

OWNER/APPLICANT
STEVEN WALKER COMMUNITIES, INC.
7161 INDIANA AVE., STE. 300
RIVERSIDE, CA 92504
951-274-1679

ASSESSOR'S PARCEL NO.
233-180-007-6
233-170-001-9

PROJECT INFO

AREA OF SITE = 6.85 AC.
NUMBER OF UNITS = 54
LOT AREA = 186,685 S.F.
STREET AREA = 49,697 S.F.

ZONING
EXISTING - PF-PUBLIC FACILITIES
PROPOSED - R-1-7000
SCHOOL DISTRICT

CABLE ***CHARTER COMM.**

LEGAL DESCRIPTION

A PORTION OF LOT 1 IN BLOCK 30 OF THE LANDS OF THE RIVERSIDE LAND AND IRRIGATION COMPANY, AS SHOWN BY MAP ON FILE IN BOOK 1 OF MAPS, AT PAGE 70, RECORDS OF SAN BERNARDINO COUNTY.

CONSTRUCTION NOTES

① CONSTRUCT 3" OVER 5" BASE PAVING

- ⑤ CONSTRUCT RETAINING WALL (3' MAX)
- ⑥ CONSTRUCT CONCRETE SIDEWALK
- ⑦ CONSTRUCT UNDER SIDEWALK DRAIN

F.G. = FINISHED GRADE
F.L. = FLOW LINE
H.P. = HIGH POINT

TRACT BOUNDARY	=====
CENTERLINE	=====
CURB AND GUTTER	=====

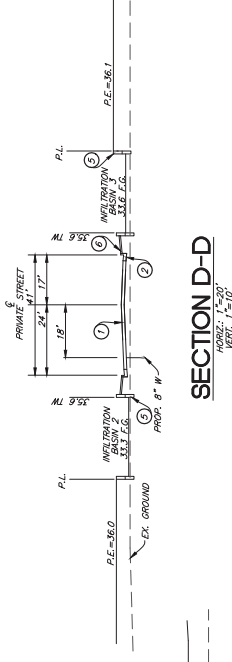
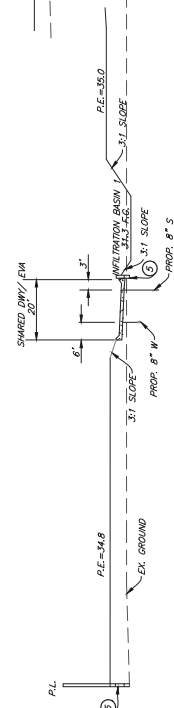
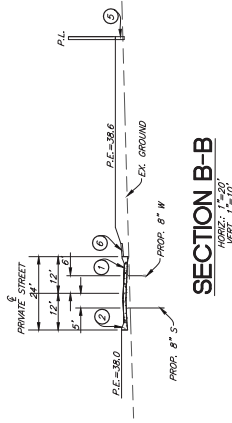
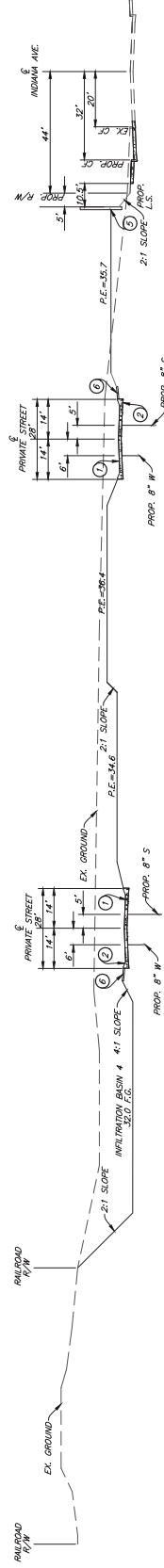
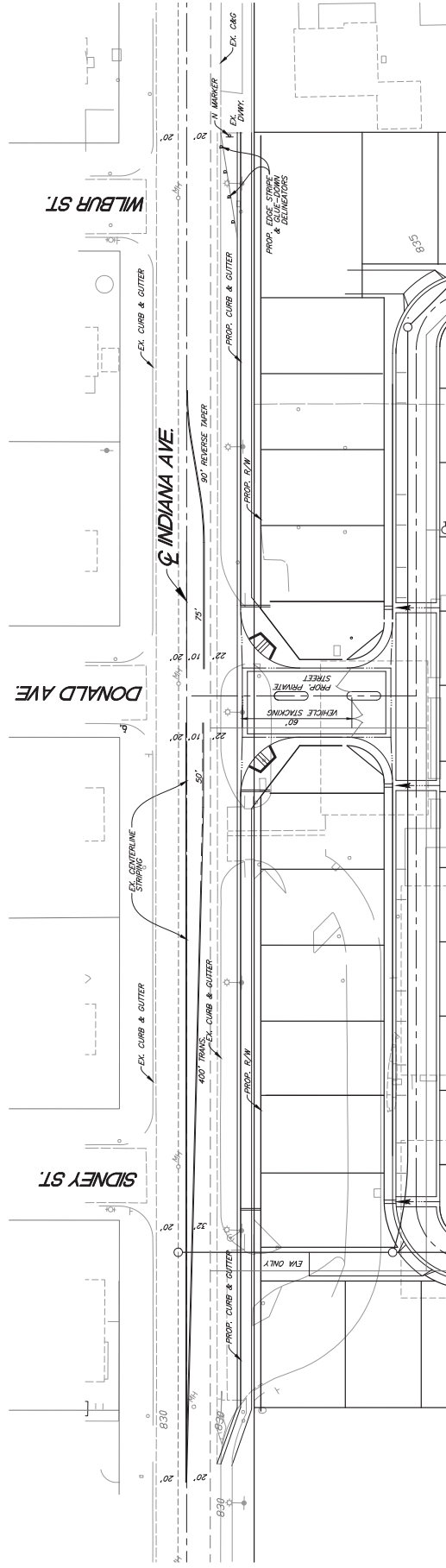
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D1E 0112 D1

PT6-0112, P1



P16-0112, P16-0113, P16-0114, P16-0111 and P16-0883, Exhibit 6 - Project Plans



CONSTRUCTION NOTES

- 1 CONSTRUCT 3" OVER 5" BASE PAVING
- 2 CONSTRUCT 6" CURB & GUTTER
- 3 CONSTRUCT 6"-12" DIA RIP RAP
- 4 CONSTRUCT CROSS GUTTER
- 5 CONSTRUCT RETAINING WALL (3" MAX)
- 6 CONSTRUCT CONCRETE SIDEWALK

PREPARED BY:



SDH AND ASSOCIATES INC.
5225 CANYON CREST DRIVE 714.39
Riverside, California 92507
TEL: (951) 683-3691 FAX: (951) 788-2314

BENJAMINARA

DATE: JANUARY 2016

BUSINESS TAX CERTIFICATE NO. 107994 EXP. 6-30-17

CITY OF RIVERSIDE

TTM 37032

STRIPING STUDY
9170 INDIANA AVENUE

P16-0112, P16-0113, P16-0114, P16-0111 and P16-0883, Exhibit 6 - Project Plans



Site Summary				
Gross Site Area	6.85	AC		
Dwelling Units	54	DU		
Density	8	DU/AC		

Plan Summary				
Plan	Bed	Unit Area	Quantity	% Total Square Footage
Plan 1	4	1635	19	35.2%
Plan 2	4	2107	19	35.2%
Plan 3	4	2098	16	29.6%
Total			54	100%

Parking Summary				
Parking Required	No. Units	Space/DU Spaces Required		
4 Bed	54	2.0	108	
Parking Provided				
Garage Spaces		Space/DU Spaces Required		
Guest Parking		2	108	
Total Parking Spaces		2.4	130	

Common Open Space				
Required	No. Units	SF/DU	Square Footage	
Provided	54	500	27,000	
			32,400	



Steven Walker Communities
7161 Indiana Ave. Suite 300
Riverside, CA 92504

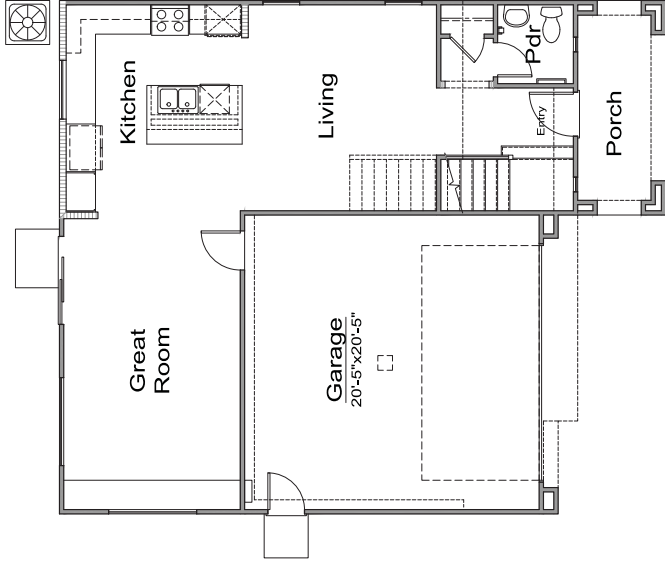
HAWTHORNE HEIGHTS
RIVERSIDE, CA #20150747

CONCEPTUAL DESIGN PACKAGE
MAY 26, 2017

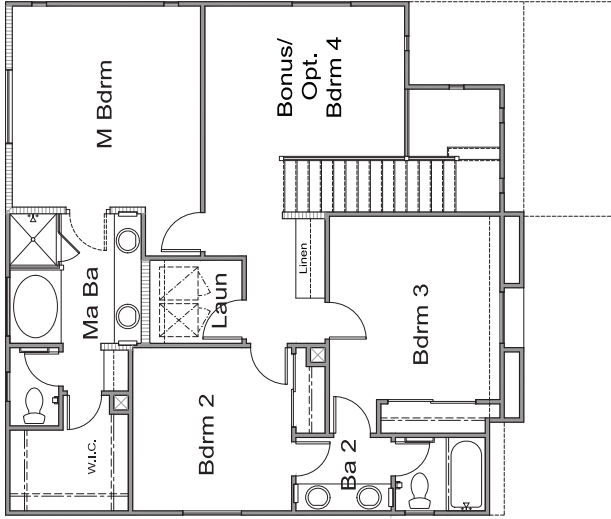


ARCHITECTURAL SITE PLAN
FOR ILLUSTRATIVE PURPOSES ONLY. SEE CIVIL DRAWINGS FOR MORE INFO

A1.0

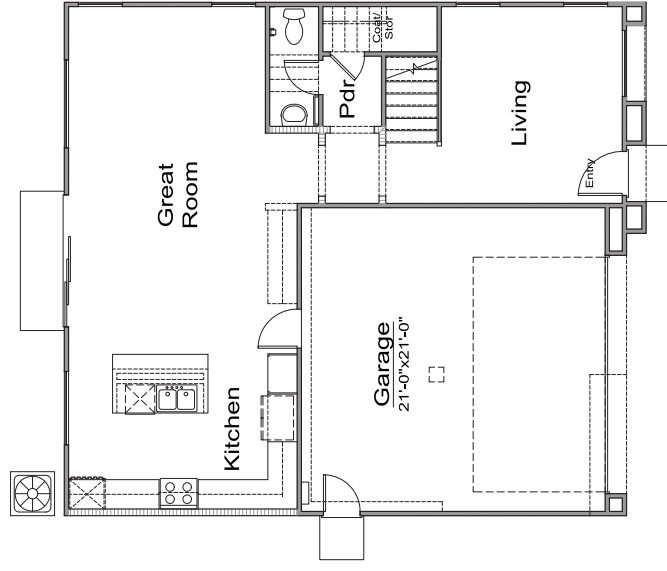


FIRST FLOOR

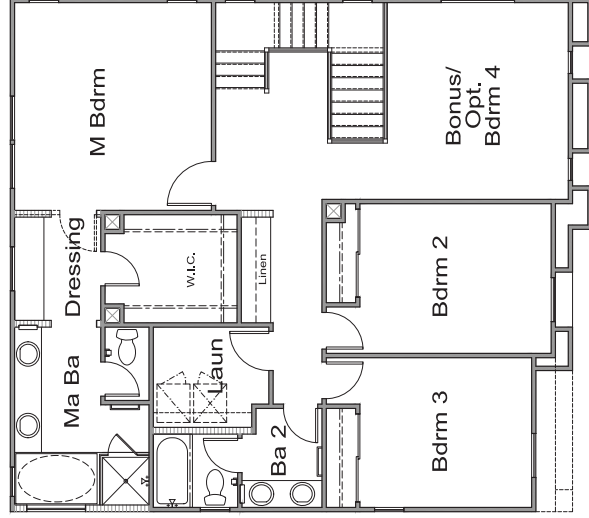


SECOND FLOOR

SUMMARY	
First Floor	774 sf
Second Floor	1061 sf
Total	1835 sf
Garage	415 sf

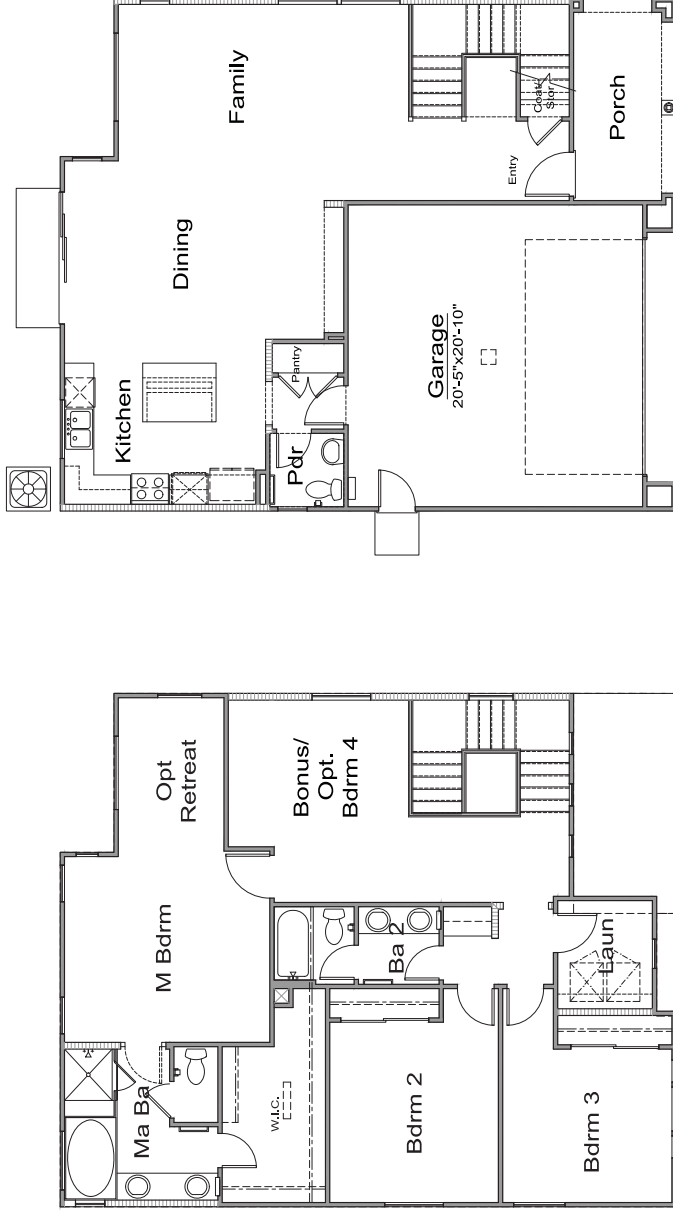


FIRST FLOOR



SECOND FLOOR

first floor	876 sf
second floor	1231 sf
total	2107 sf
garage	441 sf



SECOND FLOOR

FIRST FLOOR

first floor	864 sf
second floor	1234 sf
total	2098 sf
garage	427 sf



PLAN 1 - SPANISH COLONIAL



PLAN 1 - CRAFTSMAN



PLAN 1 - MONTEREY



Architecture • Planning
17911 Von Karman Ave, Suite 200
Irvine, CA 92614
855.456.5849
www.ktgy.com

Steven Walter Co., Inc.
7161 Indiana Ave, Suite 300
Riverside, CA 92504

HAWTHORNE HEIGHTS
RIVERSIDE, CA 92504
2015-0747

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PLAN 1: CHARACTER ELEVATIONS

A2.5



PLAN 2 - SPANISH COLONIAL



PLAN 2 - MONTEREY



PLAN 2 - CRAFTSMAN



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MAY 26, 2017

PLAN 2 CHARACTER ELEVATIONS

A3.5



PLAN 3 - CRAFTSMAN

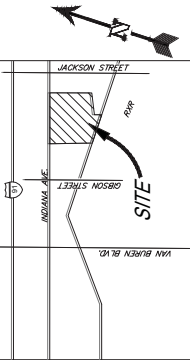


PLAN 3 - MONTEREY



PLAN 3 - SPANISH COLONIAL

IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
OPEN SPACE EXHIBIT
9170 INDIANA AVENUE
 54 LOT PLANNED RESIDENTIAL DEVELOPMENT
 CITY OF RIVERSIDE, CA
 JANUARY 2017



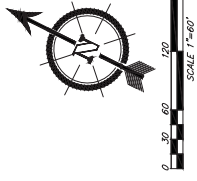
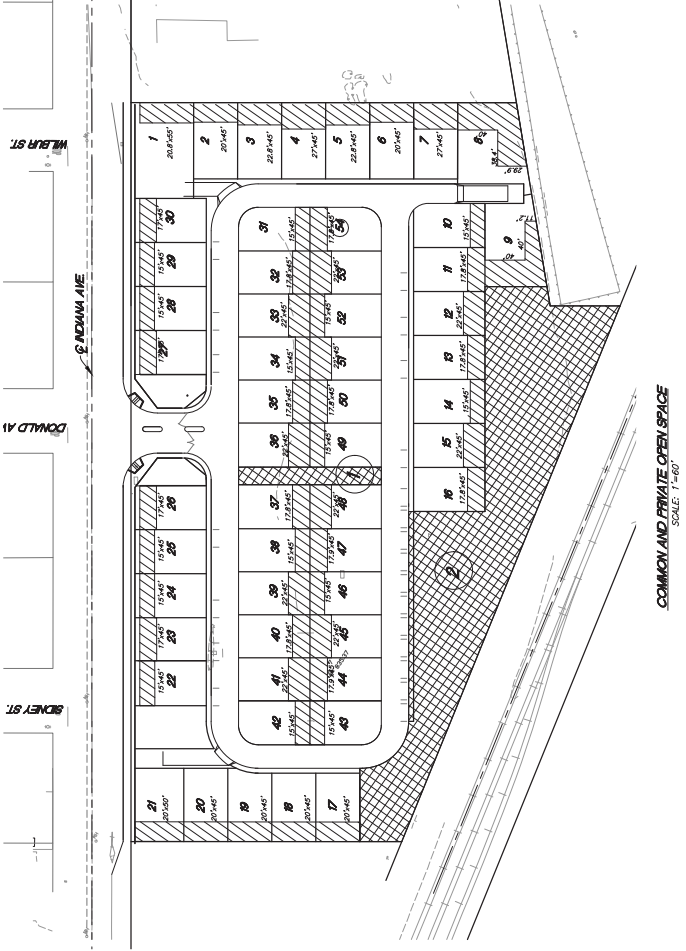
VICINITY MAP
 PROJECT LOCATION
 THOMAS GUIDE PAGE: 715 GRID: A6

COMMON OPEN SPACE

NO.	AREA (S.F.)
1	1,144
2	500
3	1,215
4	1,215
5	1,026
6	1,215
7	1,215
8	2,735
9	2,735
10	2,735
11	807
12	807
13	807
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45	807
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50	807
51	807
52	807
53	807
54	807
TOTAL:	48,807

PRIVATE OPEN SPACE

NO.	AREA (S.F.)
1	1,144
2	500
3	1,215
4	1,215
5	1,026
6	1,215
7	1,215
8	2,735
9	2,735
10	2,735
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52	807
53	807
54	807
TOTAL:	48,805



OPEN SPACE LEGEND

- ▨ - PRIVATE OPEN SPACE
- ▤ - COMMON OPEN SPACE

ASSESSOR'S PARCEL NO.
 233-180-007-6

OWNER/APPLICANT
 STEVEN WALKER COMMUNITIES, INC.
 7161 INDIANA AVE., STE. 300
 RIVERSIDE, CA 92504
 951-274-8779

LEGAL DESCRIPTION
 PARCEL 3 OF PARCEL MAP 13124
 PMS 67/85

ENGINEER
 STEVEN WALKER COMMUNITIES, INC.
 5225 CANYON CREST DRIVE 71439
 RIVERSIDE, CA 92504
 951-274-8779

SEAL:
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 No. 6235
 Exp. 8-30-17

SDA
 SOUTHERN DESIGN ASSOCIATES, INC.
 5225 CANYON CREST DRIVE 71439
 RIVERSIDE, CA 92504
 TEL: (951) 683-3691 FAX: (951) 686-2514

PREPARED BY: SCALE: AS SHOWN
 DATE: JANUARY 2017

BUSINESS TAX CERTIFICATE NO. 102994 EXP. 8-30-17
 CITY OF RIVERSIDE

OPEN SPACE EXHIBIT
9170 INDIANA AVENUE

1 OF 1 SHEETS



Steven Walker Communities
7161 Indiana Ave. Suite 300
Riverside, CA 92504

HAWTHORNE HEIGHTS
RIVERSIDE, CA #20154747

CONCEPTUAL DESIGN PACKAGE
MAY 26, 2017

CONCEPTUAL LANDSCAPE PLAN

A1.1



Ktoby
Architecture & Planning
17511 Von Karmen Ave. Ste 200
Irvine, CA 92614
866.456.5849
ktp.com

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RIVERSIDE, CA #20150747

CONCEPTUAL DESIGN PACKAGE
MAY 26, 2017

CONCEPTUAL PARK PLAN

A5.2

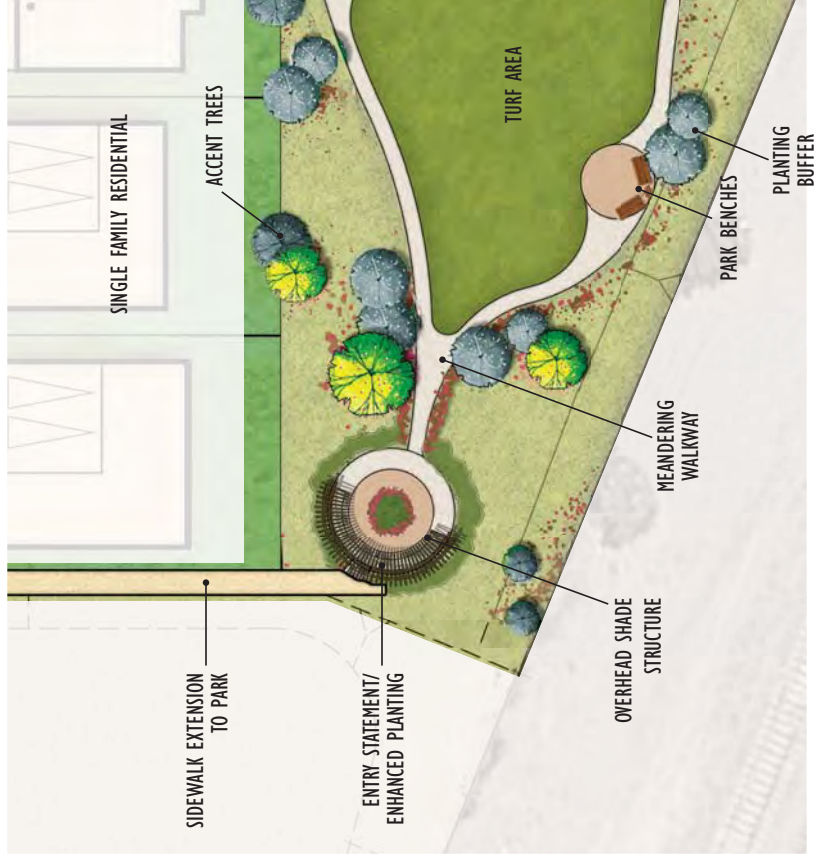
DETAIL "A"



DETAIL "B"



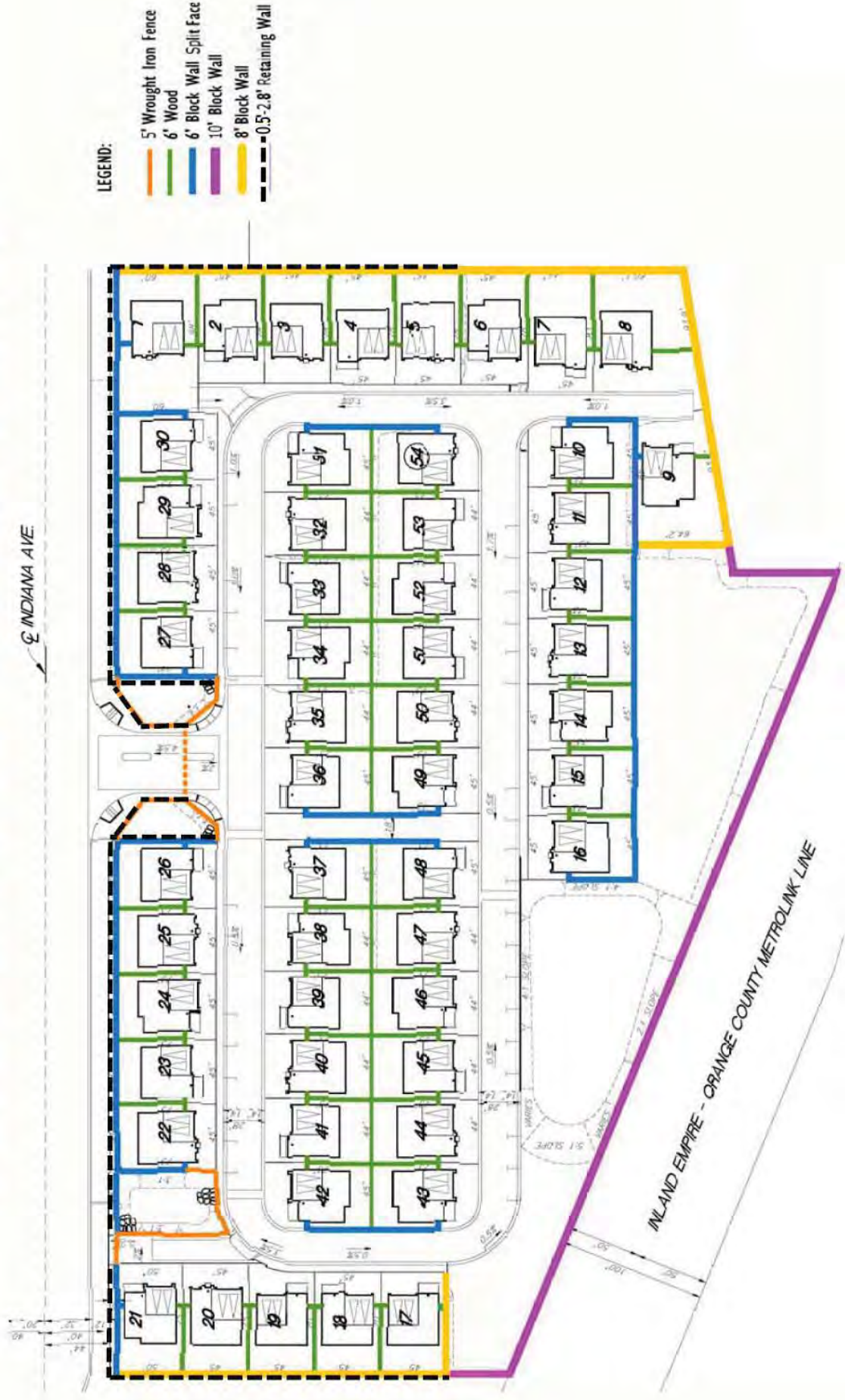
DETAIL "C"



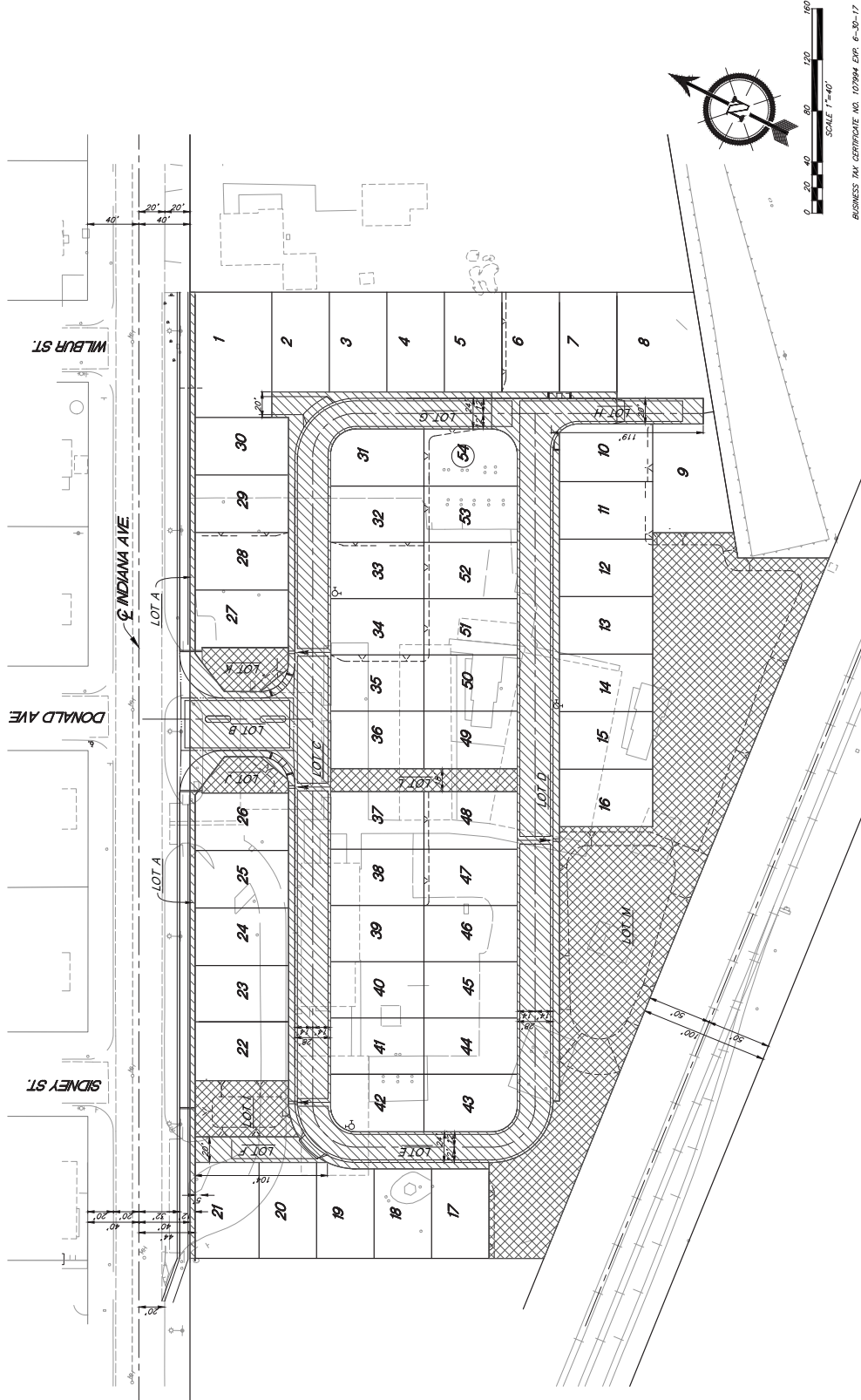
DETAIL "D"



FENCE AND WALL PLAN



PUBLIC & PRIVATE STREET AND COMMON MAINTENANCE DEDICATIONS



LETTERED LOT LEGEND
 LOT A - STREET (PUBLIC/PRIVATE)
 LOT B - COMMON MAINTENANCE

SEAL
 DAVID A. SMITH
 CIVIL ENGINEER
 STATE OF CALIFORNIA
 LICENSE NO. 11111
 EXPIRATION DATE: FEBRUARY 2017

PREPARED BY: SDH AND ASSOCIATES, INC.
 15255 CANYON CREST DRIVE #1430
 TOLSON, CA 91380-3001 FAX (661) 798-2244

SCALE: 1"=40'
 DATE: FEBRUARY 2017

BUSINESS TAX CERTIFICATE NO. 107994 EXP. 6-30-17
 CITY OF RIVERSIDE
 TTM 37032
 9170 INDIANA AVENUE

3 OF 3 SHEETS

Monterey			Craftsman			Spanish Colonial		
1	2	3	4	5	6	7	8	9
Roof								
Body								
Fascia								
Trim								
Siding/ Garage								
Shutters								
Decorative Tiles								
Stone								

Manufacturers
Monterey
 Sherwin Williams
 Classic Tile and Mosaic
 Eagle Roofing
 Boral Brick

Craftsman
 Sherwin Williams
 CertainTeed Composition Roofing
 El Dorado Stone

Spanish Colonial
 Sherwin Williams
 Classic Tile and Mosaic
 Eagle Roofing