

Revisions		
	09.15.2025	1ST SUBMITTAL
1	09.08.2025	2ND SUBMITTAL
2	10.29.2025	3RD SUBMITTAL
3	11.06.2025	4TH SUBMITTAL

**CALIFORNIA WILD
LANDSCAPE ARCHITECTURE**
714.844.2404
mlurzak@icloud.com
714.519.1207

PROJECT:
HINAKA LUXURY VILLAS
4618 JONES AVENUE,
4663 HEDRICK AVENUE,
54705 HEDRICK AVENUE,
RIVERSIDE, CA 92505

CLIENT:
CENTURY HERITAGE BUILDERS, INC.
4095 E. LA PALMA AVE., SUITE D
ANAHEIM, CA 92807
714.844.2404
chb@centuryheritageinc.com



Trees and Palms



Shrubs and Groundcovers



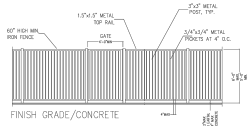
Job No.: --
Drawn By: AK
Checked By: AK
Plan Date: 11.06.2025
Scale: --

TITLE:
**PLANTING
IMAGERY**

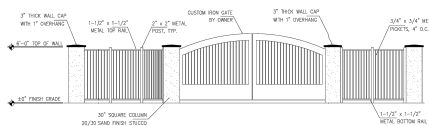
SHEET NUMBER:

L.2

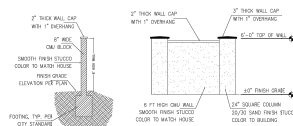
PLAN STATUS:
**FOR PLANNING
APPROVAL**



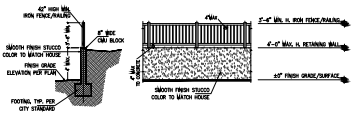
DETAIL 1 IRON FENCE DETAILS, TYP N12



DETAIL 2 FENCE & GATE ELEVATION N12



DETAIL 3 CMU WALL ELEVATION N12

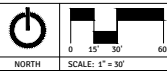
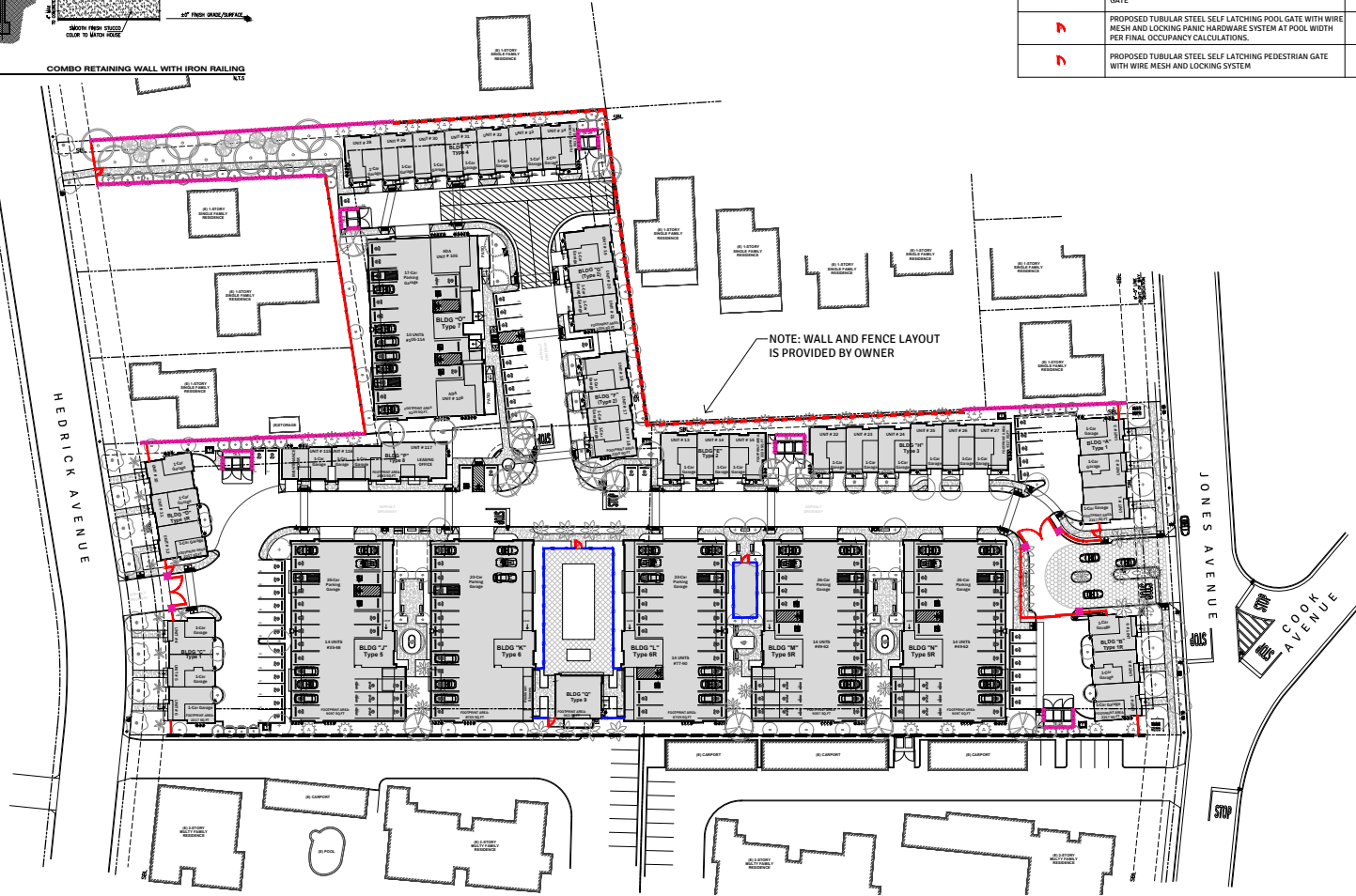


DETAIL 4 COMBO RETAINING WALL WITH IRON RAILING N12

WALL AND FENCE DETAILS
(PROVIDED BY OWNER)

WALL AND FENCE LEGEND:

	DETAIL
	PROPOSED COMBO RETAINING WALL WITH TOP IRON RAILING FENCE 4
	EXISTING 6'-0" HEIGHT MASONRY BLOCK SIDE WALL -
	PROPOSED 6'-0" HEIGHT MASONRY BLOCK SIDE WALL 3
	PROPOSED 6'-0" HEIGHT TUBULAR STEEL SINGLE RAIL STREET FACE FENCE 1
	PROPOSED 5'-0" MIN. HEIGHT TUBULAR STEEL SINGLE RAIL TOT LOT AND POOL ENCLOSURE FENCE 1
	PROPOSED 6'-8" HEIGHT MASONRY BLOCK PLASTER 2
	PROPOSED TUBULAR STEEL DOUBLE SWING NORMALLY CLOSED ACCESS GATE 2
	PROPOSED TUBULAR STEEL SLIDING NORMALLY CLOSED ACCESS GATE -
	PROPOSED TUBULAR STEEL SELF-LATCHING POOL GATE WITH WIRE MESH AND LOCKING PANIC HARDWARE SYSTEM AT POOL WIDTH PER FINAL OCCUPANCY CALCULATIONS. -
	PROPOSED TUBULAR STEEL SELF-LATCHING PEDESTRIAN GATE WITH WIRE MESH AND LOCKING SYSTEM 2



Revisions

1	09.15.2023	1ST SUBMITTAL
2	09.08.2023	2ND SUBMITTAL
3	10.29.2023	3RD SUBMITTAL
4	11.06.2023	4TH SUBMITTAL

PROJECT:

HINAKA LUXURY VILLAS
4618 JONES AVENUE,
4663 HEDRICK AVENUE,
5470S HEDRICK AVENUE,
RIVERSIDE, CA 92505

CLIENT:

CENTURY HERITAGE BUILDERS, INC.
4095 E. LA PALMA AVE., SUITE D
ANAHEIM, CA 92807
714.844.2404
chb@centuryheritageinc.com

STAMP:

Job No.: -

Drawn By: AK

Checked By: AK

Plan Date: 11.06.2023

Scale: 1" = 30'

TITLE:

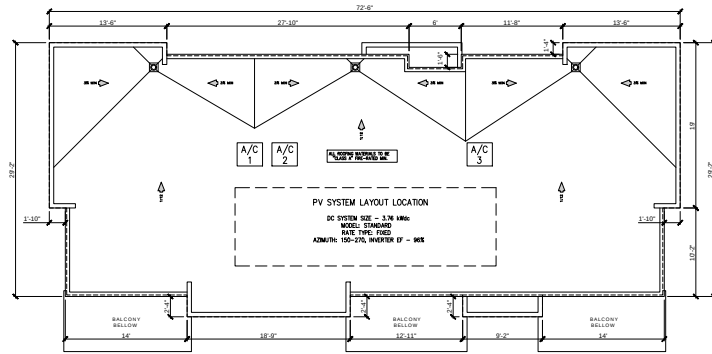
LANDSCAPE
WALL & FENCE
PLAN

SHEET NUMBER:

L4

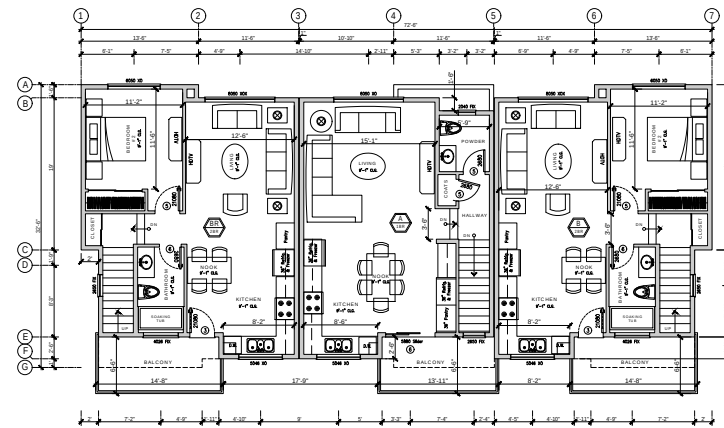
PLAN STATUS:

FOR PLANNING
APPROVAL



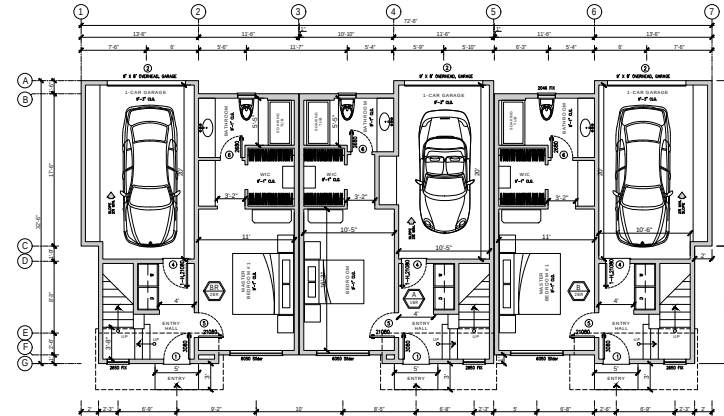
ROOF PLAN

3/16" = 1'-0"



SECOND FLOOR PLAN

3/16" = 1'-0"



FIRST FLOOR PLAN

3/16" = 1'-0"



BUILDING TYPE 1 AREA CALCULATION

NOTES:

- 5/8" TYPE X CYSTOL BOND SHALL BE INSTALLED AT GARAGE WALLS AND CEILING.
- DOOR BETWEEN GARAGE AND PRIVATE RESIDENCE SHALL BE SELF-CLOSING AND SELF-LATCHING.
- FIRE-RESISTANT IS REQUIRED IN CONCEALED SPACES TO G.C. HORIZONTAL, VERTICALLY AT 10' CEILING AND FLOOR LEVELS, CONCEALED SPACES BETWEEN GARAGES, AND CONCEALED SPACES BETWEEN STAIRS AND LANDINGS, OPENINGS AND JOINTS, PIPES, DUCTS, CABLES, WELLS, CHIMNEYS AND PROTRUSIONS.
- FIELD-CUTTING ENDS, NOTCHES AND DRILLED HOLES OF PRESERVATIVE-TREATED WOOD SHALL BE TREATED IN THE FIELD IN ACCORDANCE WITH AWPA A4.

NUMBER OF STORIES 2
FOOTPRINT AREA 2217 SQ. FT.

LIVING AREA:
1ST FLOOR 1423 SQ. FT.
2ND FLOOR 1258 SQ. FT.
TOTAL LIVING AREA: 3349 SQ. FT.

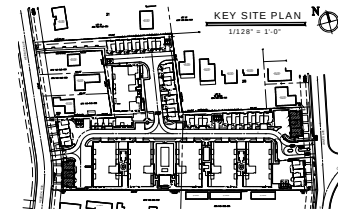
GARAGES 780 SQ. FT.
BALCONY 276 SQ. FT.

UNIT A - 1BR 1
UNIT B - 2BR 1
UNIT BR - 2BR 1

UNIT A / 1BR	
LIVING AREA:	
1ST FLOOR	453 SQ. FT.
2ND FLOOR	584 SQ. FT.
TOTAL LIVING AREA:	1037 SQ. FT.
1-CAR GARAGE	246 SQ. FT.
BALCONY	88 SQ. FT.

UNIT B / 2BR	
LIVING AREA:	
1ST FLOOR	485 SQ. FT.
2ND FLOOR	671 SQ. FT.
TOTAL LIVING AREA:	1156 SQ. FT.
1-CAR GARAGE	246 SQ. FT.
BALCONY	94 SQ. FT.

UNIT BR / 2BR	
LIVING AREA:	
1ST FLOOR	485 SQ. FT.
2ND FLOOR	671 SQ. FT.
TOTAL LIVING AREA:	1156 SQ. FT.
1-CAR GARAGE	272 SQ. FT.
BALCONY	94 SQ. FT.



TYPE 1 BUILDING "A"

(TYPICAL FOR BUILDING "C")

PROJECT: MIKASA LUXURY VILLAS
A & I CAPITAL
P.O. BOX 88130
FREMONT, CA 94568

OWNER: A & I CAPITAL

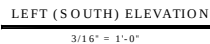
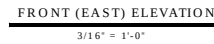
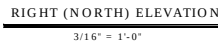
DESIGNED BY: G & G ENGINEERING, INC.
1000 E. Le Prieux Ave., Suite D, Anaheim, CA 92807
Phone: 714-215-4430
Fax: 714-215-4430
Email: info@ggengineering.com

DATE: 09/15/21
SCALE: 3/16" = 1'-0"

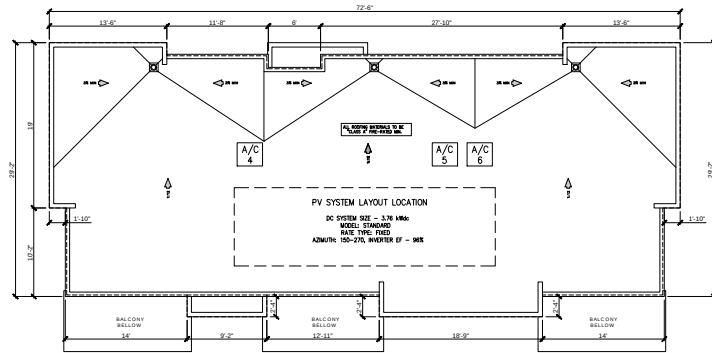
BLDG. TYPE: 1
1ST & 2ND FLOOR
PLANS, ROOF PLAN

A-1.1

1 OF 2 SHEETS



(TYPICAL FOR BUILDINGS "C" & "E".)

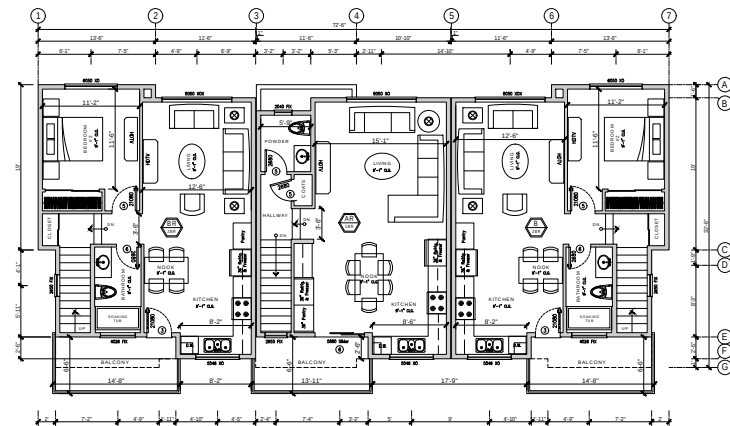


ROOF PLAN
3/16" = 1'-0"

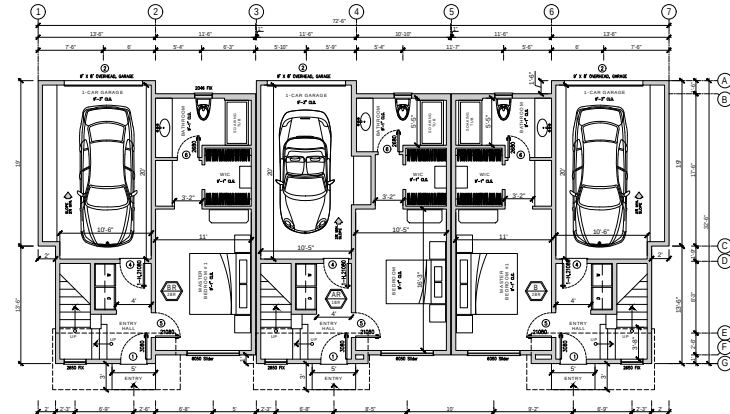


NOTES:

1. 5/8" TYPE X Gypsum board shall be installed at garage walls and ceiling.
2. DOOR BETWEEN GARAGE AND PRIVATE RESIDENCE SHALL BE SELF-CLOSING AND SELF-LATCHING.
3. FIREWORKING IS REQUIRED IN CONCEALED SPACES OF S.D. HORIZONTAL, VERTICALLY AT THE CEILING AND FLOOR LEVELS, CONNECTIONS BETWEEN CONCRETE AND METAL, SPACES CONCEALED SPACES BETWEEN STAIRS AND LANDING, OPENINGS AROUND DENTS, TRAIL, SLOTT, GABLE, TRAIL, CORNER AND FIREPLACES.
4. FIELD-ATTACHED ENDS, NOTCHES AND DRILLED HOLES OF PRESERVATIVE-TREATED WOOD SHALL BE TREATED IN THE FIELD IN ACCORDANCE WITH AREA 1A.



SECOND FLOOR PLAN
3/16" = 1'-0"



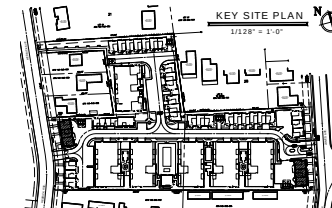
FIRST FLOOR PLAN
3/16" = 1'-0"



BUILDING TYPE 1R
AREA CALCULATION

NUMBER OF STORIES	2
FOOTPRINT AREA	2217 SQ. FT.
LIVING AREA:	
1ST FLOOR	1423 SQ. FT.
2ND FLOOR	1526 SQ. FT.
TOTAL LIVING AREA:	3349 SQ. FT.
GARAGES	790 SQ. FT.
BALCONY	276 SQ. FT.
UNIT AR - 1BR	1
UNIT B - 2BR	1
UNIT BR - 2BR	1

UNIT AR / 1BR		UNIT B / 2BR		UNIT BR / 2BR	
LIVING AREA:		LIVING AREA:		LIVING AREA:	
1ST FLOOR	453 SQ. FT.	1ST FLOOR	485 SQ. FT.	1ST FLOOR	485 SQ. FT.
2ND FLOOR	584 SQ. FT.	2ND FLOOR	671 SQ. FT.	2ND FLOOR	671 SQ. FT.
TOTAL LIVING AREA:	1037 SQ. FT.	TOTAL LIVING AREA:	1156 SQ. FT.	TOTAL LIVING AREA:	1156 SQ. FT.
1-CAR GARAGE	246 SQ. FT.	1-CAR GARAGE	272 SQ. FT.	1-CAR GARAGE	272 SQ. FT.
BALCONY	88 SQ. FT.	BALCONY	94 SQ. FT.	BALCONY	94 SQ. FT.



TYPE 1R
BUILDING "B"
(TYPICAL FOR BUILDING "D")

PROJECT: MIKASA LUXURY VILLAS - 4700 KERRICK AVE. IRVINE, CA 92618
OWNER: A & I CAPITAL P.O. BOX 89170 IRVINE, CA 92618

DESIGNED BY: G & G ENGINEERING, INC. 4008 E. LA PALMA AVE. SUITE D, ANAHEIM, CA 92807
PHONE: 714-215-4430 FAX: 714-215-4430
WWW.GGENGINEERING.COM

DATE: 09/15/21
SCALE: 3/16" = 1'-0"
SHEET: 21-7
BLDG TYPE: 1R
1ST & 2ND FLOOR PLANS, ROOF PLAN
A-1.3