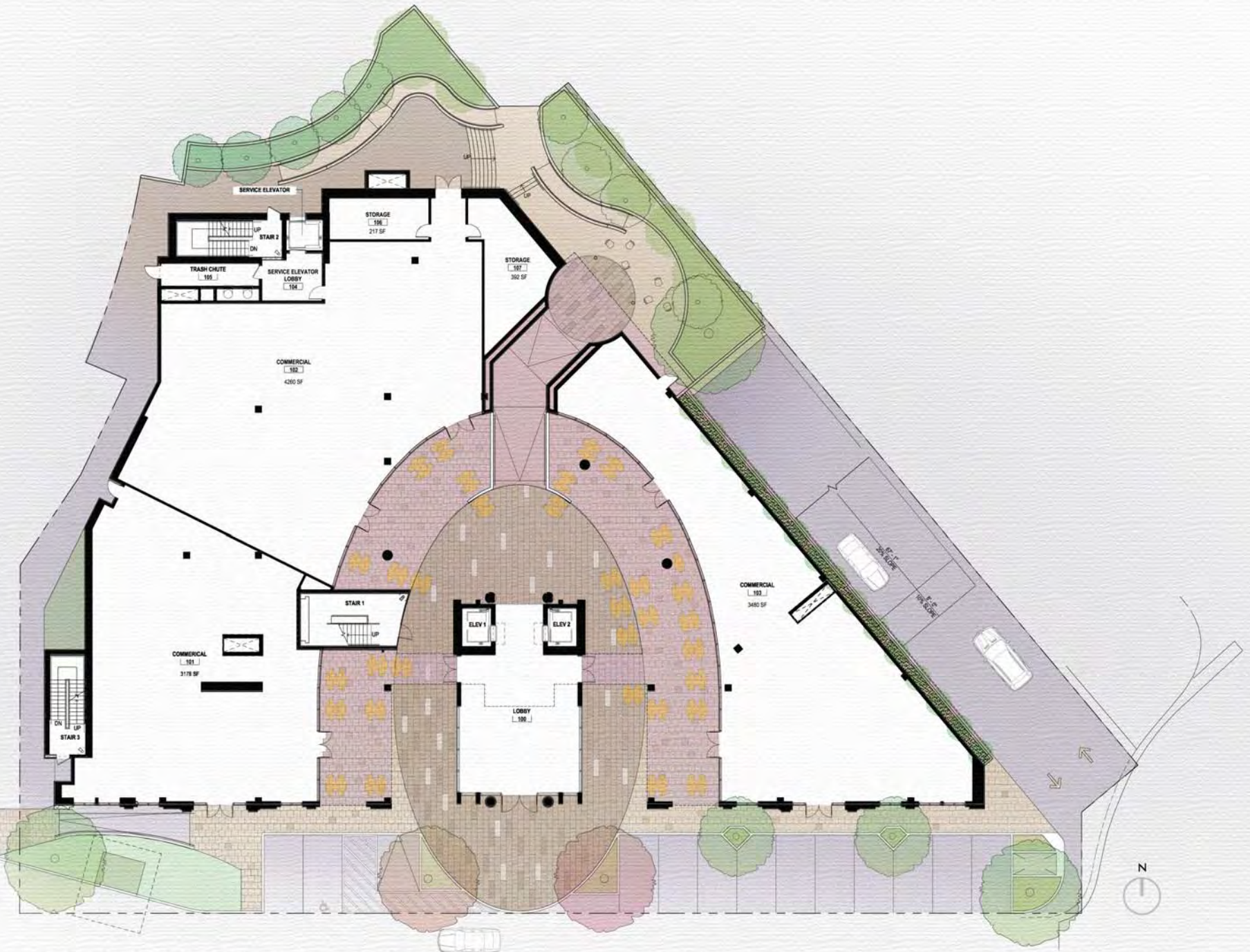




UNIVERSITY CAMPUS HOTEL

1277 UNIVERSITY AVENUE RIVERSIDE CA 92501

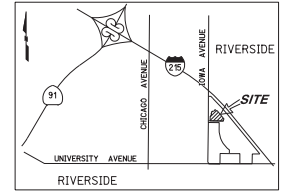
Exhibit 8 - Project Plans (Site Plans)

Site Plan

scale: 1/8" = 1'-0"

PRIME INVESTMENT INTERNATIONAL INC.
17700 CASTLETON ST. SUITE 459
CITY OF INDUSTRY, CA 91748

IN THE CITY OF RIVERSIDE, CALIFORNIA
PLOT PLAN EXHIBIT
 UNIVERSITY VILLAGE - PAD K



APPLICANT/OWNER/DEVELOPER

PRIME INVESTMENT INTERNATIONAL, INC.
 17700 CASTLETON STREET, SUITE 469
 CITY OF INDUSTRY, CA 91748
 ATTN: PAUL LIN
 (626) 965-3311

ENGINEER/CONTACT PERSON

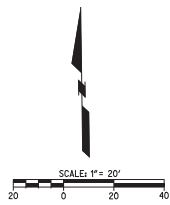
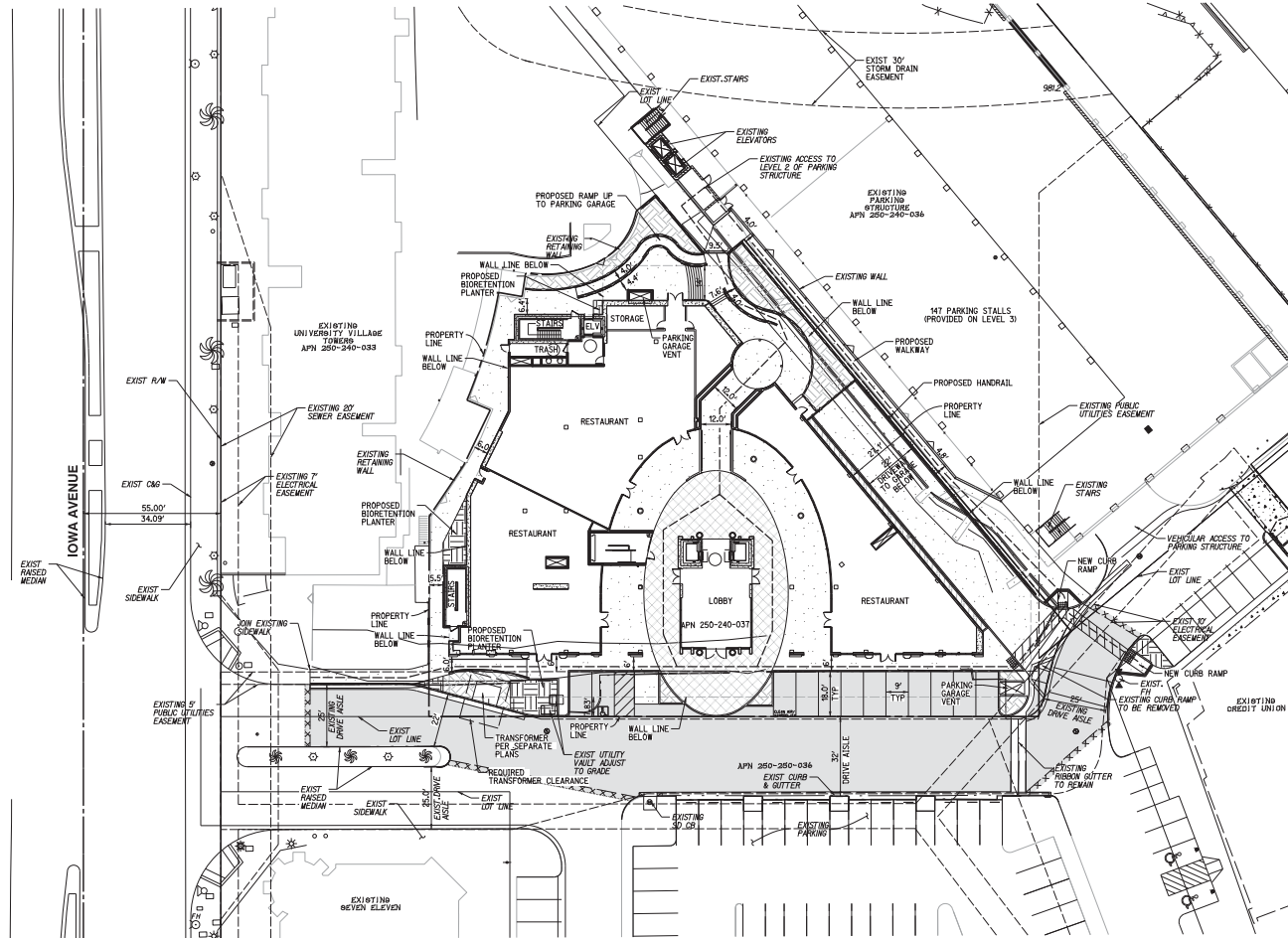
RICK ENGINEERING COMPANY
 1770 IOWA AVENUE, SUITE 100
 RIVERSIDE, CA 92507
 PHONE: (951) 782-0707
 FAX: (951) 782-0723
 ATTN: KRISTIN WEIRSMAN

ASSESSOR PARCEL NUMBER

250-240-037

LEGEND

PROPERTY BOUNDARY	---
ADA PATH OF TRAVEL	---
EASEMENT	---
PLANTER AREA	PA
EXISTING SEWER LINE	S
EXISTING WATER LINE	W
EXISTING ELECTRIC	E
PROPOSED AC PAVEMENT	---
PROPOSED CONCRETE	---
PROPOSED HANDRAIL	---
PROPOSED LANDSCAPE	---
PROPOSED BIORETENTION PLANTER	---
PROPOSED DECORATIVE PAVERS	---
PROPOSED TRUNCATED DOMES	---



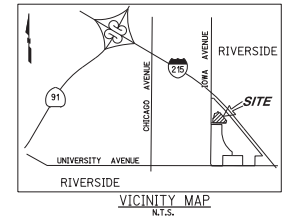
DATE PREPARED: JANUARY 25, 2018
 REVISED: FEBRUARY 21, 2018
PLOT PLAN
UNIVERSITY VILLAGE
PAD K
 CITY OF RIVERSIDE
 IN THE COUNTY OF RIVERSIDE, CALIFORNIA
 SHEET C-2

RICK ENGINEERING COMPANY
 1770 IOWA AVENUE, SUITE 100
 RIVERSIDE, CA 92507
 PHONE: (951) 782-0707
 FAX: (951) 782-0723
 ATTN: KRISTIN WEIRSMAN

Exhibit 8 - Project Plans (Site Plans)

PRELIMINARY GRADING EXHIBIT

IN THE CITY OF RIVERSIDE, CALIFORNIA
UNIVERSITY VILLAGE - PAD K



APPLICANT/OWNER/DEVELOPER

PRIME INVESTMENT INTERNATIONAL, INC.
17100 CASTLETON STREET, SUITE 469
RIVERSIDE, CA 92507
PHONE: (951) 782-0707
FAX: (951) 782-0723
ATTN: KRISTIN WEIRSMAN

ENGINEER/CONTACT PERSON

RICK ENGINEERING COMPANY
1710 IOWA AVENUE, SUITE 100
RIVERSIDE, CA 92507
PHONE: (951) 782-0707
FAX: (951) 782-0723
ATTN: KRISTIN WEIRSMAN

ASSESSOR PARCEL NUMBER

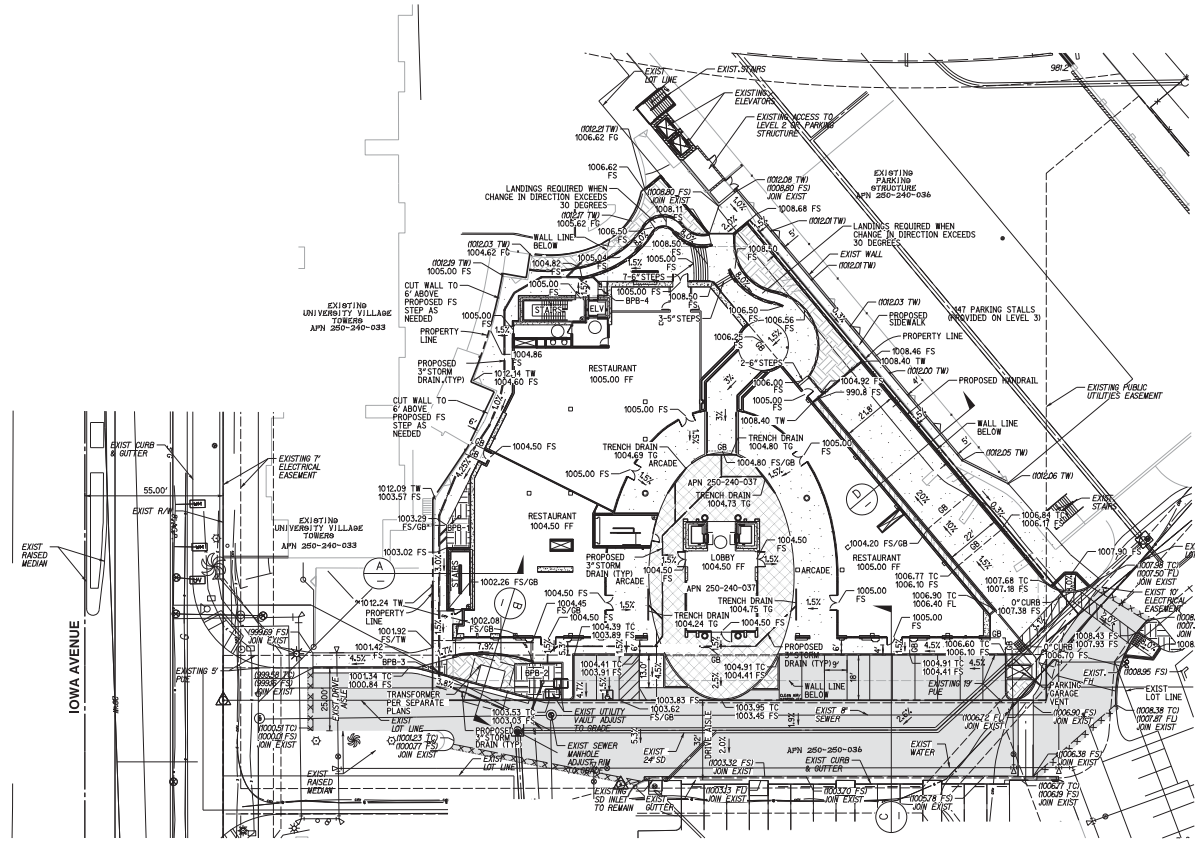
250-240-037

ABBREVIATIONS

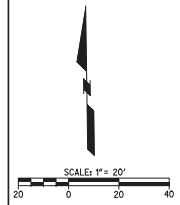
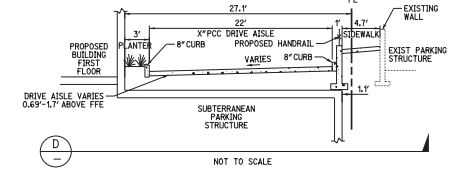
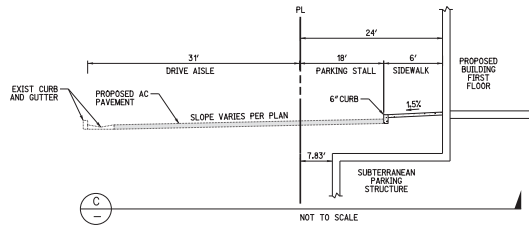
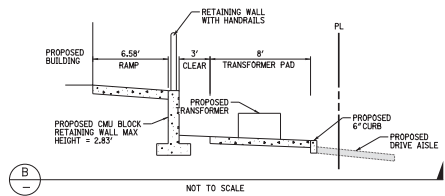
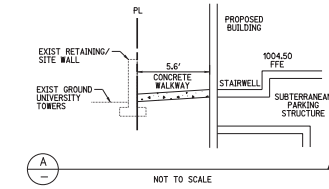
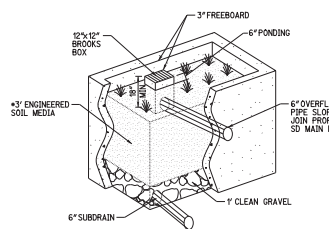
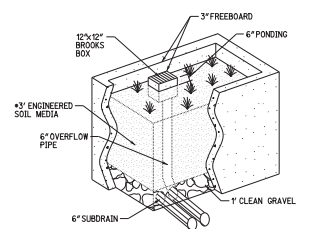
EXISTING	EXIST/EX
FINISHED FLOOR	FF
FINISHED GRADE	FG
FINISHED SURFACE	FS
FIRE HYDRANT	FH
FLOW LINE	FL
GRADE BREAK	GB
PUBLIC UTILITY EASEMENT	PUE
RIGHT OF WAY	R/W
STORM DRAIN	SD
TOP OF CURB	TC
TOP OF WALL	TW
PROPERTY LINE	PL
BIORETENTION PLANTER BOX	BPB
TOP OF GRADE	TG

LEGEND

PROPERTY BOUNDARY	---
PROPOSED CURB	---
EXISTING WALL	---
EXISTING SEWER LINE	---
EXISTING WATER LINE	---
EXISTING ELECTRIC	---
EXISTING STORM DRAIN	---
EXISTING ELEVATIONS	000.00
SLOPE	2%
PROPOSED AC PAVEMENT	---
PROPOSED CONCRETE	---
PROPOSED WALL	---
PROPOSED HANDRAIL	---
PROPOSED LANDSCAPE	---
PROPOSED BIORETENTION PLANTER	---
PROPOSED DECORATIVE PAVERS	---
PROPOSED TRUNCATED DOWNS	---
PROPOSED STORM DRAIN	---



SOIL PROPERTIES	
PERCENT RANGE COMPONENT	
70-80	SAND
15-20	SILT
5-10	CLAY



DATE PREPARED: JANUARY 25, 2018
REVISED: FEBRUARY 21, 2018
PRELIMINARY GRADING
UNIVERSITY VILLAGE
PAD K
CITY OF RIVERSIDE
IN THE COUNTY OF RIVERSIDE, CALIFORNIA
SHEET C-3



Exhibit 8 - Project Plans (Grading Plan)



South Elevation

scale: 1/8" = 1'-0"

UNIVERSITY CAMPUS HOTEL
1277 UNIVERSITY AVENUE RIVERSIDE CA 92501

PRIME INVESTMENT INTERNATIONAL INC.
17700 CASTLETON ST, SUITE 469
CITY OF INDUSTRY, CA 91748



scale: 1/8" = 1'-0"

1277 UNIVERSITY AVENUE RIVERSIDE CA 92501

PRIME INVESTMENT INTERNATIONAL INC.
17700 CASTLETON ST, SUITE 469
CITY OF INDUSTRY, CA 91748

Exhibit 8 - Project Plans (Building Elevations)



UNIVERSITY CAMPUS HOTEL
 1277 UNIVERSITY AVENUE RIVERSIDE CA 92501

PRIME INVESTMENT INTERNATIONAL INC.
 17700 CASTLETON ST, SUITE 469
 CITY OF INDUSTRY, CA 91748

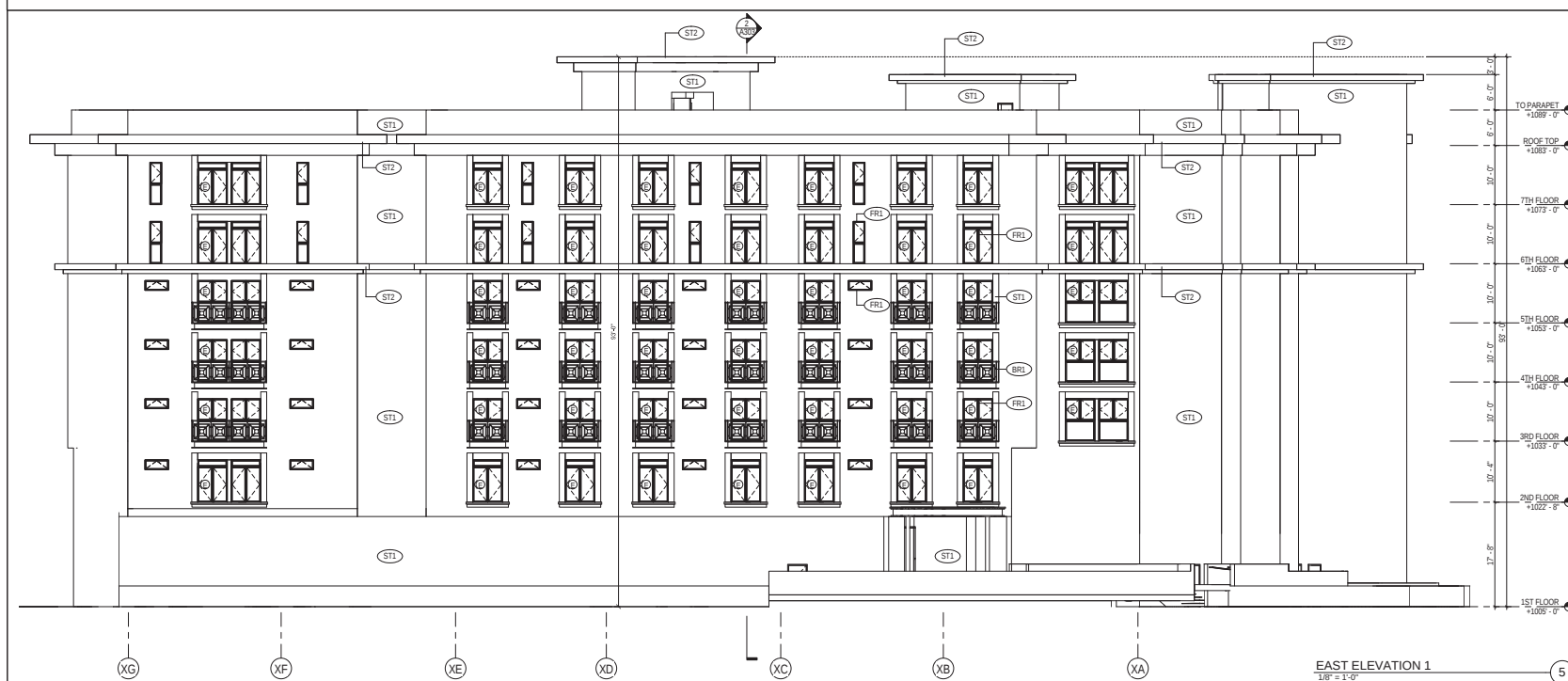
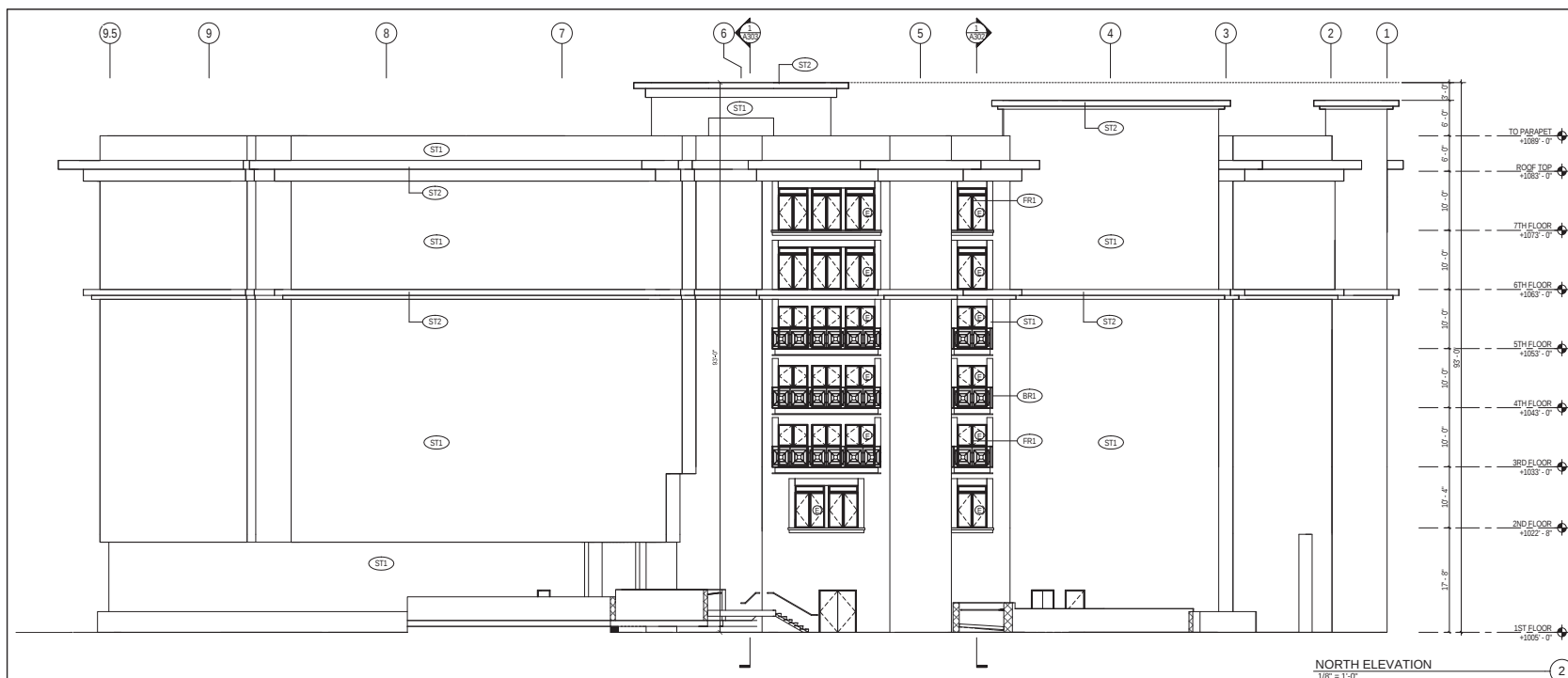
Exhibit 8 - Project Plans (Building Elevations)



UNIVERSITY CAMPUS HOTEL
1277 UNIVERSITY AVENUE RIVERSIDE CA 92501

PRIME INVESTMENT INTERNATIONAL INC.
17700 CASTLETON ST, SUITE 469
CITY OF INDUSTRY, CA 91748

Exhibit 8 - Project Plans (Building Elevations)



NOTES

**PATRICK CHIU
& ASSOCIATES**

300 W. CLARY STREET
SAN GABRIEL, CA 91776
626.272.7058

UNIVERSITY CAMPUS HOTEL

1277 UNIVERSITY AVENUE
RIVERSIDE, CA 92501

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNO.
- B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- C. OUTSIDE AIR WALL LOUVERS TO BE 10'-0" AWAY FROM ALL EXHAUSTS.
- D. EXHAUST LOUVERS TO BE 3'-0" FROM OUTSIDE AIR INLET.

PRIME INVESTMENT
INTERNATIONAL, INC.
17700 CASTLETON ST., SUITE 460
CITY OF INDUSTRY, CA. 91748

THIS DRAWING AND THE INFORMATION CONTAINED
HEREIN ARE THE COPYRIGHTED WORK AND MAY NOT
BE REPRODUCED OR TRANSMITTED IN ANY FORM OR
BY ANY MEANS, ELECTRONIC OR MECHANICAL,
INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY
INFORMATION STORAGE AND RETRIEVAL SYSTEM,
WITHOUT PERMISSION IN WRITING FROM THE
COPYRIGHT OWNER.

**PLANNING DESIGN
REVIEW**
JOB:
16-012
DATE:
21 FEB 2018

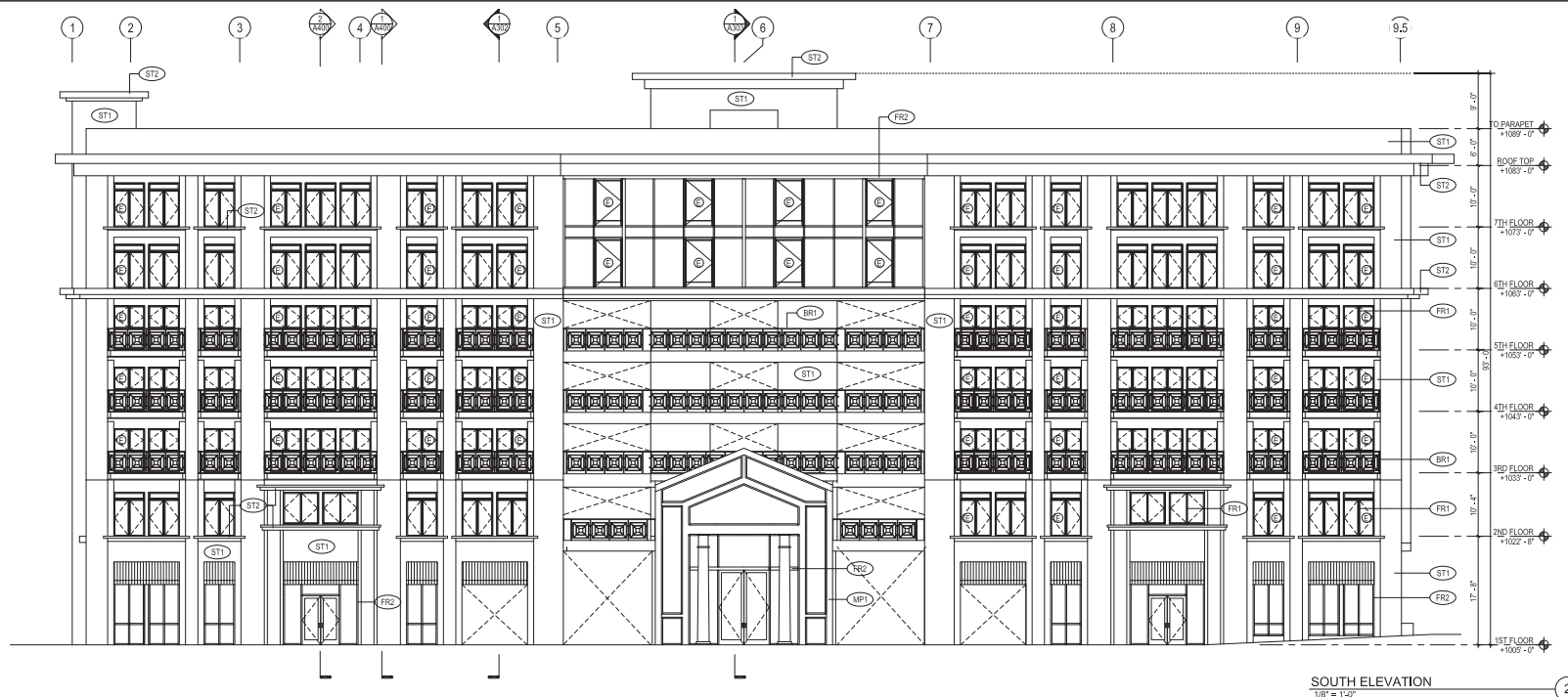
LEGEND

- | | |
|-----|---|
| ST1 | PLASTER FINISH, SMOOTH TROWEL |
| ST2 | PLASTER FINISH, SMOOTH TROWEL, ACCENT COLOR |
| BR1 | METAL BALCONY RAILING |
| FR1 | VINYL FRAME |
| FR2 | ALUMINUM FRAME |
| MP1 | METAL PANEL |
| MP2 | METAL FENCE |
| F | EGRESS WINDOW |

SHEET
ELEVATIONS

A200

Exhibit 8 - Project Plans (Building Elevations)



NOTES

1	XXX
---	-----

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNO.
- B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- C. OUTSIDE AIR WALL LOUVERS TO BE 10'-0" AWAY FROM ALL EXHAUSTS.
- D. EXHAUST LOUVERS TO BE 3'-0" FROM OUTSIDE AIR INLET.

LEGEND

- | | |
|-----|---|
| ST1 | PLASTER FINISH, SMOOTH TROWEL |
| ST2 | PLASTER FINISH, SMOOTH TROWEL, ACCENT COLOR |
| BR1 | METAL BALCONY RAILING |
| FR1 | VINYL FRAME |
| FR2 | ALUMINUM FRAME |
| MP1 | METAL PANEL |
| MP2 | METAL FENCE |
| F | EGRESS WINDOW |

**PATRICK CHIU
& ASSOCIATES**

300 W. CLARY STREET
SAN GABRIEL, CA 91776
626.272.7058

UNIVERSITY CAMPUS HOTEL

1277 UNIVERSITY AVENUE
RIVERSIDE, CA 92501

PRIME INVESTMENT
INTERNATIONAL, INC.
17700 CASTLETON ST., SUITE 460
CITY OF INDUSTRY, CA, 91748

THIS DRAWING AND THE INFORMATION CONTAINED
HEREIN ARE THE COPYRIGHTED WORK AND MAY NOT
BE REPRODUCED WITHOUT WRITTEN PERMISSION

SUBMIT

**PLANNING DESIGN
REVIEW**

JOB
16-012

DATE
21 FEB 2018

REVISION

SHEET
ELEVATIONS

A201

Exhibit 8 - Project Plans (Building Elevations)



UNIVERSITY CAMPUS HOTEL

1277 UNIVERSITY AVENUE
RIVERSIDE, CA 92501

PATRICK CHIU & ASSOCIATES

300 W. CLARY STREET
SAN GABRIEL, CA 91776
626.272.7058

NOTES

SHEET NOTES

A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNO.

B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.

C. OUTSIDE AIR WALL LOUVERS TO BE 18" AWAY FROM ALL EXHAUSTS.

D. EXHAUST LOUVERS TO BE 3'-0" FROM OUTSIDE AIR INLET.

LEGEND

(ST1) PLASTER FINISH, SMOOTH TROWEL

(ST2) PLASTER FINISH, SMOOTH TROWEL, ACCENT COLOR

(BRL) METAL BALCONY RAILING

(FRL) VINYL FRAME

(FR2) ALUMINUM FRAME

(MP1) METAL PANEL

(MP2) METAL FENCE

(E) EGRESS WINDOW

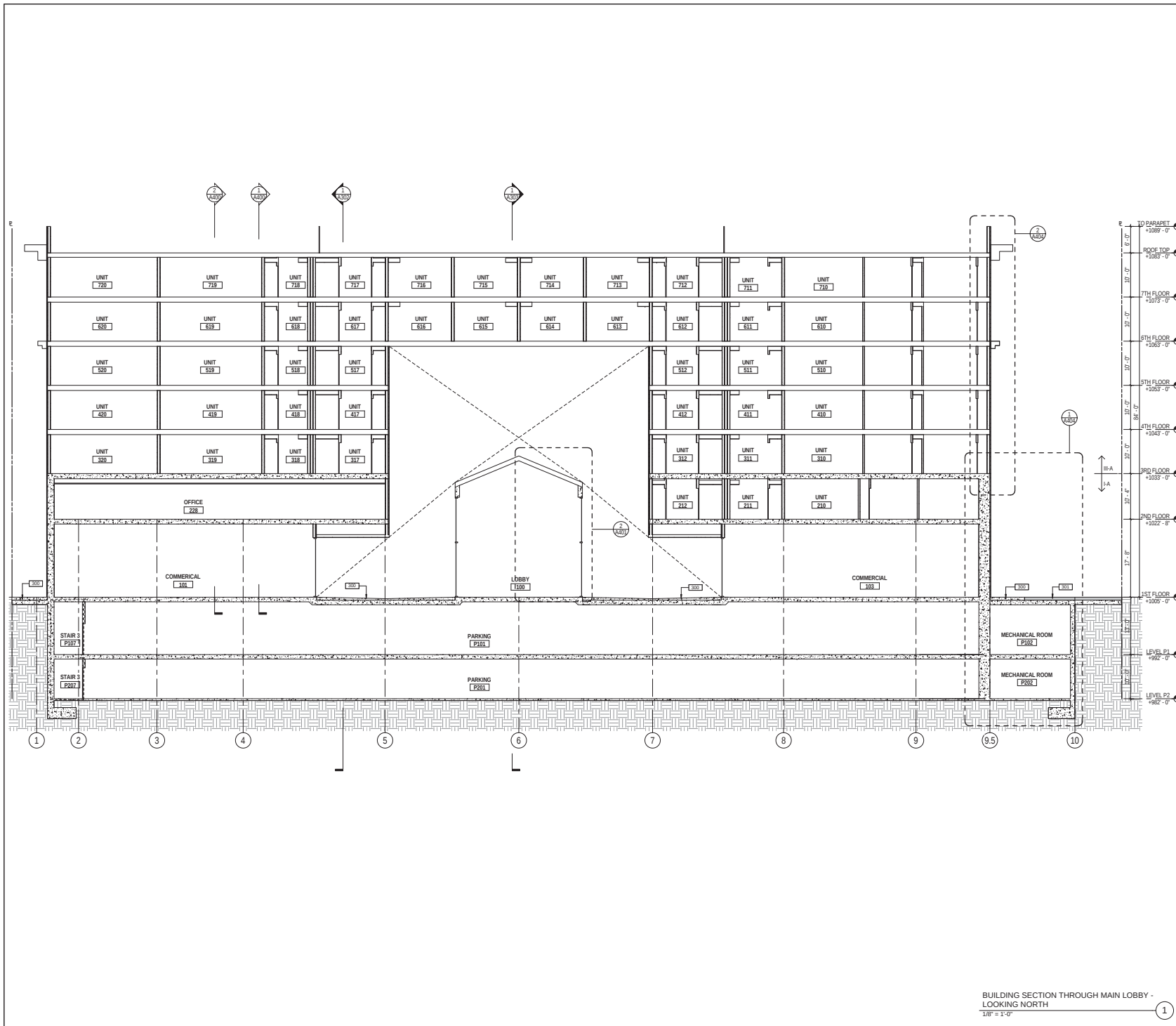
PLANNING DESIGN REVIEW

16-012

21 FEB 2018

A202

Exhibit 8 - Project Plans (Building Elevation Details)



NOTES	
300	CONCRETE TOPPING SLAB OVER W.P. MEMBRANE
301	ASPHALT PAVING

LEGEND	
----	2 HR WALL

PATRICK CHIU & ASSOCIATES

300 W. CLARY STREET
SAN GABRIEL, CA 91776
626.272.7058

UNIVERSITY CAMPUS HOTEL

1277 UNIVERSITY AVENUE
RIVERSIDE, CA 92501

PRIME INVESTMENT INTERNATIONAL, INC.
17700 CASTLETON ST., SUITE 400
CITY OF INDUSTRY, CA 91748

THIS DRAWING AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF PATRICK CHIU & ASSOCIATES. NO PART OF THIS DRAWING MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM PATRICK CHIU & ASSOCIATES.

DATE: 21 FEB 2018
PROJECT: 16-012
DRAWING: PLANNING DESIGN REVIEW

PROJECT: BUILDING SECTIONS

A300

Exhibit 8 - Project Plans (Building Sections)

NOTES

300	CONCRETE TOPPING SLAB OVER W.P. MEMBRANE
302	PLANTER

LEGEND

----- 2 HR WALL

W/E BUILDING SECTION THROUGH ELEVATOR
LOOKING SOUTH

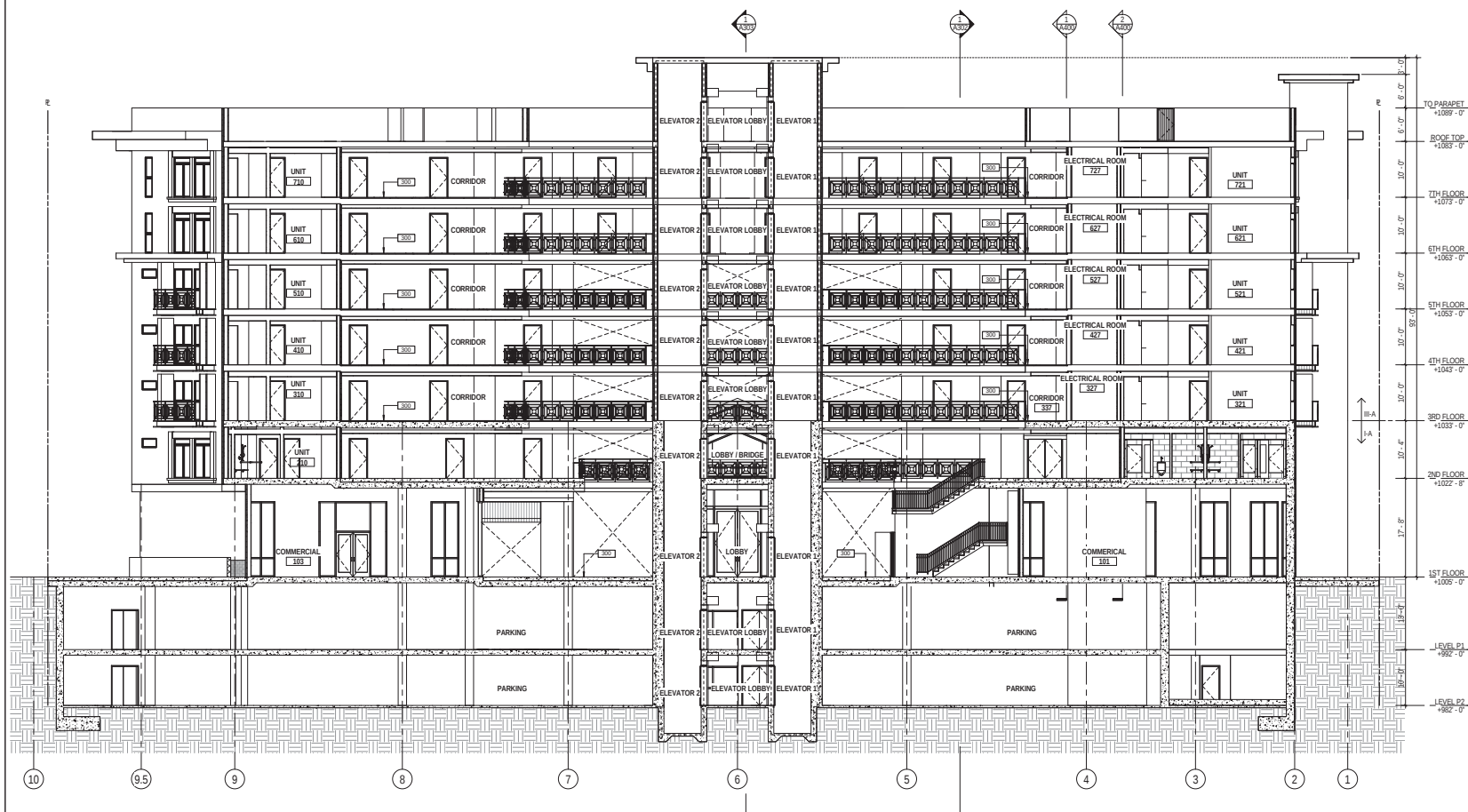


Exhibit 8 - Project Plans (Building Sections)

NOTES

- 300 CONCRETE TOPPING SLAB OVER
- W.P. MEMBRANE
- 302 PLANTER
- 303 RAMP

LEGEND

----- 2 HR WALL

N/S BUILDING SECTION - LOOKING WEST
1/8" = 1'-0"

1

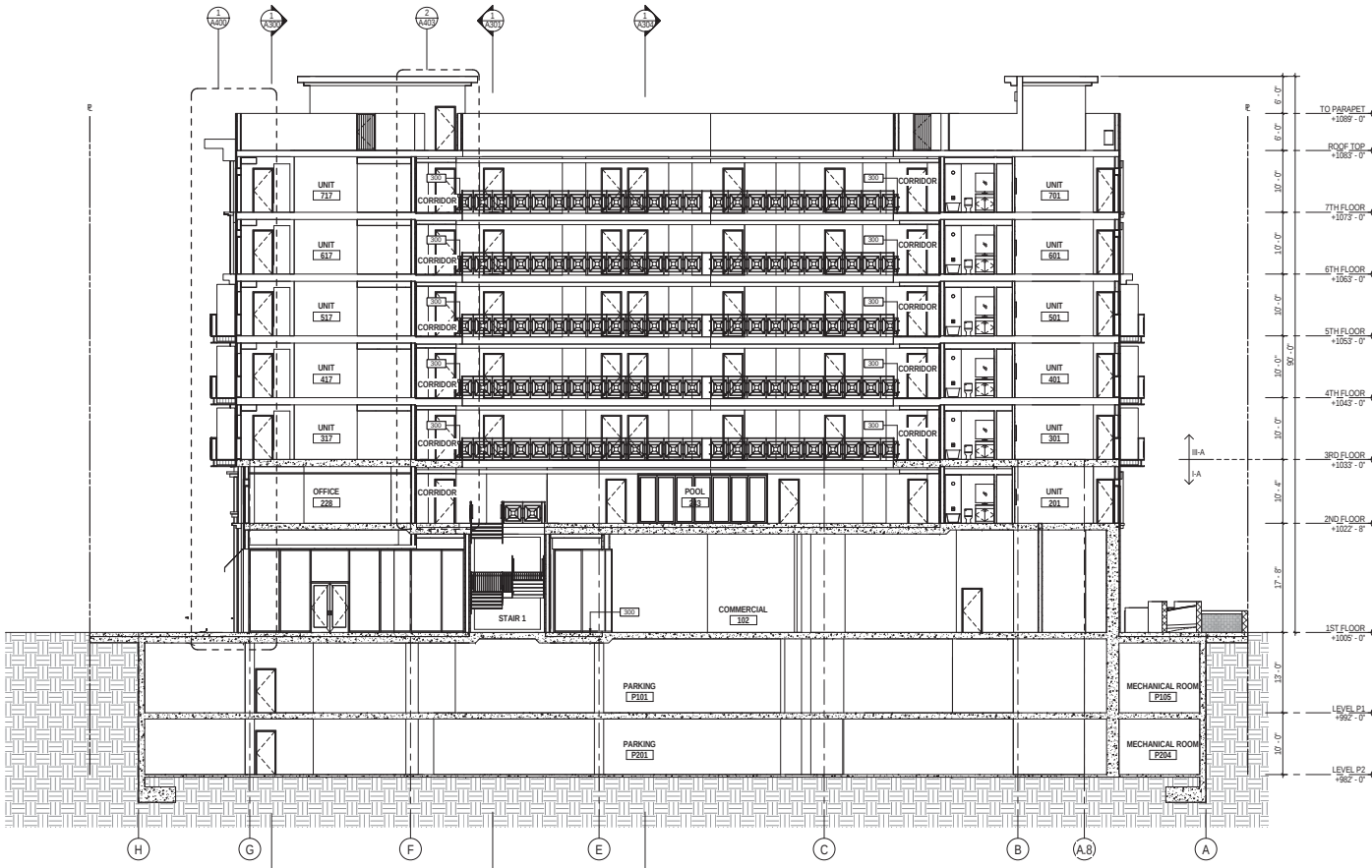
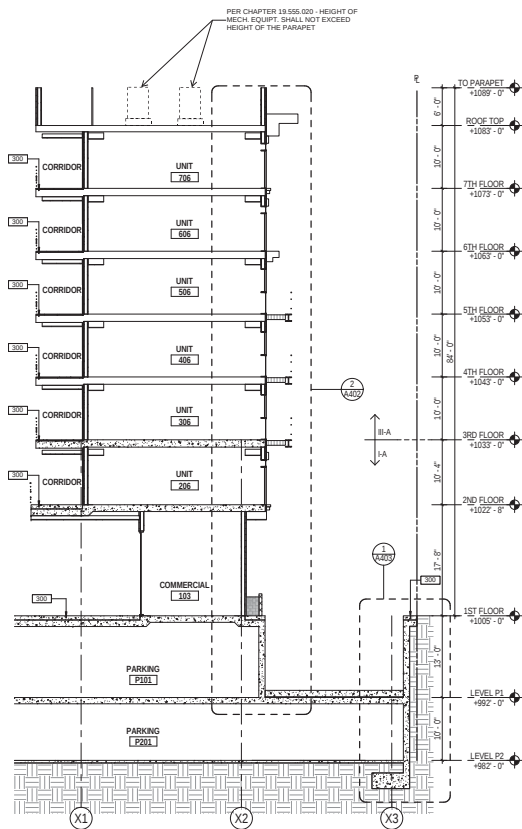
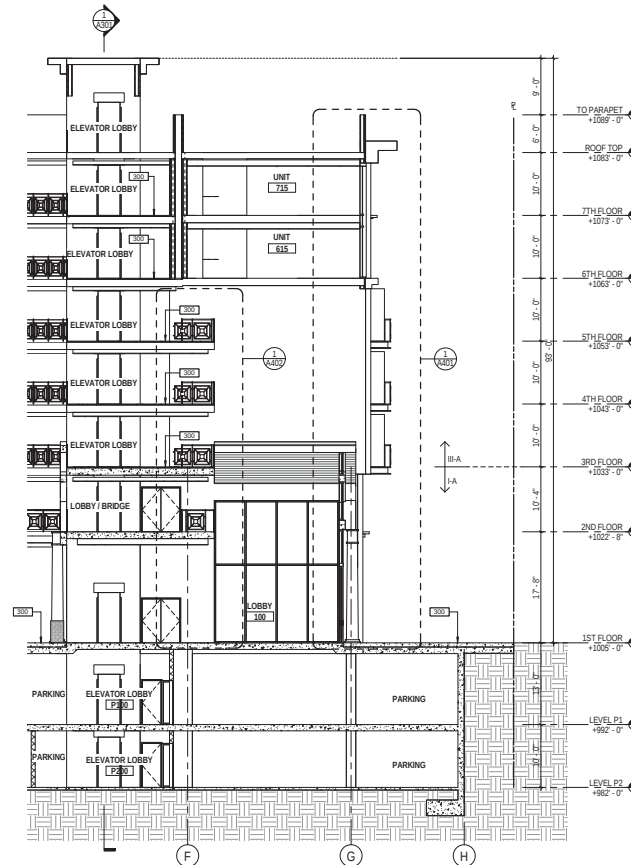


Exhibit 8 - Project Plans (Building Sections)



PARTIAL BUILDING SECTION THROUGH
PARKING RAMP - LOOKING NORTH
1/8" = 1'-0"

2



PARTIAL BUILDING SECTION THROUGH
MAIN LOBBY - LOOKING EAST
1/8" = 1'-0"

1

NOTES

300	CONCRETE TOPPING SLAB OVER
302	W.P. MEMBRANE
302	PLANTER

LEGEND

----- 2 HR WALL

**PATRICK CHIU
& ASSOCIATES**

300 W. CLARY STREET
SAN GABRIEL, CA 91776
626.272.7058

UNIVERSITY CAMPUS HOTEL

1277 UNIVERSITY AVENUE
RIVERSIDE, CA 92501

PRIME INVESTMENT
INTERNATIONAL, INC.
17700 CASTLETON ST., SUITE 400
CITY OF INDUSTRY, CA 91748

THIS DOCUMENT AND THE INFORMATION CONTAINED
HEREIN ARE THE PROPERTY OF PATRICK CHIU & ASSOCIATES
AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS
ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION
SYSTEMS WITHOUT PERMISSION IN WRITING FROM PATRICK CHIU & ASSOCIATES

**PLANNING DESIGN
REVIEW**

16-012

21 FEB 2018

REVISED

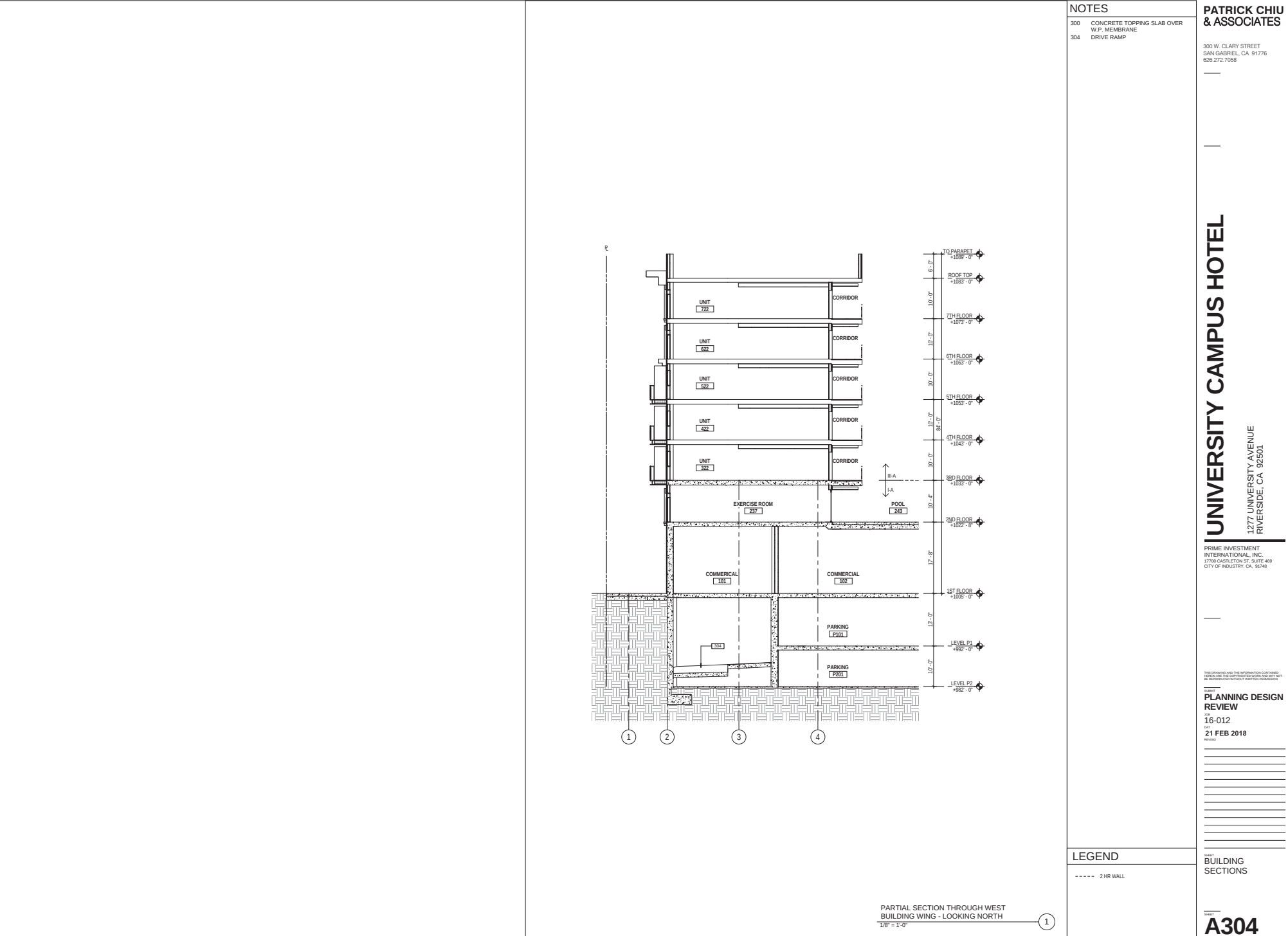
REVIEW
BUILDING
SECTIONS

A303

UNIVERSITY CAMPUS HOTEL

Exhibit 8 - Project Plans (Building Sections)

Exhibit 8 - Project Plans (Building Sections)





UNIVERSITY CAMPUS HOTEL

SURROUNDING INFLUENCE STUDY

EXTERIOR PERSPECTIVE

Exhibit 8 - Project Plans (Renderings)

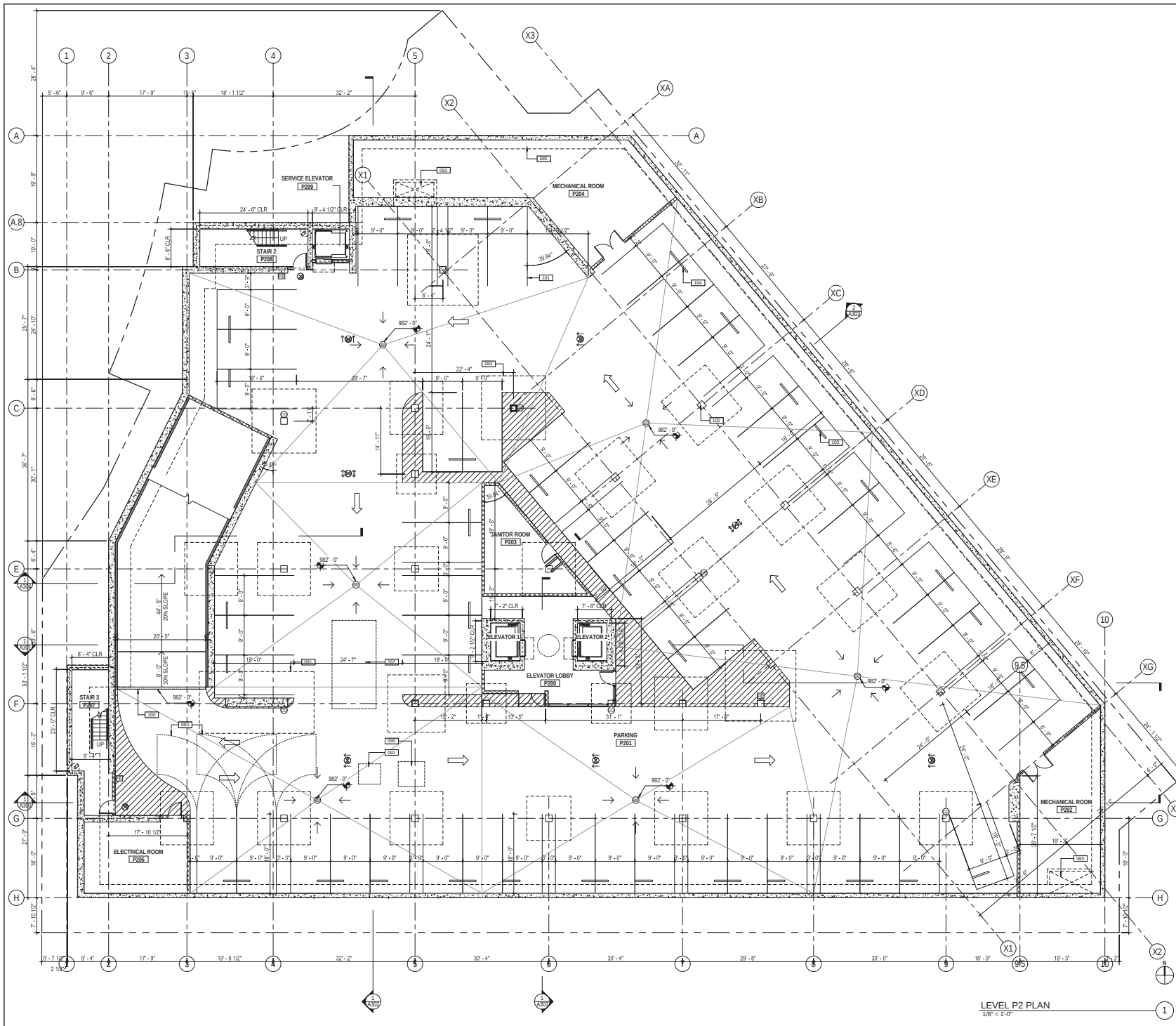


UNIVERSITY CAMPUS HOTEL

SURROUNDING INFLUENCE STUDY

INTERIOR PERSPECTIVE

Exhibit 8 - Project Plans (Renderings)



NOTES

- 080 PERIMETER FOOTING, PER STRUCTURAL
- 081 SHEAR WALL FOOTING, PER STRUCTURAL
- 082 COLUMN FOOTING, PER STRUCTURAL
- 083 BACKING OUT TURNING MOVEMENTS FOR VEHICLE
- 090 SEWAGE EJECTOR PER PLUMBING DWGS
- 091 SUMP PUMP PER PLUMBING DWGS
- 092 GREASE INTERCEPTOR PER PLUMBING DWGS
- 093 LINE OF OPENING ABOVE TO 2HR SHAFT
- 100 TRENCH DRAIN
- 101 PARKING SPACE STRIPPING, TYP.
- 102 COLUMN WITH STEEL CONER GUARD, TYP.
- 103 4'-0" LONG CONCRETE WHEEL STOP, TYP.
- 104 6'-0" LONG CONCRETE WHEEL STOP, TYP.

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOM UNO.
- B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- C. SEE SHEETS A890-A903 FOR TYPICAL ACCESSIBILITY REQUIREMENTS.
- D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL, FLOOR & CEILING ASSEMBLIES.
- E. PROVIDE PIPE GUARDS AT ALL EXPOSED PIPES.

LEGEND

- CONCRETE BLOCK WALL
- CONCRETE COLUMN
- SEE SHEET A890 FOR WALL TYPES
- EMERGENCY DRAIN, SLOPE TO DRAIN
- CO2 SENSOR
- STANDPIPE
- FIRE EXTINGUISHER
- 2 HOUR ASSEMBLY
- EXIT SIGN
- GROUNDING AC OUTLET FOR FUTURE ELECTRICAL VEHICLE CHARGING STATION (208/240 V, 40 AMP)

PLANING DESIGN REVIEW

16-012
21 FEB 2018
REVISION

LEVEL P2 PLAN

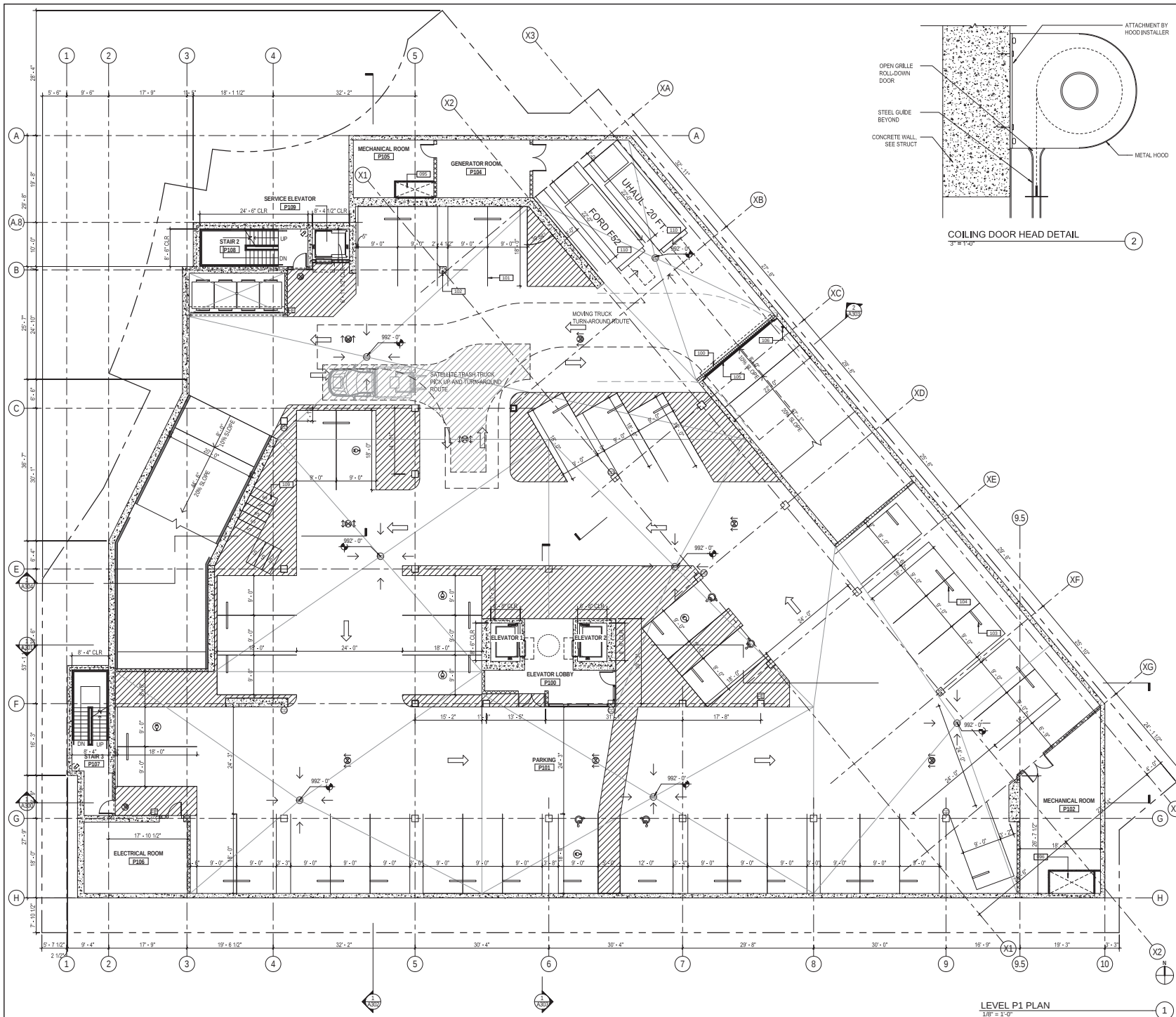
A100

UNIVERSITY CAMPUS HOTEL

1277 UNIVERSITY AVENUE
RIVERSIDE, CA 92501

PATRICK CHIU & ASSOCIATES
300 W. CLARY STREET
SAN GABRIEL, CA 91776
626.272.7058

Exhibit 8 - Project Plans (Floor Plans)



LEVEL P1 PLAN
1/8" = 1'-0"

NOTES

- 095 EXHAUST SHAFT
- 096 INTAKE SHAFT
- 100 TRENCH DRAIN
- 101 PARKING SPACE STRIPPING, TYP.
- 102 COLUMN WITH STEEL CONER GUARD, TYP.
- 103 4'-0" LONG CONCRETE WHEEL STOP, TYP.
- 104 6'-0" LONG CONCRETE WHEEL STOP, TYP.
- 105 GARAGE ACCESS GATE - OPEN GRILLE ROLL-DOWN DOOR, SEE DETAIL 2
- 106 FIRE KNOX BOX
- 109 BIKE PARKING
- 110 LOADING/UNLOADING ZONE

PATRICK CHIU & ASSOCIATES

300 W. CLARY STREET
SAN GABRIEL, CA 91776
626.272.7058

UNIVERSITY CAMPUS HOTEL

1277 UNIVERSITY AVENUE
RIVERSIDE, CA 92501

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOM UNO.
- B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- C. SEE SHEETS A800-A890 FOR TYPICAL ACCESSIBILITY REQUIREMENTS.
- D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL, FLOOR & CEILING ASSEMBLIES.
- E. PROVIDE PIPE GUARDS AT ALL EXPOSED PIPES.

PRIME INVESTMENT
INTERNATIONAL, INC.
17700 GASTILTON ST., SUITE 400
CITY OF INDUSTRY, CA 91748

**PLANNING DESIGN
REVIEW**
16-012
21 FEB 2018
REVISED

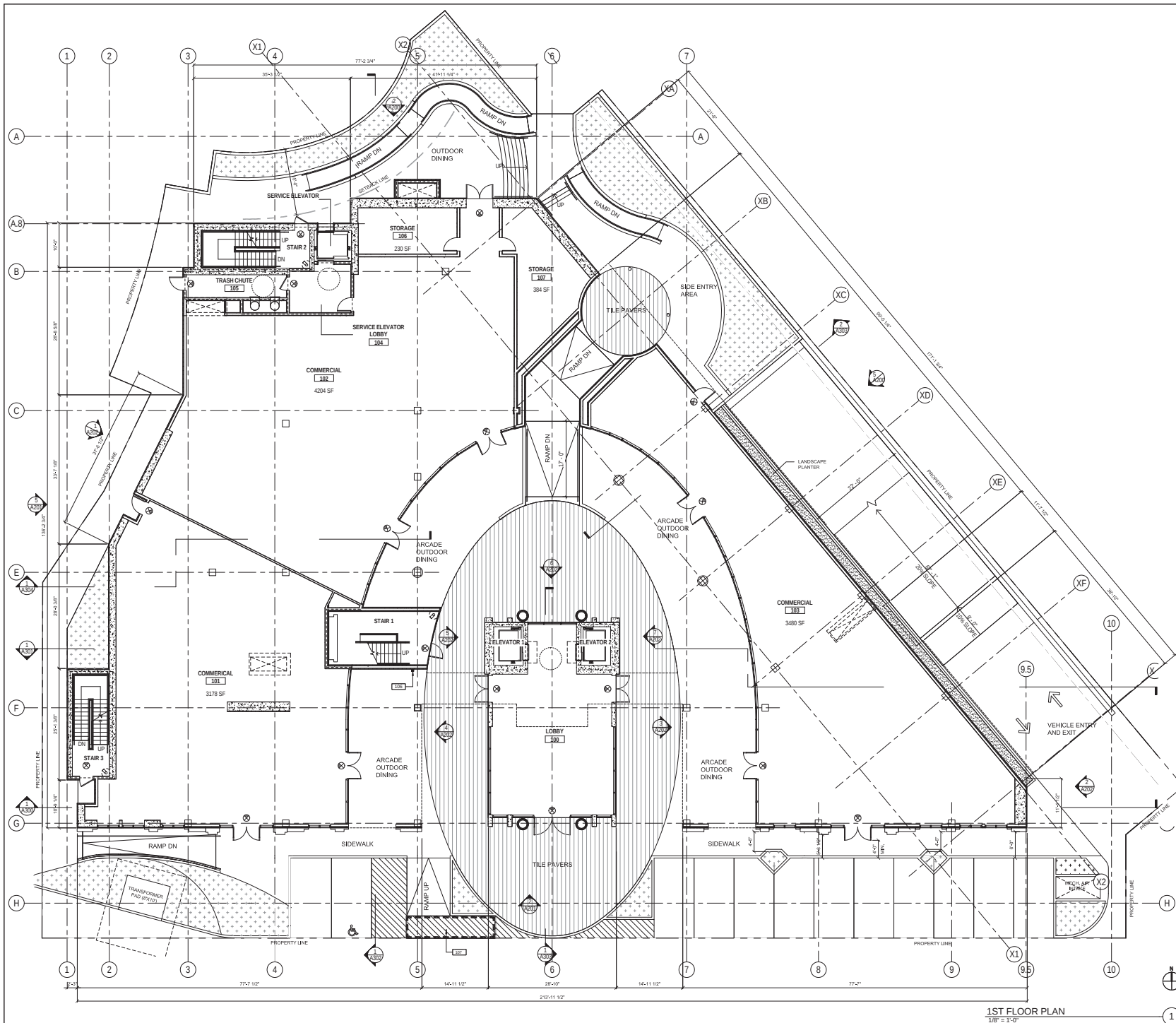
LEGEND

- CONCRETE BLOCK WALL
- CONCRETE COLUMN
- SEE SHEET A800 FOR WALL TYPES
- EMERGENCY DRAIN, SLOPE TO DRAIN
- CO2 SENSOR
- STANDPIPE
- FIRE EXTINGUISHER
- 2 HOUR ASSEMBLY
- EXIT SIGN
- GROUNDING AC OUTLET FOR FUTURE ELECTRICAL VEHICLE CHARGING STATION (208/240 V, 40 AMP)

LEVEL P1 PLAN

A101

Exhibit 8 - Project Plans (Floor Plans)



1ST FLOOR PLAN
1/8" = 1'-0"

NOTES

- 105 GARAGE ACCESS GATE
- 106 FIRE KNOX BOX
- 107 PASSENGER DROP OFF AREA (8' X 20')

PATRICK CHIU & ASSOCIATES

300 W. CLARY STREET
SAN GABRIEL, CA 91776
626.272.7058

UNIVERSITY CAMPUS HOTEL

1277 UNIVERSITY AVENUE
RIVERSIDE, CA 92501

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNLESS NOTED OTHERWISE.
- B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- C. SEE SHTS A990-A993 FOR TYP ACCESSIBILITY REQUIREMENTS.
- D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL AND CEILING ASSEMBLIES.
- E. DWELLING UNITS SHALL BE SEPARATED WITH 1-HOUR FIRE-RESISTIVE CONSTRUCTION AT WALLS AND FLOORS.
- F. SEE SHT A8XX FOR SOUND TRANSMISSION CONTROL DETAILS.
- G. SEE SHT A8XX FOR TYP FIRESTOPPING DETAILS.
- H. PROVIDE ROOM & UNIT IDENTIFICATION SIGNAGE.
- I. PROVIDE LEVEL LANDINGS @ EXT DOORS AND GATES.

LEGEND

- 3-HR FIRE WALL
- 2-HR RATED WALL
- WOOD POST PER STRUCT DWGS
- SEE SHT A900 FOR WALL TYPES
- WATER CURTAIN
- DOWNSPOUT
- SOFFIT ABOVE @ 7'-0" AFF
- AREA DRAIN, SLOPE TO DRAIN AT 1/4" PER FT MIN
- LANDSCAPE AREA
- 30" X 48" CLEAR SPACE

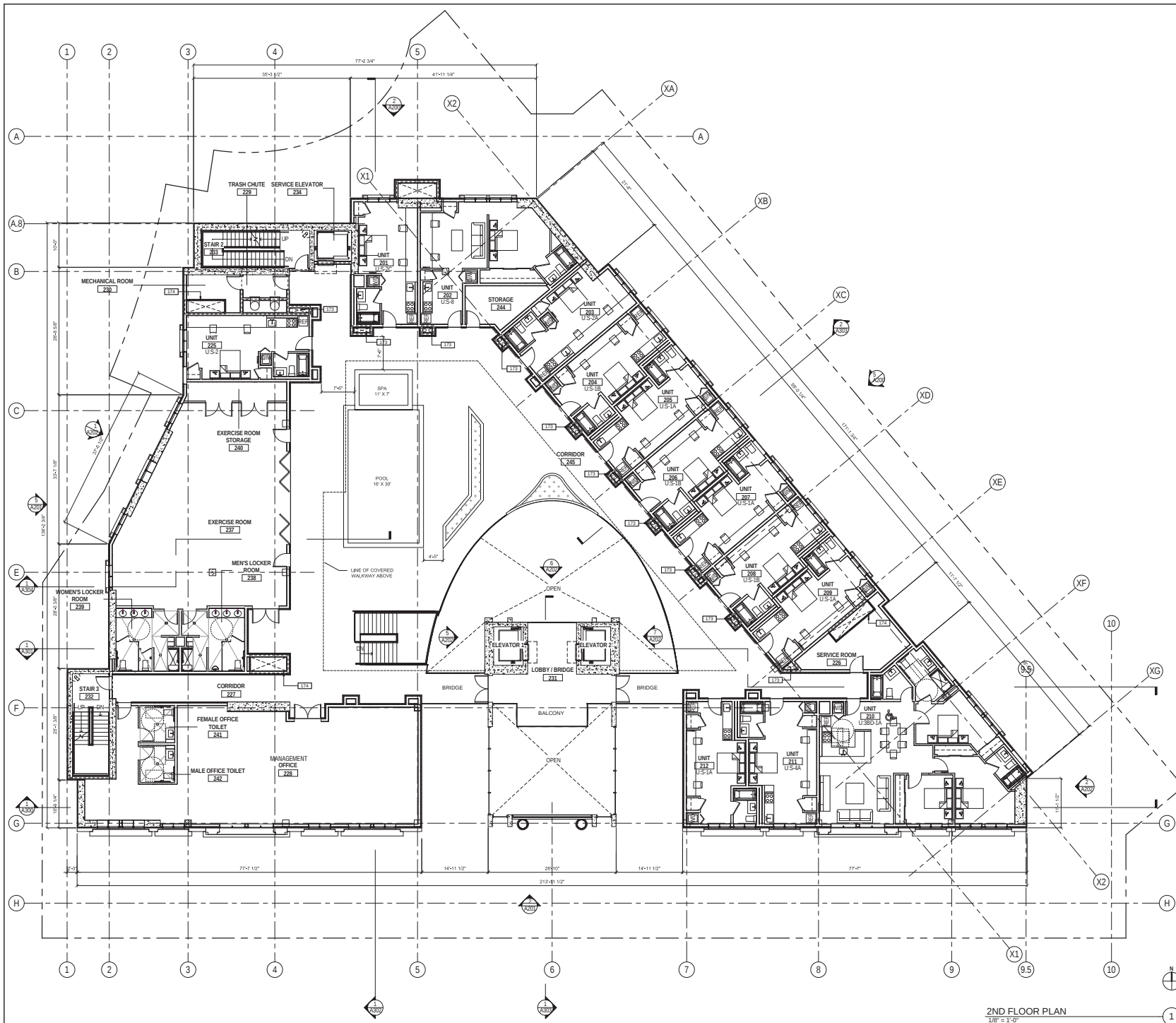
PRIME INVESTMENT INTERNATIONAL, INC.
1770 GASTON ST., SUITE 400
CITY OF INDUSTRY, CA 91748

PLANNING DESIGN REVIEW
16-012
21 FEB 2018

FIRST FLOOR PLAN

A110

Exhibit 8 - Project Plans (Floor Plans)



2ND FLOOR PLAN
1/8" = 1'-0"

NOTES

173 UNIT SHAFT
174 COMMERCIAL GREASE EXHAUST
SHAFT

ROOM COUNT / AREA

ROOM	TYPE	AREA	QUANTITY
STUDIO	S-A	599 SF	4
STUDIO	S-B	590 SF	3
STUDIO	S-C	585 SF	1
STUDIO	S-D	585 SF	1
STUDIO	S-E	587 SF	1
STUDIO	S-F	494 SF	1
1 BED	1BD-1A	620 SF	1
3 BED	3BD-1A	1,208 SF	1
TOTAL			13

SHEET NOTES

- ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- SEE SHTS 040-G002 FOR TYP ACCESSIBILITY REQUIREMENTS.
- ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL AND CEILING ASSEMBLIES.
- DWELLING UNITS SHALL BE SEPARATED WITH 1-HOUR FIRE-RESISTIVE CONSTRUCTION AT WALLS AND FLOORS.
- SEE SHT A80X FOR SOUND TRANSMISSION CONTROL DETAILS.
- SEE SHT A80Y FOR TYP FIRESTOPPING DETAILS.
- PROVIDE ROOM & UNIT IDENTIFICATION SIGNAGE.
- PROVIDE LEVEL LANDINGS @ EXT DOORS AND GATES.

LEGEND

- 3 HR FIRE WALL
- 2 HR RATED WALL
- WOOD POST PER STRUCT DWGS
- SEE SHT A80Z FOR WALL TYPES
- WATER CURTAIN
- DOWNSPOUT
- SOFFIT ABOVE @ 7'-0" AFF
- DECK DRAIN, SLOPE TO DRAIN AT 1/4" PER FT MIN
- LANDSCAPE AREA
- ACCESSIBLE UNITS WITH MOBILITY FEATURES

PATRICK CHIU
& ASSOCIATES

300 W. CLARY STREET
SAN GABRIEL, CA 91776
626.272.7058

UNIVERSITY CAMPUS HOTEL

1277 UNIVERSITY AVENUE
RIVERSIDE, CA 92501

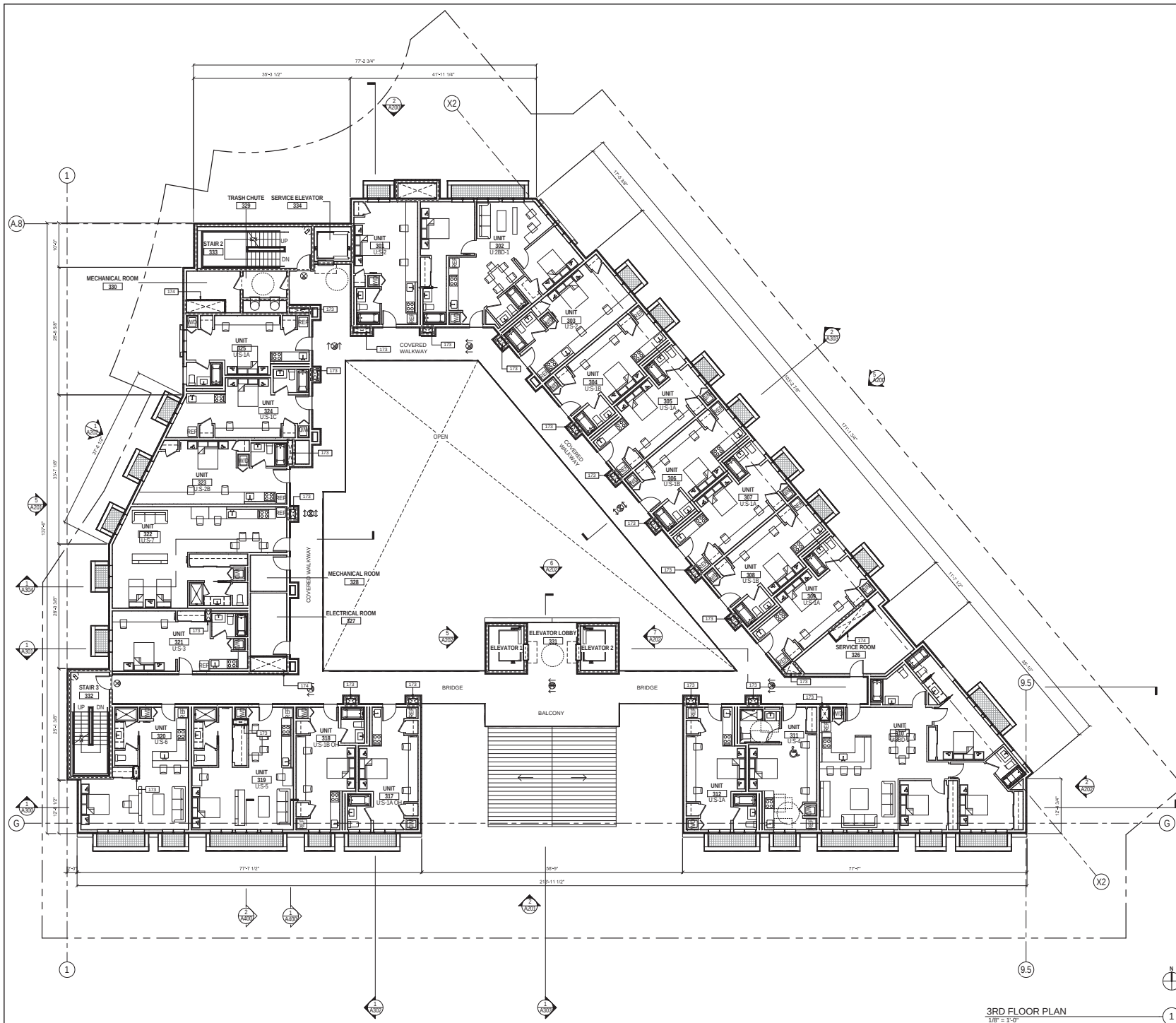
PRIME INVESTMENT
INTERNATIONAL, INC.
17700 GARDEN ST., SUITE 400
CITY OF INDUSTRY, CA 91748

PLANNING DESIGN
REVIEW
16-012
21 FEB 2018
REVISED

SECOND FLOOR
PLAN

A120

Exhibit 8 - Project Plans (Floor Plans)



NOTES

173 UNIT SHAFT
174 COMMERCIAL GREASE EXHAUST
SHAFT

ROOM COUNT / AREA

ROOM	TYPE	AREA	QUANTITY
STUDIO	10-1A	399 SF	6
STUDIO	10-1B	399 SF	4
STUDIO	10-1C	379 SF	1
STUDIO	10-2	383 SF	2
STUDIO	10-2B	438 SF	1
STUDIO	10-3	401 SF	1
STUDIO	10-4	398 SF	1
STUDIO	10-5	417 SF	1
STUDIO	10-6	538 SF	1
STUDIO	10-7	750 SF	1
2 BED	280D+1	805 SF	1
3 BED	380D+1	1,353 SF	1
TOTAL			21

SHEET NOTES

A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNO.

B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.

C. SEE SHTS 04-04-02 FOR TYP ACCESSIBILITY REQUIREMENTS.

D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL AND CEILING ASSEMBLIES.

E. DWELLING UNITS SHALL BE SEPARATED WITH 1-HOUR FIRE-RESISTIVE CONSTRUCTION AT WALLS AND FLOORS.

F. SEE SHT ABXX FOR SOUND TRANSMISSION CONTROL DETAILS.

G. SEE SHT ABXX FOR TYP FIRESTOPPING DETAILS.

H. PROVIDE ROOM & UNIT IDENTIFICATION SIGNAGE.

I. PROVIDE LEVEL LANDINGS @ EXT DOORS AND GATES.

LEGEND

3-HR FIRE WALL

2-HR RATED WALL

WOOD POST PER STRUCT DWGS

SEE SHT ABXX FOR WALL TYPES

WATER CURTAIN

DOWNSPOUT

SOFFIT ABOVE @ 7'-0" AFF

DECK DRAIN, SLOPE TO DRAIN AT 1/4" PER FT MIN

PLANTER DRAIN, SLOPE TO DRAIN AT 1/4" PER FT MIN

ELECTRICAL PANEL

PATRICK CHIU & ASSOCIATES

300 W. CLARY STREET
SAN GABRIEL, CA 91776
626.272.7058

UNIVERSITY CAMPUS HOTEL

1277 UNIVERSITY AVENUE
RIVERSIDE, CA 92501

PRIME INVESTMENT INTERNATIONAL, INC.

17700 GARDEN ST., SUITE 400
CITY OF INDUSTRY, CA 91748

PLANNING DESIGN REVIEW

16-012
21 FEB 2018
(ADDENDUM)

THIRD FLOOR PLAN

A130

1/8" = 1'-0"

1

Exhibit 8 - Project Plans (Floor Plans)