE AND PIPING ACCESSORIES INCLUDING VALVES AND FITTINGS.
9. DIFFUSERS, GRILLES AND REGISTERS.
10. CERTIFIED ACOUSTICAL TEST PERFORMANCE DATA, FOR DIFFUSERS, REGISTERS, GRILLES AND TERMINAL AIR UNITS.
11. AIR TEST AND BALANCE REPORTS.
12. DAMPER MOTORS.
13. THERMOSTATS AND ALL CONTROL DEVICES.
14. VIBRATION ISOLATION.
15. ONE SET OF AS-BUILT DRAWINGS AND CADD CD.

1.04 QUALITY ASSURANCE

A. QUALITY AND GAUGES OF MATERIALS:
1. QUALITY OF MATERIALS:
A. NEW, BEST OF THEIR RESPECTIVE KINDS, FREE FROM DEFECTS AND LISTED BY UNDERWRITERS' LABORATORIES, INC. OR BEARING THEIR LABEL. MATERIALS AND EQUIPMENT OF SIMILAR APPLICATION: SAME MANUFACTURE, EXCEPT AS NOTED, CONFORM TO REFERENCE STANDARDS.

1.05 PERMITS AND INSPECTIONS

A. THE CONTRACTOR SHALL SECURE ALL APPROVALS AND PAY ALL FEES FOR ALL WORK INSTALLED. CERTIFICATE SHALL BE DELIVERED TO OWNER BEFORE FINAL PAYMENT WILL BE MADE.
B. PROVIDE ALL REQUIRED LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY FOR A COMPLETE AND SAFE INSTALLATION OF HVAC IN FULL CONFORMITY WITH REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION, ALL AS INDICATED ON DRAWINGS AND/OR HEREIN SPECIFIED FOR THE SYSTEMS INCLUDED. WORK SHALL BE INSTALLED IN A NEAT, WORKMANLIKE MANNER. INCLUDE ALL COSTS FOR PERMITS, LICENSES, CERTIFICATES, FILING AND INSPECTION REQUIRED BY AUTHORITIES HAVING JURISDICTION.

1.06 DESCRIPTION

A. SPECIFICATIONS ARE OF SIMPLIFIED FORM AND INCLUDE INCOMPLETE SENTENCES, WORDS OR PHRASES SUCH AS "THE CONTRACTOR SHALL," "SHALL BE," "FURNISH," "PROVIDE," "A," "AN," "THE," AND "ALL" HAVE BEEN OMITTED FOR BREVITY.
B. DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF SYSTEMS AND WORK. FOLLOW DRAWINGS IN LAYING OUT WORK AND CHECK DRAWINGS OF OTHER TRADES TO VERIFY SPACE CONDITIONS. MAINTAIN HEADROOM AND SPACE CONDITIONS.
C. THE WORK DOES NOT SHOW ALL OFFSETS, DROPS AND RISES OF RUNS. THE CONTRACTOR SHALL ALLOW IN HIS PRICES FOR ROUTING OF DISTRIBUTION SYSTEM TO AVOID OBSTRUCTIONS. EXACT LOCATIONS SUBJECT TO APPROVAL OF ARCHITECT.
D. SCOPE OF WORK: LABOR, MATERIALS, EQUIPMENT, SERVICES AND FEES NECESSARY FOR COMPLETE SAFE INSTALLATION IN CONFORMITY WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION; AS INDICATED ON DRAWINGS AND HEREIN SPECIFIED.

1.07 JOB CONDITIONS

A. CONNECTIONS TO EXISTING WORK:
1. INSTALL NEW WORK AND CONNECT TO EXISTING WORK WITH MINIMUM INTERFERENCE TO EXISTING FACILITIES.
2. MAINTAIN CONTINUOUS OPERATION OF EXISTING FACILITIES AS REQUIRED WITH NECESSARY TEMPORARY CONNECTIONS BETWEEN NEW AND EXISTING WORK.
3. TEMPORARY SHUTDOWNS OF EXISTING SERVICES:
A. AT NO ADDITIONAL CHARGES.
B. AT TIMES NOT TO INTERFERE WITH NORMAL OPERATION OF EXISTING FACILITIES.
C. ONLY WITH WRITTEN CONSENT OF OWNER.
4. CONNECT NEW WORK TO EXISTING WORK IN NEAT AND ACCEPTABLE MANNER. RESTORE EXISTING DISTURBED WORK TO ORIGINAL CONDITION INCLUDING MAINTENANCE OF WIRING CONTINUITY AS REQUIRED.
B. REMOVAL AND RELOCATION OF EXISTING WORK:
1. DISCONNECT, REMOVE OR RELOCATE MATERIAL, EQUIPMENT, DUCTWORK, PIPING AND OTHER WORK NOTED AND REQUIRED BY REMOVAL OR CHANGES IN EXISTING CONSTRUCTION.
2. WHERE EXISTING PIPES, CONDUITS AND/OR DUCTS, WHICH ARE TO REMAIN, PREVENT INSTALLATION OF NEW WORK AS INDICATED, RELOCATE, OR ARRANGE FOR RELOCATION, OF EXISTING PIPES, CONDUITS AND/OR DUCTS.
3. PROVIDE NEW MATERIAL AND EQUIPMENT REQUIRED FOR RELOCATED EQUIPMENT.
4. PLUG OR CAP ACTIVE PIPING OR DUCTWORK BEHIND OR BELOW FINISH.
5. DO NOT LEAVE LONG DEAD-END BRANCHES. CAP OR PLUG AS CLOSE AS POSSIBLE TO ACTIVE LINE.
6. DISPOSE OF REMOVED MATERIAL AND EQUIPMENT AS DIRECTED.

1.08 PRODUCT DELIVERY, STORAGE AND HANDLING

A. MOVING OF EQUIPMENT: WHERE NECESSARY, SHIP IN CRATED SECTIONS OF SIZE TO PERMIT PASSING THROUGH AVAILABLE SPACES.
B. ACCESSIBILITY:
1. FOR OPERATION, MAINTENANCE AND REPAIR.
2. MINOR DEVIATIONS: PERMISSIBLE.
3. CHANGES OF MAGNITUDE OR INVOLVING EXTRA COST: NOT PERMISSIBLE WITHOUT REVIEW.
4. GROUP CONCEALED MECHANICAL EQUIPMENT REQUIRING ACCESS WITH EQUIPMENT FREELY ACCESSIBLE THROUGH ACCESS DOORS.

1.09 MAINTENANCE MANUALS, REPORTS AND AS-BUILT DRAWINGS

A. PROVIDE FOUR (4) COPIES OF OPERATING AND MAINTENANCE MANUAL AND COPIES OF GUARANTIES AND WARRANTIES FOR EACH SYSTEM FOR OWNER'S USE FOR EACH PIECE OF EQUIPMENT. EACH ITEM SHALL BE CROSS-REFERENCED AND NUMBERED WITH AS-BUILT DRAWING DESCRIPTIONS. Q&M INSTRUCTIONS SHALL BE
B. AS-BUILT DRAWINGS: DELIVER TO OWNER, ONE SET OF REPRODUCIBLES, AUTO-CAD CD, AND ONE BOUND SET OF BLUEPRINTS AND PANEL SCHEDULES SHOWING WORK AS ACTUALLY INSTALLED.

1.10 SEISMC SUPPORT

A. CONTRACTOR SHALL RETAIN A PROFESSIONAL ENGINEER TO DESIGN ALL SEISMC SUPPORTS REQUIRED FOR THE PROJECT.
B. CONTRACTOR SHALL SUPPORT AND BRACE ALL HVAC SYSTEMS IN ACCORDANCE WITH SEISMC CODE REQUIREMENTS.

2.00 PRODUCTS

2.01 DUCTWORK

A. GENERAL: ALL SAFING, DUCTS, DAMPERS, ACCESS DOORS, JOINTS, HANGERS, STIFFENERS, FIRE DAMPERS AND FIRE RETARDING MATERIALS, IN ACCORDANCE WITH REQUIREMENTS OF SMACNA, HVAC DUCT CONSTRUCTION STANDARDS; LATEST EDITION CHAPTER 6 OF CALIFORNIA MECHANICAL CODE, AND ALL OTHER AUTHORITIES HAVING JURISDICTION AND AS DESCRIBED HEREIN. ALL SHEET METAL WORK SHALL HAVE A PRESSURE CLASSIFICATION AS FOLLOWS, UNLESS OTHERWISE SPECIFIED:
1. SUPPLY DUCT BETWEEN FAN DISCHARGE AND INLET TO TERMINAL AIR UNIT - 4 INCHES W.G.
2. SUPPLY DUCTS DOWNSTREAM OF TERMINAL AIR UNITS AND FANS - 2 INCHES W.G.
3. RETURN AND EXHAUST AIR DUCTS - 2 INCHES W.G.

- B. DUCTWORK: UNLESS OTHERWISE SPECIFIED.
1. COLD ROLLED "COMMERCIAL" QUALITY HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM NO. M525-67.
A. AIR CONDITIONING SYSTEMS.
B. VENTILATION SYSTEMS.
2. DIMENSIONS SHOWN ON DRAWINGS ARE CLEAR INSIDE DIMENSIONS.
3. FITTINGS: SAME GAUGE AND CONSTRUCTION AS DUCTS.
4. DUCT SUPPORTS.
5. DUCTS WITH TRANSVERSE AND LONGITUDINAL BRACINGS IN ACCORDANCE WITH SMACNA.
C. UNEQUAL ELBOWS ARE NOT ACCEPTABLE, EXCEPT RADIUS BRANCH DUCTWORK WITH THROAT.
D. FLEXIBLE DUCTWORK:
1. THE FLEXIBLE DUCT FOR CONNECTION OF CEILING AIR DIFFUSERS TO SHEET METAL DUCT SHALL BE A FACTORY FABRICATED ASSEMBLY CONSISTING OF AN INNER SLEEVE, INSULATION AND AN OUTER MOISTURE BARRIER. THE INNER SLEEVE SHALL BE CONSTRUCTED OF AN ELASTOMERIC COMPOUND REINFORCED WITH WOVEN FIBERGLASS BANDED TO A VINYL COATED SPRING STEEL WIRE SUPPORTING HELIX. A MINIMUM 1 INCH THICK FIBERGLASS INSULATING BLANKET SHALL ENCASE THE INNER SLEEVE AND BE SHEATHED WITH AN OUTER MOISTURE BARRIER OF A REINFORCED METALIZED MYLAR/NEOPRENE LAMINATE, OR EQUAL.
2. ACOUSTICAL PERFORMANCE OF THE FLEXIBLE DUCT SHALL BE IN ACCORDANCE WITH AIR DIFFUSION COUNCIL FLEXIBLE AIR DUCT TEST FD72R1: PARAGRAPH 3.2.1, SOUND ATTENUATION. THE TEST DATA SHALL BE MADE BY AN ACCREDITED INDEPENDENT TESTING LABORATORY IN ACCORDANCE WITH THE ABOVE TESTING PROCEDURE.
3. CERTIFIED TEST DATA SHALL BE SUBMITTED FOR APPROVAL.
4. INSTALLATION OF THE FLEXIBLE DUCT SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDED PROCEDURES.
5. FLEXIBLE DUCTWORK TO BE A MAXIMUM OF 64 IN. IN LENGTH.
6. CONNECTIONS, AIRTIGHT JOINTS, FASTENED WITH CLAMPS (SIMILAR TO IDEAL 5200 OR 5600 SERIES) AND SEALED WITH SEALING COMPOUND AND TAPE.
7. FLEXIBLE DUCT BENDS SHALL BE INSTALLED WITH CENTERLINE RADIUS NOT LESS THAN 1.5 TIME DIAMETER AND SHALL NOT BE CRUSHED TO FIT LIMITED CLEARANCE.

E. ACCESS DOORS:

1. FURNISH ACCESS DOOR OF SUFFICIENT SIZE AS REQUIRED, FOR ACCESS, INSPECTION, MAINTENANCE, AND REPLACEMENT TO ALL INSTRUMENTS, CONTROLS AND EQUIPMENT.
2. INSULATED OR UN-INSULATED, SAME AS DUCT.
3. PROVIDE MINIMUM 20 INCHES BY 14 INCHES, EXCEPT DUCTS LESS THAN 16 INCHES; AONE DIMENSION 20 INCHES AND OTHER DIMENSION 2 INCHES LESS THAN DUCT WIDTH. UNLESS OTHERWISE NOTED, ALL ACCESS DOORS TO BE HINGED TYPE, WITH LATCH SIMILAR TO VENTLOCK NO. 100.

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CITY OF RIVERSIDE
MUSEUM OF RIVERSIDE

Revisions

Table with 2 columns: No., Description. Contains 10 empty rows for revisions.

Drawn By:

Checked By:

Professional's Stamp

Project Title

HARADA HOUSE PHASE 2

Sheet Title

MECHANICAL SPECIFICATIONS

Design Stage

Project Address

3342 & 3356 Lemon Street, Riverside, CA 92501

Scale

N.T.S

Date

Sheet Number

M-6.1

Exhibit 4 - Phase 2 Project Plans

PLUMBING GENERAL NOTES

- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH 2022 CPC/CMC/CBC ALL LOCAL CODES AND AUTHORITIES HAVING JURISDICTION.
- ARCHITECTURAL AND STRUCTURAL PLANS ARE CONSIDERED A PART OF THE DESIGN DRAWINGS AND ARE TO BE USED TO DEFINE DETAIL CONFIGURATIONS INCLUDING, BUT NOT LIMITED TO RELATIVE LOCATION OF MEMBERS, ELEVATION, LOCATION OF ALL OPENINGS, ETC.
- BEFORE STARTING ANY WORK, VERIFY THE ADEQUACY, LOCATION, SIZE, AND AVAILABILITY OF ALL UTILITIES CONCERNED, INCLUDING SEWER INVERT ELEVATIONS, AND WATER PRESSURE.
- ALL VENTS THRU ROOF AND ROOF DECKS SHALL BE MINIMUM OF THREE FEET VERTICALLY OR TEN FEET HORIZONTALLY FROM ANY FRESH AIR INTAKES.
- CLEANOUTS SHALL BE REQUIRED AS INDICATED ON THE PLANS AND INSTALLED PER SECTION 707.0 AND 719.0 OF THE PLUMBING CODE.
- HANDICAPPED USE PLUMBING FIXTURES SHALL BE MOUNTED AT REQUIRED HEIGHTS AND WITH ALL RELATED ACCESSORIES AS REQUIRED BY THE ADMINISTRATIVE AUTHORITIES AND AS INDICATED ON ARCHITECTURAL PLANS.
- EXPOSED SUPPLY PIPES, TRAP AND TRAP ARM AT HANDICAPPED LAVATORIES SHALL BE INSULATED.
- ALL PIPING SHALL BE SUPPORTED IN ACCORDANCE WITH "GUIDELINES FOR RESTRAINTS OF MECHANICAL SYSTEMS, PLUMBING PIPING SYSTEMS" PUBLISHED BY SMACNA.
- ALL DOMESTIC WATER FIXTURES, PIPING VALVES, ETC. FOR HUMAN CONSUMPTION SHALL COMPLY WITH CALIFORNIA HEALTH AND SAFETY CODE 116875
- NEW OR REPAIRED POTABLE WATER SYSTEM SHALL BE DISINFECTED PRIOR TO USE ACCORDING TO THE METHOD SET IN SECTION 609.9 OF THE PLUMBING CODE.
- INSULATE ALL HOT WATER, HOT WATER RETURN AND CONDENSATE DRAIN PIPING AS PER CA TITLE 24 TABLE 120.3-A.
- WATER CLOSET BOWLS FOR PUBLIC USE SHALL BE OF THE ELONGATED TYPE.
- PIPES PASSING THRU FIRE RATED WALLS OR FLOORS SHALL BE SEALED ALL AROUND WITH FIRE RATED SEALANT.
- PROVIDE FLASHING AND/OR COUNTER FLASHING OF ALL EXTERIOR PENETRATIONS.
- ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURERS RECOMMENDATIONS. PROVIDE ALL COMPONENTS REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- ALL APPLIANCE AND PLUMBING VENTS AND THE DISCHARGE OUTLET OF EXHAUST FANS SHALL BE AT LEAST 10' IN A HORIZONTAL DIRECTION, OR 3' ABOVE THE OUTSIDE AIR INTAKES FOR HVAC UNITS.
- ALL APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE SECURELY FASTEN IN PLACE PER BUILDING CODE REQUIREMENTS OR APPLICABLE MANUFACTURER INSTALLATION REQUIREMENTS.
- ALL EXPOSED GAS PIPING SHALL BE PROTECTED AGAINST CORROSION BY COATING OR WRAPPING WITH AN INERT MATERIAL APPROVED FOR SUCH APPLICATIONS.
- MANUFACTURED ROOF DRAINS AND OVERFLOW (FIXTURES) SHALL BE IAPMO LISTED.
- ROOF DRAIN AND OVERFLOW PIPING WITHIN THE BUILDING SHALL UTILIZE APPROVED DRAINAGE FITTINGS.
- OVERFLOW DRAINS SHALL DISCHARGE ABOVE GRADE IN A LOCATION OBSERVABLE BY THE BUILDING OCCUPANTS, OR MAINTENANCE PERSONNEL, INDEPENDENT FROM THE PRIMARY ROOF DRAIN. EXCEPTION: A COMBINED SYSTEM IN COMPLIANCE WITH SECTION 1101.12.2.2.2 OF THE CALIFORNIA PLUMBING CODE.
- ROOF DRAINAGE OR GUTTERS DOWNSPOUT SHALL NOT BE DISCHARGED TO THE SANITARY SEWER SYSTEM. ALL EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN ARE TO BE CLEAN, FURBISHED, PAINTED AND PROPERLY ANCHOR AND SECURE. SEE ARCHITECTURAL PLANS AND CIVIL SITE PLAN FOR LID REQUIREMENTS.
- OVERFLOW DRAINS HAVING THE SAME SIZE AS THE ROOF DRAINS SHALL BE INSTALLED WITH INLET FLOW LINE LOCATED 2' ABOVE THE LOW POINT OF THE ROOF.
- CLEANOUTS FOR HORIZONTAL BUILDING STORM DRAINS SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 719 OF THE CALIFORNIA PLUMBING CODE.

PLUMBING GENERAL NOTES

- ALL FUEL GAS PIPING SHALL BE INSTALLED PER CHAPTER 12 OF THE CALIFORNIA PLUMBING CODE FOR "FIRESTOP PROTECTION".
- STORM DRAIN PIPING IS SIZED FOR 2" MAXIMUM RAINFALL.
- PROVIDE METALLIC WATER LINE CONNECTORS FROM SHUT-OFF TO PLUMBING FIXTURES. RUBBER AND PLASTICS ARE NOT PERMITTED.
- ALL FIXTURES, EQUIPMENT, PIPING, AND MATERIALS SHALL BE LISTED.
- ALL FAUCETS IN PUBLIC RESTROOMS SHALL BE SELF-CLOSING OR SELF-CLOSING METERING FAUCETS.
- PUBLIC LAVATORIES SHALL HAVE CONTROLS TO LIMIT THE WATER TEMPERATURE TO 110 °F.
- WATER PIPE AND FITTINGS WITH A LEAD CONTENT WHICH EXCEEDS 0.25% SHALL BE PROHIBITED IN SYSTEMS CONVEYING POTABLE WATER.
- CGBC 2022 - SECTION 4.303 INDOOR WATER USE

4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS) SHALL COMPLY WITH THE FOLLOWING:

4.303.1.1 WATER CLOSETS
THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS.
NOTE: THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.

4.303.1.2 URINALS
THE EFFECTIVE FLUSH VOLUME OF WALL-MOUNTED URINALS SHALL NOT EXCEED 0.125 GALLONS PER FLUSH. THE EFFECTIVE FLUSH VOLUME OF ALL OTHER URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH.

4.303.1.4 FAUCETS

4.303.1.4.2 LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS
THE MAXIMUM FLOW RATE OF LAVATORY FAUCETS INSTALLED IN COMMON AND PUBLIC USE AREAS (OUTSIDE OF DWELLINGS OR SLEEPING UNITS) IN RESIDENTIAL BUILDINGS SHALL NOT EXCEED 0.5 GALLONS PER MINUTE AT 60 PSI.

4.303.1.4.4 KITCHEN FAUCETS
THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. NOTE: WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.

PLUMBING LEGEND

SYMBOL	ABBR.	DESCRIPTION
	W	WASTE PIPING ABOVE FINISHED GRADE
	W	WASTE PIPING BELOW FINISHED GRADE
	GW	GREASE WASTE BELOW FINISHED GRADE
	SD	STORMDRAIN PIPING ABOVE FINISHED GRADE
	SD	STORMDRAIN PIPING BELOW FINISHED GRADE
	OD	OVERFLOW DRAIN PIPING ABOVE FINISHED GRADE
	V	VENT PIPING ABOVE FINISHED GRADE
	V	VENT PIPING BELOW FINISHED GRADE
	CW	COLD WATER PIPING ABOVE FINISHED GRADE
	CW	COLD WATER PIPING BELOW FINISHED GRADE
	HW	HOT WATER PIPING ABOVE FINISHED GRADE
	CD	CONDENSATE PIPING ABOVE FINISHED GRADE
	CD	CONDENSATE PIPING BELOW FINISHED GRADE
	PCD	PUMP CONDENSATE PIPING ABOVE FINISHED GRADE
	G	GAS PIPING BELOW/ABOVE FINISHED GRADE
	LP	PROPANE
	X X X X X	EXISTING PIPING TO BE REMOVED
	-	DROP IN PIPE
	-	RISE IN PIPE
	-	DIRECTION OF FLOW
	HB	HOSE BIBB
	WCO	WALL CLEANOUT
	-	FLOOR CLEANOUT TO GRADE
	U	UNION
	GV	GATE SHUT-OFF VALVE
	FD	FLOOR DRAIN
	BV	BALL VALVE
	CV	CHECK VALVE
	-	GAS SHUT-OFF COCK
	POC	POINT OF CONNECTION
	POD	POINT OF DEMOLITION
	CO	CLEAN-OUT
	FU	FIXTURE UNIT
	GPM	GALLONS PER MINUTE
	I.E.	INVERT ELEVATION
	NTS	NOT TO SCALE
	SOV	SHUT-OFF VALVE
	TYP	TYPICAL

PLUMBING SHEET INDEX

P-0.1	PLUMBING FRONT SHEET
P-0.2	PLUMBING GENERAL NOTES
P-1.1	PLUMBING DEMOLITION FIRST FLOOR PLAN
P-1.2	PLUMBING DEMOLITION SECOND FLOOR PLAN
P-2.1	PLUMBING FIRST FLOOR PLAN
P-2.2	PLUMBING SECOND FLOOR PLAN

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Drawn by:
 Checked by:
 Professional's Stamp

Project Title
HARADA HOUSE
 PHASE 2

Sheet Title
 PLUMBING
 FRONT SHEET

Design Stage

Project Address
 3342 & 3356 Lemon Street
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Scale
 N.T.S

Date

Sheet Number
P-0.1

Exhibit 4 - Phase 2 Project Plans

**ELECTRICAL SYMBOLS LIST
(AS IT OCCURS)**

POWER SYMBOLS LIST

	DUPLEX RECEPTACLE OUTLET, 125V, 20 AMP, WALL MOUNTED.
	POP UP POWER GROMMET w/ 1 POWER/1 DUAL USB CHARGER FOR DESKS MCKEET PC582AU1 OR EQUAL
	QUAD RECEPTACLE OUTLET, 125V, 20 AMP, WALL MOUNTED.
	QUAD RECEPTACLE OUTLET, 125V, 20 AMP, FLOOR MOUNTED
	QUAD RECEPTACLE OUTLET, 125V, 20 AMP, CEILING MOUNTED
	SPLIT WIRED DUPLEX RECEPTACLE OUTLET, 125V, 20 AMP, WALL MOUNTED. BOTTOM RECEPTACLE IS TO BE SWITCHED CONTROLLED. USE GRAY COLORED RECEPTACLE TO INDICATE SWITCHED RECEPTACLE.
	DEDICATED RECEPTACLE WITH SPECIFIC NEMA CONFIGURATION. WALL MOUNTED.
	GROUND FAULT CIRCUIT INTERRUPTER DUPLEX RECEPTACLE, 125V, 20A.
	INDICATES WEATHERPROOF COVER.
	DUPLEX RECEPTACLE OUTLET w/DUAL USB CHARGER, 125V, 20 AMP, WALL MOUNTED.
	JUNCTION BOX CEILING MOUNTED.
	JUNCTION BOX WALL MOUNTED.
	PULLBOX
	DISCONNECT SWITCH, H.P. RATED, PER EQUIPMENT FLA, 2P U.O.N. *F* INDICATES FUSED, PROVIDE FUSE SIZE PER MANUFACTURER RECOMMENDATIONS. PROVIDE NEMA-OR IN EXTERIOR LOCATIONS.
	COMBINATION FUSED MOTOR DISCONNECT SWITCH AND MAGNETIC MOTOR STARTER SIZED ACCORDING TO MOTOR MANUFACTURER RECOMMENDATIONS. HOA, (2) FORM C CONTROL CONTACTS, STARTER SIZE 1 U.O.N., SOLID STATE ADJUSTABLE OVER-LOAD PROTECTION, MOUNTED ON INDEPENDENT SUPPORT.

SWITCHING/LIGHTING CONTROL SYMBOLS LIST

	MANUAL ON-OFF TOGGLE SWITCH IN FLUSH OR SURFACE WALL OUTLET BOX *42" AFF TO TOP OF BOX OF SWITCH.
	3 WAY SWITCH, WALL MOUNTED, +48" AFF.
	3 WAY SWITCH WITH OCC SENSOR, WALL MOUNTED, +48" AFF.
	3 WAY OCCUPANCY DIMMER SWITCH WALL MOUNTED, +48" AFF.
	DIMMING SWITCH, WALL MOUNTED, +48" AFF.(MEASURED TO THE BOTTOM OF THE BOX).
	OCCUPANCY SENSOR w/MANUAL OVERRIDE FOR LIGHTING CONTROL. SURFACE WALL MOUNTED, AS SPECIFIED. PROVIDE DUAL SWITCHING CAPABILITY PER TITLE 24 WHERE REQUIRED.
	CEILING MOUNTED OCCUPANCY SENSOR
	LIGHTING CONTROL PANEL WITH 120V RELAYS AS INDICATED ON PLAN.
	CEILING MOUNTED DAYLIGHT SENSOR

DATA, AUDIO VIDEO SYMBOLS LIST

	DATA(LAN) WALL OUTLET +18" AFF U.O.N., 1-CAT5E CABLE BACK TO MEDIA PANEL
	TELEPHONE WALL OUTLET +18" AFF U.O.N., 1-CAT5E CABLE BACK TO MEDIA PANEL
	TELEPHONE/DATA(LAN) WALL OUTLET COMBO +18" AFF U.O.N., 2-CAT5E CABLES BACK TO MEDIA PANEL
	RG-6(TELEVISION COAXIAL CABLE) WALL OUTLET +18" AFF U.O.N., RG-6 CABLE BACK TO MEDIA PANEL
	DATA+TV WALL OUTLET COMBO +18" AFF U.O.N., 1-CAT5E+RG-6 CABLE BACK TO MEDIA PANEL
	PHONE+TV WALL OUTLET COMBO +18" AFF U.O.N., 1-CAT5E+RG-6 CABLE BACK TO MEDIA PANEL
	PHONE+DATA+TV WALL OUTLET COMBO+18" AFF U.O.N., 2-CAT5E+1RG-6 CABLE BACK TO MEDIA PANEL

19. ALL CONDUCTORS FOR FEEDERS AND BRANCH CIRCUITS SHALL BE COPPER, TYPE THWN/THHN, RATED FOR 75°C. SIZES #12 AWG MAY BE SOLID OR STRANDED, #10 AND LARGER SHALL BE STRANDED. PROVIDE 75°C RATED AND APPROVED TERMINATION FOR ALL CONDUCTORS.

GENERAL NOTES

- CONSULT WITH THE OWNER AUTHORIZED REPRESENTATIVE (OAR) PRIOR TO STARTING WORK.
- THE CONTRACTOR SHALL USE SUFFICIENT BARRICADES AND TEMPORARY PROTECTION DEVICES TO PREVENT PEDESTRIANS OR NON-AUTHORIZED PERSONNEL ACCESS TO ANY OPEN TRENCHES OR CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL ERECT A SAFETY BARRICADE AT ALL OPEN TRENCHES, DITCHES, PITS, SUMPS, ETC FOR THE PROTECTION AND SAFETY OF THE PUBLIC. ALL TRENCHES OUTSIDE OF THE BARRICADE LIMITS SHALL BE BACKFILLED AND PAVED NOT LATER THAN 72 HOURS AFTER BEING OPENED. DURING THE TIME THE TRENCHES ARE OPEN IN TRAFFIC AREAS, THE CONTRACTOR SHALL PROVIDE TRAFFIC PLATES. SAFETY BARRICADES SHALL BE PANELIZED CHAIN LINK FENCE. EACH FENCE PANEL SHALL BE 8FT TALL X 10FT WID WITH STAND AND TIED TOGETHER END TO END WITH A MINIMUM 8-GAUGE WIRE. NO TRENCHES SHALL BE LOCATED OUTSIDE BARRICADES.
- THE REPRESENTATION OF PHYSICAL PLACEMENT OF EXISTING UNDERGROUND CONDUITS HAS BEEN DEVELOPED FROM THE BEST INFORMATION AVAILABLE TO THE OWNER AT THE TIME THE DRAWINGS WERE PREPARED. THE OWNER PROVIDES THIS ONLY AS A GENERAL GUIDELINE FOR THE CONVENIENCE OF BIDDERS/CONTRACTORS AND DOES NOT PROVIDE A GUARANTEE OR WARRANTY IN ANY WAY EXPRESS OR IMPLIED, AS TO THE ACCURACY OF THESE REPRESENTATIONS. NOTHING IN THIS DISCLAIMER AFFECTS IN ANY WAY THE DUTY OF THE CONTRACTOR TO FURNISH ACCURATE "AS-BUILT" DRAWINGS AFTER THE COMPLETION OF THE CONTRACT.
- ALL FEEDERS AND BRANCH CIRCUITS SHALL CARRY A GROUND WIRE, SIZED AS PER N.E.C. ARTICLE 250.
- REFER TO THE PLANS FOR ADDITIONAL REQUIREMENTS AND EQUIPMENT AND MATERIAL APPROVED FOR USE UNDER THIS CONTRACT.
- PRIOR TO PULLING ANY CONDUCTORS, CLEAN AND MANDREL ALL CONDUITS.
- CONTRACTOR SHALL INSTALL EQUIPMENT PER ADA (AMERICAN DISABILITIES ACT) REQUIREMENTS.
- EXTERIOR EQUIPMENT, JUNCTION BOXES, ENCLOSURES AND CONNECTIONS SHALL BE WEATHERPROOF TYPE SUITABLE FOR EXTERIOR INSTALLATION.(MALLEABLE IRON FITTINGS).
- IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE CONSTRUCTION DOCUMENTS, THE FEATURES SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS THAT ARE SHOWN.
- ALL DIMENSIONS, ELEVATIONS AND EXISTING CONDUITS SHALL BE ON SITE BY GENERAL CONTRACTOR, AND EACH SUB-CONTRACTOR BEFORE THE WORK BEGINS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE OAR'S ATTENTION BEFORE CONSTRUCTION BEGINS.
- THE ENGINEER HAS PREPARED THESE DOCUMENTS ONLY FOR IMPROVEMENTS SPECIFIED, DETAILED OR SHOWN AS NEW WORK, AND ASSUMES NO RESPONSIBILITY FOR OTHER CONSTRUCTION, MATERIAL OR EQUIPMENT NOTED AS "PROVIDED BY OTHERS".
- DEMOLITION AND/OR REMOVAL OF ELECTRICAL EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. ALL REMOVED EQUIPMENT NOT TO BE REUSED SHALL BE RETURNED TO OWNER OR AS DIRECTED BY THE OWNER INSPECTOR.
- ALL JUNCTION BOX COVER PLATES FOR BRANCH CIRCUIT SYSTEM SHALL BE CLEARLY MARKED WITH PERMANENT INK FELT PEN IDENTIFYING THE BRANCH CIRCUIT (BOTH PANEL NUMBER AND CIRCUIT NUMBER) CONTAINED IN THE BOX.
- THE CONTRACTOR SHALL MAINTAIN THE UNIFORMITY AND CONTINUITY OF THE GROUNDING SYSTEM IN ALL CONDUITS/RACEWAYS.
- TEST THE ENTIRE SYSTEM TO DEMONSTRATE TO THE OAR THAT THE ELECTRICAL COMPONENTS AND SPECIAL SYSTEMS ARE COMPLETE AND FUNCTION PROPERLY. MAKE NECESSARY CORRECTIONS AND LEAVE SYSTEMS READY FOR OPERATION.
- DRAWINGS ARE ESSENTIALLY DIAGRAMMATIC AND THE SIZE AND LOCATION OF EQUIPMENT IS INDICATED TO SCALE WHENEVER POSSIBLE. COORDINATE LOCATION AND LAYOUT WITH OTHER WORK. CONTRACTOR SHALL PROVIDE TO THE ENGINEER A 1/4"x1'-0" OF SCALED DRAWING OF ELECTRICAL EQUIPMENT ROOMS SHOWING LOCATION AND CLEARANCES OF SUBMITTED EQUIPMENT FOR REVIEW AND APPROVAL PRIOR TO ORDERING OF ELECTRICAL EQUIPMENT.
- PROVIDE HANGERS, SUPPORTS, SEISMIC RESTRAINTS AND/OR BRACING FOR ALL EQUIPMENT, CONDUIT, AND LIGHTING FIXTURES TO SUSTAIN VERTICAL LOADS AND RESIST HORIZONTAL FORCES IN ANY DIRECTION TO COMPLY WITH 2022 EDITION OF TITLE 24, PART 2, CALIFORNIA BUILDING CODE, CHAPTER 16.
- PER CEC 300.21, "OPENINGS AROUND ELECTRICAL PENETRATIONS THROUGH FIRE-RESISTANT RATED WALLS, PARTITIONS, FLOORS, CEILINGS SHALL BE FIRE STOPPED USING APPROVED METHODS TO MAINTAIN THE FIRE RESISTANCE RATING."
- ALL CONDUCTORS FOR FEEDERS AND BRANCH CIRCUITS SHALL BE COPPER, TYPE THWN/THHN, RATED FOR 75°C. SIZES #12 AWG MAY BE SOLID OR STRANDED, #10 AND LARGER SHALL BE STRANDED. PROVIDE 75°C RATED AND APPROVED TERMINATION FOR ALL CONDUCTORS.
- ALL ELECTRICAL WORK SHALL BE PER THE APPLICABLE 2022 CEC CODE. CONTRACTOR SHALL INCLUDE IN HIS BID ALL REQUIRED LABOR, MATERIAL, EXPERTISE AND QUALIFIED PERSONNEL TO COMPLETELY INSTALL IN A CODE COMPLIANT MANNER. ALL WORK SHOWN ON THE PLANS.
- WHEN THERE ARE DISCREPANCIES BETWEEN CONTRACT DOCUMENTS (DRAWINGS), OBTAIN CLARIFICATION FROM THE ENGINEER PRIOR TO BID. FOR BIDDING PURPOSES, THE MORE STRINGENT OR MORE EXPENSIVE REQUIREMENT(S) SHALL APPLY.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN A DAILY RECORD OF ALL DEVIATIONS FROM THE BID DRAWINGS, ALL DIMENSIONS AND OTHER INFORMATION NECESSARY TO COMPLETELY EXPLAIN AND LOCATE ALL ELEMENTS OF THESE DEVIATIONS SHALL BE RECORDED. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL SUBMIT TO THE OWNER, ONE COMPLETE SET OF REPRODUCIBLE DRAWINGS CORRECTED TO REFLECT "AS-BUILT" CONDITIONS OF THE WORK.
- ANY SUBMITTALS FOR EQUIPMENT DIFFERENT FROM THE SPECIFIED ITEMS SHOWN ON THE PLANS SHALL BE ACCOMPANIED BY CUT SHEETS FOR THE ORIGINAL SPECIFIED ITEM(S). SUBMITTALS WITHOUT THE SPECIFIED CUT SHEETS WILL BE REJECTED AS INCOMPLETE.
- "PROVIDE" SHALL BE DEFINED AS: FURNISH AND INSTALL.
- ALL MATERIALS, EQUIPMENT, CONDUIT AND WIRING SHALL BE NEW AND PROVIDED BY THE CONTRACTOR. REFER TO THE PLANS FOR ADDITIONAL REQUIREMENTS FOR EQUIPMENT AND MATERIAL APPROVED FOR USE UNDER THIS CONTRACT.
- PROVIDE ELECTRICAL PANELS WITH TYPEWRITTEN "AS-BUILT" PANEL SCHEDULE. PANEL SCHEDULE SHALL INCLUDE LOCATION, QUANTITY AND TYPE OF DEVICES SERVED. PANEL SCHEDULE SHALL BE REVISED AS REQUIRED TO REFLECT REMOVED OR DEMOLISHED CIRCUITS.
- THE SEISMIC ANCHORAGE OF ELECTRICAL EQUIPMENT SHALL CONFORM TO C.C.R. 2022 CHAPTER 16 AND ASCE 7-22 CHAPTER 13 SECTION 13.6.3.
- CONTRACTOR SHALL SUBMIT CALCULATIONS AND DETAILS FOR APPROVAL WHEN USING AN INSTALLATION METHOD NOT COVERED UNDER ANY OF THE STRUCTURAL DRAWINGS STANDARD DETAILS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH LATEST APPLICABLE CODES AND REGULATIONS PER CALIFORNIA AND OTHER AUTHORITIES HAVING JURISDICTION.
- ALL MATERIALS, EQUIPMENT, CONDUIT AND WIRING SHALL BE NEW AND PROVIDED BY THE CONTRACTOR. REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR EQUIPMENT AND MATERIAL APPROVED FOR USE UNDER THIS CONTRACT.
- WIRING FOR ALL LOW VOLTAGE SYSTEMS SHALL BE ENCLOSED IN CONDUIT AND/OR RACEWAY.
- ALL RACEWAYS INSIDE OF BUILDING SHALL BE CONCEALED. INCLUDE ALL REQUIRED DEMOLITION, CUTTING, PATCHING AND FINISH TO MATCH EXISTING INSTALLATION AS REQUIRED TO INSTALL NEW CONDUIT AND RACEWAYS IN EXISTING BUILDING.
- ALL CONDUIT PENETRATIONS THROUGH FIRE-RATED FLOOR SLABS, SHAFTS AND WALLS SHALL BE SEALED AGAINST THE SPREAD OF FIRE OR SMOKE WITH APPROVED CABLE & CONDUIT FIRE STOPS OR FIRE RESISTANT SEALANT TO GIVE THE EQUIVALENT FIRE RATING OF THE STRUCTURE BEFORE THE PENETRATION. ALL OTHER NON-RATED PENETRATIONS OF STRUCTURES SHALL BE SEALED.
- EXPOSED AND CONDUITS ABOVE T-BAR CEILINGS SHALL BE INSTALLED PARALLEL TO OR AT RIGHT ANGLES TO EXISTING BEAMS OR WALLS. EXPOSED CONDUITS UP TO 7'-0" ABOVE FINISH FLOOR SHALL BE RIGID GALVANIZED STEEL AND ABOVE 7'-0" MAY BE NEW.
- PROVIDE ELECTRICAL PANELS WITH ENGRAVED NAMEPLATE ON OUTSIDE OF PANEL ABOVE DOOR OPENING.
- SUPPORT CONDUIT 2-1/2 INCH TRADE SIZE OR SMALLER WITH U.L. LISTED CLAMPS AND HANGERS IN ACCORDANCE WITH SMACNA STANDARDS.
- CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL ADDITIONAL DESIGN AND CONSTRUCTION COSTS INCURRED BY THE USE OF ANY PRODUCT OTHER THAN THE BASIS OF DESIGN.
- PROVIDE AN INDIVIDUAL NEUTRAL CONDUCTOR FOR MULTIWIRED BRANCH CIRCUITS.
- THESE PLANS ARE DIAGRAMMATIC, CONDUIT EXACT ROUTING, BOXES, FASTENERS, ETC. ARE CONSIDERED AS PART OF THE MEANS AND METHODS THAT THE CONTRACTOR IS USING TO PROVIDE AN OPERABLE AND APPROVED INSTALLATION.
- 110.2 APPROVAL: ALL ELECTRICAL EQUIPMENT SHALL BE LABELED, LISTED OR CERTIFIED BY A NATIONALLY RECOGNIZED TESTING LABORATORY ACCREDITED BY THE UNITED STATES OCCUPATIONAL SAFETY HEALTH ADMINISTRATION.
- 130.5(c) VOLTAGE DROP: THE MAXIMUM COMBINED VOLTAGE DROP ON BOTH INSTALLED FEEDER CONDUCTORS AND BRANCH CIRCUIT CONDUCTORS TO THE FARTHEST CONNECTED LOAD OR OUTLET SHALL NOT EXCEED 5 PERCENT.

MISC. SYMBOLS LIST

	CONDUIT SYSTEM RISER UP.
	CONDUIT SYSTEM RISER DOWN.

ELECTRICAL EQUIPMENT SYMBOLS LIST

	FLUSH MOUNTED WALL RECESSED PANELBOARD.
	SURFACE MOUNTED PANELBOARD.
	LIGHTING CONTROL PANEL WALL MOUNTED.
	FLOOR STANDING SWITCHBOARD.
	PAD MOUNTED TRANSFORMER.

STANDARD ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
A OR AMP	AMPERES
A/C	ASPHALT CONCRETE
AIC	AMPERE INTERRUPTING CAPACITY
BKR	BREAKER
BO	BARE COPPER
C	CONDUIT
CKT.	CIRCUIT
C.O.	CONDUIT ONLY
(E)	EXISTING
(ER)	RELOCATED EXISTING EQUIPMENT IN NEW LOCATION
EQPT.	EQUIPMENT
F.O.	FIBER OPTIC
GFI, G.F.I.	GROUND FAULT INTERRUPTER
J.BOX	JUNCTION BOX
IDF	INTERMEDIATE DISTRIBUTION FRAME (COMPUTER/NETWORKING SYSTEM)
LD	LOCAL DISTRIBUTION FRAME (COMPUTER/NETWORKING SYSTEM)
MDF	MAIN DISTRIBUTION FRAME (COMPUTER/NETWORKING SYSTEM)
M.H.	MOUNTING HEIGHT
MISC. (N)	MISCELLANEOUS
(N)	NEW
N.I.C.	NOT IN CONTRACT
PA	PUBLIC ADDRESS
PH OR Ø	PHASE
(R)	REMOVE
(RR)	REMOVE & RELOCATE EXISTING EQUIPMENT
REV	REVISED
RSP	RELOCATE SECURITY PANEL
SLC	SIGNALING LINE CIRCUIT
SW	SWITCH
XFMR	TRANSFORMER
TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSER
TYP.	TYPICAL
UFGR	UFER GROUND
UG	UNDERGROUND
U.O.N.	UNLESS OTHERWISE NOTED
WM	WIREMOLD
WP	WEATHERPROOF
W.P.	WEATHERPROOF
V.L.	VERIFY LOCATION.

APPLICABLE CODES

- PART 1 - 2022 CALIFORNIA ADMINISTRATIVE CODE, TITLE 24 CCR
- PART 2 - 2022 CALIFORNIA BUILDING CODE, TITLE 24 CCR (2021 IBC)
- PART 3 - 2022 CALIFORNIA ELECTRICAL CODE, TITLE 24 CCR (2020 NEC OF THE NFPA)
- PART 4 - 2022 CALIFORNIA MECHANICAL CODE, TITLE 24 CCR (2021 IMC OF THE IAPMO)
- PART 5 - 2022 CALIFORNIA PLUMBING CODE, TITLE 24 CCR (2021 IPC OF THE IAPMO)
- PART 6 - 2022 CALIFORNIA ENERGY CODE, TITLE 24 CCR
- PART 9 - 2022 CALIFORNIA FIRE CODE, TITLE 24 CCR (2021 IFC OF THE ICC)
- PART 10 - 2022 CALIFORNIA EXISTING BUILDING CODE (2021 EXISTING IBC)
- PART 12 - 2022 CALIFORNIA REFERENCED STANDARDS, TITLE 24 CCR
- TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

WIRING LEGEND (AS IT OCCURS)

	3/4\"/>	2 #12 + #12 GND.
	3/4\"/>	3 #12, + #12 GND.
	3/4\"/>	4 #12, + #12 GND.
	1\"/>	5 #12 + #12 GND.
	1\"/>	6 #12 + #12 GND.
	1 1/4\"/>	7 #12 + #12 GND.
	1 1/4\"/>	8 #12 + #12 GND.
	CONDUIT	EXPOSED IN UNFINISHED AREA.
	CONDUIT	CONCEALED ABOVE CEILING OR IN WALL IN FINISHED AREAS.
	CONDUIT	IN OR BELOW FLOOR OR BELOW GRADE. SIZE & NUMBER OF CONDUCTORS AS NOTED.
	HOMERUN TO PANEL "A", CIRCUITS 1.3.5.	EQUIPMENT GROUNDING CONDUCTOR IS NOT REPRESENTED IN THE CROSS MARKS BUT IS TO BE INCLUDED IN ALL RACEWAYS.

ELECTRICAL SHEET INDEX

E-0.1	ELECTRICAL FRONT SHEET
E-1.1	ELECTRICAL DEMOLITION SITE POWER PLAN
E-1.2	ELECTRICAL DEMOLITION FIRST FLOOR POWER PLAN
E-1.3	ELECTRICAL DEMOLITION SECOND FLOOR POWER PLAN
E-2.1	ELECTRICAL SITE POWER PLAN
E-2.2	ELECTRICAL FIRST FLOOR POWER PLAN
E-2.3	ELECTRICAL SECOND FLOOR POWER PLAN

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Project Title
**HARADA HOUSE
 PHASE 2**

Sheet Title
**ELECTRICAL
 FRONT SHEET**

Design Stage

Project Address
 3342 & 3356 Lemon Street
 Riverside, CA
 92501

Scale
N.T.S

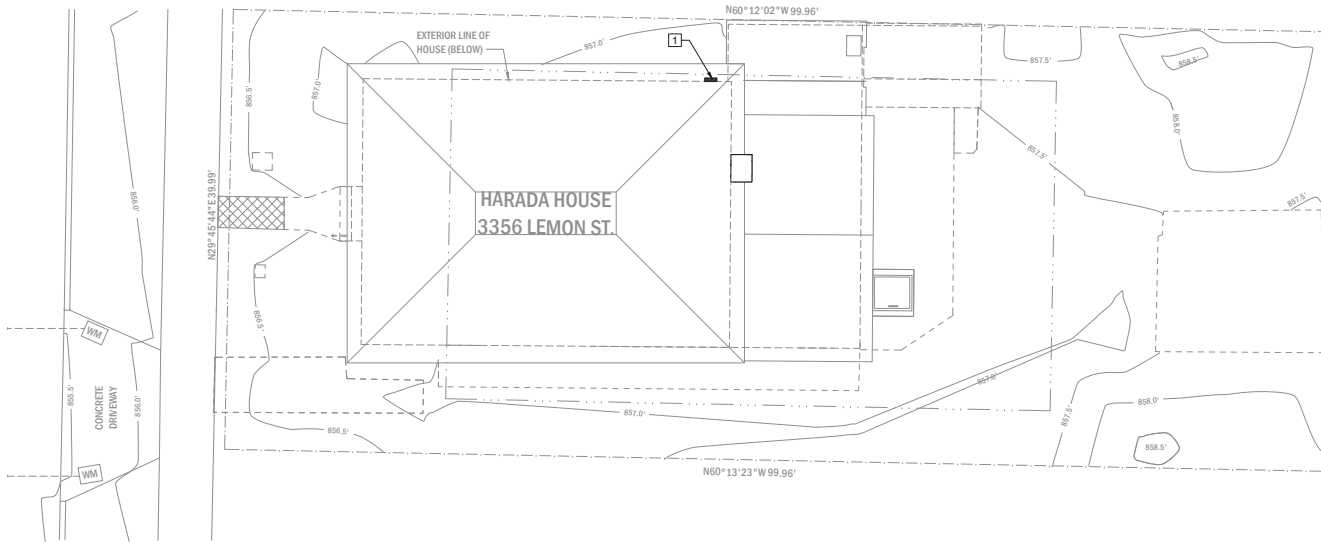
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E-0.1

E-0.1 ELECTRICAL FRONT SHEET DWG

Exhibit 4 - Phase 2 Project Plans

LEMON STREET



ELECTRICAL DEMOLITION SITE POWER PLAN
SCALE: 3/16" = 1'-0"



GENERAL NOTES

- A. THE CONTRACTOR SHALL VISIT THE PROJECT SITE TO VERIFY ALL EXISTING CONDITIONS IN RELATION TO THE ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS. ANY DISCREPANCIES NOTED BETWEEN THE EXISTING CONDITIONS AND THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO SUBMITTING OF BIDS.
- B. SCHEDULING AND PHASING FOR DEMOLITION WORKS SHALL BE UNDERTAKEN WITH MINIMAL DISRUPTIONS ON THE OPERATIONS ON THE ELECTRICAL SYSTEMS OF THE AREAS/BUILDINGS/ROOMS NOT INCLUDED IN THE PROJECT SCOPE OF WORK.
- C. EQUIPMENT SHOWN IN THE DRAWINGS TO BE REMOVED SHALL BE TAKEN OUT FROM THE SITE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND ENVIRONMENTAL REGULATIONS. EQUIPMENT REQUIRED TO BE TURNED OVER TO THE OWNER SHALL BE PLACED IN A LOCATION ACCEPTABLE TO THE OWNER.
- D. CONTRACTOR TO FIELD VERIFY EXISTING CONDITION PRIOR TO START OF ANY DEMOLITION WORK AND REPORT ANY DISCREPANCIES NOTED TO THE ENGINEER-ON-RECORD (EOR).
- E. CONTRACTOR TO DISCONNECT AND REMOVE ALL ELECTRICAL DEVICES AS SHOWN ON PLANS. DISCONNECT AND REMOVE THE EXISTING EQUIPMENT INCLUDING THE ASSOCIATED CONDUIT AND WIRING BACK TO SOURCE.
- F. MAINTAIN CONTINUITY OF EXISTING EQUIPMENT, DEVICES, CONDUIT AND WIRING TO REMAIN. PROVIDE NEW CONDUIT AND WIRING TO EXTEND EXISTING CIRCUITS AS MAY BE REQUIRED.
- G. DISCONNECT, REMOVE AND RELOCATE ANY BRANCH CIRCUIT CONDUITS THAT ARE IN CONFLICT WITH NEW CONSTRUCTION WORK. THE CONTINUITY OF ANY PART OF THE CIRCUITS TO REMAIN SHALL BE MAINTAINED AND KEEP IN OPERABLE CONDITION.
- H. PROTECT EXISTING ELECTRICAL EQUIPMENT AND INSTALLATION SHOWN TO REMAIN. IF DAMAGED WHILE UNDERTAKING THE WORK, REMOVE THE DAMAGED SYSTEM OR EQUIPMENT AND REPLACE WITH THE SAME OR EQUIVALENT PRODUCT OF EQUAL CAPACITY AND TECHNICAL SPECIFICATIONS.
- I. WHEN NEW WORK INTERFERES WITH EXISTING EQUIPMENT OR SYSTEM WORK OR OTHER TRADES, DISCONNECT, REMOVE AND RELOCATE SAID EQUIPMENT OR SYSTEM WITHOUT INCURRING ADDITIONAL COST ON THE PART OF THE OWNER.
- J. IN THE PROCESS OF REMOVING WIRING DEVICES, LIGHTING FIXTURES AND OTHER ELECTRICAL EQUIPMENT AND MATERIAL, CONTRACTOR SHALL EXERCISE EXTREME CAUTION TO AVOID DAMAGE TO THE ARCHITECTURAL SURFACES AND MATERIALS WHICH ARE TO REMAIN INCLUDING WALLS, FLOORS, CEILINGS, WINDOWS, DOORS, MOLDINGS, STRUCTURAL MEMBERS, ETC. THE COST TO REPAIR OR ANY MATERIAL DEEMED DAMAGED BY THE CONTRACTOR DURING PERFORMANCE OF HIS CONTRACT SHALL BE PAID BY THE CONTRACTOR TO THE OWNER.
- K. SHOULD THE ELECTRICAL SERVICE BE INTERRUPTED DUE TO CONSTRUCTION WHILE THE BUILDING IS OCCUPIED, THE CONTRACTOR SHALL PROVIDE TEMPORARY ELECTRICAL POWER AT NO ADDITIONAL COST TO THE OWNER.

DEMOLITION KEYNOTES

- 1 EXISTING ELECTRIC METER SERVICE BOX AND WEATHER HEAD DROP TO REMAIN.



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Project Title
HARADA HOUSE PHASE 2

Sheet Title
ELECTRICAL DEMOLITION SITE POWER PLAN

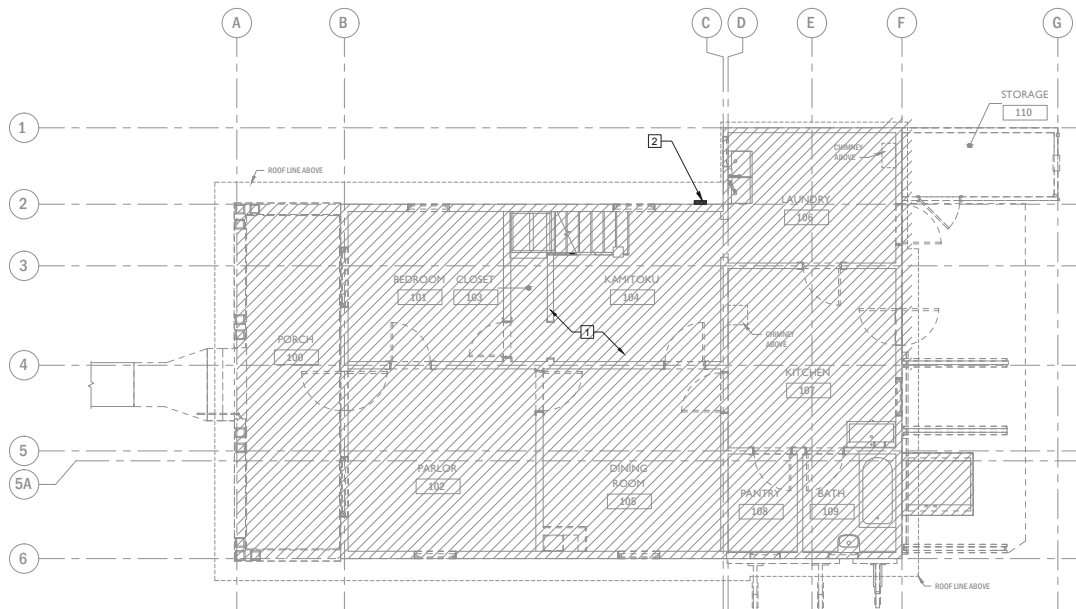
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Scale
 3/16" = 1'-0"

Date

Sheet Number
E-1.1



ELECTRICAL DEMOLITION FIRST FLOOR POWER PLAN
SCALE: 1/4"=1'-0"



GENERAL NOTES

- A. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO DEMOLITION OF ANY WORK.
- B. AS A RESULT OF ANY DEMOLITION, ALLOW NO 'ORPHANED' OR ISOLATED DEVICES OUTSIDE OF WORK SCOPE AREA TO REMAIN DISCONNECTED. PROVIDE ANY NECESSARY NEW TERMINATIONS, CONDUCTORS, CONNECTIONS, CONDUIT, ETC.
- C. ANY CONDUITS NOT SUITABLE FOR REUSE SHALL NOT BE ABANDONED IN PLACE. REMOVE BACK TO FEEDING PANEL OR NEAREST PRECEDING JUNCTION BOX.
- D. PRIOR TO COMMENCING ANY WORK THE CONTRACTOR SHALL CONSULT WITH OWNER REPRESENTATIVE ELECTRICIAN AND CONDUCT THE NECESSARY PROTOCOLS FOR THE LOCK OUT/TAG OUT PROCEDURE.
- E. REFER TO ARCHITECTURAL SHEETS FOR COMPLETE DEMOLITION DIRECTIONS.

DEMOLITION KEYNOTES

- 1 EXISTING ELECTRICAL FIXTURES, RECEPTACLES, SWITCHES, AND EQUIPMENT ARE REMOVED AND REFURBISHED.
- 2 EXISTING ELECTRIC METER SERVICE BOX AND WEATHER HEAD DROP TO REMAIN.

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Project Title
HARADA HOUSE
PHASE 2

Sheet Title
ELECTRICAL
DEMOLITION FIRST
FLOOR POWER PLAN

Design Stage

Project Address
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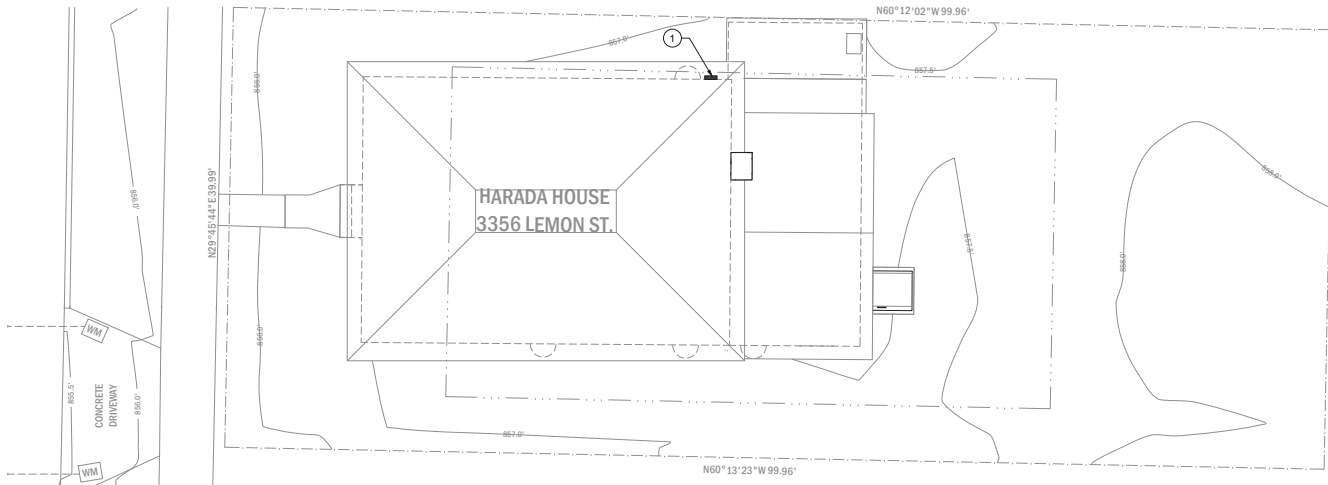
Scale
 1/4" = 1'-0"

Date

Sheet Number
E-1.2

Exhibit 4 - Phase 2 Project Plans

LEMON STREET



O. EXISTING CONDITIONS SHOWN ARE BASED ON AS-BUILT DRAWINGS & SITE-SURVEY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS SHOWN PRIOR TO INSTALLATION OF ANY WORK.

KEYNOTES

① EXISTING ELECTRIC METER SERVICE BOX AND WEATHER HEAD DROP TO REMAIN.

GENERAL NOTES

- A. UNDERGROUND PULL BOX SHALL BE SIZED IN ACCORDANCE WITH CEC/NEC 314.28. USE PRECAST CONCRETE, AASHTO H-20 TYPE PULL BOX FOR DELIBERATE VEHICULAR TRAFFIC APPLICATIONS (E.G. WITHIN STREETS, HIGHWAYS AND PAVED SHOULDERS ALONG HIGHWAYS). USE PRECAST CONCRETE, LIGHT DUTY TYPE PULL BOX FOR PEDESTRIANS TRAFFIC ONLY (E.G. GRASSY AREAS IN RESIDENTIAL PROPERTIES THAT ARE LOCATED AWAY FROM VEHICULAR TRAFFIC. CONTRACTOR IS REQUIRED TO SIZE THE PULL BOXES, HANDHOLES AND ALL ELECTRICAL ENCLOSURES PER CEC 314. SIZES SHOWN ON THE PLANS ARE FOR REFERENCE ONLY. CONTRACTOR TO PROVIDE THE BIGGER OR EQUIVALENT SIZE PULL BOX. THE DEPTH OF THE PULL BOX SHALL HAVE ENOUGH SPACE TO ACCOMMODATE THE LARGEST SIZE CONDUITS AND RELATED LOCKNUTS, BUSHING AND ALL OTHER ACCESSORIES.
- B. SCHEDULE 40 RIGID PVC CONDUIT SHALL BE USED FOR CONCRETE ENCASED DUCTBANK UNDER ROADWAYS, PARKING LOTS, OR OTHER AREAS SUBJECT TO VEHICULAR TRAFFIC AND ALL MEDIUM VOLTAGE WORK.
- C. MAXIMUM NUMBER OF BENDS IN ONE CONDUIT RUN BETWEEN MANHOLES SHALL BE NO MORE THAN 270 DEGREES.
- D. THE ENCLOSURES OF ALL SWITCHGEAR, TRANSFORMERS, UNIT SUBSTATIONS, MOTOR CONTROLS AND PANELBOARDS SHALL BE GROUNDED BY A SEPARATE GROUNDING CONDUCTOR TO THE GROUND SYSTEM.
- E. THE RESISTANCE OF THE COMPLETED GROUND SYSTEM FOR STANDARD INSTALLATIONS SHALL NOT EXCEED 5 OHMS. IF ANY SPECIAL EQUIPMENT BEING INSTALLED REQUIRES A LOWER GROUND SYSTEM RESISTANCE, THAT EQUIPMENT MANUFACTURER'S MAXIMUM GROUND RESISTANCE SHALL APPLY.
- F. FOR SOLIDLY GROUNDED ALTERNATE SOURCE OF EMERGENCY POWER SYSTEMS (GENERATOR) HAVING LINE TO LINE TO GROUND VOLTAGE LARGER THAN 150V (FOR EXAMPLE 480V/277V) AND RATED 1000A OR MORE, NO GROUND FAULT PROTECTION WITH AUTOMATIC DISCONNECTING MEANS IS REQUIRED; ONLY GROUND-FAULT INDICATION (ALARMS) SHALL BE PROVIDED IN ACCORDANCE WITH CEC/CEC, ARTICLE 700.31 AND 700.65D).
- G. PROVIDE STATIONARY DIESEL-FUELED POWER SUPPLY (EPS) WITH ATS, LOAD TESTING MEANS, AND ASSOCIATED ACCESSORIES IN COMPLIANCE WITH NFPA 110, LEVEL 1, EMERGENCY POWER SUPPLY SYSTEM (EPS) REQUIREMENTS.
- H. PROVIDE AN NFPA 110 COMPLIANT CONTROL PANEL MOUNTED ON THE EMERGENCY POWER SYSTEMS (EPS), NO MORE THAN 78 INCHES ABOVE THE FINISHED FLOOR TO THE TOP OF THE PANEL, INCLUDING THE CONCRETE HOUSEKEEPING PAD AND VIBRATION ISOLATORS.
- I. CONDUIT ROUTING IS DIAGRAMMATICALLY SHOWN ONLY. CONDUIT SHALL BE INSTALLED AS REQUIRED TO AVOID INTERFERENCE WITH EXISTING UTILITIES AND STRUCTURES. COORDINATE EXACT LOCATIONS OF ANY SITE WORK WITH CIVIL DRAWINGS.
- J. ALL JUNCTION BOXES, PULL BOXES, ETC. ARE NOT SHOWN ON THIS DRAWING, BUT SHALL BE PROVIDED WHERE NECESSARY IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE NEC/CEC.
- K. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION RELATED TO CIVIL WORKS.
- L. PROVIDE POST BARRIERS TO ELECTRICAL EQUIPMENT TO PROVIDE PHYSICAL PROTECTION.
- M. EXTREME CAUTION IN EXCAVATING AND TRENCHING ON THIS SITE TO AVOID EXISTING DUCTS, PIPING OF CONDUITS, ETC., AND TO PREVENT HAZARD TO PERSONNEL AND/OR DAMAGE TO EXISTING UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN AND INSTALLED BY ANY OTHER CONTRACTS. THE ENGINEER IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACTS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER SHOULD SUCH UNIDENTIFIED CONDITIONS BE DISCOVERED.
- N. LABEL ALL WIRING CIRCUIT NUMBERS INSIDE ENCLOSURES OR HANDHOLES. PROVIDE CIRCUIT I.D. TAGS INSIDE HANDHOLES RATED FOR WET LOCATIONS.



ELECTRICAL SITE POWER PLAN

SCALE: 3/16" = 1'-0"



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Project Title
HARADA HOUSE
PHASE 2

Sheet Title
ELECTRICAL SITE
POWER PLAN

Design Stage

Project Address
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Scale
 3/16" = 1'-0"

Date

Sheet Number
E-2.1

6.1 ELECTRICAL SITE POWER PLAN.DWG

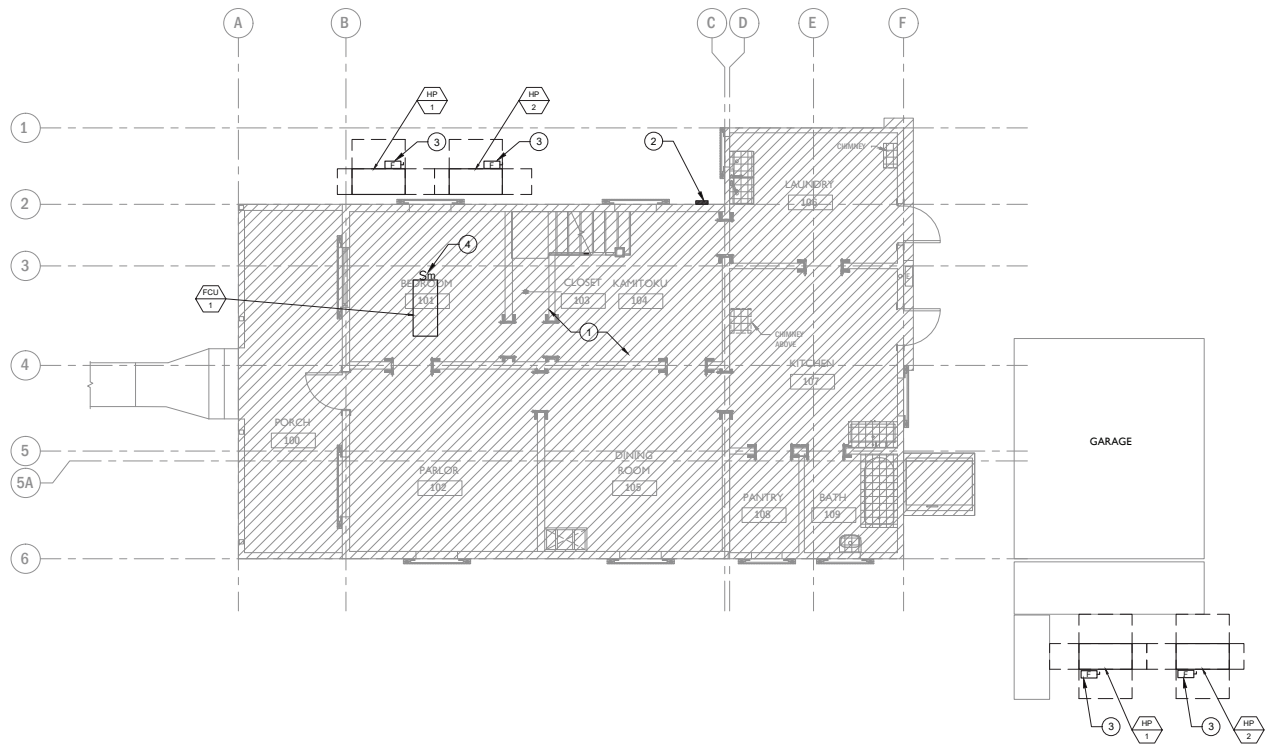
Exhibit 4 - Phase 2 Project Plans

KEYNOTES

- ① INSTALL REFURBISHED EXISTING ELECTRICAL FIXTURES, RECEPTACLES, SWITCHES, AND EQUIPMENT THAT WERE REMOVED DURING DEMOLITION.
- ② EXISTING ELECTRIC METER SERVICE BOX AND WEATHER HEAD DROP TO REMAIN.
- ③ NEW OUTDOOR WEATHERPROOF DISCONNECT SWITCH 60A, 40AF, 208, 1φ FOR HP UNITS.
- ④ NEW 20A, 208V, 1φ MOTOR RATED SWITCH FOR FCU-1

GENERAL NOTES

- A. UNDERGROUND PULL BOX SHALL BE SIZED IN ACCORDANCE WITH CEC/NEC 314.28. USE PRECAST CONCRETE, AASHTO H-20 TYPE PULL BOX FOR DELIBERATE VEHICULAR TRAFFIC APPLICATIONS (E.G., WITHIN STREETS, HIGHWAYS AND PAVED SHOULDERS ALONG HIGHWAYS).
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- F. THE RESISTANCE OF THE COMPLETED GROUND SYSTEM FOR STANDARD INSTALLATIONS SHALL NOT EXCEED 5 OHMS. IF ANY SPECIAL EQUIPMENT BEING INSTALLED REQUIRES A LOWER GROUND SYSTEM RESISTANCE, THAT EQUIPMENT MANUFACTURER'S MAXIMUM GROUND RESISTANCE SHALL APPLY.
- G. FOR SOLIDLY GROUNDED ALTERNATE SOURCE OF EMERGENCY POWER SYSTEMS (GENERATOR) HAVING LINE TO GROUND VOLTAGE LARGER THAN 150V (FOR EXAMPLE 480V/277V) AND RATED 1000A OR MORE, NO GROUND FAULT PROTECTION WITH AUTOMATIC DISCONNECTING MEANS IS REQUIRED; ONLY GROUND-FAULT INDICATION (ALARMS) SHALL BE PROVIDED IN ACCORDANCE WITH NEC/CEC, ARTICLE 700.31 AND 700.69D).
- H. PROVIDE STATIONARY DIESEL-FUELED POWER SUPPLY (EPS) WITH ATS, LOAD TESTING MEANS, AND ASSOCIATED ACCESSORIES IN COMPLIANCE WITH NFPA 110, LEVEL 1, EMERGENCY POWER SUPPLY SYSTEM (EPS) REQUIREMENTS.
- I. PROVIDE AN NFPA 110 COMPLIANT CONTROL PANEL MOUNTED ON THE EMERGENCY POWER SYSTEMS (EPS). NO MORE THAN 78 INCHES ABOVE THE FINISHED FLOOR TO THE TOP OF THE PANEL, INCLUDING THE CONCRETE HOUSEKEEPING PAD AND VIBRATION ISOLATORS.
- J. CONDUIT ROUTING IS DIAGRAMMATICALLY SHOWN ONLY. CONDUIT SHALL BE INSTALLED AS REQUIRED TO AVOID INTERFERENCE WITH EXISTING UTILITIES AND STRUCTURES. COORDINATE EXACT LOCATIONS OF ANY SITE WORK WITH CIVIL DRAWINGS.
- K. ALL JUNCTION BOXES, PULL BOXES, ETC. ARE NOT SHOWN ON THIS DRAWING, BUT SHALL BE PROVIDED WHERE NECESSARY IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE NEC/CEC.
- L. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION RELATED TO CIVIL WORKS.
- M. PROVIDE POST BARRIERS TO ELECTRICAL EQUIPMENT TO PROVIDE PHYSICAL PROTECTION.



ELECTRICAL FIRST FLOOR POWER PLAN
SCALE: 1/4"=1'-0"

1
E-2.2

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 An NBBJ COMPANY
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MECHANICAL CONSULTANT
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 www.jmrc.com

LANDSCAPE ARCHITECT
RHA LANDSCAPE ARCHITECTS
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Owner
CITY OF RIVERSIDE
 MUSEUM OF RIVERSIDE

Revisions

Drawn by:
 Checked by:
 Professional's Stamp

Project Title
HARADA HOUSE
PHASE 2

Sheet Title
ELECTRICAL FIRST FLOOR POWER PLAN

Design Stage

Project Address
 3342 & 3356 Lemon Street
 Riverside, CA
 92501

Scale
 1/4" = 1'-0"

Date

Sheet Number
E-2.2

Exhibit 4 - Phase 2 Project Plans

