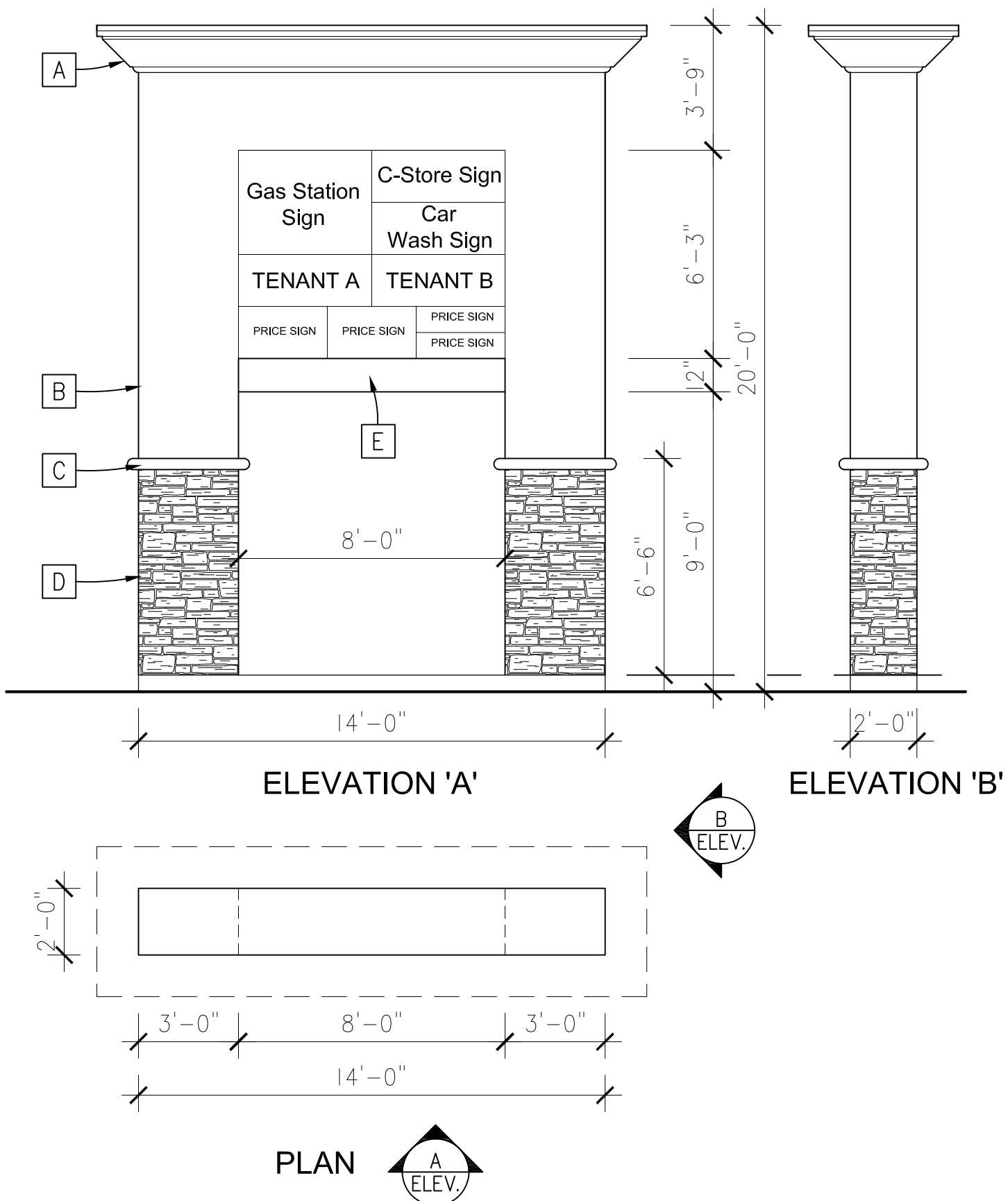
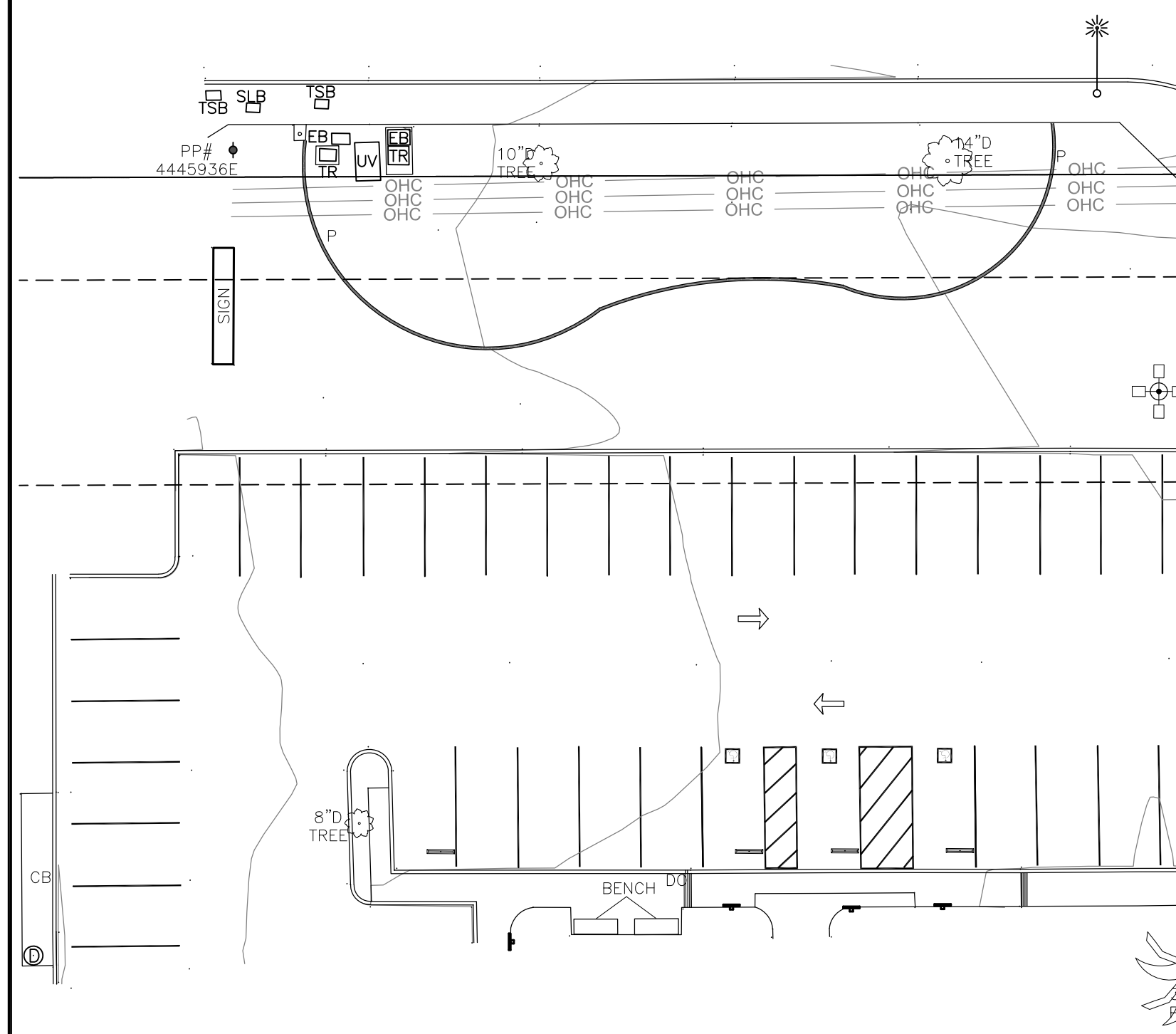




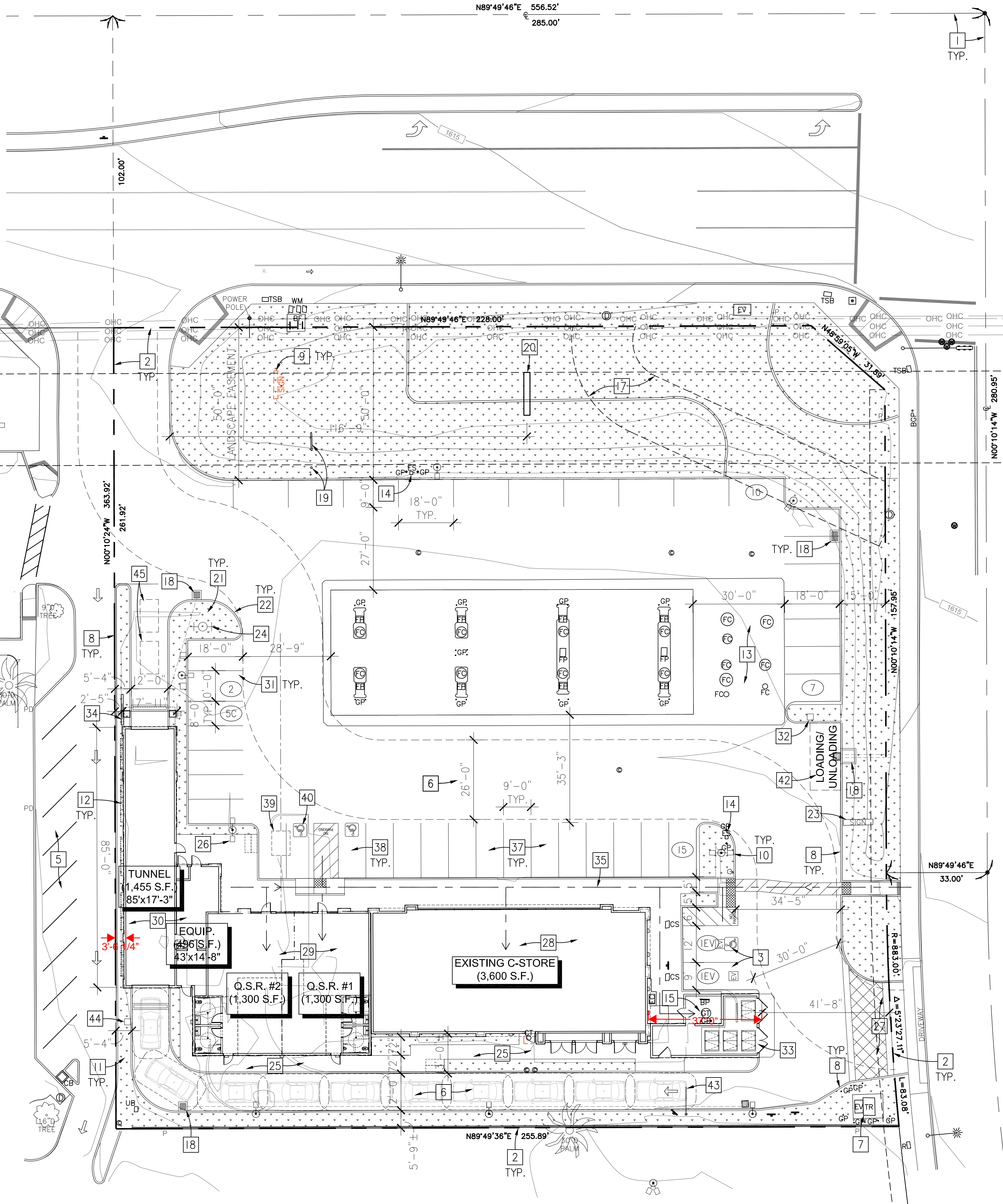
Reference Notes (PROPOSED MONUMENT SIGN)

- A SAND FINISHED STUCCO BY LA HABRA W/ PAINT FINISH OR APPROVED EQ., COLOR: SHERWIN WILLIAMS SW 6380 HUMBLE GOLD
- B INSULFOAM MOLDING TO MATCH EXISTING C-STORE. COLOR: SHERWIN WILLIAMS SW 9183 DARK CLOVE
- C 6" INSULFOAM MOLDING W/ STUCCO COATING & PAINT FINISH, COLOR: SHERWIN WILLIAMS SW 9183 DARK CLOVE
- D STONE VENEER BY CORONADO STONE PRODUCTS STYLE: HONEY LEDGE, COLOR: SHASTA
- E SAND FINISHED STUCCO BY LA HABRA W/ PAINT FINISH OR APPROVED EQ., COLOR: SHERWIN WILLIAMS SW 9166 DRIFT OF MIST



2 Proposed Monument sign (For Reference Only) SCALE: 1/4"=1'-0" 1

ALESSANDRO BOULEVARD  
N89°49'46"E 556.52'  
285.00'



N89°49'36"E 255.89'

Proposed Site Plan

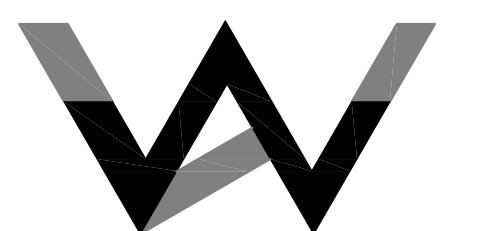
SCALE: 1"=20'-0"

Reference Notes (PROPOSED SITE PLAN)

- 1 (E) CENTER LINE OF STREET.
- 2 (E) PROPERTY LINES.
- 3 (E) EV CHARGING STATION AT TWO LOCATIONS.
- 4 (E) EASEMENT TO REMAIN.
- 5 (E) PARKING, NOT A PART.
- 6 (E) 26'-0" FIRE LANE TO REMAIN.
- 7 (E) TRANSFORMER TO REMAIN.
- 8 (E) CURB & PLANTER TO REMAIN.
- 9 DEMO & DISPOSE (E) MONUMENT SIGN.
- 10 (N) 20'-0" HT. PARKING LOT POLE LIGHT W/ SHIELD TO BE REPLACED (E) LIGHT.
- 11 (N) PARKING LOT LIGHT LOCATION.
- 12 (N) WALL MOUNT STEEL VINE GRID (E), SEE BLD'G ELEVATIONS.
- 13 (E) UNDERGROUND STORAGE TANK TO REMAIN.
- 14 (E) FUEL EMERGENCY SHUT-OFF SWITCH TO REMAIN.
- 15 (E) HEALY TANK AND CMU ENCLOSURE TO REMAIN.
- 16 (E) SITE UTILITY TO REMAIN.
- 17 (E) UTILITY EASEMENT, SEE CIVIL PLAN.
- 18 (N) SITE UTILITY LOCATION, SEE CIVIL PLAN.
- 19 (E) DCDA & FDC TO REMAIN.
- 20 PROPOSED 20'-0" H. MONUMENT SIGN, SEE ALL SIGNAGE UNDER SEPARATED PERMIT BY OTHERS.
- 21 (N) PLANTER.
- 22 (N) CURB AND GUTTER, SEE CIVIL PLAN.
- 23 (E) MONUMENT SIGN TO REMAIN.
- 24 PROPOSED ON SITE FIRE HYDRANT, SEE CIVIL PLAN.
- 25 PROPOSED CONC. PAVED SIDEWALK, CURB & GUTTER.
- 26 PROPOSED LOCATION FOR BIKE STORAGE, TOTAL 4 LOCATIONS PROVIDED 5% FOR SHORT-TERM AND 5% FOR LONG-TERM.
- 27 (E) DRIVEWAY APPROACH W/ (N) COLOR STAMPED CONC., SEE LANDSCAPE/HARDSCAPE PLAN.
- 28 (E) C-STORE BUILDING, SEE FLOOR PLAN
- 29 PROPOSED RESTAURANT BUILDING, SEE FLOOR PLAN
- 30 PROPOSED CAR WASH TUNNEL & EQUIPMENT BLD'G, SEE
- 31 PROPOSED VACUUM AT TWO LOCATIONS.
- 32 PROPOSED LOCATION FOR AIR/WATER STATION.
- 33 PROPOSED TRASH/RECYCLE ENCLOSURE W/ ROOF COVER AND METAL GATE PER CITY STANDARD.
- 34 PROPOSED 10' L. x 10' HT. SPLIT FACE CMU SOUND WALL PROVIDE 6" SEPARATION FROM CAR WASH TUNNEL BUILDING.
- 35 4'-0" WIDE CONC. PAVED PATH OF TRAVEL FROM PUBLIC SIDEWALK TO PROPOSED BUILDING ENTRY AND TRASH ENCLOSURE. MAX. 5% SLOPE AND 2% CROSS SLOPE, PROVIDE MIN. 3'-0" TRUNCATED DOMES AT ANY DRIVEWAY CROSSING. SEE CIVIL PLAN.
- 36 PROPOSED LANDSCAPE AREA.
- 37 PROPOSED ASPHALT PAVED PARKING AREA.
- 38 PROPOSED ADA PARKING AT TWO LOCATIONS.
- 39 PROPOSED LOCATION FOR GREASE INTERCEPTOR (TRAFFIC RATED), MIN. 750 GALLON W/ SAMPLE BOX.
- 40 RESTRIPE EV SPACES AND ADD NEW PARKING SPACE.
- 41 PROPOSED BIKE SPACES. MIN. 5% FOR LONG TERM AND 5% FOR SHORT TERM OF TOTAL NUMBER OF PARKING SPACES.
- 42 PROPOSED 12'-0" x 25'-0" LOADING/UNLOADING.
- 43 PROPOSED HEIGHT LIMIT BAR.
- 44 PROPOSED PAY STATION.
- 45 PROPOSED CLARIFIER TANK TRAFFIC RATED, NON-PORTABLE, FOR CARWASH USE ONLY. TWO 1,500 GAL. PER CARWASH SYSTEM MANUFACTURER.

Legend

- PATH OF TRAVEL
- LANDSCAPE AREA
- +O+ (N) FIRE HYDRANT & CONNECTION
- =□ 20'-0" HT. PARKING LOT LIGHT W/ SHIELD
- (E) FIRE HYDRANT
- FIRE DEPT. CONNECTION



W&W LAND DESIGN CONSULTANTS INC.  
ARCHITECTURE, CIVIL ENGINEERING & INTERIOR

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PHONE: (909) 608-7118 FAX: (909) 946-1137

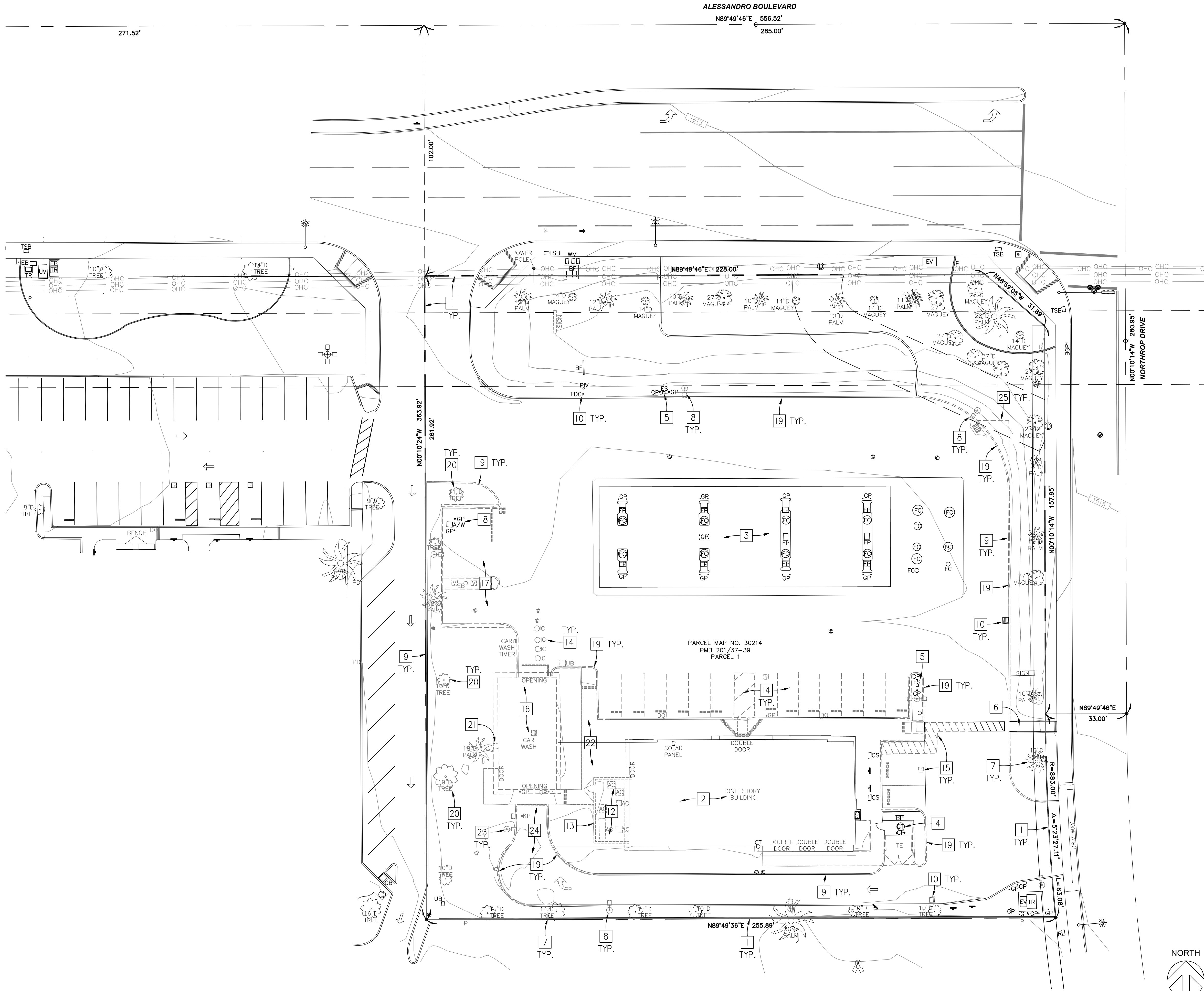
PROJECT: RENOVATION OF EXISTING GAS STATION, C-STORE, NEW CAR WASH TUNNEL & TWO QSR  
ADDRESS: 501 E. ALESSANDRO BLVD., RIVERSIDE, CA 92508  
OWNER/APPLICANT: MR. MICHAEL HADDADIN, 3458 WEBSTER AVE., PERRIS, CA 92571

SHEET TITLE: PROPOSED SITE PLAN  
KEY MAP SEAL/STAMP

JOB NO.	2312
DRAWN BY:	AZ
SUPERVISED BY:	TL
CHECKED BY:	TL
PLAN CHECK	
PERMIT SET	
BID SET	
REVISIONS	
OWNER REVIEW	6/2/2023
OWNER REVIEW	7/1/2023
CONCEPTUAL REVIEW SUBMITTAL	9/11/2023
OWNER MEETING	10/4/2023
PLANNING SUBMITTAL	12/12/2023
OWNER REVIEW	1/17/2024
OWNER REVIEW	2/22/2024
PLANNING RE-SUBMITTAL	4/5/2024

SHEET NO:

A1.01 OF SHEETS SHEET

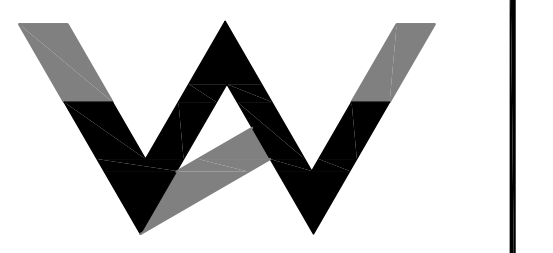


**Reference Notes**

- 1 (E) PROPERTY LINES.
- 2 (E) C-STORE TO REMAIN.
- 3 (E) FUEL PUMP CANOPY TO REMAIN.
- 4 (E) HEALY TANK TO REMAIN.
- 5 (E) EMERGENCY FUEL STOP BUTTON TO REMAIN.
- 6 (E) ADA RAMP TO REMAIN.
- 7 (E) TREE TO REMAIN.
- 8 REMOVE & DISPOSE (E) POLE LIGHT.
- 9 (E) CURB, GUTTER AND PLANTER TO REMAIN.
- 10 (E) UTILITY AND SITE DRAINAGE TO REMAIN.
- 11 RELOCATE (E) UTILITY, SEE PROPOSED SITE PLAN & CIVIL PLAN.
- 12 RELOCATE (E) EQUIPMENT TO ROOF OF (E) C-STORE ROOF.
- 13 DASH LINE INDICATE (E) EQUIPMENT ENCLOSURE CMU WALL & GATE TO DEMO & DISPOSE.
- 14 DASH LINE INDICATE (E) SITE UTILITY TO DEMO & DISPOSE.
- 15 DASH LINE INDICATE (E) PARKING AND ADA PATH STRIP TO REMOVE.
- 16 DASH LINE INDICATE (E) CAR WASH BUILDING TO DEMO & DISPOSE.
- 17 DASH LINE INDICATE (E) VACUUM TO DEMO & DISPOSE.
- 18 DASH LINE INDICATE (E) WATER/AIR TOWER TO DEMO & DISPOSE.
- 19 DASH LINE INDICATE (E) CURB, GUTTER AND PLANTER TO DEMO & DISPOSE.
- 20 DASH LINE INDICATE (E) TREE TO DEMO & DISPOSE.
- 21 DASH LINE INDICATE (E) IRRIGATION CONTROL BOX TO DEMO & DISPOSE.
- 22 DASH LINE INDICATE (E) CONC. PAVING TO DEMO & DISPOSE.
- 23 DASH LINE INDICATE (E) PARKING LOT LIGHT TO DEMO & DISPOSE.
- 24 DASH LINE INDICATE (E) DRIVEWAY PAVING TO DEMO & DISPOSE.
- 25 DASH LINE INDICATE (E) LANDSCAPE AREA TO DEMO & DISPOSE.

**Legend**

- (E) PARKING LOT LIGHT
- (E) LANDSCAPE AREA
- (E) FIRE HYDRANT
- (E) FIRE DEPT. CONNECTION



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 2335 W. FOOTHILL BLVD., STE 1, UPLAND, CA 91786  
 PHONE: (909) 608-7118 FAX: (909) 946-1137

PROJECT: **RENOVATION OF EXISTING GAS STATION, C-STORE, NEW CAR WASH TUNNEL & TWO QSR**  
 ADDRESS: 501 E. ALESSANDRO BLVD., RIVERSIDE, CA 92508  
 OWNER/APPLICANT: **MR. MICHAEL HADDADIN**  
 3458 WEBSTER AVE., PERRIS, CA 92571

SHEET TITLE:  
**EXISTING SITE PLAN/SURVEY & DEMO PLAN**

KEY MAP SEAL/STAMP

JOB NO.	2312
DRAWN BY:	AZ
SUPERVISED BY:	TL
CHECKED BY:	TL
PLAN CHECK	_____
PERMIT SET	_____
BID SET	_____

REVISIONS	
	OWNER REVIEW 6/2/2023
	OWNER REVIEW 7/1/2023
	CONCEPTUAL REVIEW SUBMITTAL 9/11/2023
	OWNER MEETING 10/4/2023
	PLANNING SUBMITTAL 12/12/2023
	OWNER REVIEW 1/17/2024
	OWNER REVIEW 2/22/2024
	PLANNING RE-SUBMITTAL 4/5/2024

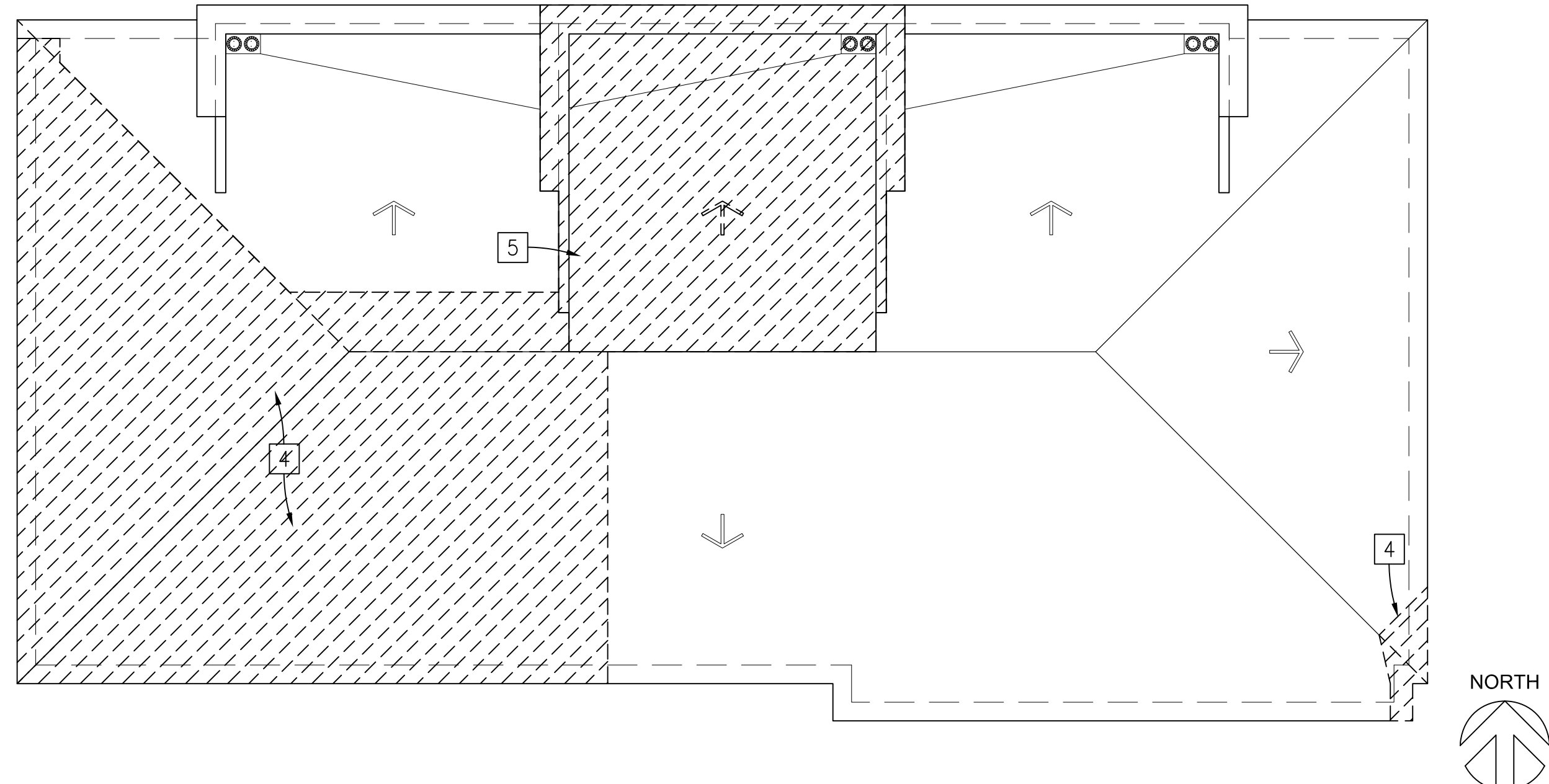
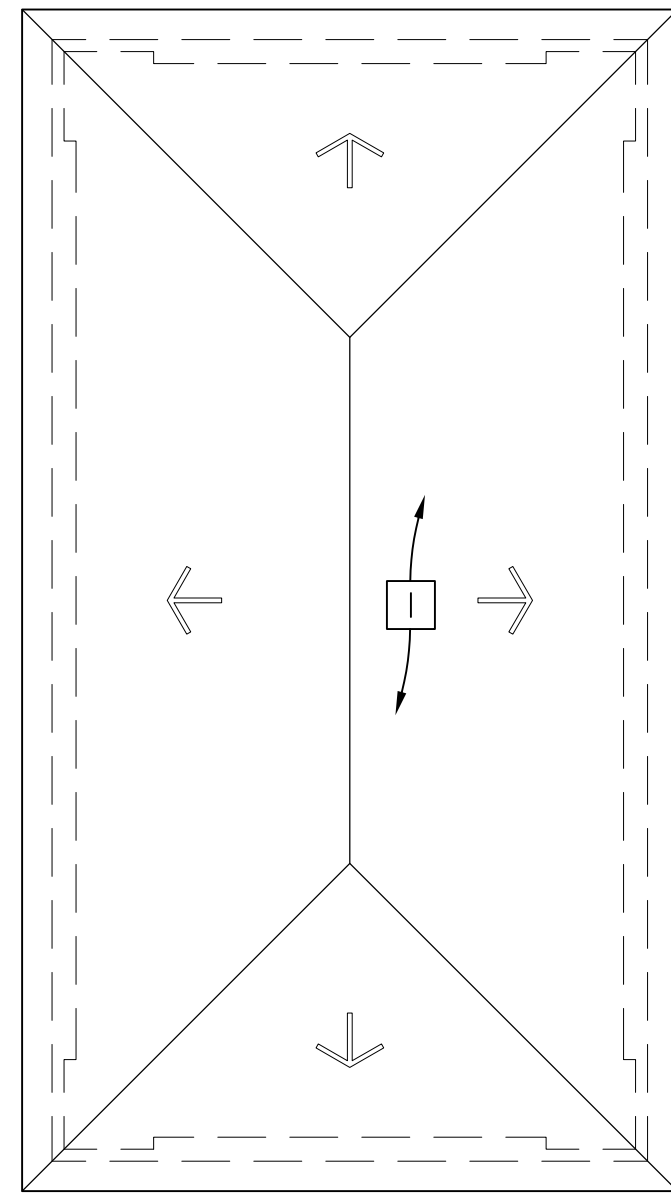
SHEET NO:

**A1.02**

OF SHEETS  
 S H E E T

Existing Site Plan / Survey

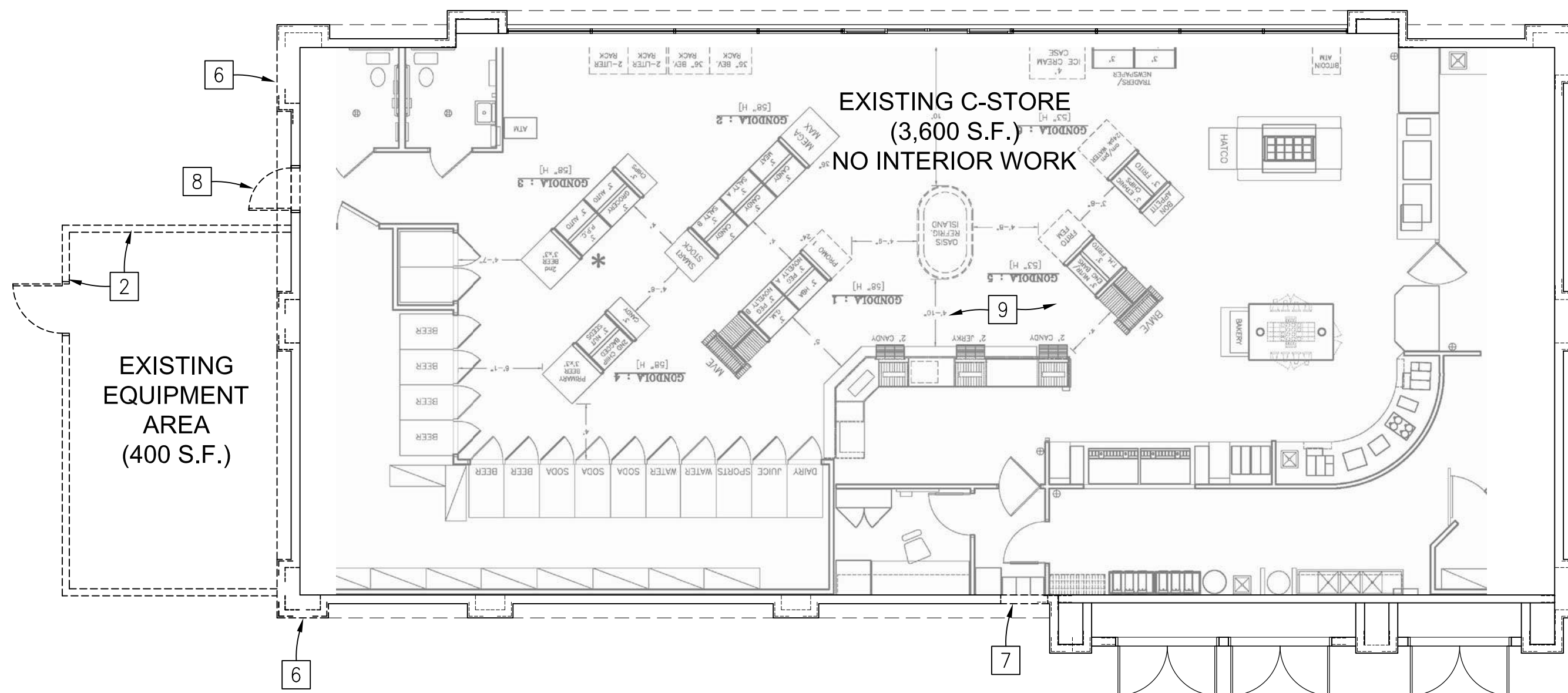
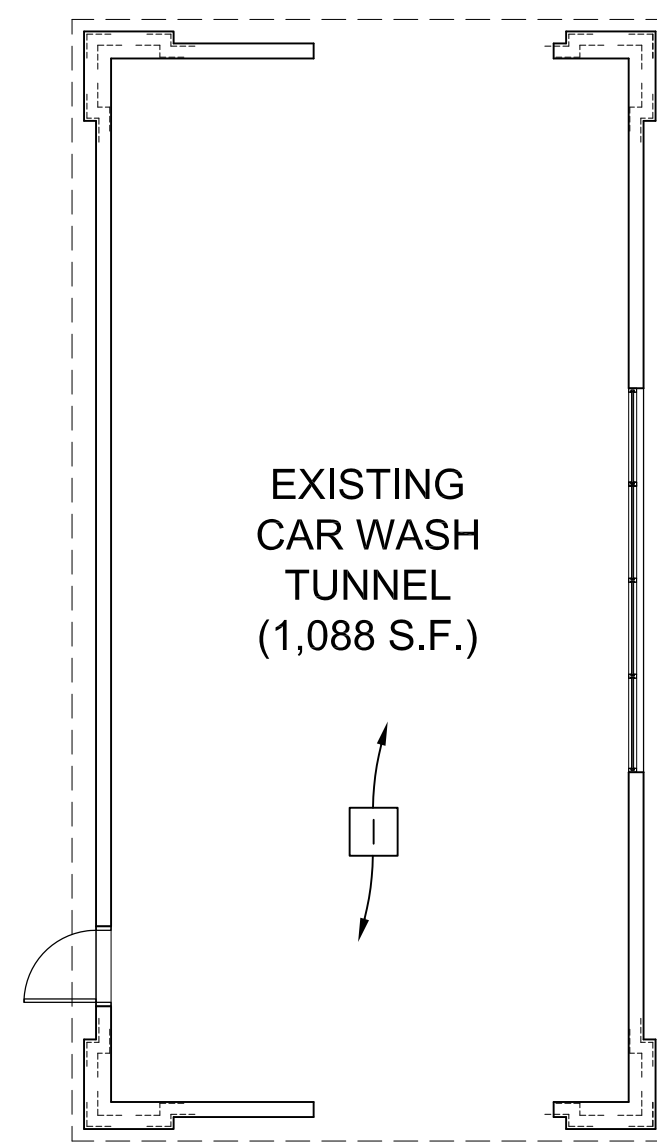
SCALE: 1"=20'-0"



2

Existing C-Store & Car Wash Building Roof Plan

SCALE: 1/8" = 1'-0"



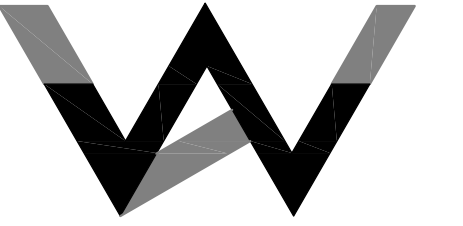
1

Existing C-Store & Car Wash Building Floor Plan

SCALE: 1/8" = 1'-0"

Reference Notes

- 1 DEMO & DISPOSE (E) CAR WASH BUILDING.
- 2 DEMO & DISPOSE (E) CMU FENCE WALL & GATE.
- 3 RELOCATE (E) EQUIPMENT TO C-STORE ROOF.
- 4 HATCHED AREA INDICATE TO DEMO & DISPOSE (E) PORTION TILE ROOF FOR (E) C-STORE EQUIPMENT.
- 5 HATCHED AREA INDICATED TO DEMO & DISPOSE (E) PORTION TILE ROOF FOR (N) TOWER.
- 6 DEMO & DISPOSE (E) FUR-OUT WALL.
- 7 DEMO & DISPOSE (E) EXTERIOR WALL FOR FUTURE DOOR.
- 8 DEMO & DISPOSE (E) EXTERIOR DOOR.
- 9 (E) C-STORE INTERIOR LAYOUT TO REMAIN (NO INTERIOR WORK).



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2335 W. FOOTHILL BLVD., STE 1, UPLAND, CA 91786  
PHONE: (909) 608-7118 FAX: (909) 946-1137

PROJECT: RENOVATION OF EXISTING  
GAS STATION, C-STORE,  
NEW CAR WASH TUNNEL & TWO QSR

ADDRESS: 501 E. ALESSANDRO BLVD.,  
RIVERSIDE, CA 92508

OWNER/APPLICANT: MR. MICHAEL HADDADIN  
3458 WEBSTER AVE., PERRIS, CA 92571

EXISTING  
C-STORE & CAR WASH  
FLOOR PLAN & ROOF PLAN

SHEET TITLE:

KEY MAP SEAL/STAMP

JOB NO.	2312
DRAWN BY:	AZ
SUPERVISED BY:	TL
CHECKED BY:	TL
PLAN CHECK	_____
PERMIT SET	_____
BID SET	_____

REVISIONS

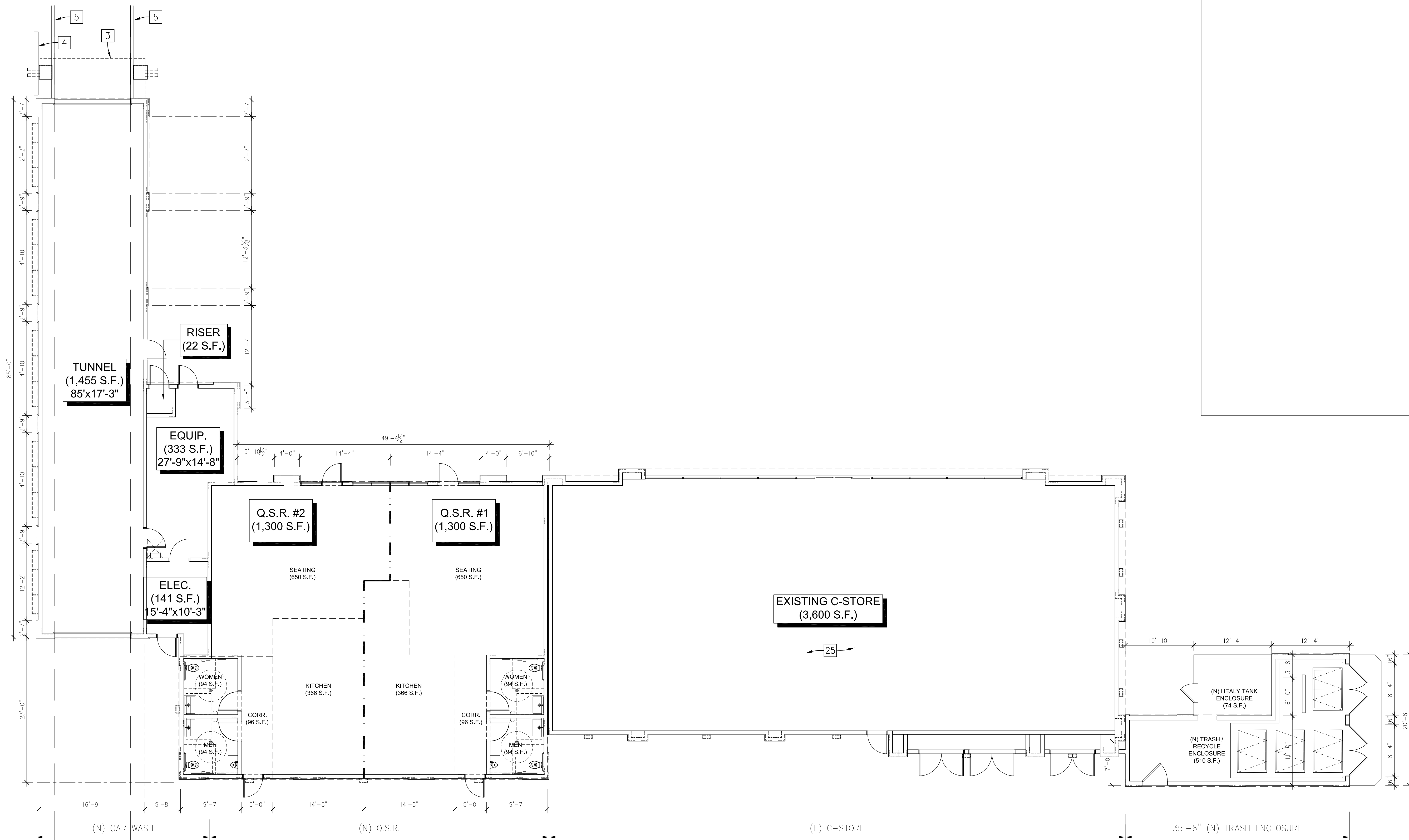
OWNER REVIEW	6/2/2023
OWNER REVIEW	7/1/2023
CONCEPTUAL REVIEW SUBMITTAL	9/11/2023
OWNER MEETING	10/4/2023
PLANNING SUBMITTAL	12/12/2023
OWNER REVIEW	1/17/2024
OWNER REVIEW	2/22/2024
PLANNING RE-SUBMITTAL	4/5/2024

SHEET NO:

**A2.01**

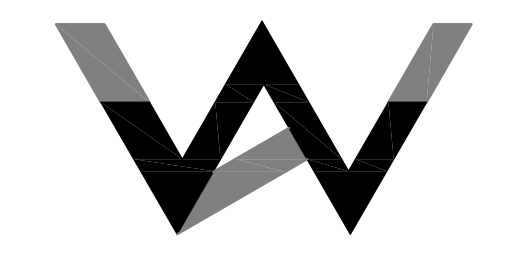
OF SHEETS  
S H E E T

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**Reference Notes**

- 1 DASH LINE INDICATE CANOPY ABOVE.
- 2 (E) C-STORE LAYOUT TO REMAIN. SEE EXISTING FLOOR PLAN ON SHEET A2.01
- 3 DASH LINE INDICATE TRELLIS ABOVE.
- 4 PROPOSED 10' L. x 10' HT. SPLIT FACE CMU SOUND WALL PROVIDE 6" SEPARATION FROM CAR WASH TUNNEL BUILDING.
- 5 DRIVEWAY CONC. CURB.



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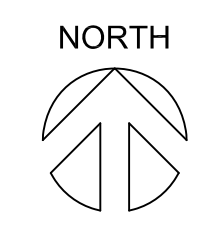
PROJECT: **RENOVATION OF EXISTING GAS STATION, C-STORE, NEW CAR WASH TUNNEL & TWO QSR**  
 ADDRESS: 501 E. ALESSANDRO BLVD., RIVERSIDE, CA 92508  
 OWNER/APPLICANT: MR. MICHAEL HADDADIN, 3458 WEBSTER AVE., PERRIS, CA 92571

SHEET TITLE:  
**PROPOSED CAR WASH, QSR & TRASH ENCLOSURE & EXISTING FLOOR PLAN**

KEY MAP SEAL/STAMP

JOB NO.	2312
DRAWN BY:	AZ
SUPERVISED BY:	TL
CHECKED BY:	TL
PLAN CHECK	_____
PERMIT SET	_____
BID SET	_____
<b>REVISIONS</b>	
OWNER REVIEW	6/2/2023
OWNER REVIEW	7/7/2023
CONCEPTUAL REVIEW SUBMITTAL	9/11/2023
OWNER MEETING	10/4/2023
PLANNING SUBMITTAL	12/12/2023
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OWNER REVIEW	2/22/2024
PLANNING RE-SUBMITTAL	4/5/2024

SHEET NO:



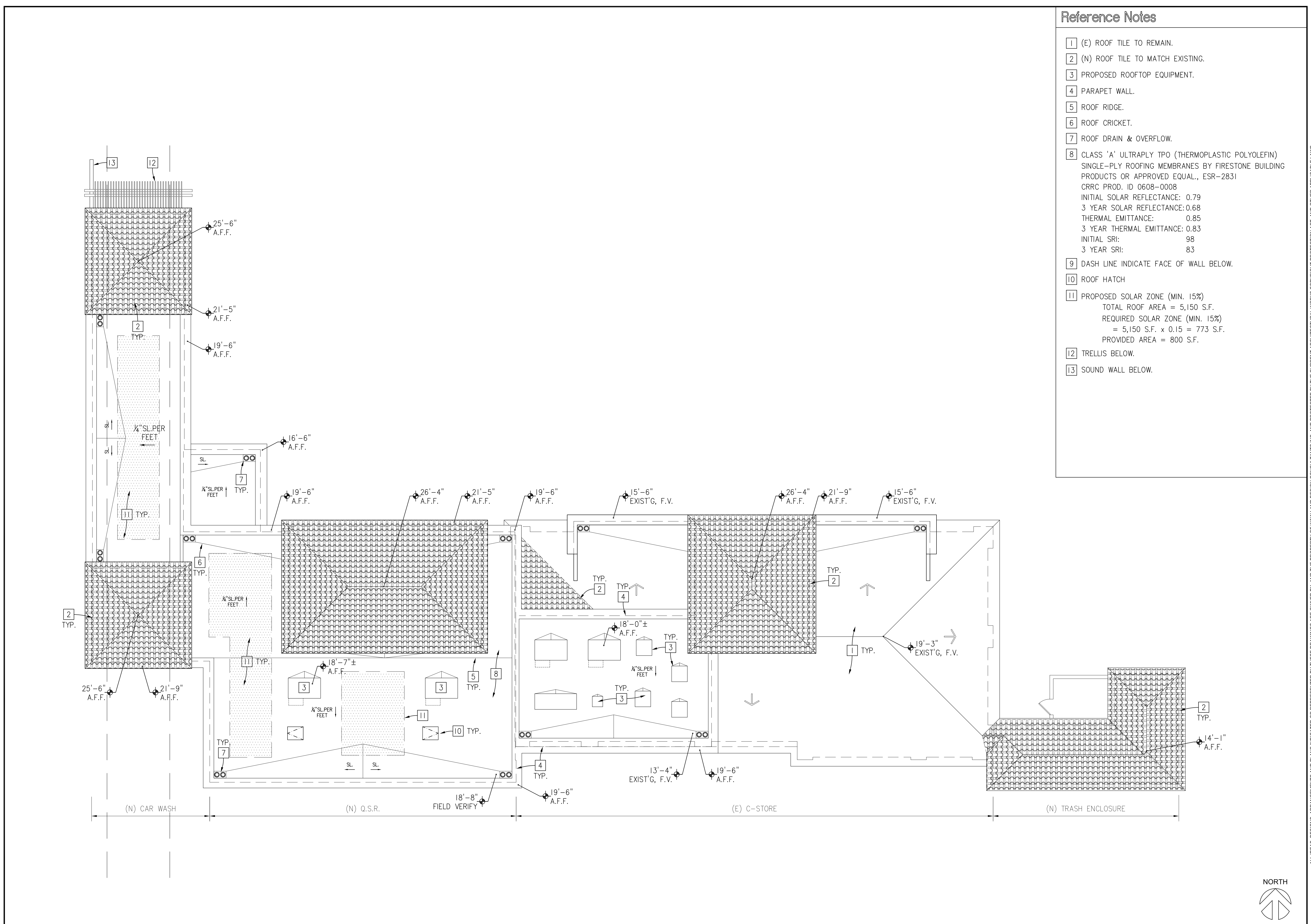
**A2.02**

OF SHEETS  
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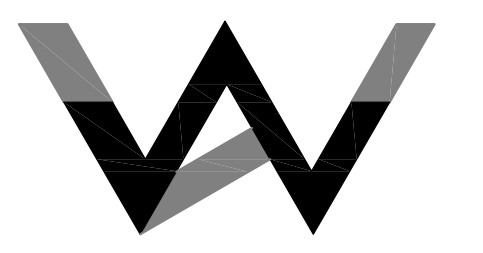
Proposed Q.S.R., Car Wash, Trash Enclosure & Existing C-Store Floor Plan

SCALE: 1/8" = 1'-0"

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- ### Reference Notes
- 1 (E) ROOF TILE TO REMAIN.
  - 2 (N) ROOF TILE TO MATCH EXISTING.
  - 3 PROPOSED ROOFTOP EQUIPMENT.
  - 4 PARAPET WALL.
  - 5 ROOF RIDGE.
  - 6 ROOF CRICKET.
  - 7 ROOF DRAIN & OVERFLOW.
  - 8 CLASS 'A' ULTRAPLY TPO (THERMOPLASTIC POLYOLEFIN) SINGLE-PLY ROOFING MEMBRANES BY FIRESTONE BUILDING PRODUCTS OR APPROVED EQUAL., ESR-2831  
CRRC PROD. ID 0608-0008  
INITIAL SOLAR REFLECTANCE: 0.79  
3 YEAR SOLAR REFLECTANCE: 0.68  
THERMAL EMITTANCE: 0.85  
3 YEAR THERMAL EMITTANCE: 0.83  
INITIAL SRI: 98  
3 YEAR SRI: 83
  - 9 DASH LINE INDICATE FACE OF WALL BELOW.
  - 10 ROOF HATCH
  - 11 PROPOSED SOLAR ZONE (MIN. 15%)  
TOTAL ROOF AREA = 5,150 S.F.  
REQUIRED SOLAR ZONE (MIN. 15%)  
= 5,150 S.F. x 0.15 = 773 S.F.  
PROVIDED AREA = 800 S.F.
  - 12 TRELLIS BELOW.
  - 13 SOUND WALL BELOW.



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PHONE: (909) 608-7118 FAX: (909) 946-1137

PROJECT: RENOVATION OF EXISTING GAS STATION, C-STORE, NEW CAR WASH TUNNEL & TWO QSR  
ADDRESS: 501 E. ALESSANDRO BLVD., RIVERSIDE, CA 92508  
OWNER/APPLICANT: MR. MICHAEL HADDADIN, 3458 WEBSTER AVE., PERRIS, CA 92571

SHEET TITLE: **PROPOSED CAR WASH, QSR & TRASH ENCLASURE & EXISTING C-STORE ROOF PLAN**

KEY MAP SEAL/STAMP

JOB NO.	2312
DRAWN BY:	AZ
SUPERVISED BY:	TL
CHECKED BY:	TL
PLAN CHECK:	_____
PERMIT SET:	_____
BID SET:	_____

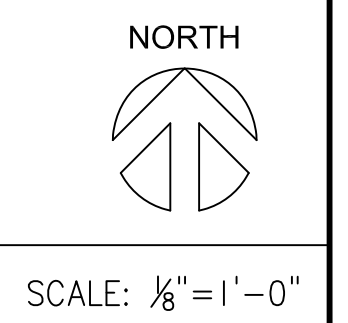
  

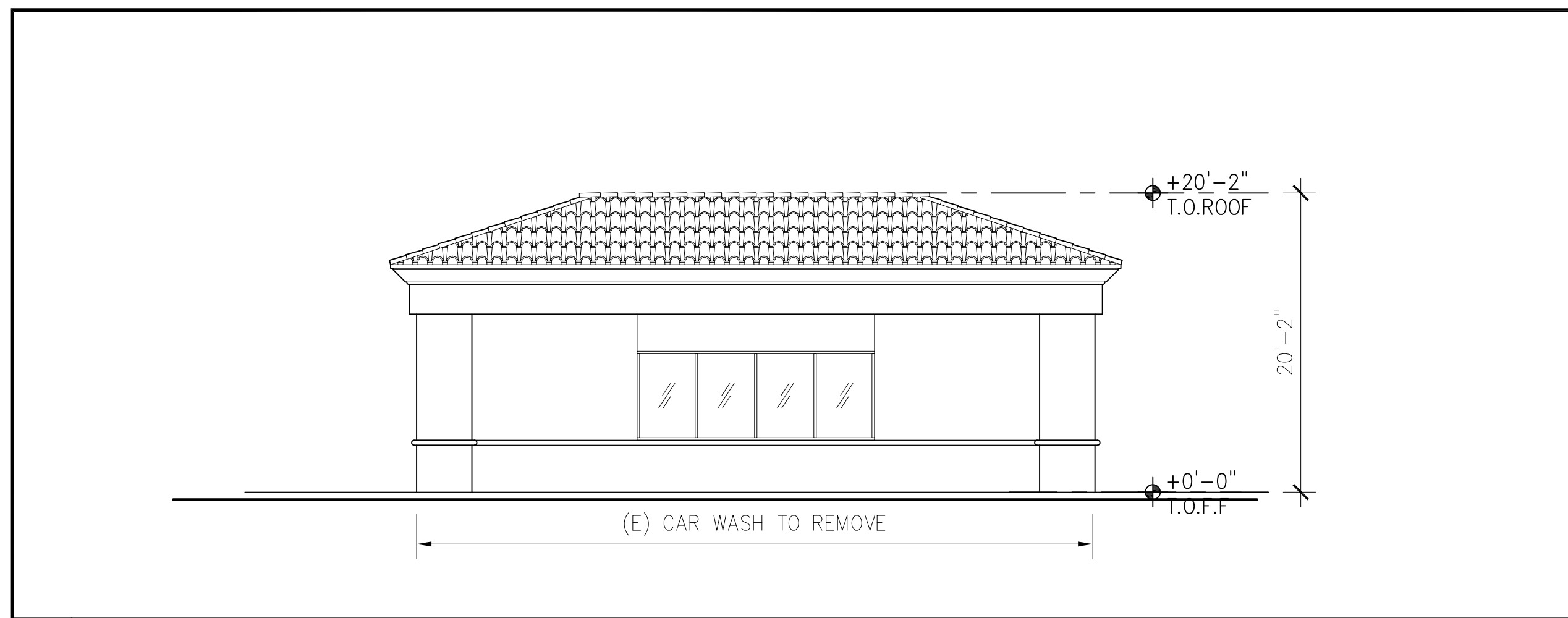
REVISIONS	
OWNER REVIEW	6/2/2023
OWNER REVIEW	7/7/2023
CONCEPTUAL REVIEW SUBMITTAL	9/11/2023
OWNER MEETING	10/4/2023
PLANNING SUBMITTAL	12/12/2023
OWNER REVIEW	1/17/2024
OWNER REVIEW	2/22/2024
PLANNING RE-SUBMITTAL	4/5/2024

SHEET NO:

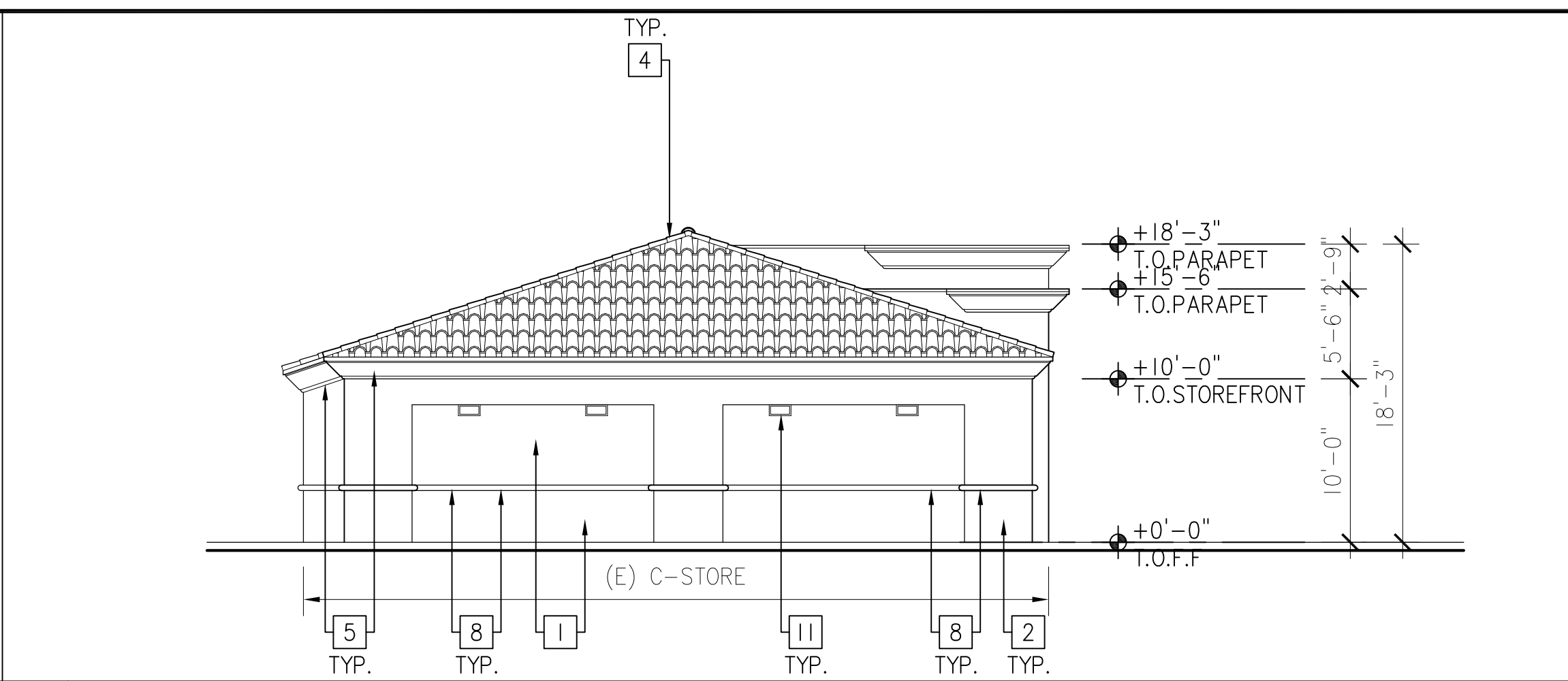
**A2.03**  
OF SHEETS  
S H E E T

Proposed Q.S.R., Car Wash, Trash Enclosure & Existing C-Store Roof Plan

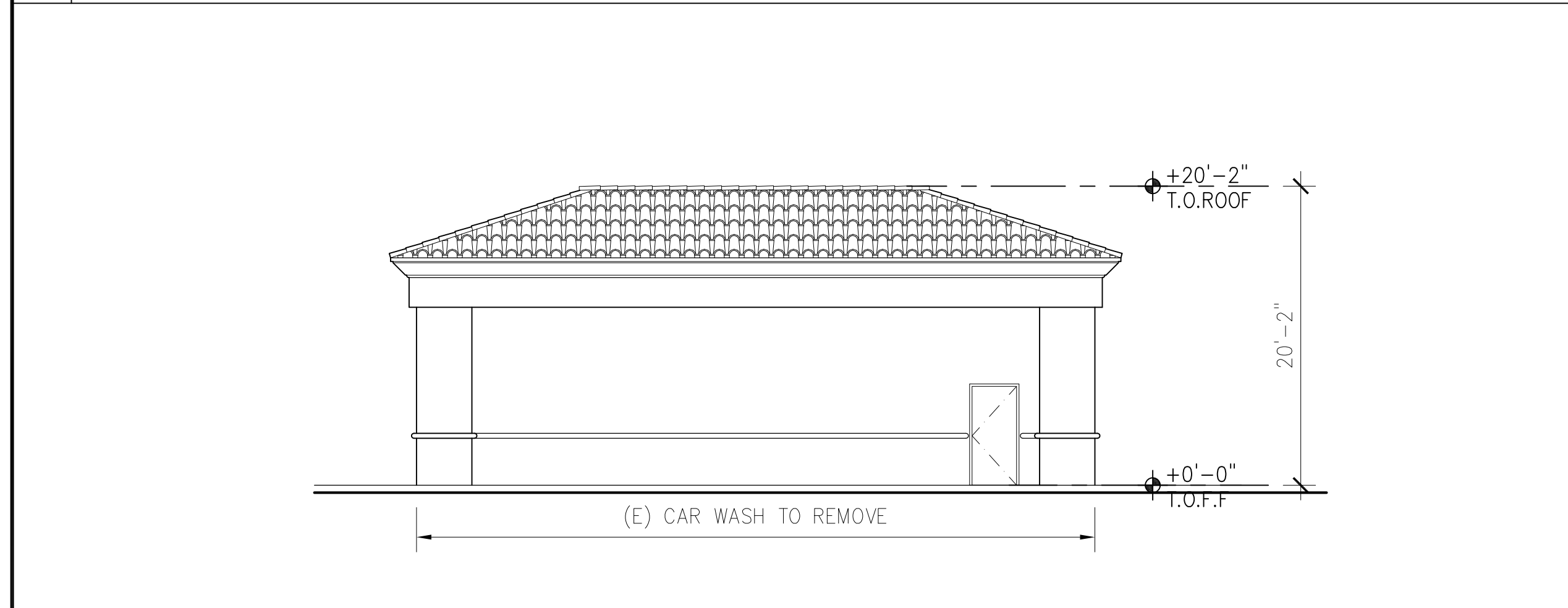




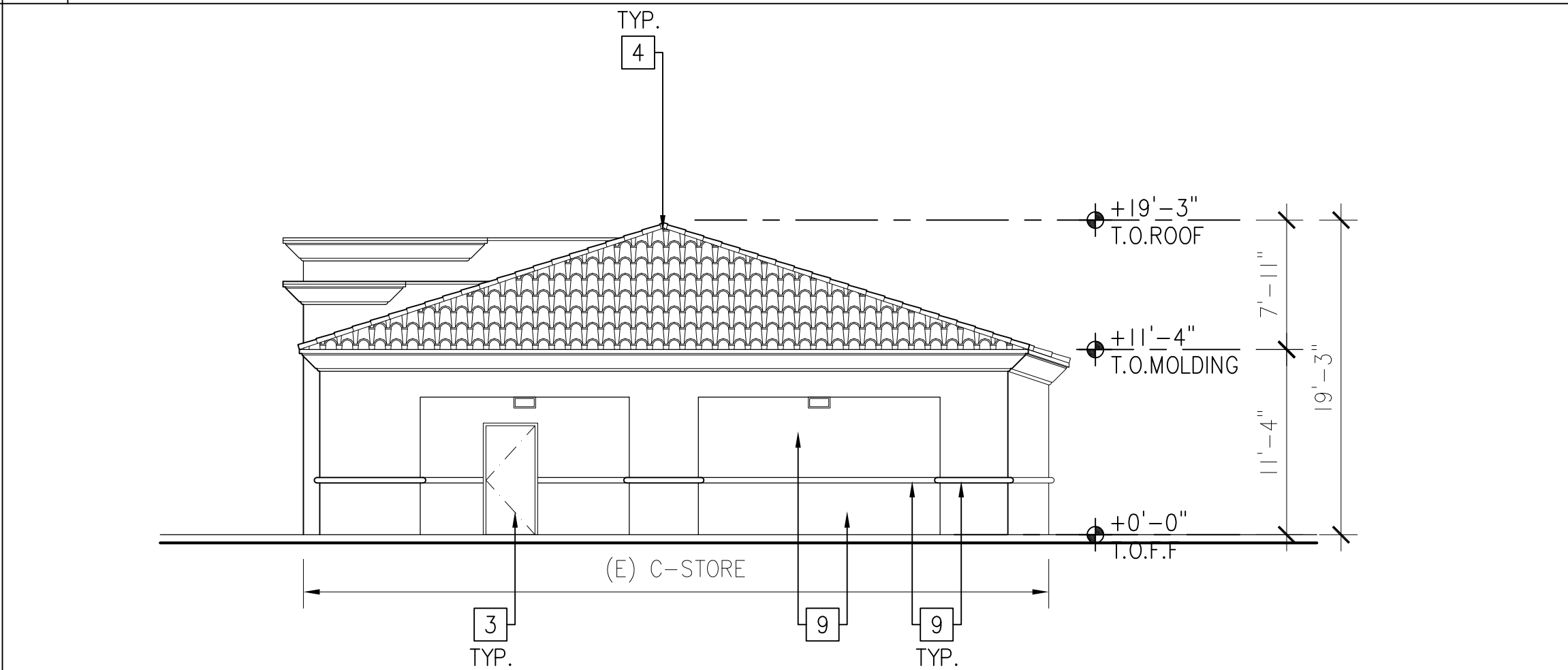
5 East Elevation (Existing Car Wash) SCALE: 1/8"=1'-0"



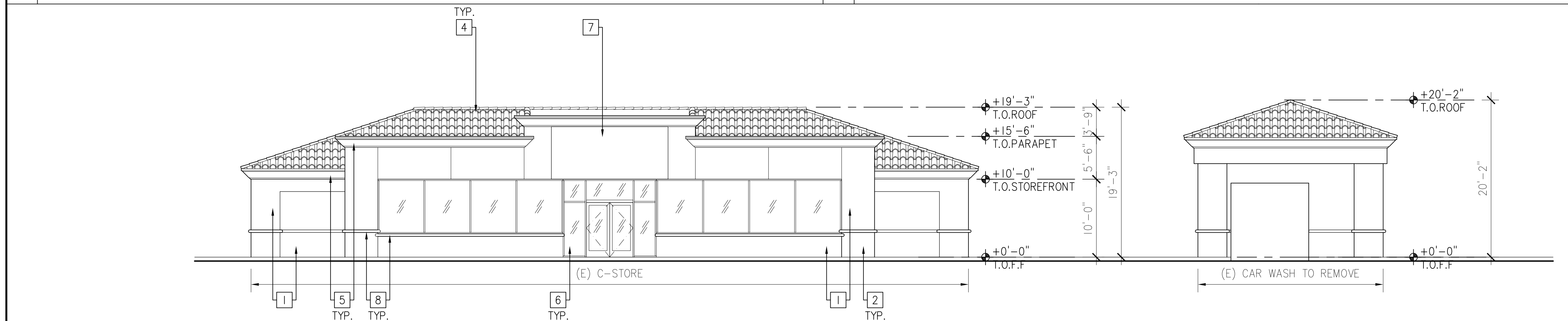
3 East Elevation (Existing C-Store) (FACING NORTHROP DR.) SCALE: 1/8"=1'-0"



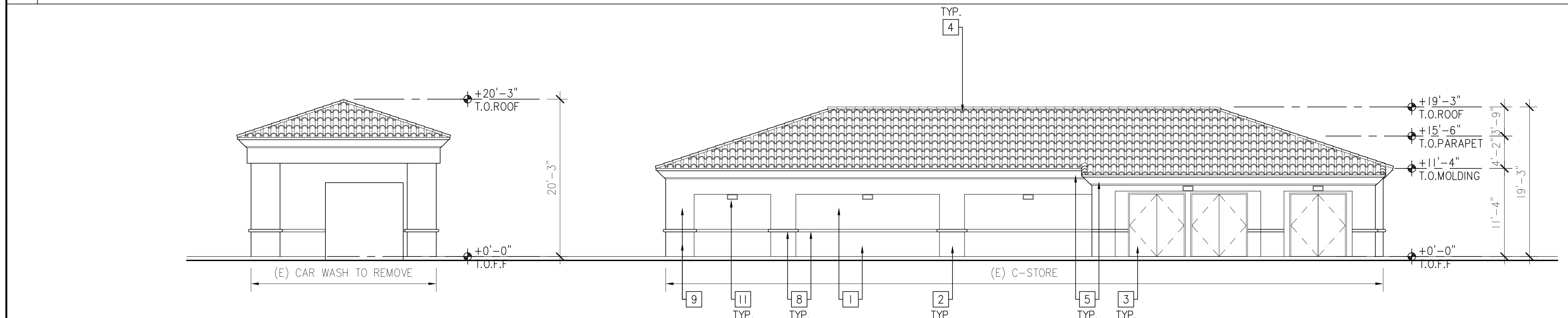
4 West Elevation (Existing Car Wash) (FACING DRIVEWAY & PARKING.) SCALE: 1/8"=1'-0"



3 West Elevation (Existing C-Store) (FACING DRIVEWAY & PARKING.) SCALE: 1/8"=1'-0"



2 North Elevation (Existing) SCALE: 1/8"=1'-0"



1 South Elevation (Existing) SCALE: 1/8"=1'-0"

- ### Reference Notes
- (EXISTING)
- 1 (E) EXT. STUCCO WALL W/ (N) PAINT FINISH.
  - 2 REMOVE & DISPOSE (E) STUCCO FINISH FOR (N) STONE VENEER.
  - 3 (E) METAL DOOR TO REMAIN W/ (N) PAINT FINISH.
  - 4 (E) TILE ROOFING TO REMAIN.
  - 5 (E) ROOF EAVE MOLDING TO REMAIN W/ (N) PAINT FINISH.
  - 6 (E) ALUM. STOREFRONT TO REMAIN.
  - 7 (E) SIGNAGE TO REMAIN.
  - 8 (E) 6" FOAM MOLDING TO REMAIN W/ (N) PAINT FINISH.
  - 9 REMOVE & DISPOSE (E) FINISH FOR (N) ADDITION, SEE PROPOSED PLAN & ELEVATIONS.
  - 10 DEMO & DISPOSE (E) CAR WASH BUILDING.
  - 11 (E) WALL MOUNTED LIGHT FIXTURE TO REMAIN.

### Legend

KEY MAP	SEAL/STAMP
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JOB NO.	2312
DRAWN BY:	AZ
SUPERVISED BY:	TL
CHECKED BY:	TL
PLAN CHECK	___/___/___
PERMIT SET	___/___/___
BID SET	___/___/___

### REVISIONS

OWNER REVIEW	6/2/2023
OWNER REVIEW	7/1/2023
CONCEPTUAL REVIEW SUBMITTAL	9/11/2023
OWNER MEETING	10/4/2023
PLANNING SUBMITTAL	12/12/2023
OWNER REVIEW	1/17/2024
OWNER REVIEW	2/22/2024
PLANNING RE-SUBMITTAL	4/5/2024

SHEET NO:

# A3.01

OF SHEETS  
S H E E T

**W&W LAND DESIGN CONSULTANTS INC.**  
ARCHITECTURE, CIVIL ENGINEERING & INTERIOR

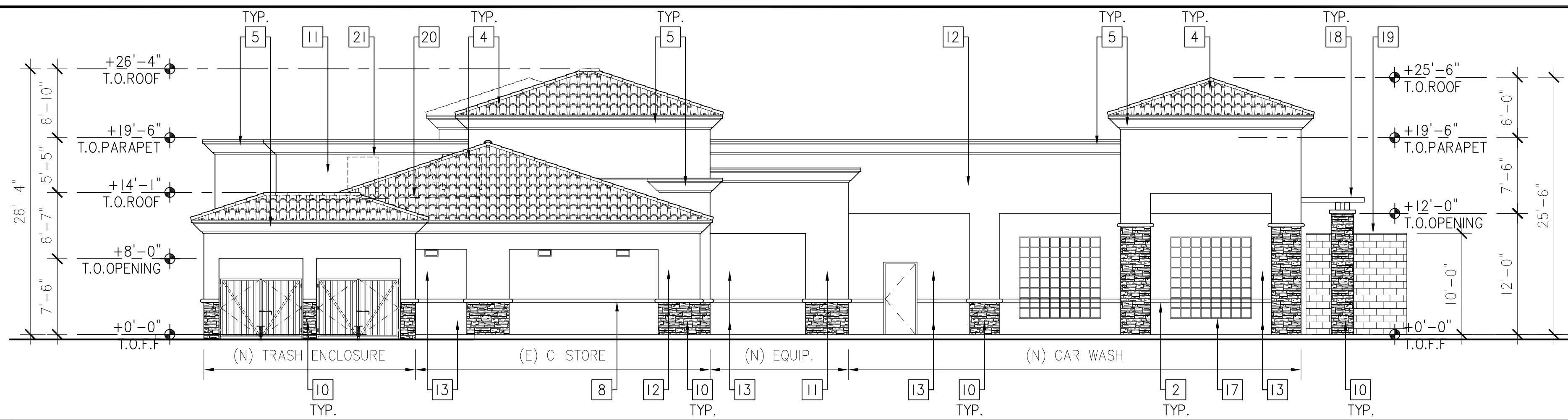
2335 W. FOOTHILL BLVD., STE 1, UPLAND, CA 91786  
PHONE: (909) 608-7118 FAX: (909) 946-1137

PROJECT: RENOVATION OF EXISTING GAS STATION, C-STORE, NEW CAR WASH TUNNEL & TWO QSR

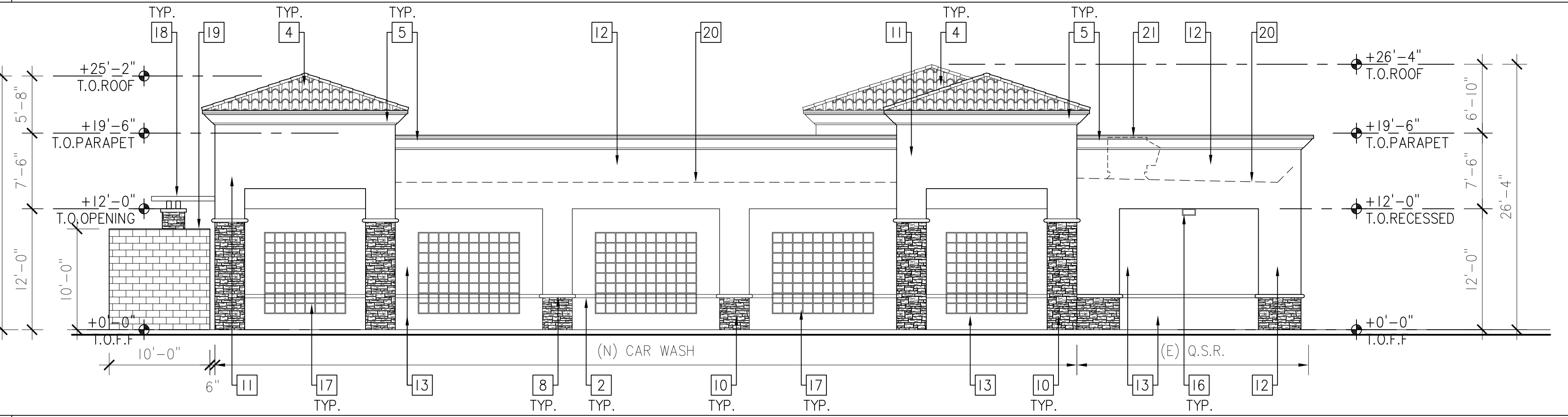
ADDRESS: 501 E. ALESSANDRO BLVD., RIVERSIDE, CA 92508

OWNER/APPLICANT: MR. MICHAEL HADDADIN, 3458 WEBSTER AVE., PERRIS, CA 92571

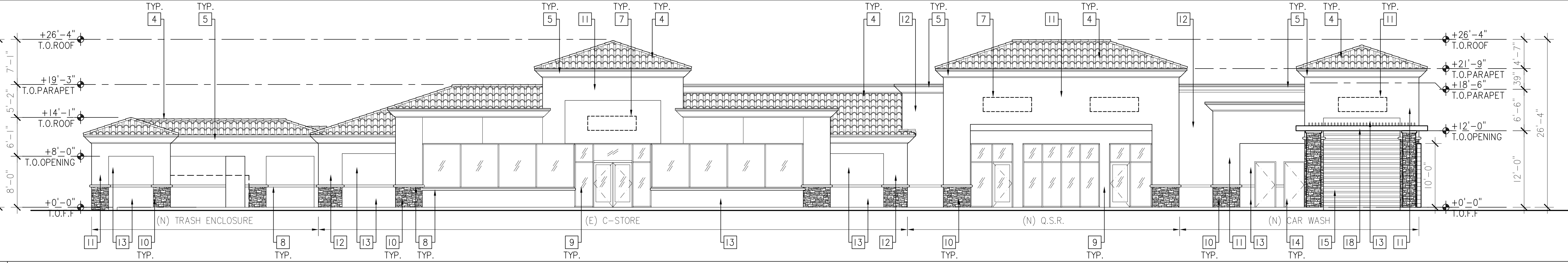
## EXISTING BUILDING ELEVATIONS



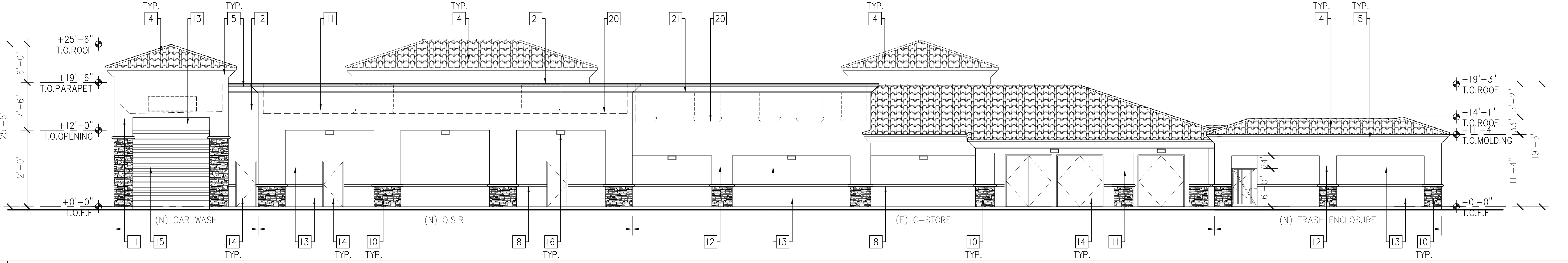
East Elevation (Proposed) (FACING NORTHROP DR.) SCALE: 1/8"=1'-0"



West Elevation (Proposed) (FACING DRIVEWAY & PARKING.) SCALE: 1/8"=1'-0"



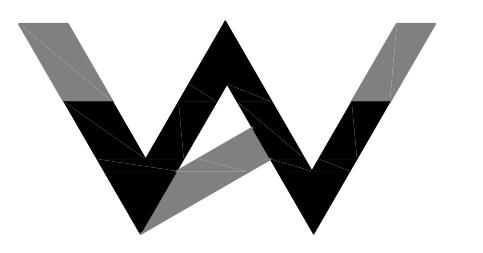
North Elevation (Proposed) SCALE: 1/8"=1'-0"



South Elevation (Proposed) SCALE: 1/8"=1'-0"

Reference Notes (PROPOSED)

- 19 PROPOSED 10' L. x 10' HT. SPLIT FACE CMU SOUND WALL, PROVIDE 6" SEPARATION FROM CAR WASH TUNNEL BUILDING AND 2" SEPARATION TO TRELIS COLUMN. COLOR TO MATCH ADJ. BUILDING WALL.
- 20 DASH LINE INDICATE PROPOSED ROOF LINE BEHIND PARAPET WALL.
- 21 SHORT DASH LINE INDICATE PROPOSED ROOFTOP EQUIPMENT BEHIND PARAPET WALL.
- 1 ILLUMINATED ADDRESS PER FIRE DEPT REQUIREMENTS.
- 2 1" REVEAL CHANNEL (PCS-75-100) BY FRY REGLET W/ PAINT FINISH TO MATCH ADJ. WALL.
- 3 2" REVEAL CHANNEL BY FRY REGLET W/ PAINT FINISH TO MATCH ADJ. WALL.
- 4 (N) TILE ROOF TO MATCH EXISTING. COLOR: SMC8404 SAN JUAN BLEND BY EAGLE ROOFING
- 5 ROOF EAVE INSULFOAM MOLDING TO MATCH EXISTING. COLOR: SHERWIN WILLIAMS SW 9183 DARK CLOVE
- 6 CLEAR ANODOZIED ALUM. STOREFRONT SYSTEM W/ DUAL GLAZING PANEL.
- 7 SIGNAGE UNDER SEPARATED PERMIT BY OTHERS.
- 8 6" INSULFOAM MOLDING W/ STUCCO COATING & PAINT FINISH, COLOR: SHERWIN WILLIAMS SW 9183 DARK CLOVE
- 9 STUCCO SEPARATION JOINT W/ PAINT FINISH TO MATCH ADJ. WALL.
- 10 STONE VENEER BY CORONADO STONE PRODUCTS STYLE: HONEY LEDGE, COLOR: SHASTA
- 11 SAND FINISHED STUCCO BY LA HABRA W/ PAINT FINISH OR APPROVED EQ., COLOR: SHERWIN WILLIAMS SW 6380 HUMBLE GOLD
- 12 SAND FINISHED STUCCO BY LA HABRA W/ PAINT FINISH OR APPROVED EQ., COLOR: SHERWIN WILLIAMS SW 7716 CROISSANT
- 13 SAND FINISHED STUCCO BY LA HABRA W/ PAINT FINISH OR APPROVED EQ., COLOR: SHERWIN WILLIAMS SW 9166 DRIFT OF MIST
- 14 EXT. METAL DOOR W/ PAINT FINISH TO MATCH ADJ. WALL.
- 15 ROLL UP DOOR W/ PAINT FINISH COLOR: SHERWIN WILLIAMS SW 9183 DARK CLOVE
- 16 LIGHT FIXTURE TO MATCH (E).
- 17 METAL WINE GRID, 1" TUBE STEEL AT 12" O.C. W/ PAINT COLOR TO MATCH [5].
- 18 WOOD TRELIS W/ PAINT FINISH TO MATCH [5].



W&W LAND DESIGN CONSULTANTS INC.  
ARCHITECTURE, CIVIL ENGINEERING & INTERIOR  
2335 W. FOOTHILL BLVD., STE 1, UPLAND, CA 91786  
PHONE: (909) 608-7118 FAX: (909) 946-1137

PROJECT: RENOVATION OF EXISTING GAS STATION, C-STORE, NEW CAR WASH TUNNEL & TWO QSR  
ADDRESS: 501 E. ALESSANDRO BLVD., RIVERSIDE, CA 92508  
OWNER/APPLICANT: MR. MICHAEL HADDADIN, 3458 WEBSTER AVE., PERRIS, CA 92571

PROPOSED BUILDING ELEVATIONS

SHEET TITLE:

KEY MAP	SEAL/STAMP
---------	------------

JOB NO.	2312
DRAWN BY:	AZ
SUPERVISED BY:	TL
CHECKED BY:	TL
PLAN CHECK	____/____/____
PERMIT SET	____/____/____
BID SET	____/____/____

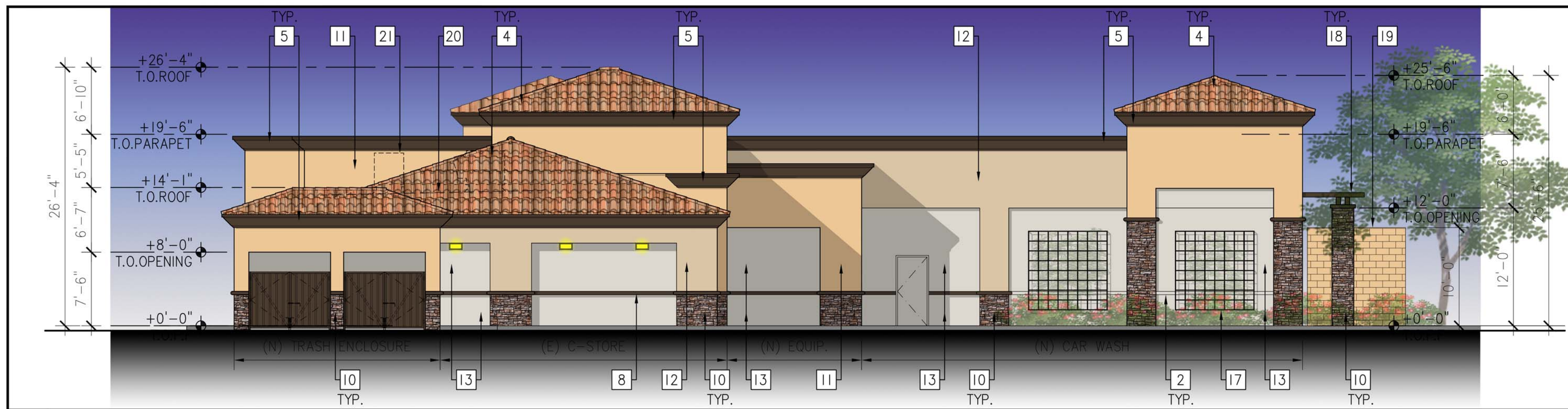
REVISIONS

OWNER REVIEW	6/2/2023
OWNER REVIEW	7/1/2023
CONCEPTUAL REVIEW SUBMITTAL	9/11/2023
OWNER MEETING	10/4/2023
PLANNING SUBMITTAL	12/12/2023
OWNER REVIEW	1/17/2024
OWNER REVIEW	2/22/2024
PLANNING RE-SUBMITTAL	4/5/2024

SHEET NO:

A3.02 OF SHEETS SHEET

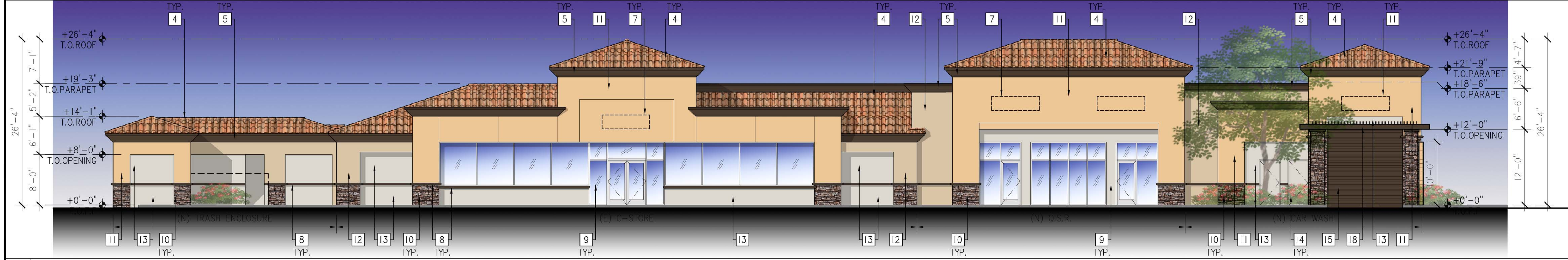




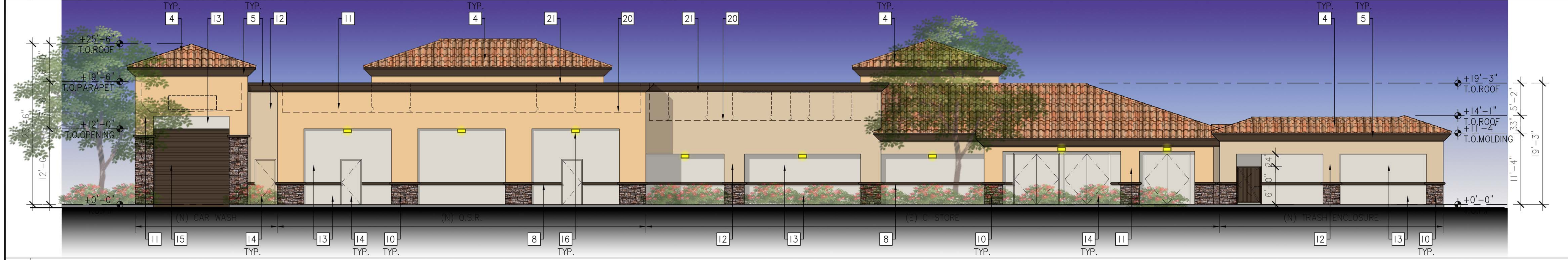
4 East Elevation (Proposed) (FACING NORTHROP DR.) SCALE: 1/8"=1'-0"



3 West Elevation (Proposed) (FACING DRIVEWAY & PARKING.) SCALE: 1/8"=1'-0"



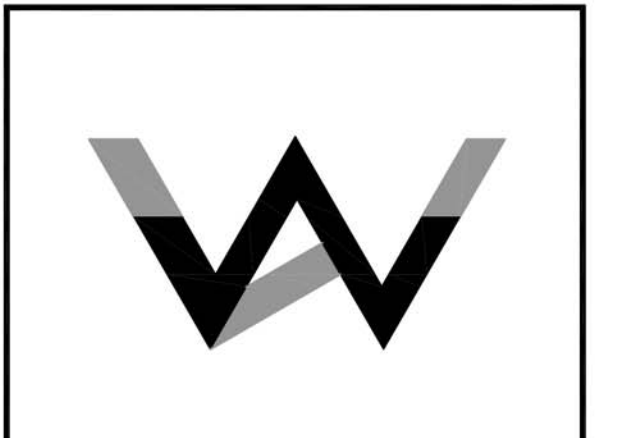
2 North Elevation (Proposed) SCALE: 1/8"=1'-0"



1 South Elevation (Proposed) SCALE: 1/8"=1'-0"

Reference Notes (PROPOSED)

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2335 W. FOOTHILL BLVD., STE 1, UPLAND, CA 91786  
PHONE: (909) 608-7118 FAX: (909) 946-1137

PROJECT: RENOVATION OF EXISTING GAS STATION, C-STORE, NEW CAR WASH TUNNEL & TWO QSR  
ADDRESS: 501 E. ALESSANDRO BLVD., RIVERSIDE, CA 92508  
OWNER/APPLICANT: MR. MICHAEL HADDADIN, 3458 WEBSTER AVE., PERRIS, CA 92571

SHEET TITLE: PROPOSED BUILDING ELEVATIONS  
KEY MAP SEAL/STAMP

JOB NO.	2312
DRAWN BY:	AZ
SUPERVISED BY:	TL
CHECKED BY:	TL
PLAN CHECK	/
PERMIT SET	/
BID SET	/
<b>REVISIONS</b>	
OWNER REVIEW	6/2/2023
OWNER REVIEW	7/1/2023
CONCEPTUAL REVIEW SUBMITTAL	9/11/2023
OWNER MEETING	10/4/2023
PLANNING SUBMITTAL	12/12/2023
OWNER REVIEW	1/17/2024
OWNER REVIEW	2/22/2024
PLANNING RE-SUBMITTAL	4/5/2024

SHEET NO:

A3.02

OF SHEETS  
S H E E T



W&W LAND DESIGN CONSULTANTS INC.  
ARCHITECTURE, CIVIL ENGINEERING & INTERIOR

2335 W. FOOTHILL BLVD., STE 1, UPLAND, CA 91786  
PHONE: (909) 608-7118 FAX: (909) 946-1137

PROJECT: RENOVATION OF EXISTING  
GAS STATION, C-STORE,  
NEW CAR WASH TUNNEL & TWO QSR  
ADDRESS: 501 E. ALESSANDRO BLVD.,  
RIVERSIDE, CA 92508  
OWNER/  
APPLICANT: MR. MICHAEL HADDADIN  
3458 WEBSTER AVE., PERRIS, CA 92571

# BUILDING SECTIONS

SHEET TITLE:

KEY MAP SEAL/STAMP

JOB NO.	2312
DRAWN BY:	AZ
SUPERVISED BY:	TL
CHECKED BY:	TL
PLAN CHECK	___/___/___
PERMIT SET	___/___/___
BID SET	___/___/___

REVISIONS	
△ OWNER REVIEW	6/2/2023
△ OWNER REVIEW	7/1/2023
△ CONCEPTUAL REVIEW SUBMITTAL	9/11/2023
△ OWNER MEETING	10/4/2023
△ PLANNING SUBMITTAL	12/12/2023
△ OWNER REVIEW	1/17/2024
△ OWNER REVIEW	2/22/2024
△ PLANNING RE-SUBMITTAL	4/5/2024

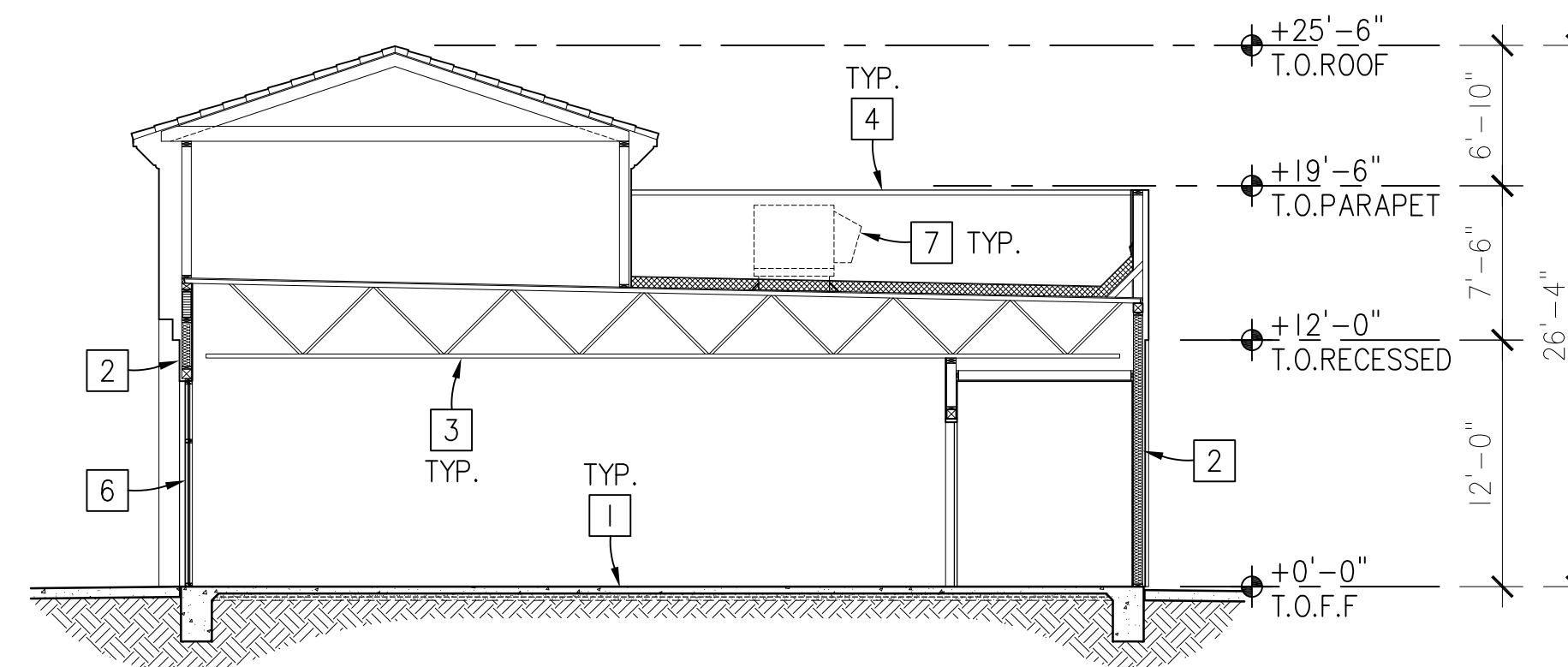
SHEET NO:

# A4.01

OF SHEETS  
S H E E T

## Reference Notes

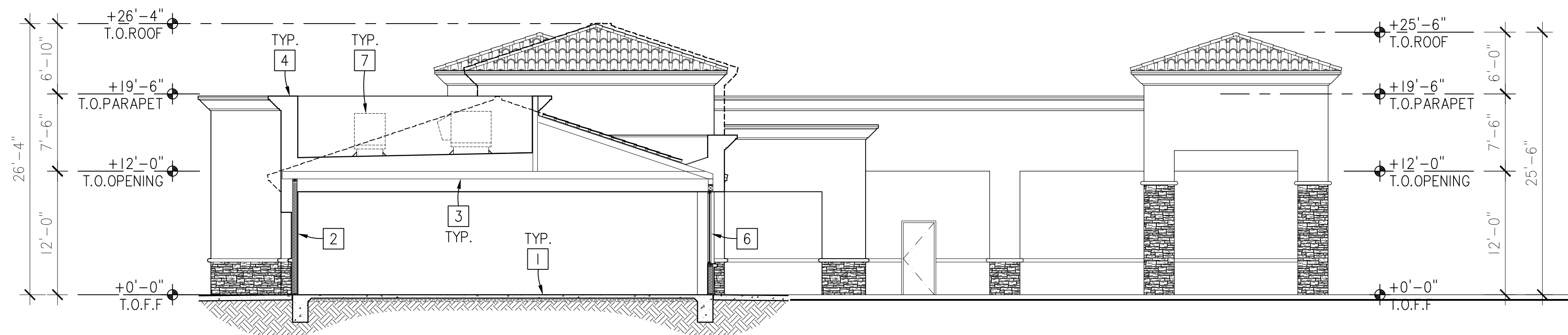
- 1 CONC. SLAB.
- 2 EXTERIOR WALL.
- 3 ROOF TRUSS/JOIST.
- 4 PARAPET WALL.
- 5 RIGID INSULATION.
- 6 ALUM. STOREFRONT/WINDOW.



2

Building Section 'B'

SCALE: 1/8" = 1'-0"



1

Building Section 'A'

SCALE: 1/8" = 1'-0"

# CITY OF RIVERSIDE

## CONCEPTUAL GRADING DRAINAGE PLAN

### A QUICK-SERVE RESTAURANT ON EX. GAS STATION

**LEGEND:**

- PROPERTY BOUNDARY
- LOT LINE
- CENTERLINE
- OFFSITE R/W
- EASEMENT LINE
- SD --- STORM DRAIN
- S --- SEWER LINE
- W --- WATER LINE

**OWNER/DEVELOPER:**

ARCO AMPM ALESSANDRO  
3458 WEBSTER AVENUE  
PERRIS, CA 91571  
TEL: (714) 290-5338

**EASEMENT PLOTTED:**

- FIRST AMERICAN TITLE COMPANY  
PRELIMINARY REPORT NO.: 6941584  
DATED ON: APRIL 24, 2023
4. AN EASEMENT FOR CONDUITS TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED MARCH 23, 1959 AS BOOK 2436, PAGE 241 OF OFFICIAL RECORDS.  
IN FAVOR OF: EASTERN MUNICIPAL WATER DISTRICT, A MUNICIPAL WATER DISTRICT  
AFFECTS: AS DESCRIBED THEREIN  
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION. (UN-LOCATABLE)
  5. AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED APRIL 22, 1965 AS INSTRUMENT NO. 47066 OF OFFICIAL RECORDS.  
IN FAVOR OF: WESTERN MUNICIPAL WATER DISTRICT OF RIVERSIDE COUNTY  
AFFECTS: AS DESCRIBED THEREIN (PLOTTED)
  6. AN EASEMENT FOR WATERLINE AND INCIDENTAL PURPOSES, RECORDED JULY 22, 1988 AS INSTRUMENT NO. 204853 OF OFFICIAL RECORDS.  
IN FAVOR OF: SANTA ANA WATERSHED PROJECT AUTHORITY  
AFFECTS: AS DESCRIBED THEREIN (PLOTTED)
  9. AN EASEMENT FOR A PERPETUAL EASEMENT AND RIGHT OF FLIGHT FOR THE PASSAGE OF AIRCRAFT BY WHOMSOEVER OWNED AND OPERATED IN THE AIRSPACE ABOVE THE SURFACE OF THE GRANTOR'S PROPERTY DESCRIBED HEREINABOVE, TOGETHER WITH THE RIGHT TO CAUSE IN SAID AIRSPACE SUCH NOISE, SOUND OR SHOCK WAVES, VIBRATIONS, DUST, SMOKE, ODORS, FUMES, FUEL PARTICLES AND OTHER RELATED CONDITIONS THAT MAY BE INHERENT IN THE OPERATION OF AIRCRAFT AND INCIDENTAL PURPOSES, RECORDED FEBRUARY 23, 1996 AS INSTRUMENT NO. 064173 OF OFFICIAL RECORDS.  
IN FAVOR OF: CITY OF RIVERSIDE, A MUNICIPAL CORPORATION  
AFFECTS: AS DESCRIBED THEREIN  
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION. (BLANKET)
  10. THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "COVENANT AND AGREEMENT ESTABLISHING EASEMENTS FOR ACCESS, PARKING AND UTILITIES AND GIVING NOTICE OF DEPARTMENT OF CERTAIN OFF-SITE IMPROVEMENTS" RECORDED FEBRUARY 23, 1996 AS INSTRUMENT NO. 064174 OF OFFICIAL RECORDS.  
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION. (UN-LOCATABLE)
  13. AN EASEMENT SHOWN OR DEDICATED ON THE MAP AS REFERRED TO IN THE LEGAL DESCRIPTION  
FOR: BLANKET PUBLIC UTILITIES AND INCIDENTAL PURPOSES. (BLANKET)
  17. THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "EASEMENTS FOR INGRESS, EGRESS, PARKING AND UTILITIES" RECORDED APRIL 8, 2002 AS INSTRUMENT NO. 2002-177836 OF OFFICIAL RECORDS.  
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION. (UN-LOCATABLE)
  18. AN EASEMENT FOR STORM DRAIN FACILITIES AND INCIDENTAL PURPOSES, RECORDED MAY 10, 2002 AS INSTRUMENT NO. 2002-246777 OF OFFICIAL RECORDS.  
IN FAVOR OF: CITY OF RIVERSIDE, A MUNICIPAL CORPORATION OF THE STATE OF CALIFORNIA, ITS SUCCESSORS AND ASSIGNS  
AFFECTS: AS DESCRIBED THEREIN  
TERMS AND PROVISIONS CONTAINED IN THE ABOVE DOCUMENT. (PLOTTED)
  19. AN EASEMENT FOR STREET TREES AND INCIDENTAL PURPOSES, RECORDED MAY 10, 2002 AS INSTRUMENT NO. 2002-246778 OF OFFICIAL RECORDS.  
IN FAVOR OF: CITY OF RIVERSIDE, A MUNICIPAL CORPORATION OF THE STATE OF CALIFORNIA, ITS SUCCESSORS AND ASSIGNS  
AFFECTS: AS DESCRIBED THEREIN
  22. THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "GRANT OF EASEMENT AND RIGHT OF ENTRY" RECORDED JUNE 5, 2002 AS INSTRUMENT NO. 303841 OF OFFICIAL RECORDS. (PLOTTED)
  24. THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "GRANT DEED" RECORDED NOVEMBER 7, 2008 AS INSTRUMENT NO. 2008-593515 OF OFFICIAL RECORDS.  
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION. (UN-LOCATABLE)

**LEGAL DESCRIPTION:**

THE LAND REFERRED TO IN THIS GUARANTEE IS DESCRIBED AS FOLLOWS:  
REAL PROPERTY IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:  
PARCEL A:  
PARCEL 1 OF PARCEL MAP NO. 30214, IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 201, PAGES 37 THROUGH 39 INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM THE RIGHTS, BELOW THE DEPTH OF 500 FEET, TO MINERALS AND OIL, GAS, AND OTHER HYDROCARBON SUBSTANCES IN AND UNDER THE LAND, BUT WITHOUT THE RIGHT OF SURFACE ENTRY, CONTAINED IN THE DEED RECORDED NOVEMBER 07, 2008 IN INSTRUMENT NO. 2008-0593515 OF OFFICIAL RECORDS.

PARCEL B:  
EASEMENTS FOR (I) INGRESS AND EGRESS (VEHICULAR AND PEDESTRIAN), AND (II) UTILITY LINES OVER PARCELS 2 AND 3 OF PARCEL MAP 30214 RECORDED IN BOOK 201, PAGES 37 THROUGH 39 OF PARCEL MAPS, RIVERSIDE COUNTY, CALIFORNIA, AS SET FORTH IN THAT CERTAIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS AND GRANT OF EASEMENTS, DATED AS OF MAY 20, 2002, RECORDED MAY 22, 2002, IN THE OFFICIAL RECORDS, RIVERSIDE COUNTY, CALIFORNIA, AS INSTRUMENT NO. 2002-272734, AS AMENDED AND RESTATED IN DOCUMENT RECORDED AUGUST 20, 2002 AS INSTRUMENT NO. 2002-460179 OF OFFICIAL RECORDS.

ASSESSOR'S PARCEL NUMBER: 276-370-001  
AREA: 65,856.24 S.F. (1.512 ACRES)

**BASIS OF BEARING:**

THE BEARINGS SHOWN HEREON ARE BASED UPON THE CENTERLINE OF ALESSANDRO BOULEVARD, BEING N 89° 49' 46" E AS SHOWN ON PARCEL MAP 30214 FILED IN BOOK 201, PAGES 37 THROUGH 39, RECORDS OF RIVERSIDE COUNTY.

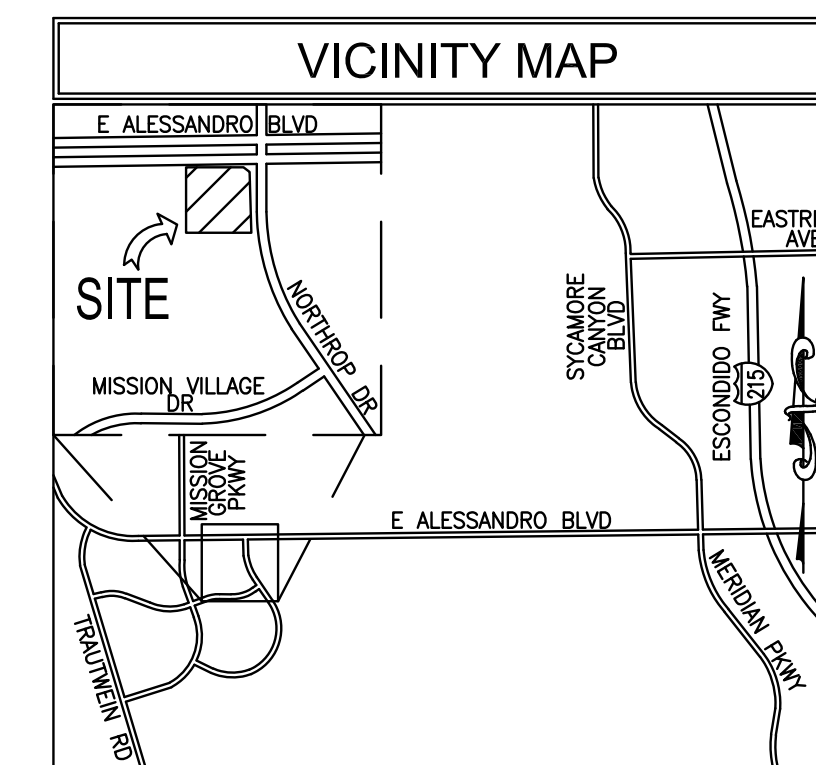
**BENCHMARK:**

NATIONAL GEODETIC SURVEY BENCHMARK  
DESIGNATION = MP 107  
PID = AB5570  
ELEVATION = 1623.91 FEET (NAVD 88 DATUM)

DESCRIBED BY METRO WATER DISTRICT SO. CALIFORNIA 1994 (TMB) RIVERSIDE, FROM THE INTERSECTION OF INTERSTATE 215 AND ALESSANDRO BLVD OFF RAMP, PROCEED 1.3 MILES (2.1 KM) WEST ALONG ALESSANDRO BLVD FROM 215 FWY TO BARTON RD TO A 4 FOOT (1.2 M) BY 5 FOOT (1.5 M) CONCRETE CATCH BASIN ON SOUTH SIDE OF BLVD. SET A MWDC 3 INCH BRASS DISK STAMPED MP 107 1994 FLUSH ON TOP OF THE NORTHWEST CORNER OF CATCH BASIN AND 0.7 FOOT (21.3 CM) BACK OF CURB FACE AND 6 INCHES ABOVE ROAD SURFACE. REFERENCE MWD FB 4205 06 023

**FLOOD ZONE**

ACCORDING TO THE CITY OF RIVERSIDE AND BASED UPON THE NATIONAL INSURANCE PROGRAM MAPS THIS SITE LIES WITHIN FLOOD ZONE X SHADED, COMMUNITY PANEL NO. 0606507400 DATED AUGUST 28, 2008 PUBLISHED BY THE FEDERAL INSURANCE ADMINISTRATION.



**SHEET INDEX**

CONCEPTUAL GRADING DRAINAGE PLAN	1
CONCEPTUAL UTILITY PLAN	2
PRELIMINARY WQMP SITE PLAN	3

**CITY OF RIVERSIDE**  
**COUNTY OF RIVERSIDE, CALIFORNIA**

**A QUICK-SERVE RESTAURANT ON EX. GAS STATION**  
**CONCEPTUAL GRADING DRAINAGE PLAN**  
501 E. ALESSANDRO BLVD., RIVERSIDE, CA 92508

SCALE: AS NOTED

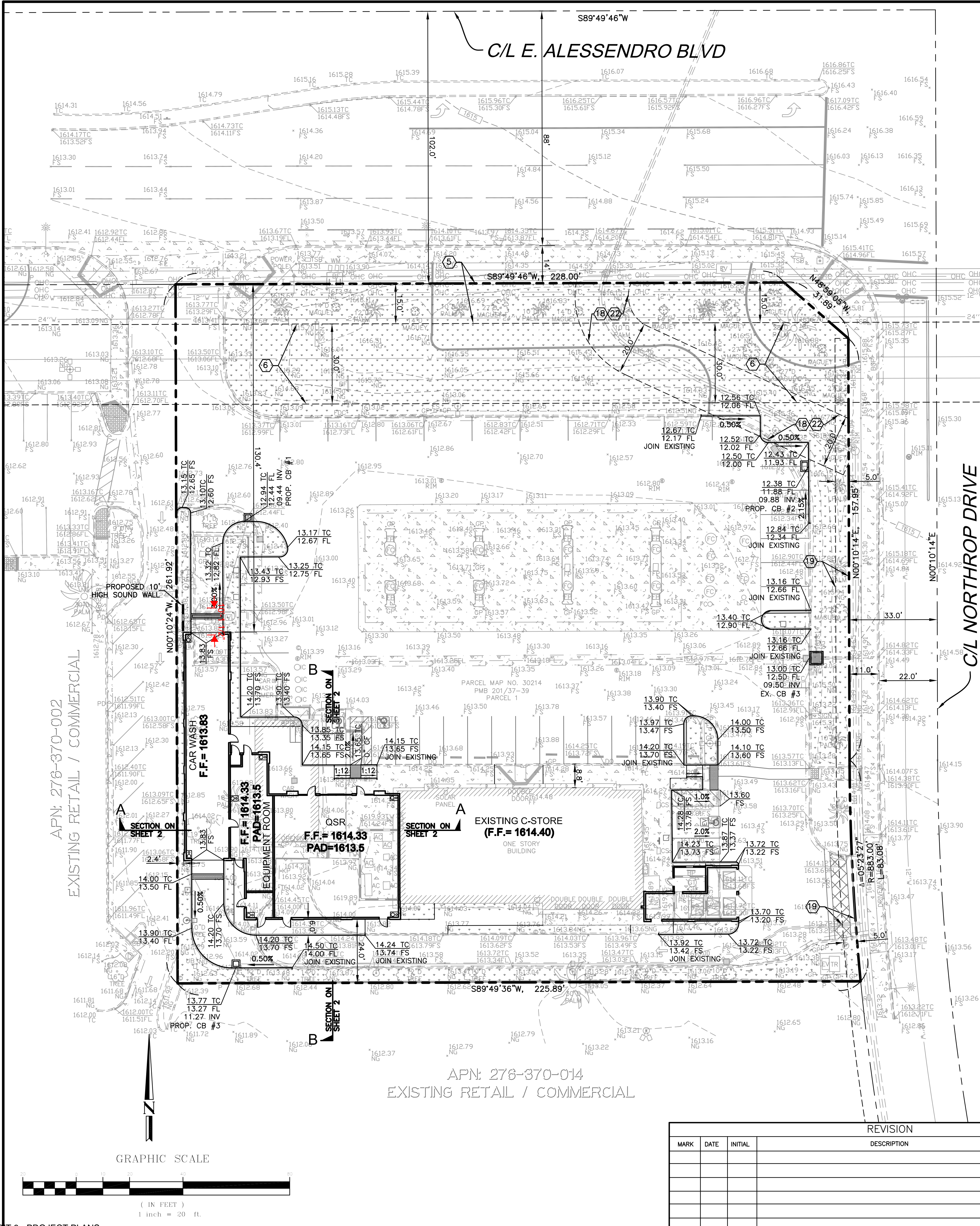
DRAWING NO.	PROJECT NO.	SHEET 1 OF 3 SHEETS
2312	2312	

REVISION				REC.	APPR.	DATE
MARK	DATE	INITIAL	DESCRIPTION			

REGISTERED PROFESSIONAL ENGINEER  
WEIDONG LIU  
No. 66242  
Exp. 06-30-24  
CIVIL  
STATE OF CALIFORNIA

**W&W** Land Design Consultants, Inc  
Civil Engineering - Subdivision - Land Planning  
2335 W. FOOTHILL BLVD., SUITE 1, UPLAND, CA 91786  
TEL: (909) 608-7118 · FAX: (909) 946-1137

PREPARED UNDER THE SUPERVISION OF  
*[Signature]*  
WEIDONG LIU, RCE 66242 DATE



# CONCEPTUAL UTILITY PLAN

## A QUICK-SERVE RESTAURANT ON EX. GAS STATION

### UTILITY PURVEYORS

**ELECTRIC:** SOUTHERN CALIFORNIA EDISON  
PH: (800) 655-4555

**GAS:** THE GAS COMPANY  
25200 TRUMBLE ROAD, PERRIS, CA 92571  
PH: 1-800-427-2200

**WATER:** CITY OF RIVERSIDE, DEPARTMENT OF PUBLIC UTILITIES  
3900 MAIN STREET, RIVERSIDE, CA 92522  
(951) 826-5311

**SEWER:** CITY OF RIVERSIDE, DEPARTMENT OF PUBLIC WORKS  
3900 MAIN STREET, RIVERSIDE, CA 92522  
(951) 826-5700

**CABLE/BROADBAND:** TIME WARNER TELEPHONE/FIOS TV  
PH: 1-800-892-2253 /BROADBAND:

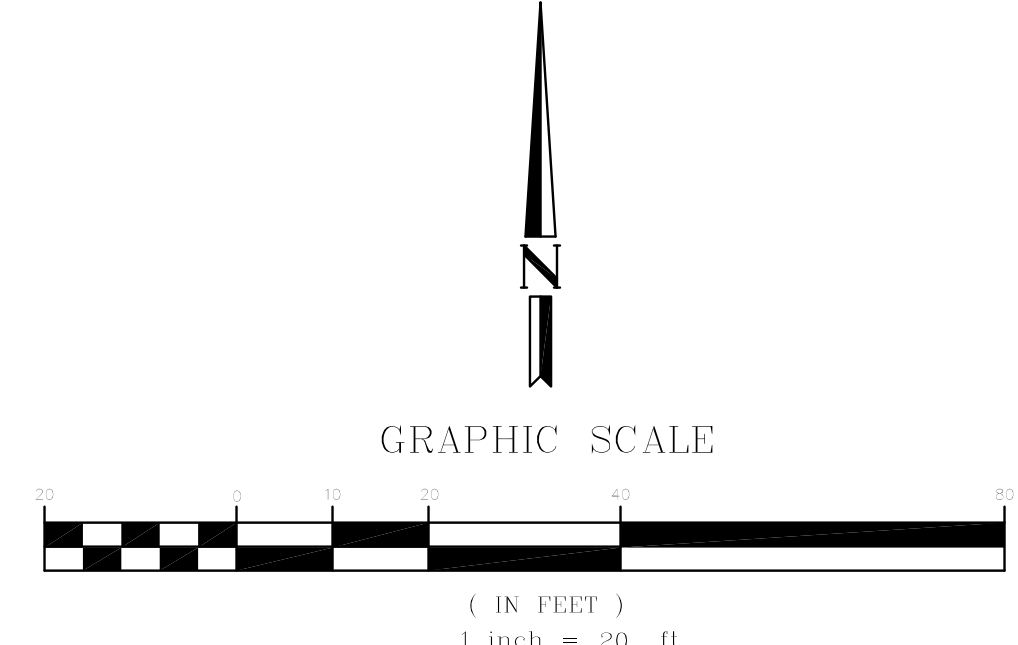
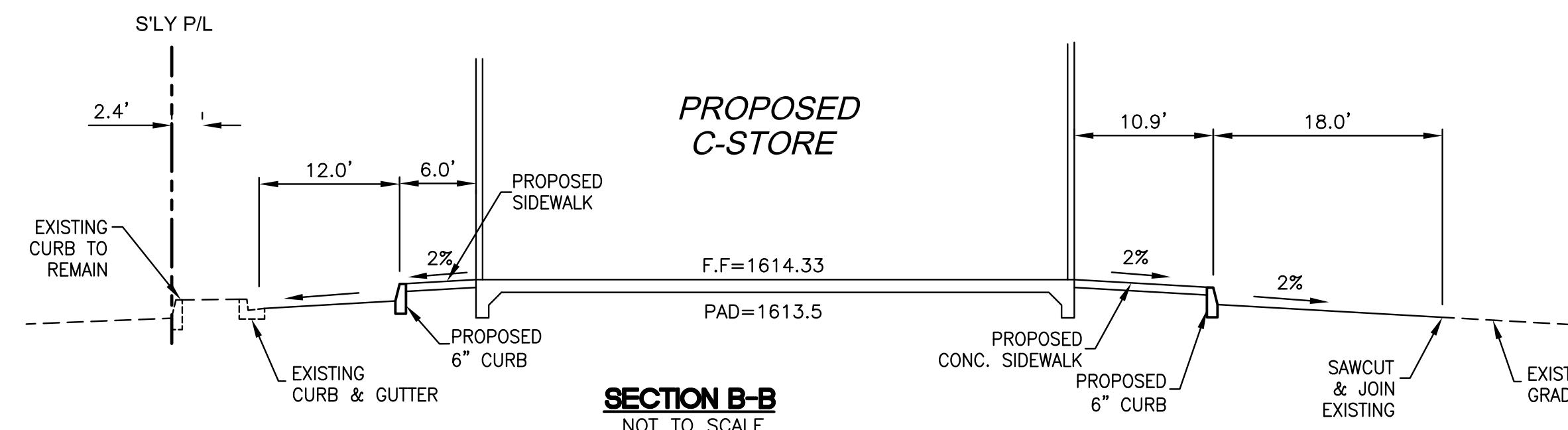
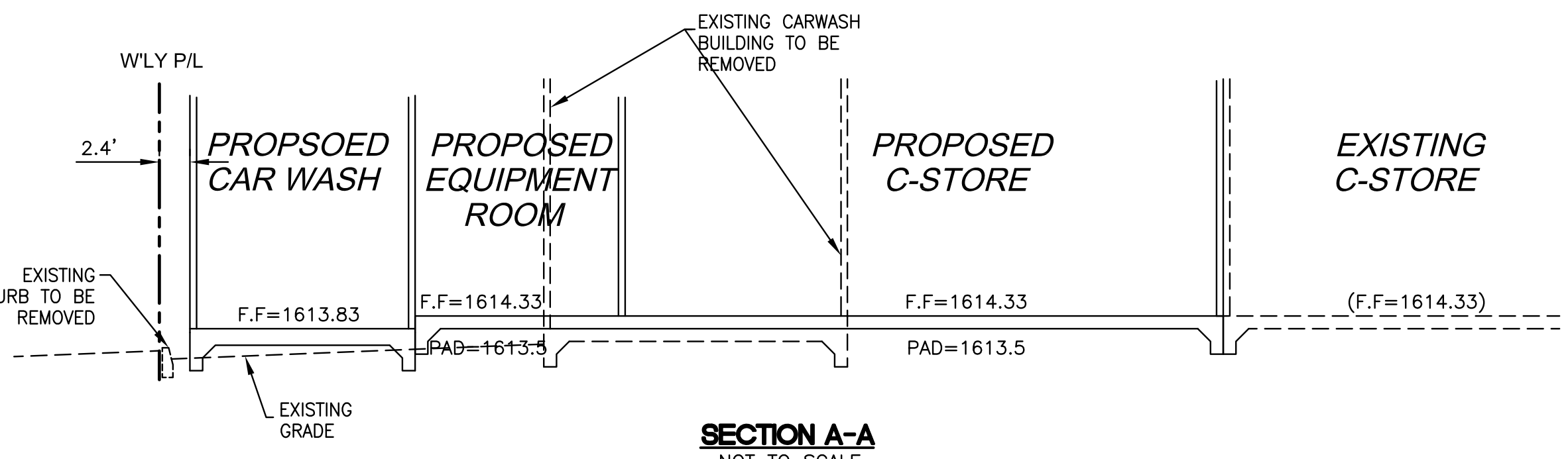
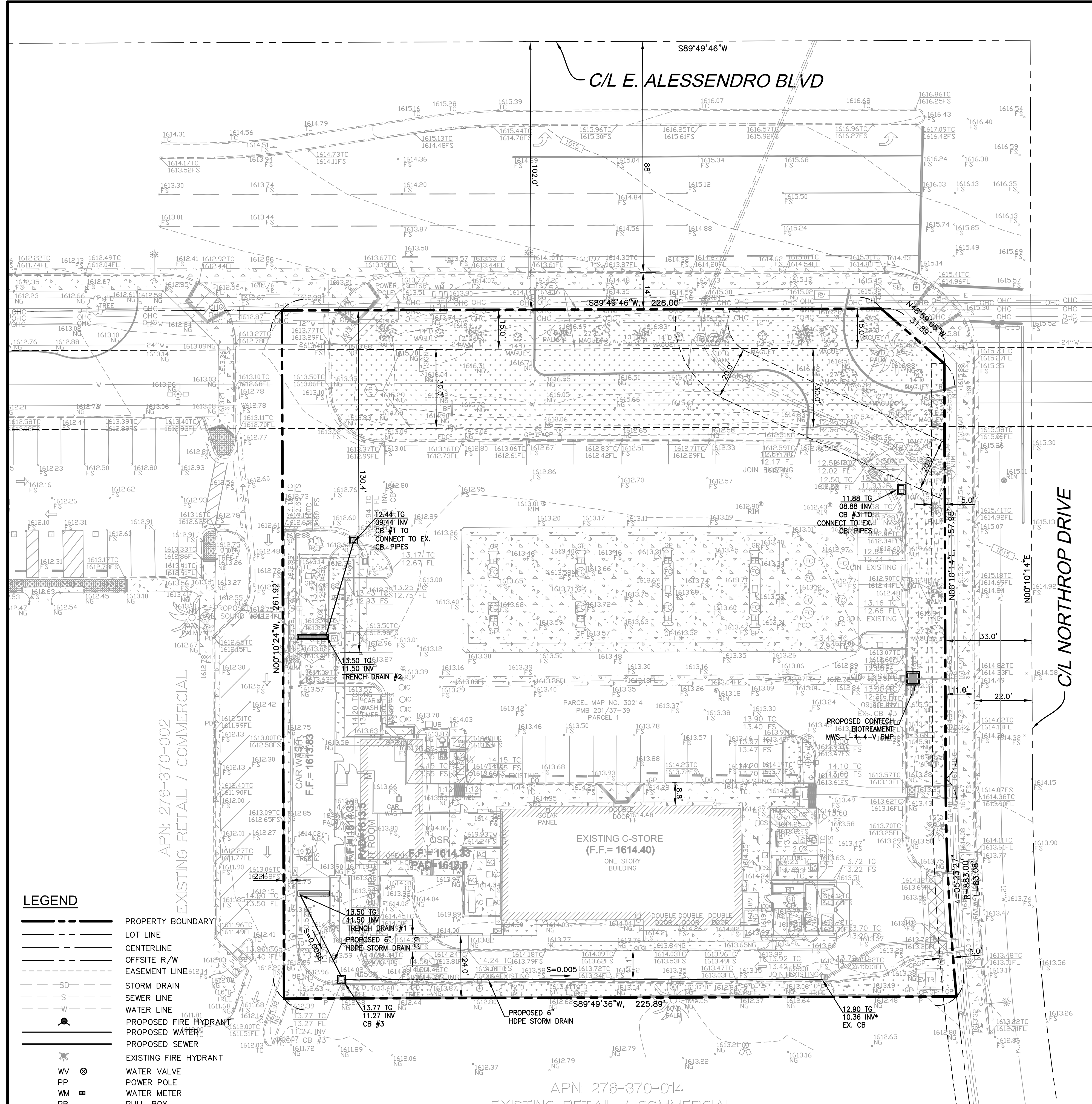
**VERIZON CALIFORNIA**  
PH: 1-800-483-4000

### NOTES:

\* CONTRACTOR TO VERIFY ELEVATIONS AND LOCATIONS PRIOR TO CONSTRUCTION.

ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON AVAILABLE RECORDS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING UTILITIES BY CONTACTING UTILITY AGENCIES AND AVOID DAMAGING EXISTING UTILITIES DURING EXCAVATION.

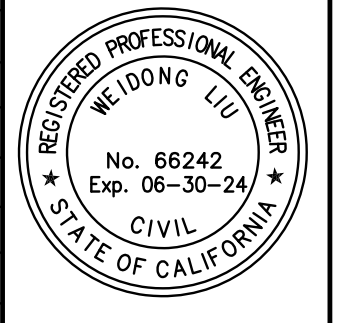
CONTRACTOR SHALL VERIFY INFILTRATION RATES WITH SOILS ENGINEER AFTER GRADING OPERATIONS & PRIOR TO INSTALLATION OF UNDERGROUND CHAMBERS. THE CITY SHALL BE NOTIFIED IF INFILTRATION RATES DEVIATES FROM DESIGN INFILTRATION RATES.



### LEGEND

- PROPERTY BOUNDARY
- LOT LINE
- CENTERLINE
- OFFSITE R/W
- EASEMENT LINE
- SD --- STORM DRAIN
- S --- SEWER LINE
- W --- WATER LINE
- FD --- PROPOSED FIRE HYDRANT
- W --- PROPOSED WATER
- PROPOSED SEWER
- EXISTING FIRE HYDRANT
- WV --- WATER VALVE
- PP --- POWER POLE
- WM --- WATER METER
- PB --- PULL-BOX
- CO --- SEWER CLEAN-OUT
- EXISTING STREET SIGNAL
- PARKING LIGHT
- IRR. WM --- IRRIGATION WATER METER
- DDC --- DOUBLE DETECTOR CHECK VALVE
- SMH --- SEWER MANHOLE
- CB --- CATCH BASIN
- FDC --- FIRE DETECTOR CHECK VALVE

REVISION				
MARK	DATE	INITIAL	DESCRIPTION	REC. APPR. DATE



**W&W** Land Design Consultants, Inc.  
Civil Engineering - Subdivision - Land Planning  
2335 W. FOOTHILL BLVD., SUITE 1, UPLAND, CA 91786  
TEL: (909) 608-7118 · FAX: (909) 946-1137

PREPARED UNDER THE SUPERVISION OF  
*[Signature]*  
WEIDONG LIU, RCE 66242 DATE

**CITY OF RIVERSIDE**  
**COUNTY OF RIVERSIDE, CALIFORNIA**

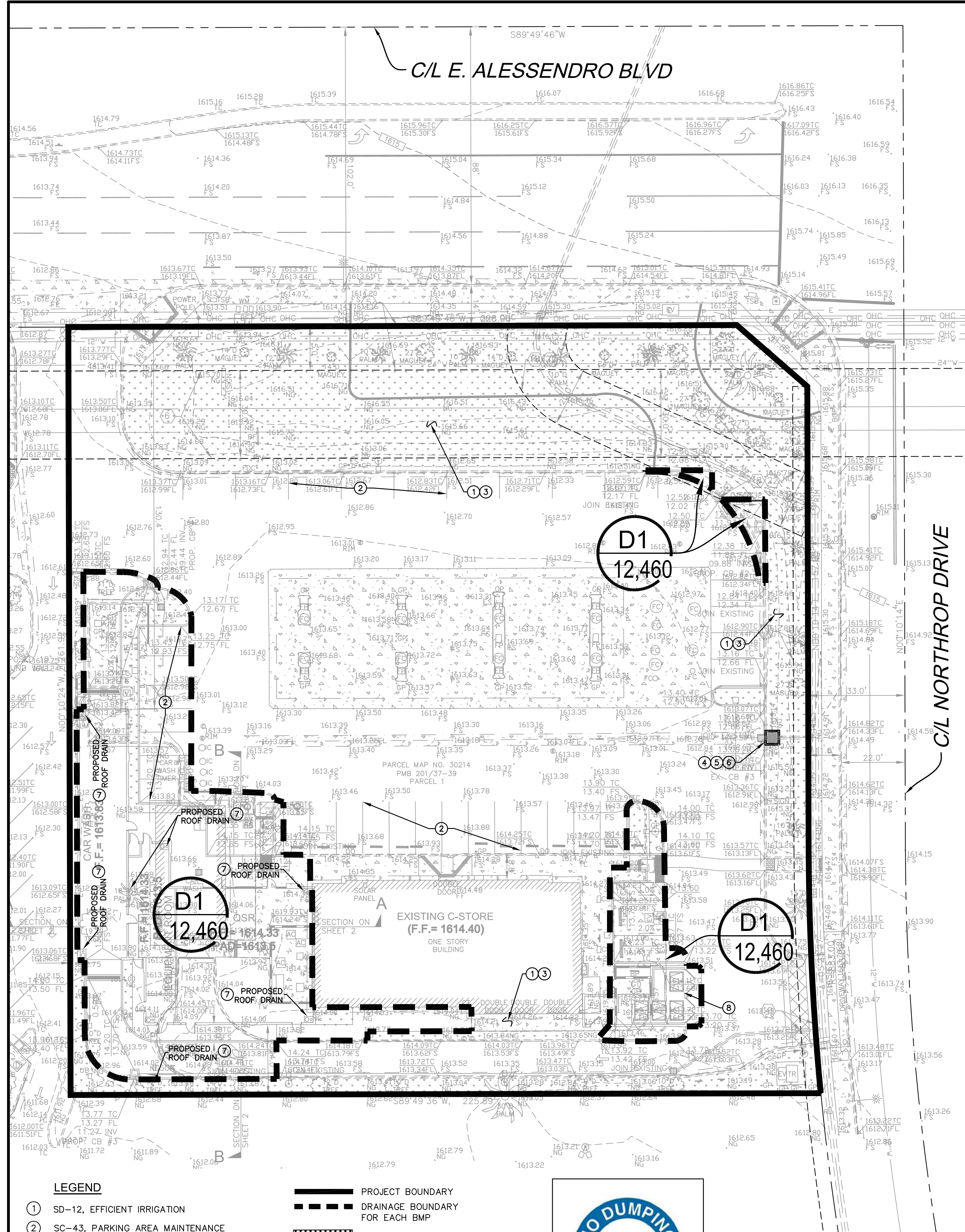
A QUICK-SERVE RESTAURANT ON EX. GAS STATION  
**CONCEPTUAL UTILITY PLAN**

501 E. ALESSANDRO BLVD., RIVERSIDE, CA 92508

SCALE: AS NOTED

DRAWING NO.	PROJECT NO.	SHEET 2 OF 3 SHEETS
2312	2312	

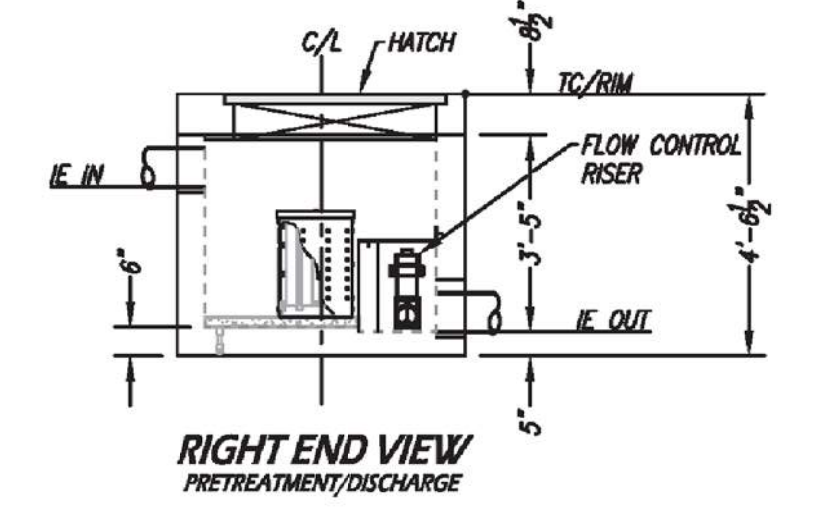
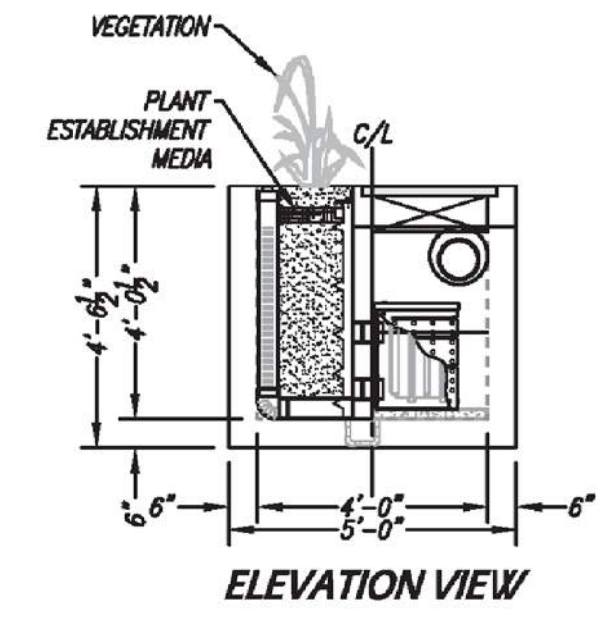
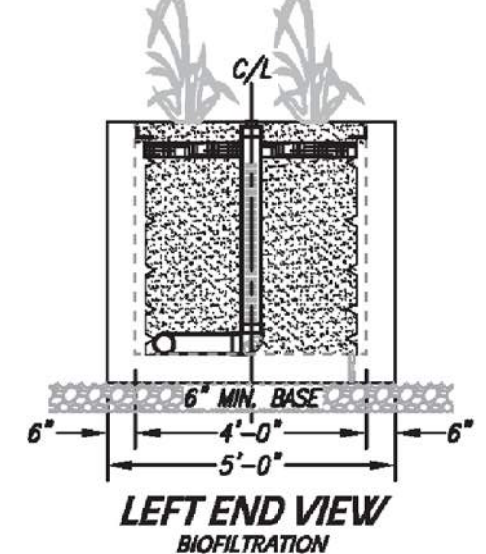
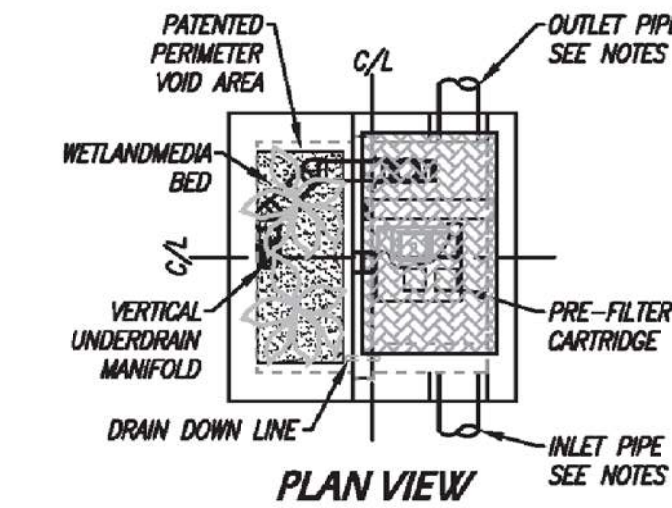
CITY OF RIVERSIDE  
**PRELIMINARY WQMP SITE PLAN**  
 A QUICK-SERVE RESTAURANT ON EX. GAS STATION



SITE SPECIFIC DATA			
PROJECT NUMBER			
PROJECT NAME			
PROJECT LOCATION			
STRUCTURE ID			
TREATMENT REQUIRED			
VOLUME BASED (CF)	FLOW BASED (CFS)		
TREATMENT HGL AVAILABLE (FT)			
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE			
PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
	PRETREATMENT	BIOFILTRATION	DISCHARGE
RIM ELEVATION			
SURFACE LOAD	PARKWAY	OPEN PLANTER	PARKWAY
FRAME & COVER	24" x 42"	N/A	N/A
WETLAND MEDIA VOLUME (CY)			0.98
WETLAND MEDIA DELIVERY METHOD			TBD
ORIFICE SIZE (DIA. INCHES)			#1.03"
MAXIMUM PICK WEIGHT (LBS)			9108

- INSTALLATION NOTES**
- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURERS SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURERS CONTRACT.
  - UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE TO VERIFY PROJECT ENGINEERS RECOMMENDED BASE SPECIFICATIONS.
  - ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE. (PIPES CANNOT INTRUDE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL GAPS AROUND PIPES SHALL BE SEALED WATER TIGHT WITH A NON-SHRINK GROUT PER MANUFACTURERS STANDARD CONNECTION DETAIL AND SHALL MEET OR EXCEED REGIONAL PIPE CONNECTION STANDARDS.
  - CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES.
  - CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL RISERS, MANHOLES, AND HATCHES. CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES TO MATCH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE. DRIP OR SPRAY IRRIGATION REQUIRED ON ALL UNITS WITH VEGETATION.

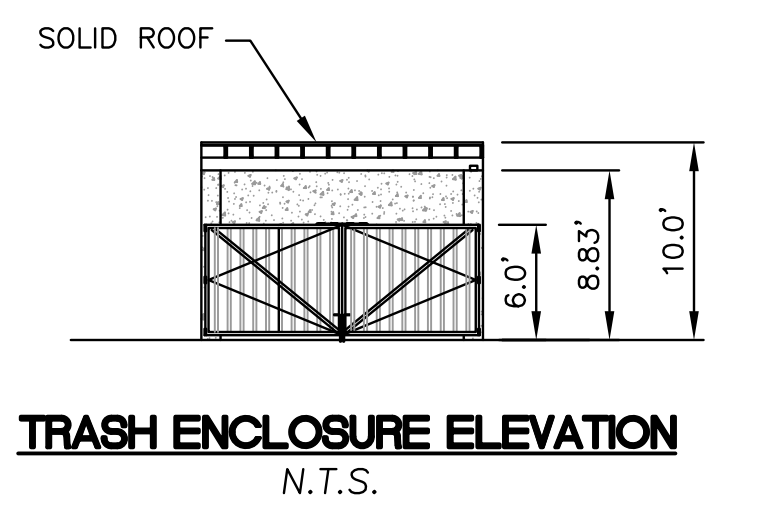
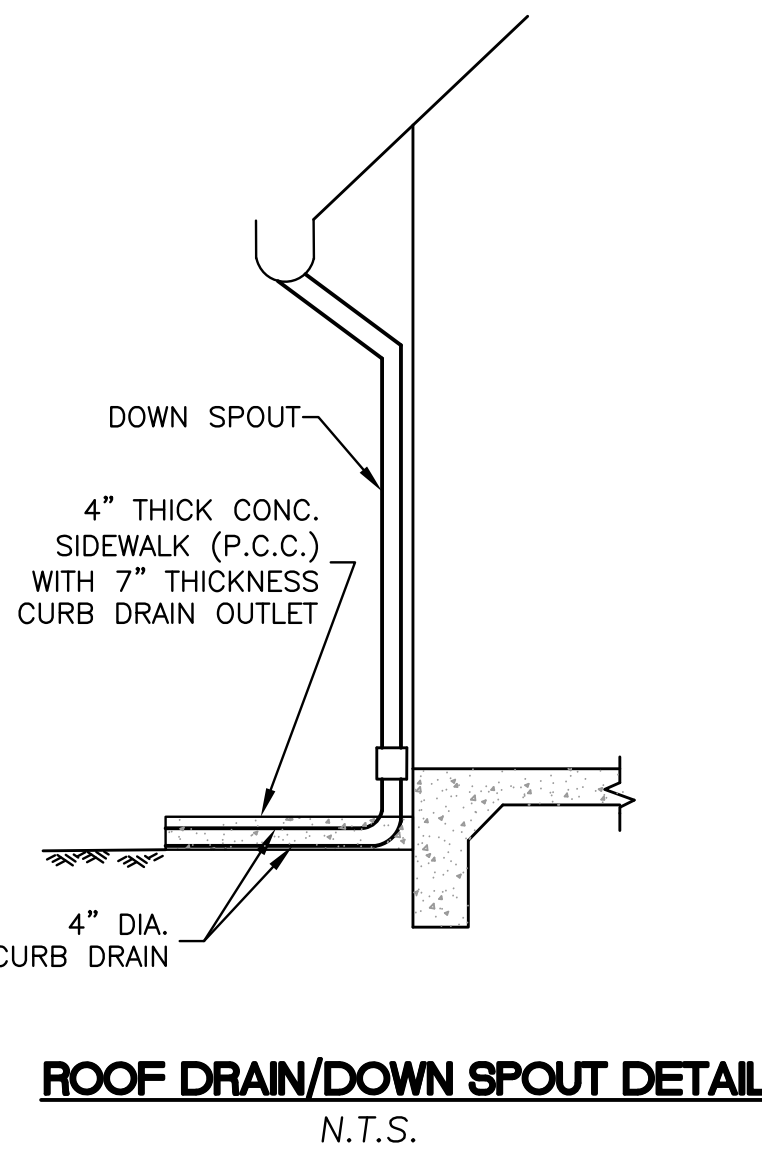
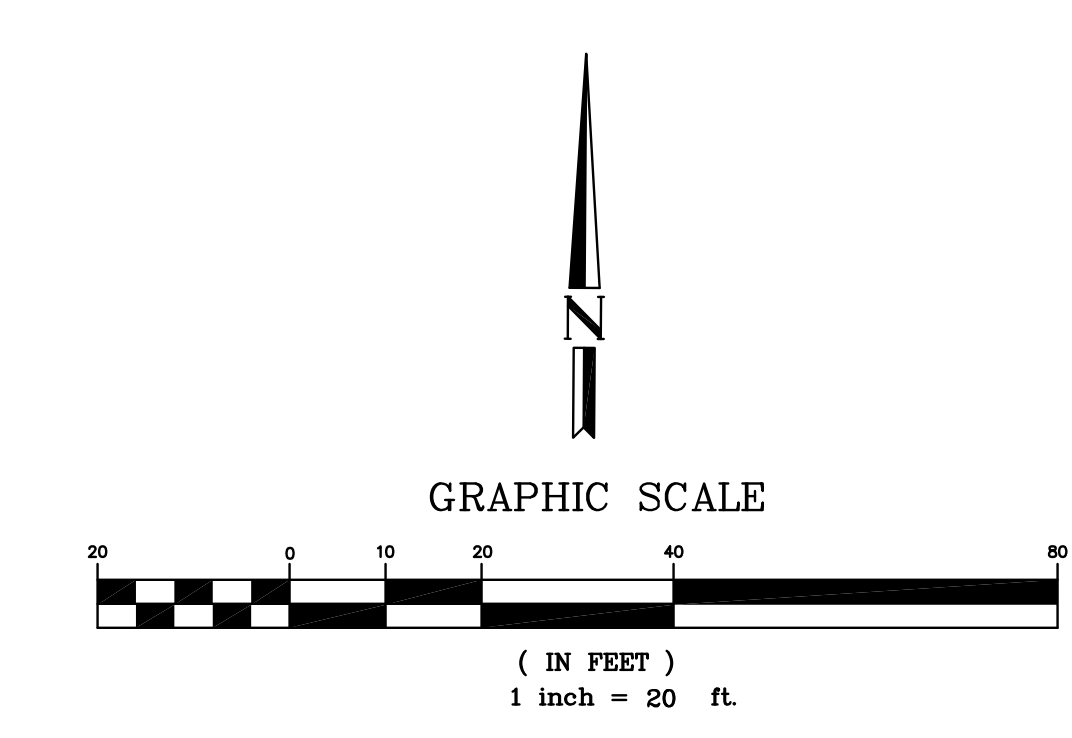
- GENERAL NOTES**
- MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
  - ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT MANUFACTURER.



TREATMENT FLOW (CFS)	0.052
OPERATING HEAD (FT)	3.4
PRETREATMENT LOADING RATE (GPM/SF)	1.8
WETLAND MEDIA LOADING RATE (GPM/SF)	1.0

**MWS-L-4-4-V**  
 STORMWATER BIOFILTRATION SYSTEM  
 STANDARD DETAIL

THE PRODUCT DESCRIBED MAY BE PROVIDED BY ONE OR MORE OF THE FOLLOWING US PATENTS: 7,482,982; 7,476,762; 7,274,330; 6,816,618; 6,816,619; 6,816,620. PATENTS OR OTHER PATENTS PENDING.

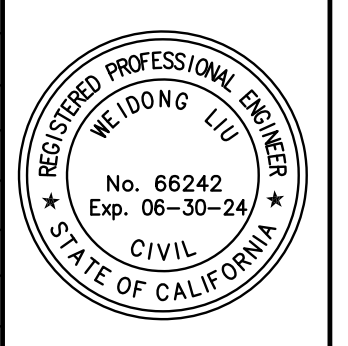


**SPECIAL NOTE**  
 LANDSCAPING WILL BE SUPPRESSED 6-INCH BELOW TOP OF CURB TO PROMOTE INFILTRATION OF THE AREAS.

- LEGEND**
- ① SD-12, EFFICIENT IRRIGATION
  - ② SC-43, PARKING AREA MAINTENANCE
  - ③ SC-73, LANDSCAPE MAINTENANCE
  - ④ SC-74, DRAINAGE SYSTEM MAINTENANCE
  - ⑤ CONTECH BIO FILTRATION MWS-L-4-4-V BMP
  - ⑥ STENCIL SIGN
  - ⑦ ROOF DRAINS
  - ⑧ TRASH ENCLOSURE
- PROJECT BOUNDARY
  - DRAINAGE BOUNDARY FOR EACH BMP
  - LANDSCAPE AREA
  - FLOW LINE
  - ROOF DRAIN WITH DOWNSPOUT
- D1** DRAINAGE MANAGEMENT AREA NUMBER  
**67,211** DRAINAGE AREA SQUARE FEET



REVISION				
MARK	DATE	INITIAL	DESCRIPTION	



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**PRELIMINARY WQMP SITE PLAN**  
 501 E. ALESSANDRO BLVD., RIVERSIDE, CA 92508

SCALE: AS NOTED

DRAWING NO.	PROJECT NO.	
2312	2312	

SHEET 3 OF 3 SHEETS

EXHIBIT 9 - PROJECT PLANS  
 PR-2023-001629 (CUP, DRC)  
 02:168:1.890\0203\2312-Michael Haddadin City of Riverside Alessandro Blvd Gas Station\Cup\2312\Cup03-Pvwmp Site Plan.dwg, 4/9/2024 5:54:51 PM, Adobe PDF