

Magnolia Flats Mixed-Use Project

APPENDIX N CHECKLIST

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ACRONYMS & ABBREVIATIONS

Acronyms/Abbreviation	Definition
ADT	average daily traffic
Applicant	Magnolia Partnership, LLC
APN	Assessor's Parcel Number
AQMP	Air Quality Management Plan
ASTs	above ground storage tanks
BMPs	Best Management Practices
CAAQS	California Ambient Air Quality Standards
Caltrans	California Department of Transportation
CARB	California Air Resources Board
CBC	California Building Code
CCR	California Code of Regulations
CEQA	California Environmental Quality Act
cfs	cubic feet per second
CGS	California Geologic Survey
CHSC	California Health and Safety Code
City	City of Riverside
CMP	Congestion Management Program
CNEL	Community Noise Equivalent Value
CO	carbon monoxide
County	Riverside County
CRPR	California Rare Plant Rank
CWA	Clean Water Act
dB	Decibel
dba	A-weighted decibels
EDR	Environmental Data Resources, Inc.
EPA	Environmental Protection Agency
ESA	Environmental Site Assessment
FEMA	Federal Emergency Management Agency
FTIP	Federal Transportation Improvement Program
GHG	greenhouse gas
GP 2025	City of Riverside General Plan 2025
gpd	gallons per day
HCM	Highway Capacity Manual

Acronyms/Abbreviation	Definition
ICU	Intersection Capacity Utilization
IS	Initial Study
Leq	Equivalent sound level
LBP	lead-based paint
LOS	level of service
LSTs	Localized Significant Thresholds
MBTA	Migratory Bird Treaty Act
mgd	million gallons per day
MLD	most likely descendent
MND	Mitigated Negative Declaration
MS4	Municipal Separate Storm Sewer System
MSL	mean sea level
MTCO ₂ e	million metric tons of carbon dioxide equivalent
NAAQS	National Ambient Air Quality Standards
NAHC	Native American Heritage Commission
NCCP	Natural Communities Conservation Plan
NO ₂	nitrogen dioxide
NPDES	National Pollution Discharge Elimination System
OSHA	Occupational Safety and Health Administration
PM _{2.5}	fine particulate matter
PM ₁₀	Respirable particulate matter
ppm	parts per million
PPV	peak particle velocity
RTP/SCS	Regional Transportation Plan/Sustainable Communities Strategy
RWQCB	Regional Water Quality Control Board
SCAB	South Coast Air Basin
SCAG	Southern California Association of Governments
SCAQMD	South Coast Air Quality Management District
SCCIC	South Central Coastal Information Center
SLF	Sacred Lands File
SO ₂	sulfur dioxide
SR-91	State Route 91
SWCRB	State Water Resources Control Board
SWPPP	Storm Water Pollution Prevention Plan
TAC	toxic air contaminant
TMDLs	total maximum daily loads
USTs	underground storage tanks
UWMP	Urban Water Management Plan
V/C	volume-to-capacity
VOC	volatile organic compound

1 INTRODUCTION

Magnolia Partnership, LLC (Applicant) is seeking approval of a Site Plan Review Permit and a Conditional Use Permit from the City of Riverside (City) to consolidate three parcels into two lots, demolish the existing improvements on proposed Lot 1 and Lot 2, and construct a residential development consisting of 450 multi-family residential units within a four-story residential building, and 9,000 square feet of retail commercial area within two single story buildings (Proposed Project).

The City of Riverside is the Lead Agency for the Proposed Project. The Lead Agency will utilize this document as evidence that the Proposed Project qualifies for the Infill Streamlining Provisions provided by Senate Bill 226 (Simitian 2011), which is further described below. This document utilizes analysis from Previously Certified Environmental Impact Report for the 2014-2021 Housing Element Update Housing Implementation Plan EIR (Certified EIR) prepared for the 2014-2021 Housing Element Update Housing Implementation Plan (Update Project), certified by the Riverside City Council on December 12, 2017.

1.1 Purpose of the Appendix N: Environmental Checklist

This Appendix N: Infill Environmental Checklist (Appendix N Checklist) has been prepared in accordance with the following:

- California Environmental Quality Act (CEQA) of 1970 (Public Resources Code Sections 21000 et seq.).
- California Code of Regulations, Title 14, Division 6, Chapter 3 (State CEQA Guidelines, Sections 15000 et seq.), specifically Sections 15060 and 15183.3.

The infill streamlining provisions of CEQA were adopted in compliance with Senate Bill 226 (Simitian 2011) (“SB 226”). SB 226 was developed by the California State Legislature to address uncertainty and delay by creating a new streamlining mechanism in CEQA for infill projects that promote a specific set of environmental policy objectives. The broad purposes of SB 226 are two-fold:

1. Provide flexibility in project design by basing eligibility on environmental performance rather than prescribing specific project characteristics; and
2. Allow infill projects to avoid repetitive environmental analysis of environmental effects that were previously analyzed in a prior Environmental Impact Report for a planning-level decision.

In order to qualify for the infill streamlining provision, a project site must either be in a developed urban area or adjoin existing qualified urban uses on 75 percent of the site perimeter. Appendix M of the CEQA Guidelines includes a set of performance standards required by SB 226, which a qualifying project must satisfy in order to be eligible for infill streamlining. The Proposed Project meets these performance standards, as further detailed in Section 5.1, Satisfaction of Appendix M Performance Standards.

Compliance with the Appendix M performance standards leads to the next step in the infill streamlining process, which is completion of the Appendix N Checklist in the CEQA Guidelines.

The Appendix N Checklist provides a tool to evaluate a development project and document its eligibility to use the infill streamlining process. The Appendix N Checklist also assists the lead agency in identifying and summarizing project-specific effects and how those effects are or are not addressed in a prior programmatic level document or by uniformly applicable development policies:

Once the lead agency has determined that a particular physical impact may occur as a result of an infill project, then the checklist answers must indicate whether that impact has already been analyzed in a prior EIR. If the effect of the infill project is not more significant than what has already been analyzed, that effect of the infill project is not subject to CEQA. The brief explanation accompanying this determination should include page and section references to the portions of the prior EIR containing the analysis of that effect. The brief explanation shall also indicate whether the prior EIR included any mitigation measures to substantially lessen that effect and whether those measures have been incorporated into the infill project.

Background of the prior environmental analysis is provided in Section 2.4, Environmental Background.

Project Design Features (PDFs) and Standard Conditions/Existing Plans, Programs, or Policies (PPPs)

The Appendix N Checklist references 1) Applicant-initiated Project Design Features (PDFs), 2) existing Standard Conditions applied to all development on the basis of federal, state, or local law, and 3) Existing Plans, Programs, or Policies currently in place which effectively reduce environmental impacts. Standard Conditions and Existing Plans, Programs, or Policies are collectively identified in this document as PPPs. Where applicable, PDFs and PPPs are listed to show their effect in reducing potential environmental impacts. Where the application of these measures does not reduce an impact to below a level of significance, applicable Certified EIR Mitigation measures (Certified EIR MM), are identified. The City would include these PDFs and PPPs along with applicable Certified EIR MMs as Conditions of Approval of the Proposed Project.

1.2 Content and Format of an Appendix N: Environmental Checklist

This Appendix N Checklist includes the following sections:

Section 1: Introduction: This section provides information about CEQA, its requirements for environmental review, and explains the Appendix N Checklist that evaluates the potential impacts of the Proposed Project to the physical environment.

Section 2: Project Setting: This section provides information about the Proposed Project's location, the Project Site, and background.

Section 3: Project Description: This section provides a description of the Proposed Project's physical features and construction and operational characteristics.

Section 4: Discretionary Approvals: This section describes anticipated approvals and permits needed for implementation of the Proposed Project.

Section 5: Environmental Checklist: This section includes the Appendix N Checklist and evaluates the Proposed Project’s potential to result in significant adverse effects to the physical environment.

2 PROJECT SETTING

2.1 Project Location

The Proposed Project is located at 10491 Magnolia Avenue in Riverside. The Project Site consists of three parcels, identified as assessor’s parcel numbers (APN) 143-180-028-7, 143-180-031-9, and 143-180-032-0, totaling 16.11 acres (**Figure 1 – Regional Vicinity Map** and **Figure 2 – Project Vicinity**). The parcels are bounded by Tyler Street to the east, Polk Street to the west, Pendleton Street to the north, and Magnolia Avenue to the south.

2.2 Existing Land Uses and Designation of the Project Site

The Project Site, a largely paved lot, contains remnants of foundation pads where three structures, previously demolished, stood. There are three (3) pad-mounted transformers on the Project Site, one located at the central southwestern border, one at the eastern corner, and one towards the southeast central portion of the Project Site. Additionally, a pole-mounted transformer is located to the central northeastern border of the Project Site. Decorative trees and shrubs are located on the southern portion of the Project Site, along Magnolia Avenue. Wells and soil vapor probes are located throughout the southeastern portion of the Project Site. Closed wells are spread sporadically out among the northwestern portion of the Project Site. The northern portion of Project Site contains unpaved and unimproved open area. The north and west perimeter of the Project Site has an existing block wall separating the Project Site and the adjacent residential units. Access to the Project Site is available from Magnolia Avenue through Banbury Drive and nearby internal drive aisle. The Project Site would also be accessible from existing adjacent retail properties. Topography of the Project Site is generally flat at approximately 730 feet above mean sea level and slopes downward towards the west-southwest.

The existing General Plan designation for the Project Site is MU-V - Mixed Use-Village, which allows a density of up to 30 dwelling units per acre (du/ac) and is intended for Village mixed-use which includes retail and residential uses. For properties that are located within a High-Quality Transit Corridor (within one-quarter mile of a transit stop), such as the Project Site, the allowable density in MU-V is 40 du/ac. The Project Site is located within the Magnolia Avenue Specific Plan (MASP), which acts as an overlay zone to the base zoning established in the Riverside Zoning Code (Title 19). Existing base zoning for a majority of the site is MU-V-SP - Mixed Use-Village and Specific Plan (Magnolia Avenue) Overlay Zones, with a 0.75 acre portion of the Project Site located in the north west corner zoned MU-V-WC-SP – Mixed Use-Village and Water Course and Specific Plan (Magnolia Avenue) Overlay Zones. The MU-V-SP Zone provides for medium to high-density residential development with retail, office and service uses primarily at the street level to facilitate a pedestrian environment. The MU-V-WC-SP Zone allows for the development of accessory structures and recreational opportunities.



2.3 Surrounding Land Uses

The site is bound by the following land uses:

- NORTH: Single Family Residential/Retail
- EAST: Retail/Commercial Services
- SOUTH: Retail/Commercial Services
- WEST: Residential and Retail/Commercial Services

2.4 Environmental Background

In December 2017, the City of Riverside certified the 2014-2021 Housing Element Update Housing Implementation Plan EIR (Certified EIR) which evaluated impacts associated with implementation of the Riverside 2014-2021 Housing Element Housing Implementation Plan (Update Project), a component of the Housing Element from the City’s General Plan 2025 (GP 2025) and created the Environmental Mitigation Monitoring and Reporting Program for the City of Riverside 2025 General Plan (MMRP 2025) to mitigate those impacts. The Update Project was a Citywide Rezoning Program that involved 69 candidate sites for rezoning at various locations. This Rezoning Program is consistent with the Housing Element which identifies adequate sites for housing and makes adequate provision for the existing and projected needs of all economic segments of the community, as specified by State Law (California Government Code (CGC) Sections 65580–65589.8).

The rezoning of the 69 candidate sites allowed owner-occupied and rental multi-family residential uses “by-right” (without a conditional use permit, planned unit development permit or other discretionary action) pursuant to Government Code Section 65583.2(h). As part of the Updated Project, the majority of the Project Site was identified as Candidate Site W6G1S01 and was rezoned to the MU-V - Mixed Use-Village Zone as a part of the Rezoning Program identified in the Update Project.



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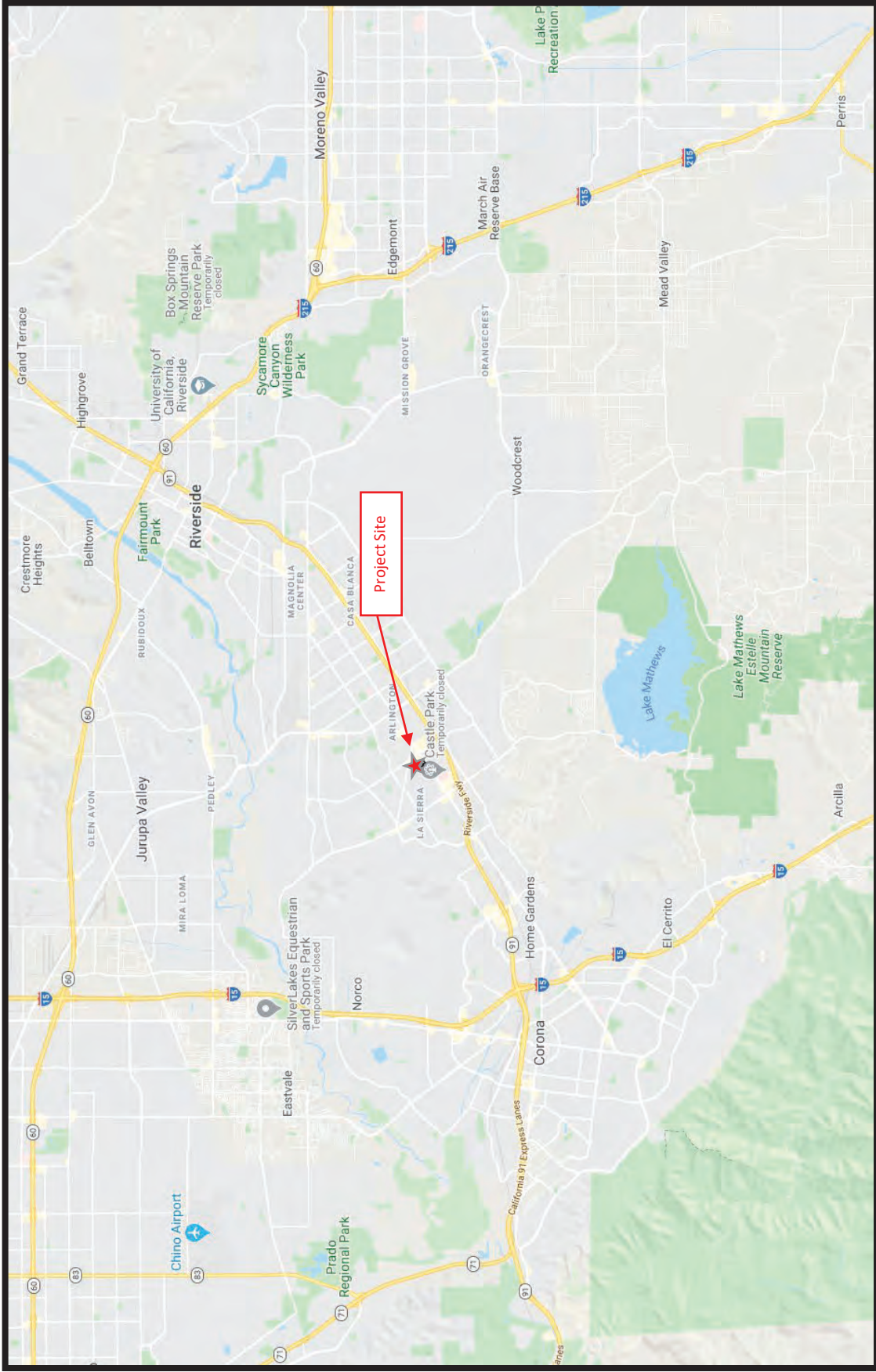


Figure 1 – Regional Vicinity Map

Source: Google Maps

Magnolia Flats Mixed-Use Project

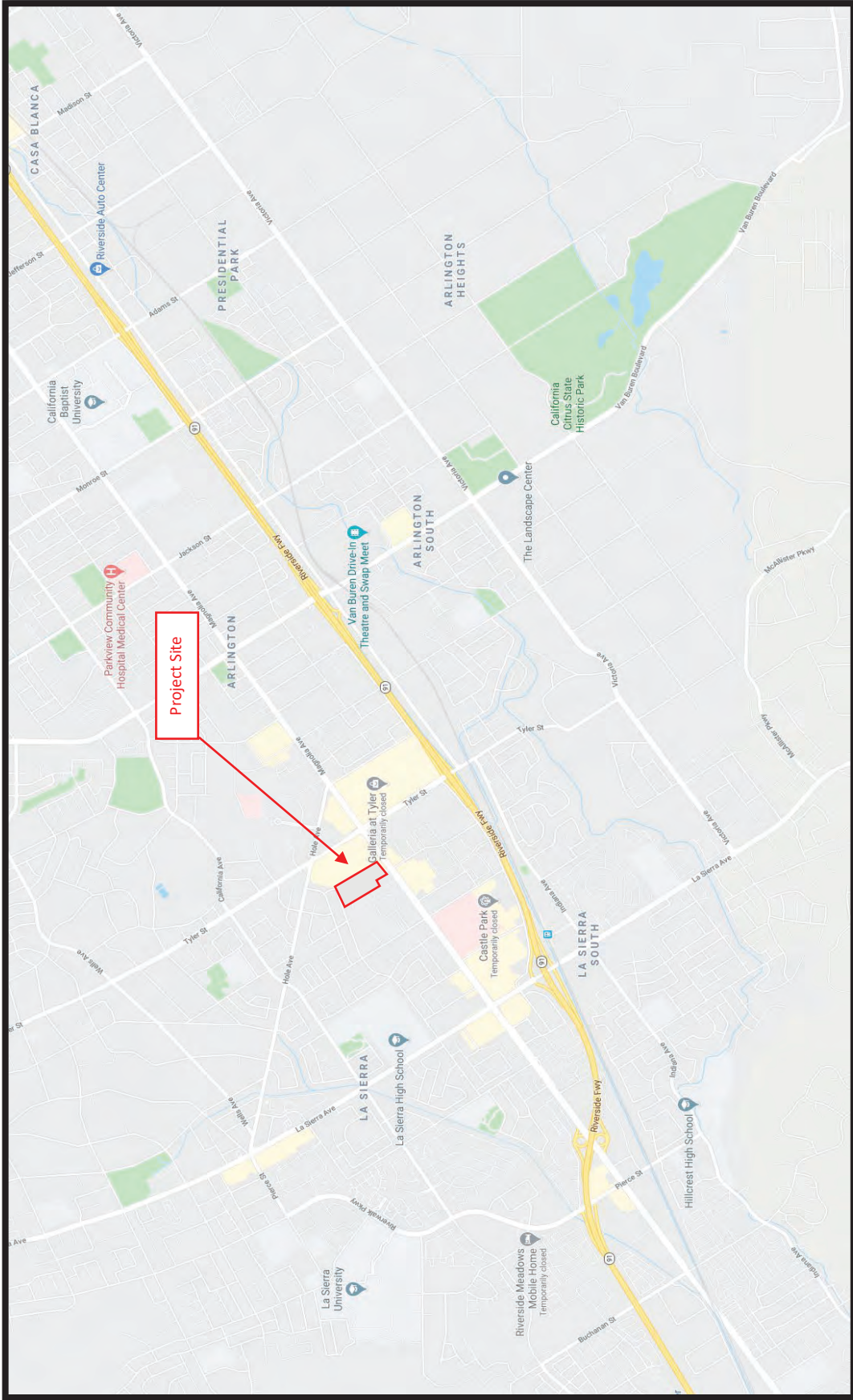


Figure 2 – Project Vicinity Map
Source: Google Maps

3 PROJECT DESCRIPTION

3.1 Project Background

The Project Site was formerly developed with general commercial and retail buildings, which contained a variety of commercial uses. Prior uses on the Project Site included a service station, general retail such as, drug store, grocery store, and pharmacy, and personal services such as, watch repair and dry-cleaning services. In the late 1980s, the Project Site was developed with approximately five (5) commercial buildings. By 2009, three (3) of the five (5) structures had been demolished and two small commercial structures remained on-site. The remaining commercial structures were demolished in 2018. The Project Site’s current conditions include no buildings on-site.

The Project Site, Candidate Site W6G1S01, was rezoned to MU-V - Mixed Use-Village Zone as part of the Rezoning Program. Development at the Project Site allows the construction of 30 dwelling units per acre and 2.5 floor are ratio (FAR) per acre. Since the Project Site is within one-half mile of a transit stop along Magnolia Avenue up to 40 dwelling units per acre are allowed on the Project Site. Multiple - Family Housing, which is traditional multiple-family developments and senior projects, as well as mixed use and student housing projects, are allowed uses with an approved Site Plan Review.

3.2 Proposed Project

The Proposed Project would consolidate the existing three parcels (APNs: 143-180-028-7, 143-180-031-9, and 143-180-032-0) into two lots, Table 1 – *Proposed Lots*. Lot 1 would comprise the area of the Project Site to be developed with the proposed residential development. Lot 2 would include commercial development of two retail buildings and ancillary parking area and improvements. The Proposed Project consists of demolition of existing improvements on the Project Site and construction of a mixed-use development involving a four-story, 450-unit residential building (Building A) with an approximate 1,880 square foot (SF) leasing office and a 6,320 SF enclosed amenity area and two (2), single-story commercial retail buildings (Building B and Building C) totaling approximately 9,000 SF. Additionally the mixed-use portion of the Proposed Project would include 830 surface parking spaces along with ancillary improvements including community recreation areas approximately 127,725 SF of open space, covered parking lot areas, as well as landscaping and hardscaping (**Figure 3 – Conceptual Site Plan**). Shared access between the proposed lots would be maintained. The Proposed Project would require offsite improvements within the public right-of-way, including storm drain and private on-site sewer to the public sewer main connections in Magnolia Avenue.

Table 1 – Proposed Lots

Lot No.	Proposed Use	Square Footage (acres)
1	Residential	579,783 (13.31)
2	Commercial	121,968 (2.8)
Total Project Site Area		701,751 (16.11 ac)

Residential (Building A)

The 13.31-acre residential portion of the proposed mixed-use development is wholly located on Lot 1. The exterior of the proposed 450-dwelling unit, 414,027 SF residential building would include the following materials, but not be limited to, stucco, metal siding, perforated metal panels, wood composite boards, cementitious siding, vinyl windows, masonry veneer and flat metal panels (**Figure 4 – Figure 5 Residential Conceptual Building Elevations** and **Figure 6 – Residential Building Sections**). The maximum height of Building A would be 47-feet 6-inches, as measured to the top of parapet. Mechanical equipment for the residential building would be located on the rooftop, shielded by the proposed parapet wall. The 450 dwelling units, available on levels one through level four, would consist of a mix of studios, one- and two-bedroom for rent units (Table 2 – *Proposed Unit Mix* and **Figure 7 – Figure 8 – Residential Conceptual Floor Plans**). The total proposed residential density is 33.8 du/ac. The City’s Housing Element assessed APN 143-180-028 at a density of 30.0 du/ac and a maximum potential development of 248 units. However, the General Plan EIR analyzed MU-V land use designations at a maximum density of 30/40 du/ac with high residential densities permissible under certain circumstances along Magnolia and University Avenues. Section 19.120.050 of the City’s Zoning Ordinance provides for higher residential densities along Magnolia Avenue if there is potential to serve as a transit-oriented development. Proposed projects within one-half mile of a transit stop along Magnolia Avenue qualify for this density increase to 40 du/ac. The Project Site is within one-half mile of a Riverside Transit Agency bus stop for lines 1 and 15. The transit stop is located less than 500-feet to the east of the Project Site on Magnolia Avenue.

Table 2 – Proposed Unit Mix

Unit Type	No. of Unit Type
Studios	106
One-bedroom	173
Two-bedroom	171
Total Proposed Units	450

The proposed Building A would include an approximate 1,880 SF leasing office and an approximate 6,320 SF enclosed amenity area for residents. The ground floor level of Building A would provide access to three proposed courtyards for residents, as well as the proposed leasing office and amenity area. The larger of the three courtyards would contain an outdoor lounge with swimming pool for residents, which would be open from 7:00 am to 10:00 pm. (**Figure 9 – Conceptual Landscape Plan**). The first two levels would include amenities, leasing office and some residential units, levels three through four would be comprised wholly of residential units. An approximate 2,264 SF roof deck is proposed on the southeast corner of Building A and would be accessed via stairwell. Private open space for selected units, in the form of balconies, would total approximately 24,336 SF. Public open space, approximately 127,725 SF, would be located within the three (3) courtyards within Building A, the entry courtyard located in front of the leasing office, and North Park which includes a walking path, tot lot, and dog park, located at the rear of the Project Site (**Figure 10 – Conceptual Open Space**).

Commercial (Building B and Building C)

The commercial component of the Proposed Project would be located wholly on Lot 2 which is approximately 2.8 acres, and be comprised of two buildings – Building B and Building C. In between Buildings B and C would be a retail courtyard, approximately 24,378 SF, comprised of a linear green turf area and outdoor seating area (**Figure 9 – Conceptual Landscape Plan**). Building B would be approximately 5,920 SF and consist of four (4) tenant spaces. Building C would be approximately 3,080 SF and consist of one (1) tenant space. Bicycle parking would be available on the west side of the Building B. The maximum height of both Building B and Building C would be 24-feet. Proposed materials for the exterior of the commercial portion include, but are not limited to, stucco, metal sliding, perforated metal panels, wood composite boards, vinyl windows, and flat metal panels (**Figure 11 – Figure 12 Commercial Conceptual Building Elevations**).

Parking and Circulation

Access to the Project Site would be provided via an existing curb cut, to be improved to meet all current City engineering standards, located on Magnolia Avenue at the intersection of Banbury Drive. This access drive aisle would provide two-way traffic ingress and egress which would lead to a roundabout located in front of the proposed leasing pavilion and entry courtyard. This drive aisle would continue throughout the Project Site and provide on-site circulation for all residential and commercial areas and would lead to the proposed 830 surface parking spaces. The existing commercial centers located to the east currently maintain through access to the Project Site from existing access ways on the eastern property line (**Figure 13 – Conceptual Turning Movement Plan** and **Figure 14 – Conceptual Parking Plan**). These through drive aisles and through access ways would be maintained with the development of the Proposed Project. No gates are proposed as part of the Proposed Project, and reciprocal access for adjoining commercial properties is shown in **Figure 15 – Reciprocal Access Plan**.

A total of 736 parking spaces would be provided for the residential portion of the Proposed Project. Of the proposed 736 residential parking stalls, 20 would be ADA accessible, and 533 of the parking spaces would be covered. A total of 94 parking spaces would be provided for the commercial portion of the Proposed Project, all located on Lot 2. Of the 94 spaces, eight (8) stalls would be ADA accessible. Multiple landscape islands area located throughout the proposed surface parking area in accordance with Chapter 19.580.090 – Parking Lot Landscaping, which requires a minimum of one (1) tree per four (4) spaces. Additional access to the Project Site would be provided via a secondary existing curb cut located on the northeastern border of Lot 2 and Lot 3. This access point would provide ingress and egress for delivery and large trucks. This curb cut leads to a drive aisle that has access through the Project Site, as well as access to the commercial center located to the east with shared access, as shown in Figure 15. Improvements associated with the new access throughout the Project Site would include new paving, curb, and gutter where applicable.

Utility Connections/Offsite Improvements

The Proposed Project would connect to existing water and sanitary sewer located in Magnolia Avenue, adjacent commercial centers to the east/northeast, and existing water and sewer in Lots 1 and 2. There are three existing water lines running through the Project Site (6-inch, 8-inch, and 12-inch). As part of the Proposed Project, portions of the 8-inch and 12-inch water line would be

either removed or abandoned in place, with the 12-inch water line portions realigned toward the rear of the Project Site. Existing 6-inch and 8-inch sewer lines run through Lots 1 and 2 as well, with portions of both 6- and 8-inch lines to be removed. Lots 1 and 2 would include four (4) drywell pretreatment devices for the containment and treatment of stormwater runoff. Proposed storm drain improvements associated with the Proposed Project would require connection to existing infrastructure within Magnolia Avenue (**Figure 16 – Preliminary Storm Drain Plan** and **Figure 17 – Preliminary Wet Utility Plan**). The Magnolia Avenue streetscape would include new landscape improvements as shown in Figure 9.

Walls and Fences

Walls and fencing would be provided for the proposed development. The existing retaining property block wall located on northwest portion of Lot 1 would be modified as a part of the Proposed Project. A decorative wall cap would be added to the existing wall and painted. Some portions of the wall would be reconstructed, as necessary. Wall height would not exceed 6-feet above the finished surface on both sides. Additional fencing within the Project Site would include a 3-foot high tube fencing surrounding the proposed dog park and 5-foot high steel fencing surrounding the proposed pool area in Building A (**Figure 18 – Conceptual Fence and Wall Plan**).

Project Design Features

The following Project Design Features are included in the project description and shown on **Figure 19 – Project Design Features**.

- PDF AE-1: The Property Owner/Developer shall design the Proposed Project to include courtyards in the residential development design.
- PDF AE-2: The Property Owner/Developer shall design the Proposed Project to enhance pedestrian movement to, and between, adjacent uses.
- PDF AE-3: The Property Owner/Developer shall design the Proposed Project to include building articulation to create an interesting and individual design to diminish massing of the large residential structure.
- PDF AQ-1: The Property Owner/Developer shall provide electrical vehicle charging space (EV space) capable of supporting future Electric vehicle supply equipment (EVSE) for the development as required in CalGreen.
- PDF AQ-2: The Property Owner/Developer shall use architectural paints, aerosol paints, and coatings that comply with CalGreen VOC limits.
- PDF AQ-3: The Property Owner/Developer shall install bike racks.
- PDF CUL-1: Prior to the issuance of a grading permit, the Property Owner/Developer shall retain an on-call archaeologist. In the event native soils are encountered during the building pad over-excavation, development in those areas shall be halted and the archaeologist shall implement sections b) through f) of MM Cultural 6.
- PDF GHG-1: The Property Owner/Developer shall use water efficient irrigation systems and drought tolerate landscaping. Potable water in landscape areas will be used in

compliance with City and California Department of Water Resources' Model Water Landscape Ordinance, whichever is more stringent.

- PDF GHG-2: The Property Owner/Developer shall provide indoor water conserving plumbing and fixtures such as low flow showerhead, faucets and urinals that comply with CalGreen requirements.
- PDF GHG-3: The Property Owner/Developer shall include trees throughout the Project Site along the perimeter of the Project Site, the residential buildings, and the retail buildings. Additionally, trees would be planted throughout the park and parking areas.
- PDF GHG-4: The Property Owner/Developer shall design include carpet, flooring, and wood paneling with low levels of low levels of formaldehyde and low volatile organic components and/or be composed of recycled product.
- PDF GHG-5: The Property Owner/Developer shall use architectural paints, aerosol paints, and coatings that comply with CalGreen VOC limits.
- PDF NOI-1: The Property Owner/Developer shall require that the pool and spa area to closed between the hours of 10 PM and 7 AM every day of the week. The pool and spa hours shall be specified in all lease agreements as well as posted at every entrance to the pool and spa area.
- PDF NOI-2: The Property Owner/Developer shall modify existing block wall along residential uses. The wall shall have a minimum height of 6 feet above finish surface on both sides and it shall be painted and reconstructed at certain portions, as needed.
- PDF TRAF-1: The Proposed Project includes bicycle parking near the commercial/retail area.

3.3 Construction and Schedule

Proposed Construction

Construction activities for the Proposed Project are anticipated to begin June 2021 and buildout is expected to be completed by end of the year 2022. Construction duration is estimated to be approximately 18 months. Construction activities would include demolition, grading, building construction, paving and architectural coating. Earthwork quantities for grading include 8,640 cubic yards of cut and 20,290 cubic yards of fill, which would require approximately 11,650 cubic yards of dirt to be imported to the Project Site (**Figure 20 – Conceptual Grading Plan**).

4 DISCRETIONARY APPROVALS

The Applicant is requesting approval of the following entitlements for the Proposed Project:

- Site Plan Review Permit (P19-0863) of project plans for the mixed-use project consisting of 450 multi-family residential dwelling units; and 9,000 square feet of commercial
- Conditional Use Permit (P20-0133) to allow for the construction of accessory structures and recreational uses within the Watercourse Overlay.



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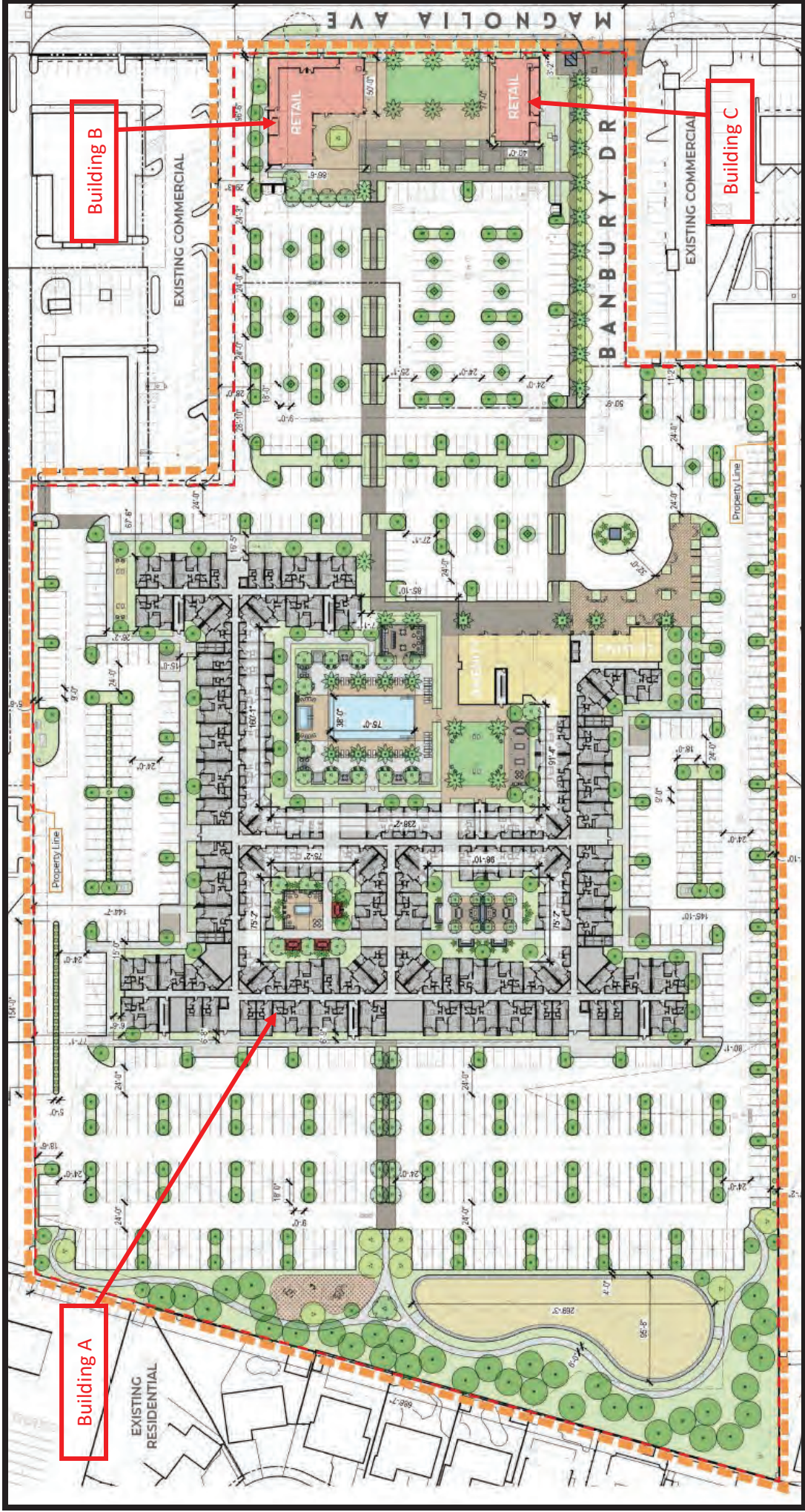


Figure 3 – Conceptual Site Plan

Source: LandStudio360

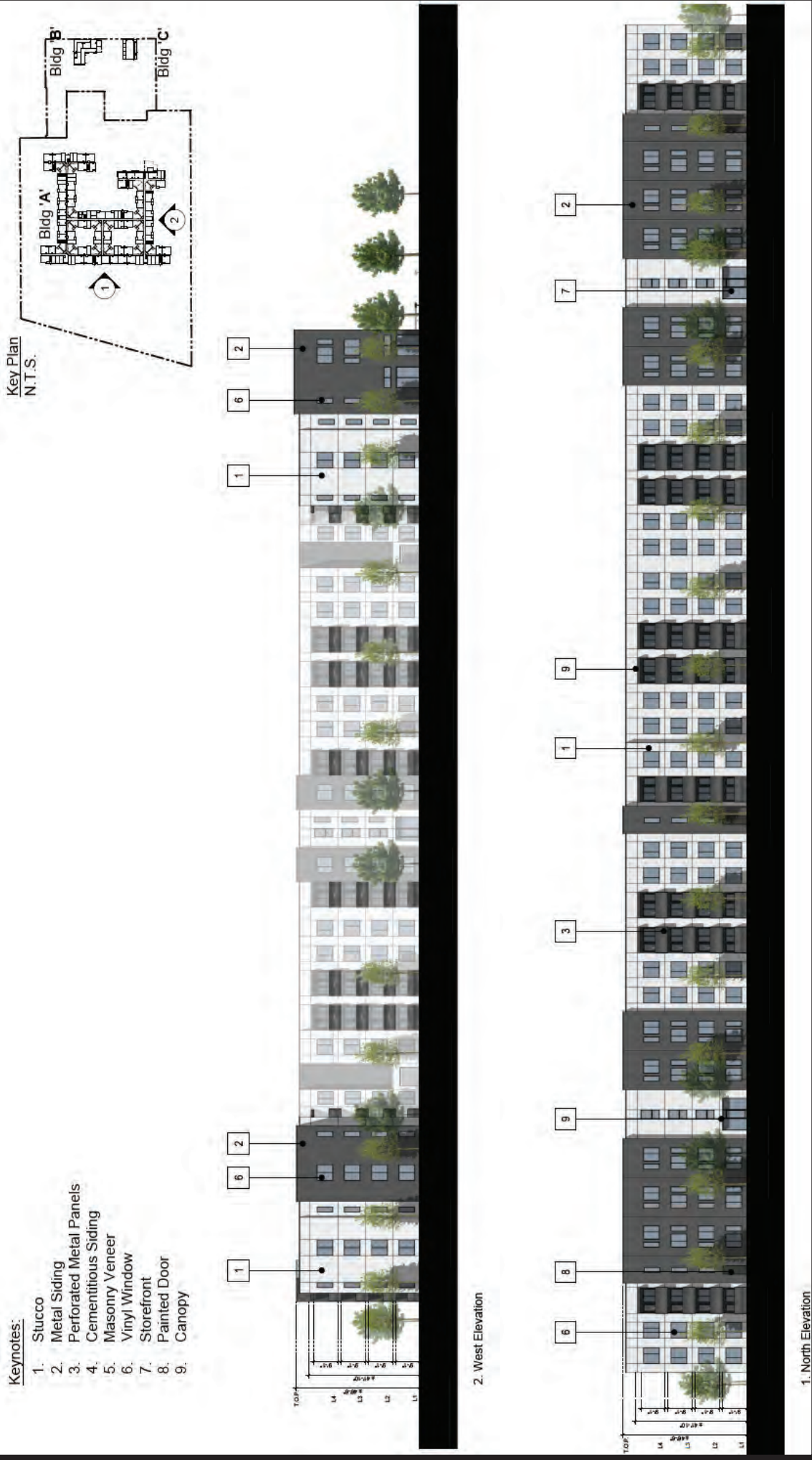


Figure 4 – Residential Building Elevations (1)

Source: ktgy Architecture + Planning

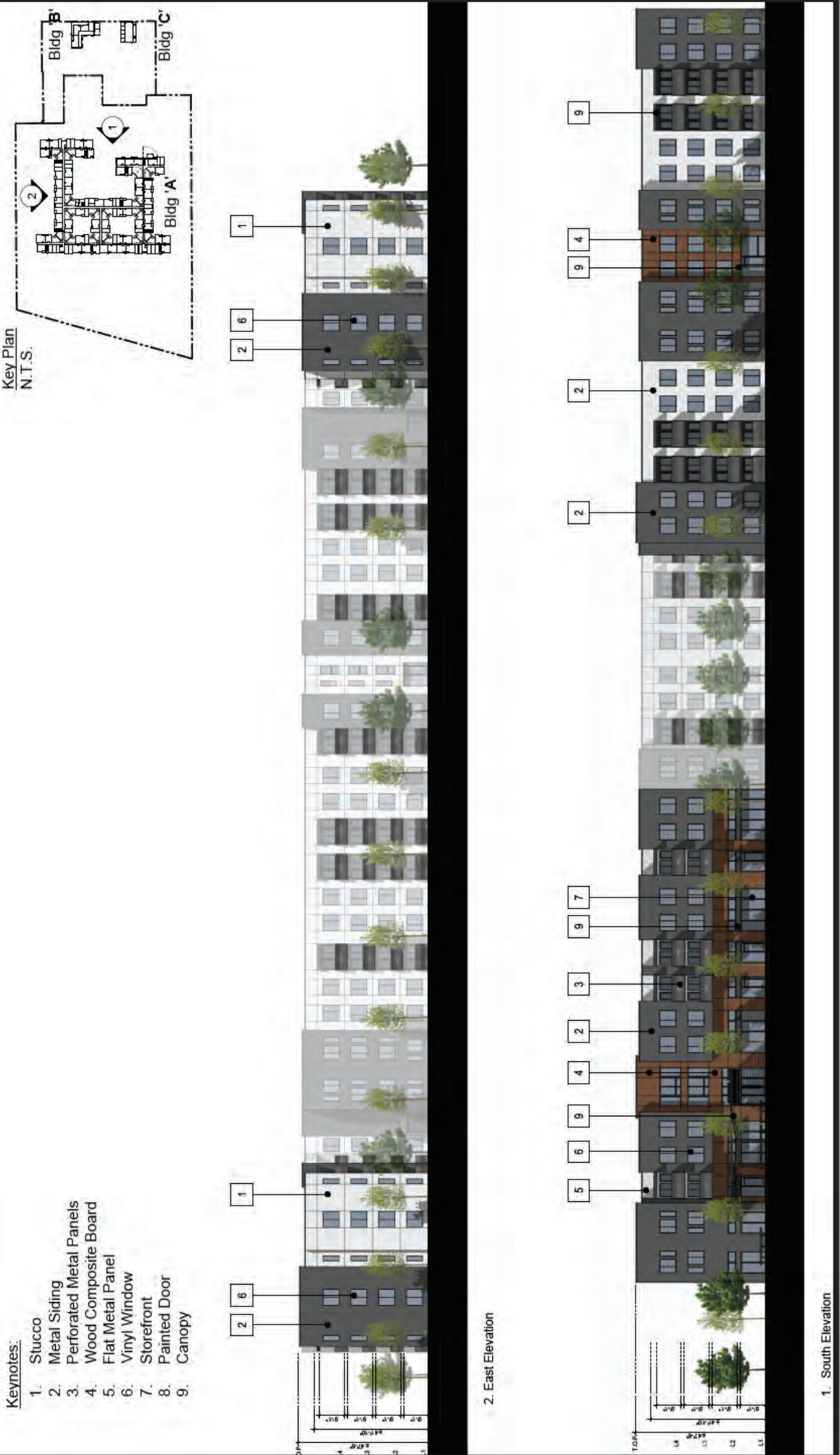


Figure 5 – Residential Building Elevations (2)

Source: ktgy Architecture + Planning

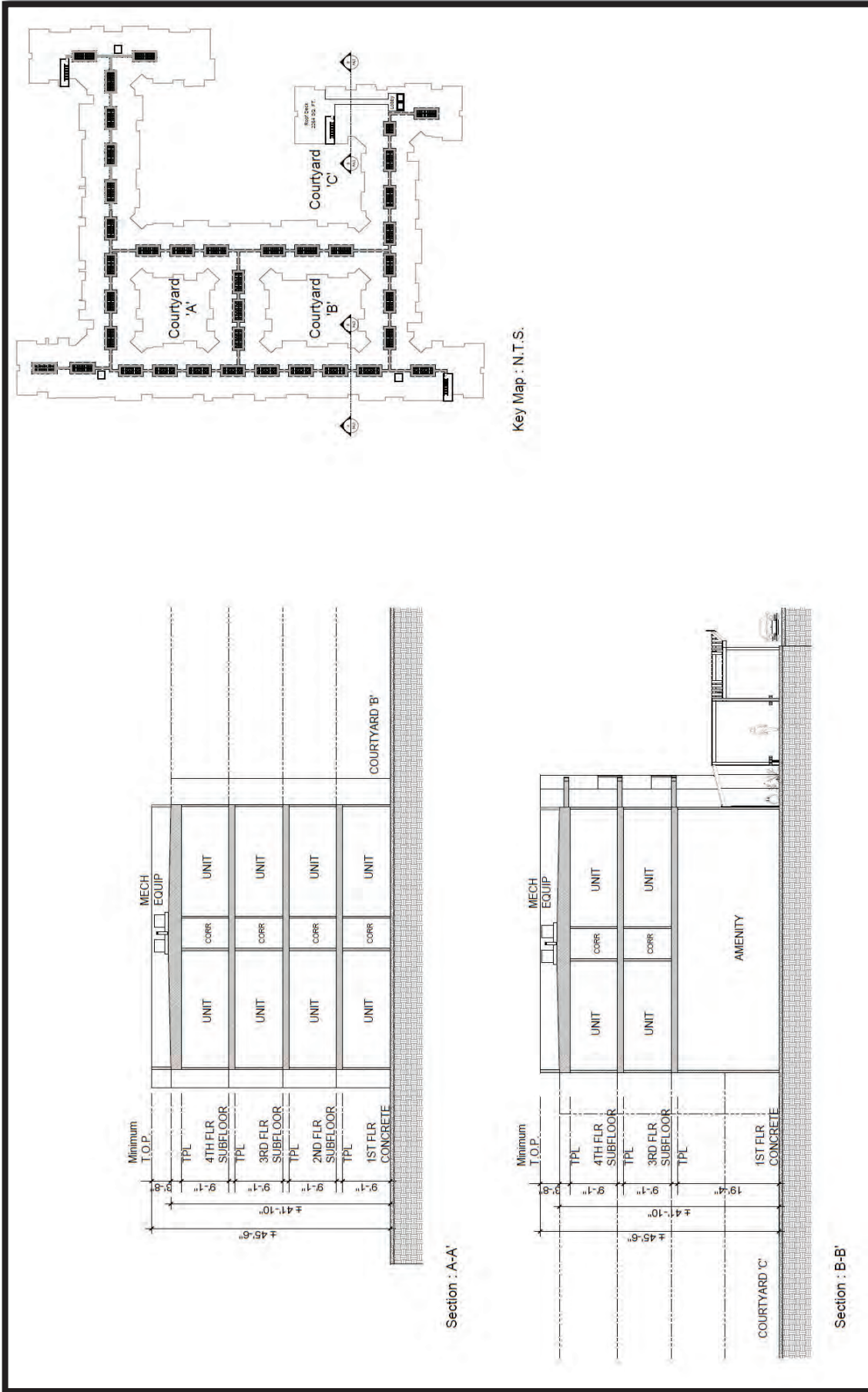


Figure 6 – Residential Building Sections

Source: ktgy Architecture + Planning

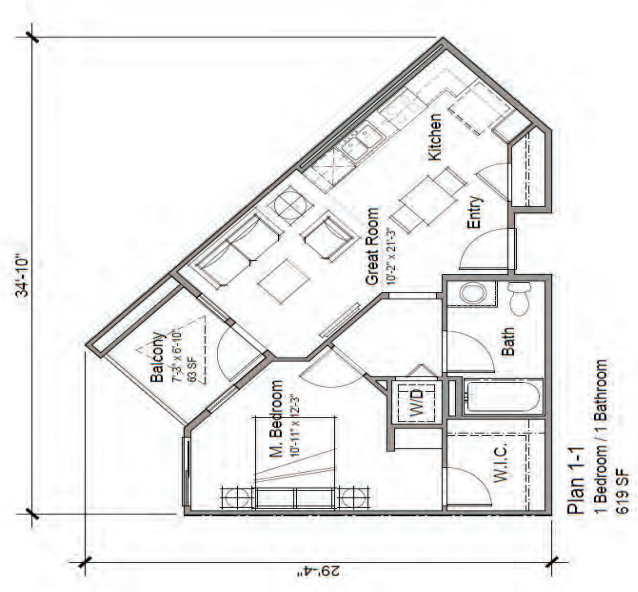
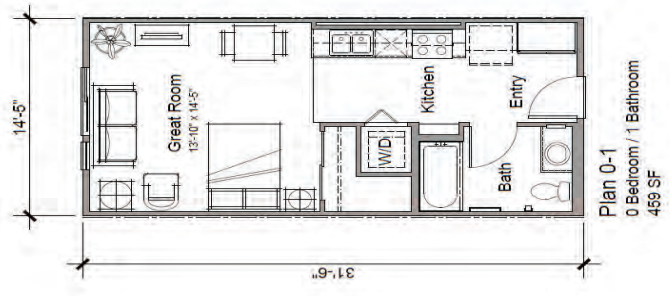


Figure 7 – Residential Conceptual Floor Plans (1)

Source: ktgy Architecture + Planning

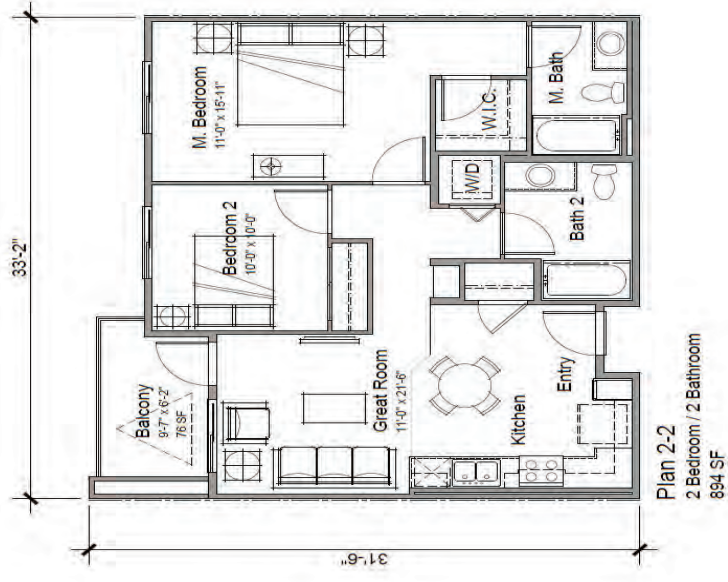
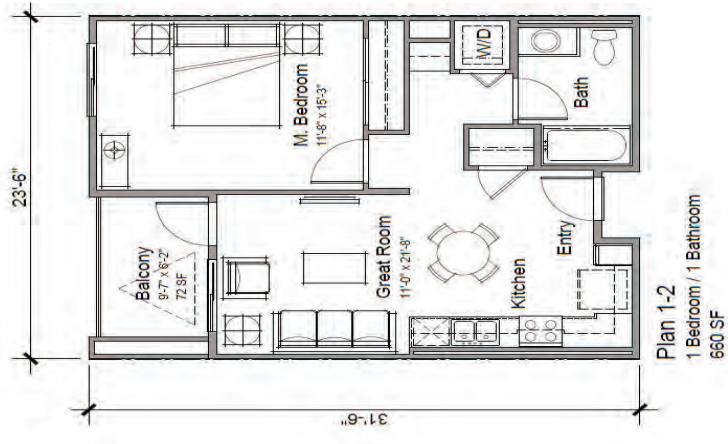
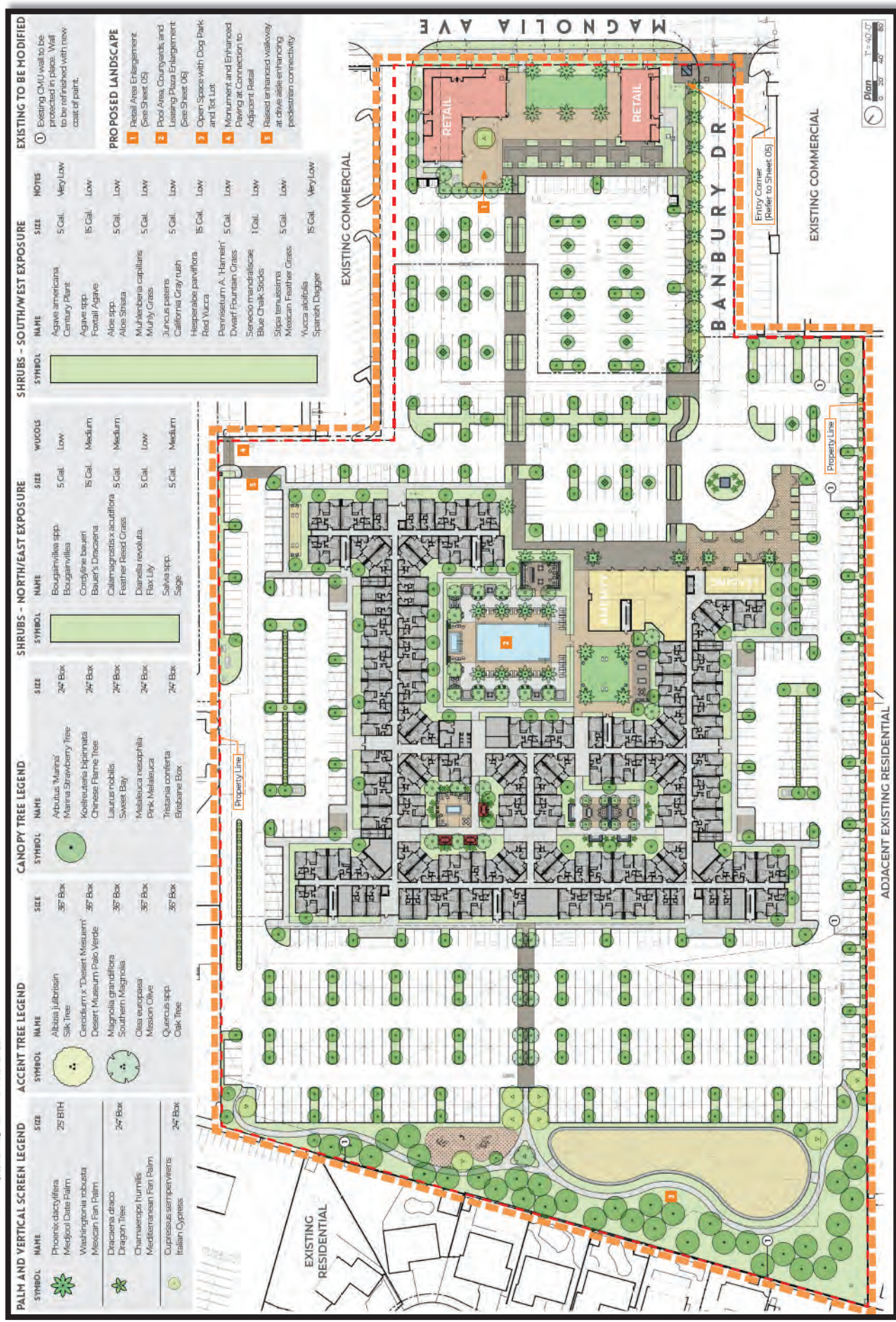


Figure 8 – Residential Conceptual Floor Plans (2)

Source: ktgy Architecture + Planning



EXISTING TO BE MODIFIED

- Existing CMU wall to be protected in place. Wall to be refreshed with new coat of paint.

PROPOSED LANDSCAPE

- Pedal Area Enlargement (See Sheet 05)
- Pool Area, Courtyards, and Leasing Plaza Enlargement (See Sheet 06)
- Open Space with Dog Park and Tot Lot
- Monument and Enhanced Paving at Connection to Adjacent Retail
- Based enhanced walkway at office side enhancing pedestrian connectivity

SHRUBS - SOUTH/WEST EXPOSURE

SYMBOL	NAME	SIZE	NOTES
[Symbol]	Agave americana	5 Gal.	Very Low
[Symbol]	Century Plant	15 Gal.	Low
[Symbol]	Agave spp.	5 Gal.	Low
[Symbol]	Foxtail Agave	5 Gal.	Low
[Symbol]	Aloe spp.	5 Gal.	Low
[Symbol]	Aloe Stretia	5 Gal.	Low
[Symbol]	Muhlenbergia capillaris	5 Gal.	Low
[Symbol]	Muhly Grass	5 Gal.	Low
[Symbol]	Juncus patens	5 Gal.	Low
[Symbol]	California Gray Rush	15 Gal.	Low
[Symbol]	Hebe parviflora	5 Gal.	Low
[Symbol]	Red Yucca	5 Gal.	Low
[Symbol]	Pennisetum A. 'Harmain'	1 Gal.	Low
[Symbol]	Dwarf Fountain Grass	5 Gal.	Low
[Symbol]	Senecio mandraliscae	5 Gal.	Low
[Symbol]	Blue Chalk Sticks	5 Gal.	Low
[Symbol]	Silpho tenuissimus	5 Gal.	Low
[Symbol]	Mexican Feather Grass	5 Gal.	Low
[Symbol]	Yucca aloifolia	15 Gal.	Very Low
[Symbol]	Spanish Dagger		

SHRUBS - NORTH/EAST EXPOSURE

SYMBOL	NAME	SIZE	WUCOLS
[Symbol]	Bougainvillea spp.	5 Gal.	Low
[Symbol]	Bougainvillea	15 Gal.	Medium
[Symbol]	Corcovine bouvieri	5 Gal.	Medium
[Symbol]	Bauer's Dracaena	5 Gal.	Low
[Symbol]	Calamagrostis acutiflora	5 Gal.	Medium
[Symbol]	Feather Reed Grass	5 Gal.	Low
[Symbol]	Dianella revoluta	5 Gal.	Low
[Symbol]	Flax Lily	5 Gal.	Medium
[Symbol]	Salvia spp.	5 Gal.	Medium
[Symbol]	Sage	5 Gal.	Medium

CANOPY TREE LEGEND

SYMBOL	NAME	SIZE
[Symbol]	Abutus 'Miami'	36" Box
[Symbol]	Manna Shrivervort Tree	36" Box
[Symbol]	Koelerutaria bipinnata	36" Box
[Symbol]	Chinese Flame Tree	36" Box
[Symbol]	Laurus nobilis	36" Box
[Symbol]	Sweet Bay	36" Box
[Symbol]	Melaleuca nesophila	36" Box
[Symbol]	Pink Melaleuca	36" Box
[Symbol]	Trochena confertifera	36" Box
[Symbol]	Blebbane Box	36" Box

ACCENT TREE LEGEND

SYMBOL	NAME	SIZE
[Symbol]	Albizia julibrissin	25 BTH
[Symbol]	Silk Tree	25 BTH
[Symbol]	Cercidium x 'Desert Mistquest'	24" Box
[Symbol]	Desert Museum Palo Verde	24" Box
[Symbol]	Magnolia grandiflora	24" Box
[Symbol]	Southern Magnolia	24" Box
[Symbol]	Olea europaea	24" Box
[Symbol]	Mission Olive	24" Box
[Symbol]	Quercus spp.	24" Box
[Symbol]	Oak Tree	24" Box

PALM AND VERTICAL SCREEN LEGEND

SYMBOL	NAME	SIZE
[Symbol]	Phoenix dactylopera	25 BTH
[Symbol]	Medjool Date Palm	25 BTH
[Symbol]	Washingtonia robusta	24" Box
[Symbol]	Mexican Fan Palm	24" Box
[Symbol]	Chamaedorea humilis	24" Box
[Symbol]	Mediterranean Fan Palm	24" Box
[Symbol]	Cupressus sempervirens	24" Box
[Symbol]	Italian Cypress	24" Box

Figure 9 – Conceptual Landscape Plan

Source: LandStudio360

Magnolia Flats Mixed-Use Project

OPEN SPACE

REQUIRED

Min. common (50 sf/du)	22,500 sf
Min. private (50 sf/du)	22,500 sf
Total	± 45,000 sf

LEGEND

- Private Open Space
- Common Open Space
- Retail Common Open Space

PROVIDED

Common open space	± 127,725 sf
Private open space	± 24,336 sf
Total	± 152,061 sf

Note: Each 1 Bed - 2 Bed units have private open space ranging from 52 sf - 65 sf.

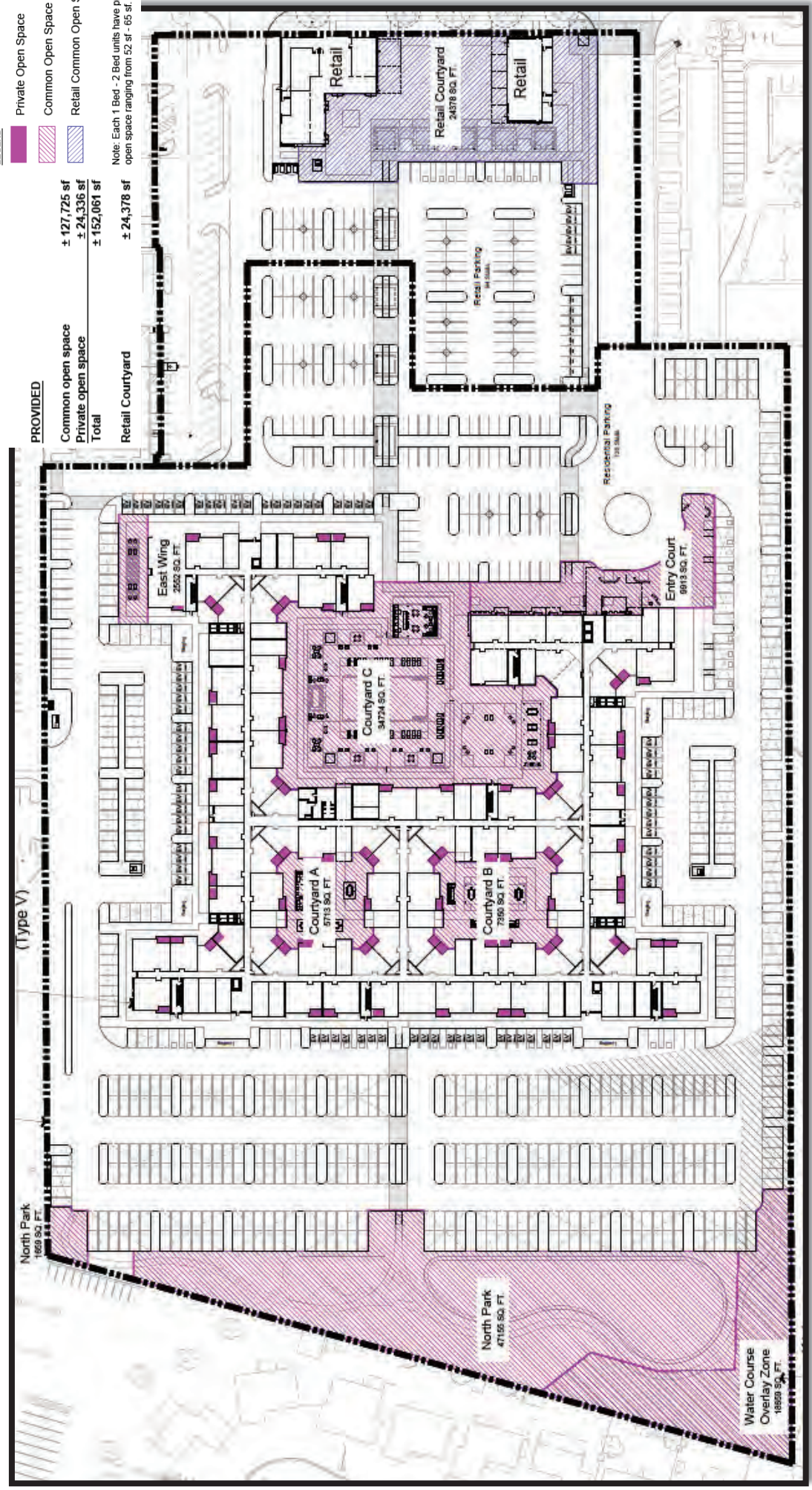


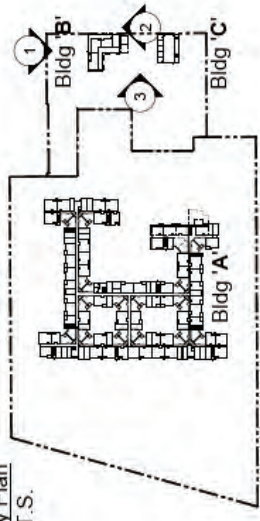
Figure 10 – Conceptual Open Space

Source: ktgy Architecture + Planning

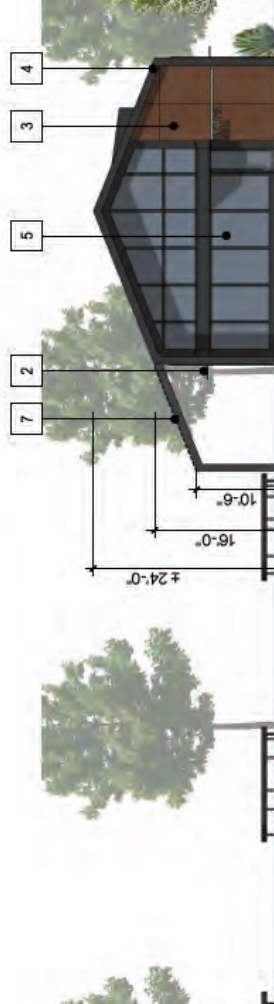
Keynotes:

1. Metal Siding
2. Perforated Metal Awning
3. Wood Composite Board
4. Flat Metal Panel
5. Storefront
6. Painted Door
7. Canopy
8. Dormer Vents

Key Plan
N.T.S.



3. North Elevation : Building 'B'



2. West Elevation : Building 'B'



1. East Elevation : Building 'B'



Building 'C'

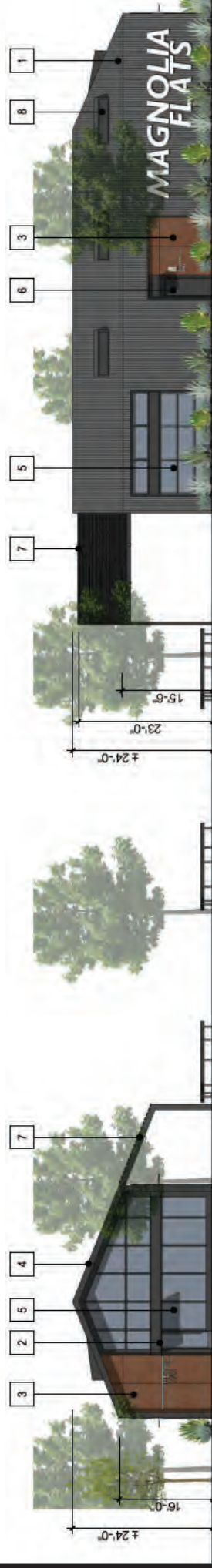
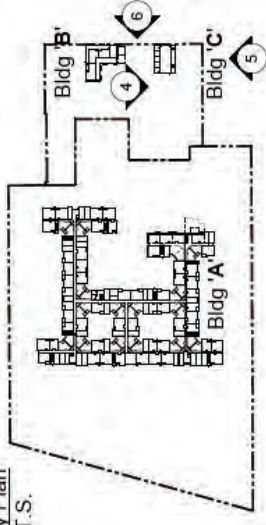
Figure 11 – Commercial Buildings Elevations (1)

Source: ktgy Architecture + Planning

Keynotes:

1. Metal Siding
2. Perforated Metal Awning
3. Wood Composite Board
4. Flat Metal Panel
5. Storefront
6. Painted Door
7. Canopy
8. Dormer Vents

Key Plan:
N.T.S.



6. South Elevation : Building 'C'

35'-0"

Building 'B'



4. East Elevation : Building 'C'

5. West Elevation : Building 'C'

35'-0"

Figure 12 – Commercial Buildings Elevations (2)

Source: ktgy Architecture + Planning

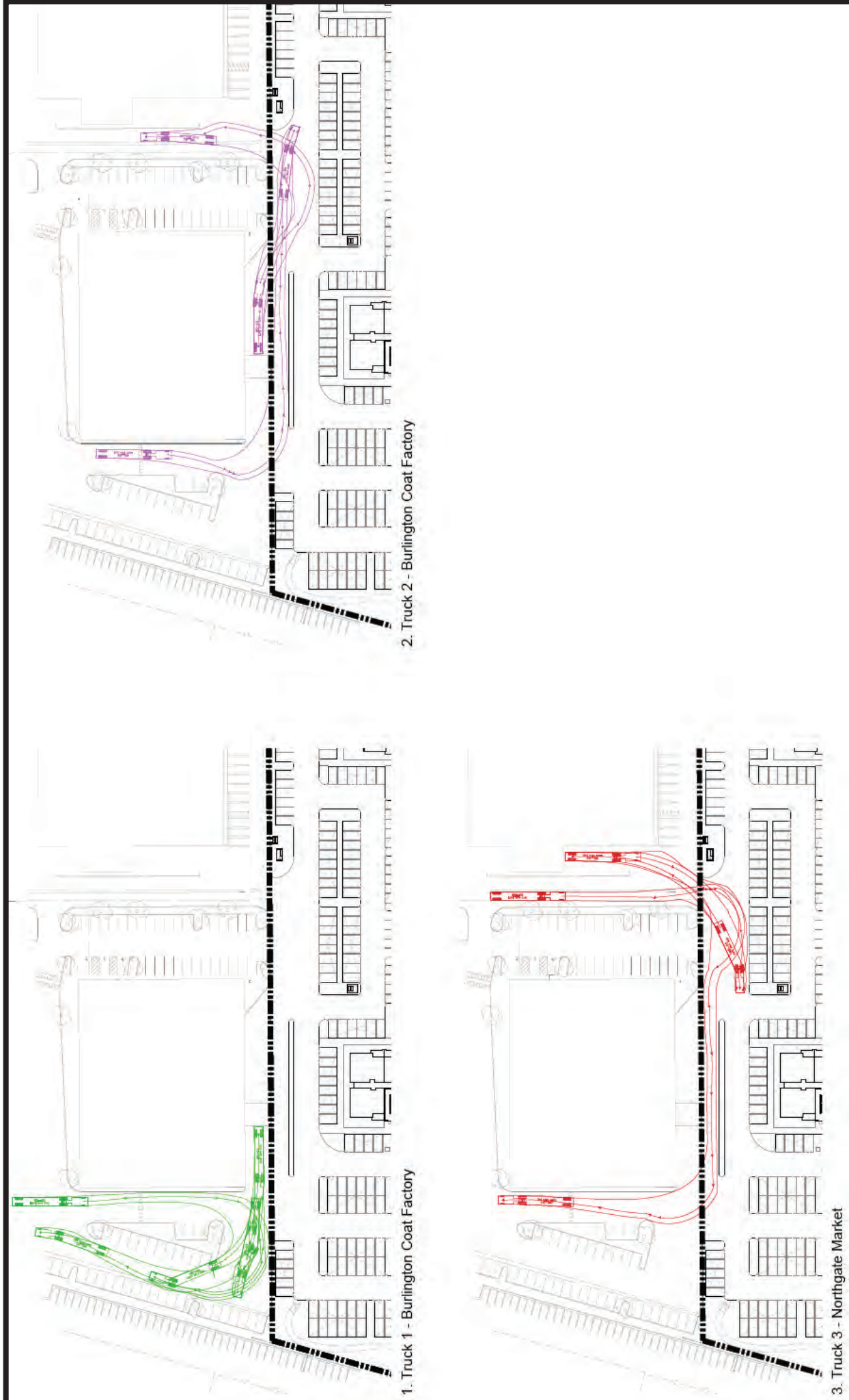


Figure 13 – Conceptual Turning Movement Plan

Source: ktgy Architecture + Planning

Magnolia Flats Mixed-Use Project

PARKING

RETAIL ●

- 94 Total Stalls Provided
- 86 Standard
- 8 Accessible

RESIDENTIAL ●

- 736 Total Stalls Provided
- 716 Standard
- 20 Accessible

***533 Covered (75% Min. of the Total Required 708 Stalls)**

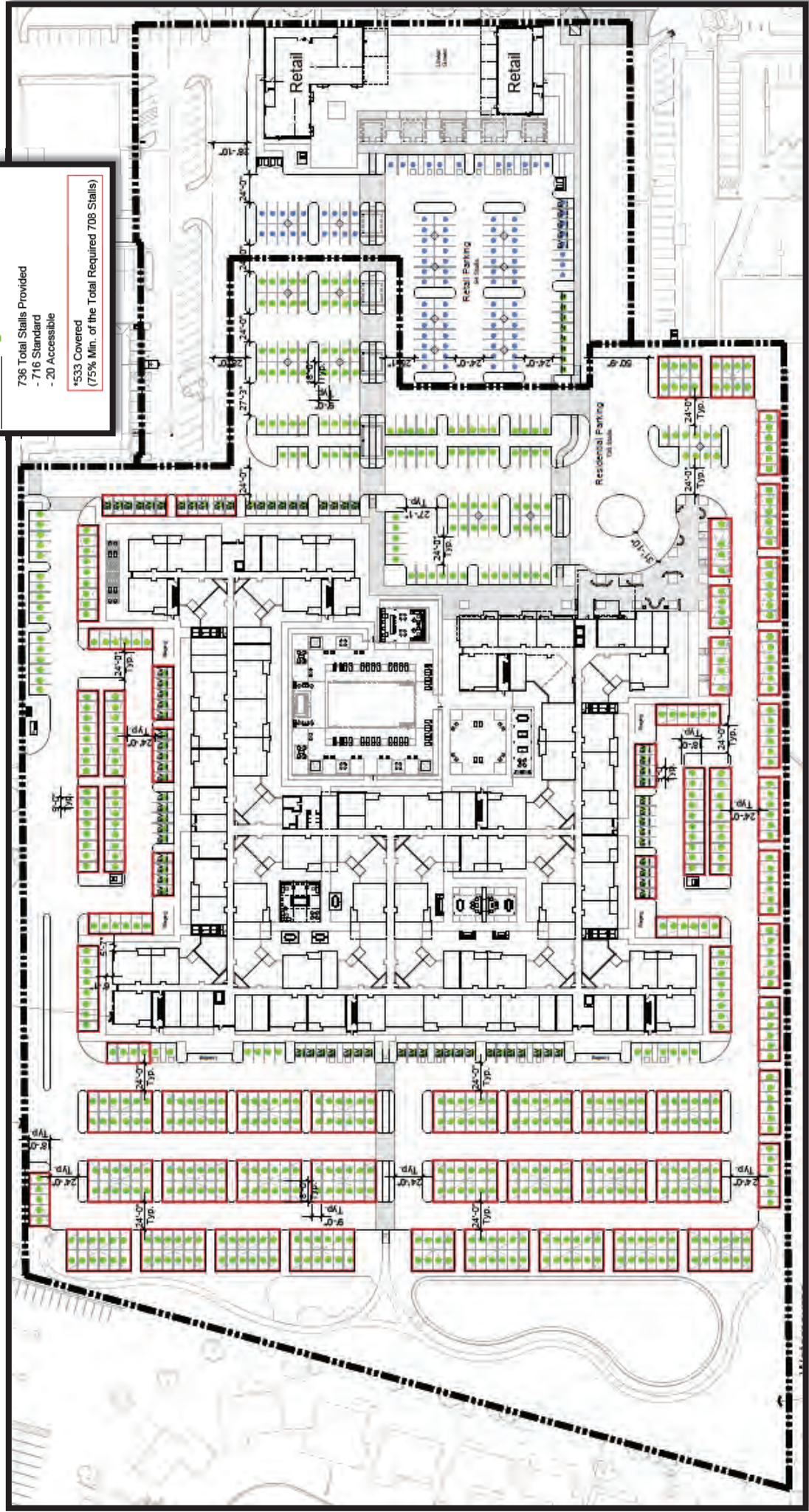


Figure 14 – Conceptual Parking Plan

Source: ktgy Architecture + Planning

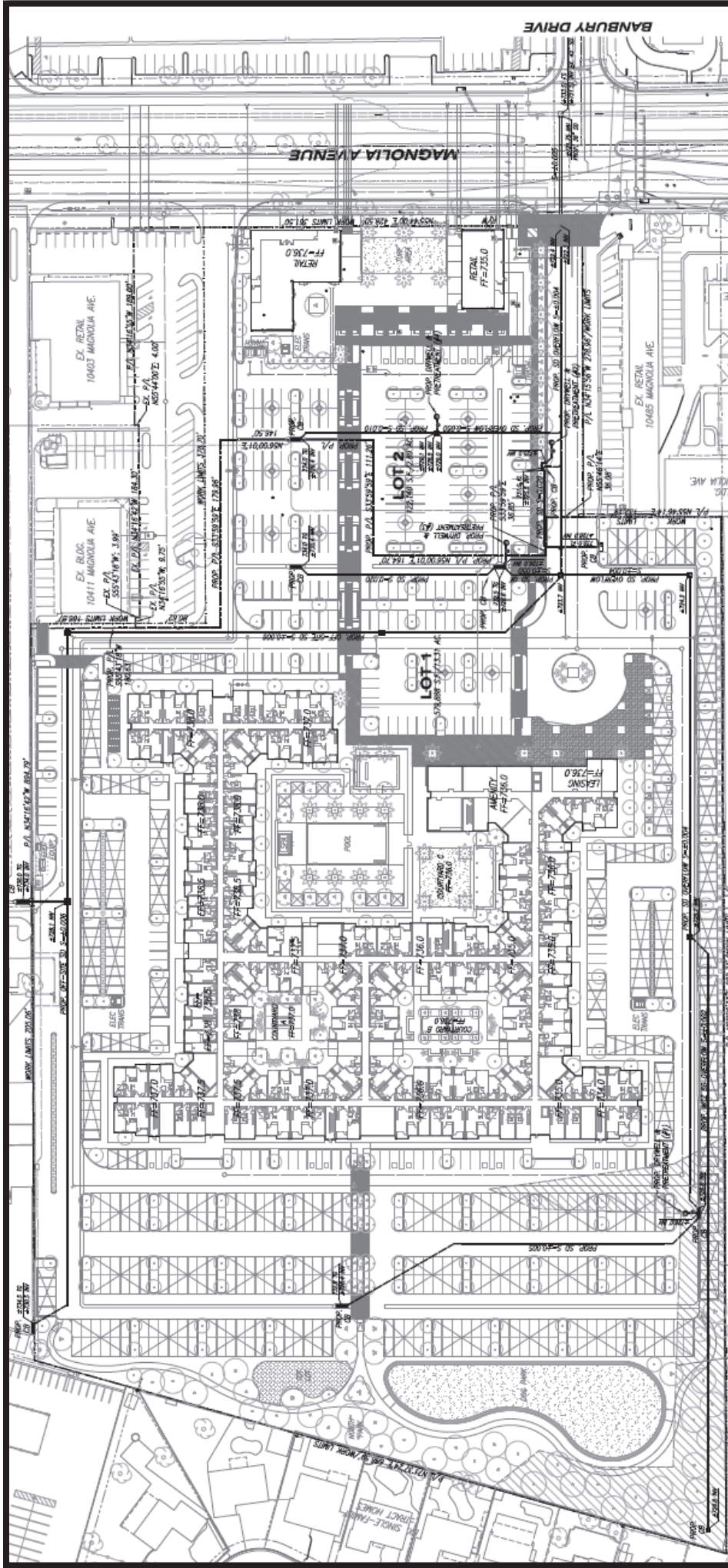


Figure 16 – Preliminary Storm Drain

Source: KHR Associates

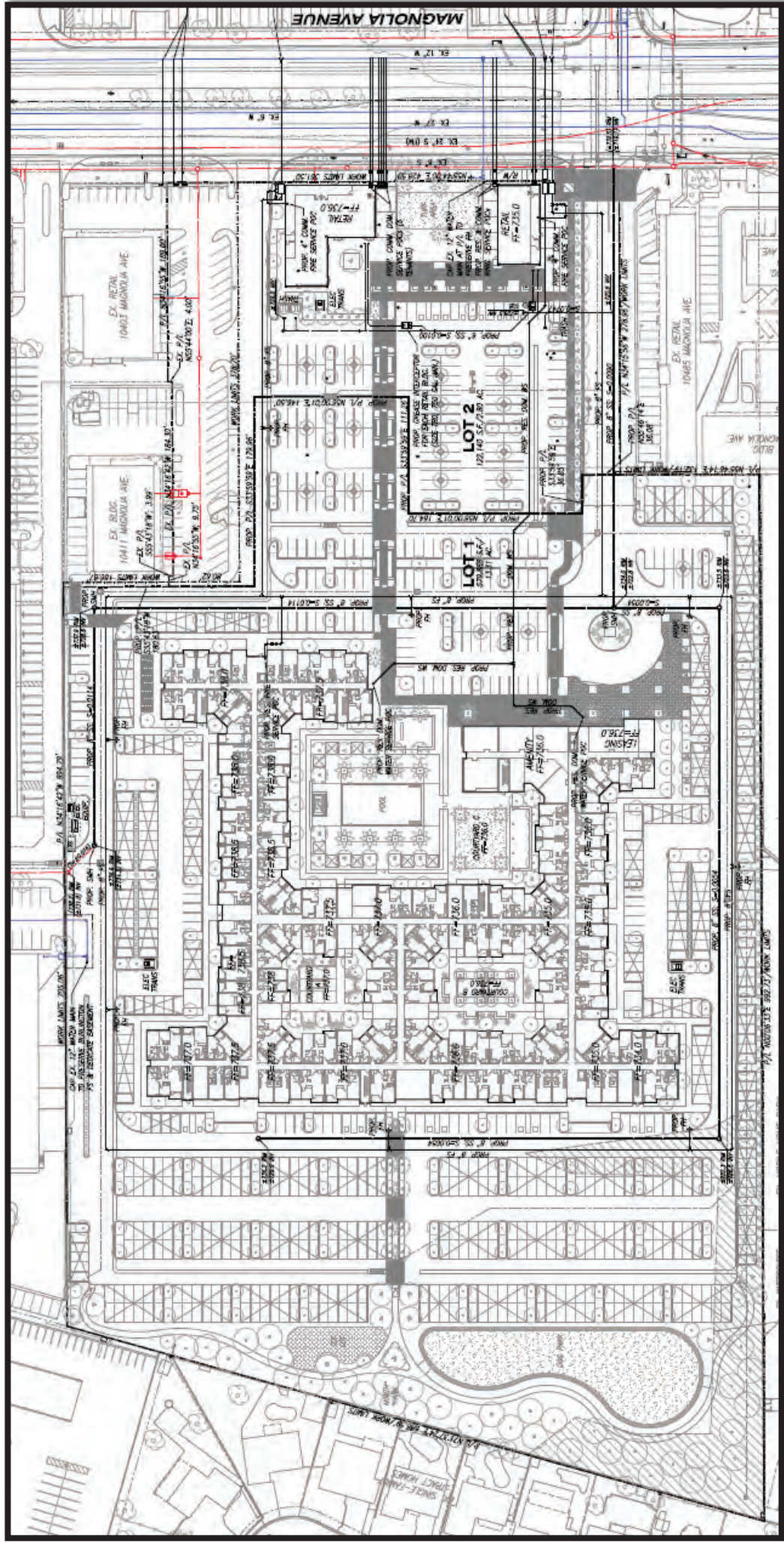


Figure 17 – Preliminary Wet Utility
Source: KHR Associates



DESIGN FEATURES

- AE-1: THE PROPERTY OWNER/DEVELOPER SHALL DESIGN THE PROPOSED PROJECT TO INCLUDE COURTYARDS IN THE RESIDENTIAL DESIGN.
- AE-2: THE PROPERTY OWNER/DEVELOPER SHALL DESIGN THE PROPOSED PROJECT TO ENHANCE PEDESTRIAN MOVEMENT TO, AND BETWEEN, ADJACENT USES.
- AE-3: THE PROPERTY OWNER/DEVELOPER SHALL DESIGN THE PROPOSED PROJECT TO INCLUDE BUILDING ARTICULATION TO CREATE AN INTERESTING AND INDIVIDUAL DESIGN TO DIMINISH MASSING OF THE LARGE RESIDENTIAL STRUCTURE.
- AQ-1: THE PROPERTY OWNER/DEVELOPER SHALL PROVIDE ELECTRICAL VEHICLE CHARGING SPACE (EV SPACE) CAPABLE OF SUPPORTING FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) FOR THE DEVELOPMENT AS REQUIRED BY CALGREEN.
- AQ-2: THE PROPERTY OWNER/DEVELOPER SHALL USE ARCHITECTURAL PAINTS, AEROSOL PAINTS, AND COATINGS THAT COMPLY WITH CALGREEN VOC LIMITS.
- AQ-3: THE PROPERTY OWNER/DEVELOPER SHALL INSTALL BIKE RACKS.
- GHG-2: THE PROPERTY OWNER/DEVELOPER SHALL PROVIDE INDOOR WATER CONSERVING PLUMBING AND FIXTURES SUCH AS LOW FLOW SHOWERHEAD, FAUCETS AND URINALS THAT COMPLY WITH CALGREEN REQUIREMENTS.
- GHG-4: THE PROPERTY OWNER/DEVELOPER SHALL DESIGN INCLUDE CARPET, FLOORING, AND WOOD PANELING WITH LOW LEVELS OF FORMALDEHYDE AND LOW VOLATILE ORGANIC COMPONENTS AND/OR BE COMPOSED OF RECYCLED MATERIALS.
- GHG-5: THE PROPERTY OWNER/DEVELOPER SHALL USE ARCHITECTURAL PAINTS, AEROSOL PAINTS, AND COATINGS THAT COMPLY WITH CALGREEN VOC LIMITS.
- NOI-1: THE PROPERTY OWNER/DEVELOPER SHALL REQUIRE THAT THE POOL AND SPA AREA TO BE CLOSED BETWEEN THE HOURS OF 10 PM AND 7 AM EVERY DAY OF THE WEEK. THE POOL AND SPA HOURS SHALL BE SPECIFIED IN ALL LEASE AGREEMENTS AS WELL AS POSTED AT EVERY ENTRANCE TO THE POOL AND SPA AREA.
- TRAF-1: THE PROPOSED PROJECT INCLUDES BICYCLE PARKING NEAR THE COMMERCIAL/RETAIL AREA.

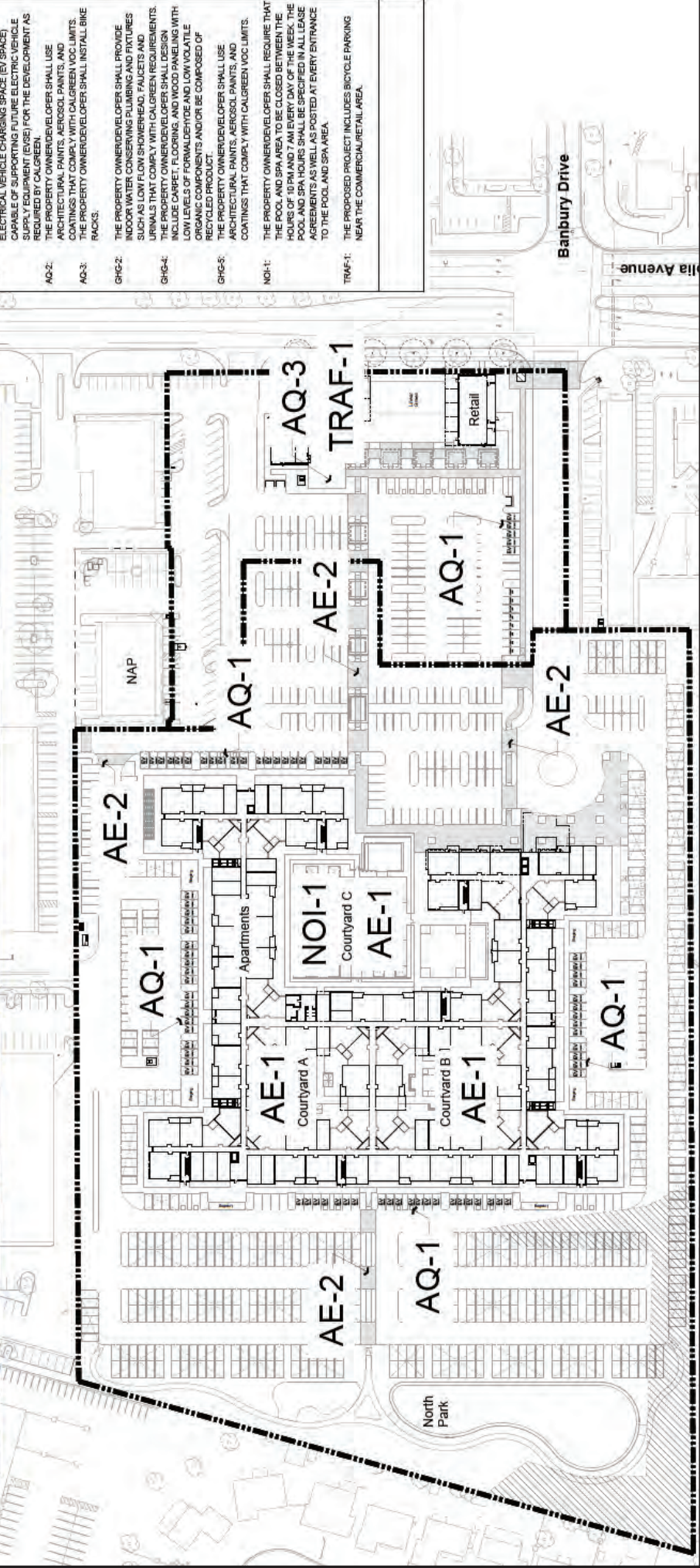


Figure 19 – Project Design Features

Source: ktgy Architecture + Planning

5 ENVIRONMENTAL CHECKLIST FORM

The Appendix N Checklist assists the Lead Agency in the evaluation of potential environmental impacts of the Proposed Project. Project Design Features (PDFs), Standard Conditions/Existing Plans, Programs, or Policies (PPPs), and Mitigation measures from the Certified EIR MMP that are applicable to the Proposed Project are included in the discussion for each topic area.

As discussed in Section 2.4, Environmental Background, the Project Site was analyzed in the Certified EIR as a candidate site and is eligible for infill streamlining pursuant to Section 15183.3 of the CEQA Guidelines and Section 21094.5 of the PRC, adopted per SB 226. The Project site allows a density of up to 40 dwelling units per acre (du/ac) and is intended for mixed-use which includes retail and residential uses. The Proposed Project involves the consolidation of four parcels into three lots and demolish the existing improvements on proposed Lot 1 and Lot 2 to construct residential development consisting of 450 multi-family residential units within four-story residential buildings, and 9,000 square feet of retail commercial area. SB 226 eliminates repetitive analysis of effects of a project that were previously analyzed in a programmatic EIR for a planning-level decision or that are substantially mitigated by uniformly applied development policies. The Appendix N Checklist determined that the Proposed Project would not have effects that either have not been analyzed in the Certified EIR or are more significant than described in the Certified EIR.

- 1. Project Title:** Magnolia Flats Mixed Use Development
- 2. Lead Agency name and Address:** City of Riverside, 3900 Main Street Riverside, CA 92522
- 3. Contact person and phone number:** Brian Norton, Senior Planner
- 4. Project Location:** 10491 Magnolia Avenue in Riverside
- 5. Project sponsor's Name and address:** Magnolia Partnership, LLC, 1201 Dover Street, Suite 520, Newport Beach, CA 92660
- 6. General Plan and designation:** MU- V- Mixed Use-Village
- 7. Zoning:** MU-V-SP – Mixed Use-Village and Specific Plan (Magnolia Avenue) overlay Zones and MU-V-WC-SP – Mixed Use-Village and Water Course and Specific Plan (Magnolia Avenue) Overlay Zones and CR-S-2-SP – Commercial Retail and Building Stories and Specific Plan (Magnolia Avenue) Overlay Zones
- 8. Prior Environmental Documents Analyzing the Effects of the Infill Project (including State Clearinghouse Number if Assigned):** 2014 – 2021 Housing Element Update Housing Implementation Plan Environmental Impact Report (December 2017) SCH No.2017041039
- 9. Location of Priority Environmental Documents Analyzing the Effects of the Infill Project:** 3900 Main Street, Riverside, CA 92522
- 10. Description of project:** The Applicant is seeking approval of a site Plan Review Permit and Conditional Use Permit from the City of Riverside to consolidate three existing parcels into two lots, demolish the existing improvements on proposed Lot 1 and Lot 2, and construct a mixed-use development involving a four-story, 450-unit residential building with an approximate 1,880 square feet (SF) leasing office and a 6,320 SF enclosed amenity area and

two (2), single-story commercial retail buildings (Building B and Building C) totaling approximately 9,0000 SF. (Proposed Project). See Section 3, Project Description.

- 11. Surrounding land uses and setting: Briefly describe the project's surroundings, including any prior uses of the project site, or, if vacant, describe the urban uses that exist on at least 75% of the project's perimeter:** The Project Site is surrounded by single family residential and retail uses to the north; retail/commercial services to the east and south; and residential and retail/commercial services to the west. The Project Site, a largely paved lot, contains remnants of foundation pads where three structures, previously demolished, stood. There are three (3) pad-mounted transformers on the Project Site, one located at the central southwestern border, one at the eastern corner, and one towards the southeast central portion of the Project Site. Additionally, a pole-mounted transformer is located to the central northeastern border of the Project Site. Decorative trees and shrubs are located on the southern portion of the Project Site, along Magnolia Avenue. Wells and soil vapor probes are located throughout the southeastern portion of the Project Site. Closed wells are spread sporadically out among the northwestern portion of the Project Site. The northern portion of Project Site contains unpaved and unimproved open area. The north and west perimeter of the Project Site has an existing block wall separating the Project Site and the adjacent residential units. Access to the Project Site is available from Magnolia Avenue through Banbury Drive and nearby internal drive aisle. The Project Site would also be accessible from existing adjacent retail properties. Topography of the Project Site is generally flat at approximately 730 feet above mean sea level and slopes downward towards the west-southwest. The Project Site previous uses included a gas station, dry cleaner, and other retail uses. Existing General Plan designations for the site is MU-V - Mixed Use-Village, which allows a density of up to 30/40 dwelling units per acre (du/ac) and is intended for Village mixed-use which includes retail and residential uses. The Project Site is located within the High-Quality Transit Corridor and one-quarter mile from a transit stop. The Project Site is located within the Magnolia Avenue Specific Plan (MASP), which acts as an overlay zone to the base zoning established in the Riverside Zoning Code and Zoning Map. Existing base zoning for the entire site is MU-V-SP - Mixed Use-Village and Specific Plan (Magnolia Avenue) Overlay Zones, which provides for medium to high-density residential development with retail, office and service uses primarily at the street level to facilitate a pedestrian environment. The north western portion of Project Site is zoned Watercourse Overlay Zone (WC).
- 12. Other public agencies whose approval is required (e.g., permits, financing approval, or participation agreement):** Encroachment permit; RCFC; Water Conservation District Approval
- 13. Consultation with Native American Tribes:** As part of the Certified EIR, the City of Riverside, acting as Lead Agency, initiated consultation with California Native American tribes in accordance with Assembly Bill 52 (AB 52) - Requirements for Consultation and Tribal Cultural Resources. No tribal cultural resources were identified as a result of the consultation. No additional consultation is required in accordance with the requirements of Assembly Bill (AB) 52 and Senate Bill (SB) 18.

5.1 Satisfaction of Appendix M Performance Standards

Provide the information demonstrating that the infill project satisfies the performance standards in Appendix M. For mixed-use projects, the predominant use will determine which performance standards apply to the entire project.

1. Does the non-residential infill project include a renewable energy feature? If so, describe below. If not, explain below why it is not feasible to do so.

According to Section IV(g) of CEQA Guidelines Appendix M, for mixed-use projects "...the performance standards in this section that apply to the predominant use shall govern the entire project." Based on the Proposed Project's acreage, the predominant use is residential; approximately 13.31 acres of residential uses compared to 2.8 acres of nonresidential uses. Therefore, the Proposed Project is not required to include on-site renewable energy feature. However, pursuant to Title 24 of the 2019 California Building Code, the Proposed Project would include the following renewable energy features: 79 electrical vehicle (EV) ready parking spaces, eight (8) parking spaces for clean air vehicle parking, five (5) bike parking spaces, and water efficient plumbing and fixtures indoors.

2. If the project site is included on any list compiled pursuant to Section 65962.5 of the Government Code, either provide documentation of remediation or describe the recommendations provided in a preliminary endangerment assessment or comparable document that will be implemented as part of the project.

The Project Site's previous uses, which included a former gas station and a dry cleaner, were identified as recognized areas of concern (REC). The former gas station and dry cleaner were previously identified as a Leaking Underground Storage Tank (LUST) and a California Spill, Leaks, Investigations and Cleanups (SLIC) cases, respectively. However, with remediation and monitoring, both cases were granted regulatory closure. A Determination of No Further Action was granted for the former gas station, on July 6, 2020, and for the former dry cleaner, on January 9, 2020. The Project Site would not pose a risk to human health or a threat to the beneficial uses of groundwater and no further action is necessary. Adjacent to the Project Site, the Riverside Montessori School, was previously identified as a REC in connection with the Project Site. Multiple subsurface investigations identified benzene in the school's sub-slab. A 2017 subsurface investigation concluded that the benzene identified at the Riverside Montessori School could not have originated from the Project Site. Additionally, the Riverside Montessori School is listed in the Voluntary Cleanup Program (VCP) database as a voluntary cleanup site with no further action. At the request of Riverside Water Quality Control Board- Region 8, excavation and sampling were conducted in 2018. The results showed low concentrations of PCE that did not exceed the Residential ESL for soil vapors.

A detailed analysis is included in Section 5.4.8, Hazards and Hazardous Materials.

3. *If the infill project includes residential units located within 500 feet, or such distance that the local agency or local air district has determined is appropriate based on local conditions, a high-volume roadway or other significant source of air pollution, as defined in Appendix M, describe the measures that the project will implement to protect public health. Such measures may include policies and standards identified in the local general plan, specific plans, zoning code or community risk reduction plan, or measures recommended in a health risk assessment, to promote the protection of public health. Identify the policies or standards, or refer to the site-specific analysis, below. (Attach additional sheets if necessary.)*

The Proposed Project is not located within 500 feet of a rail line or a high-volume roadway (SR-91) and therefore a health risk assessment (HRA) is not required.

4. *For residential projects, the project satisfies which of the following?*

- Located within a low vehicle travel area, as defined in Appendix M. (Attach VMT map.)
- Located within ½ mile of an existing major transit stop or an existing stop along high-quality transit corridor. (**Figure 21** – *Proximity to Transit Map*)
- Consists of 300 or fewer units that are each affordable to low income households. (Attach evidence of legal commitment to ensure the continued availability and use of the housing units for lower income households, as defined in Section 50079.5 of the Health and Safety Code, for a period of at least 30 years, at monthly housing costs, as determined pursuant to Section 50053 of the Health and Safety Code.)

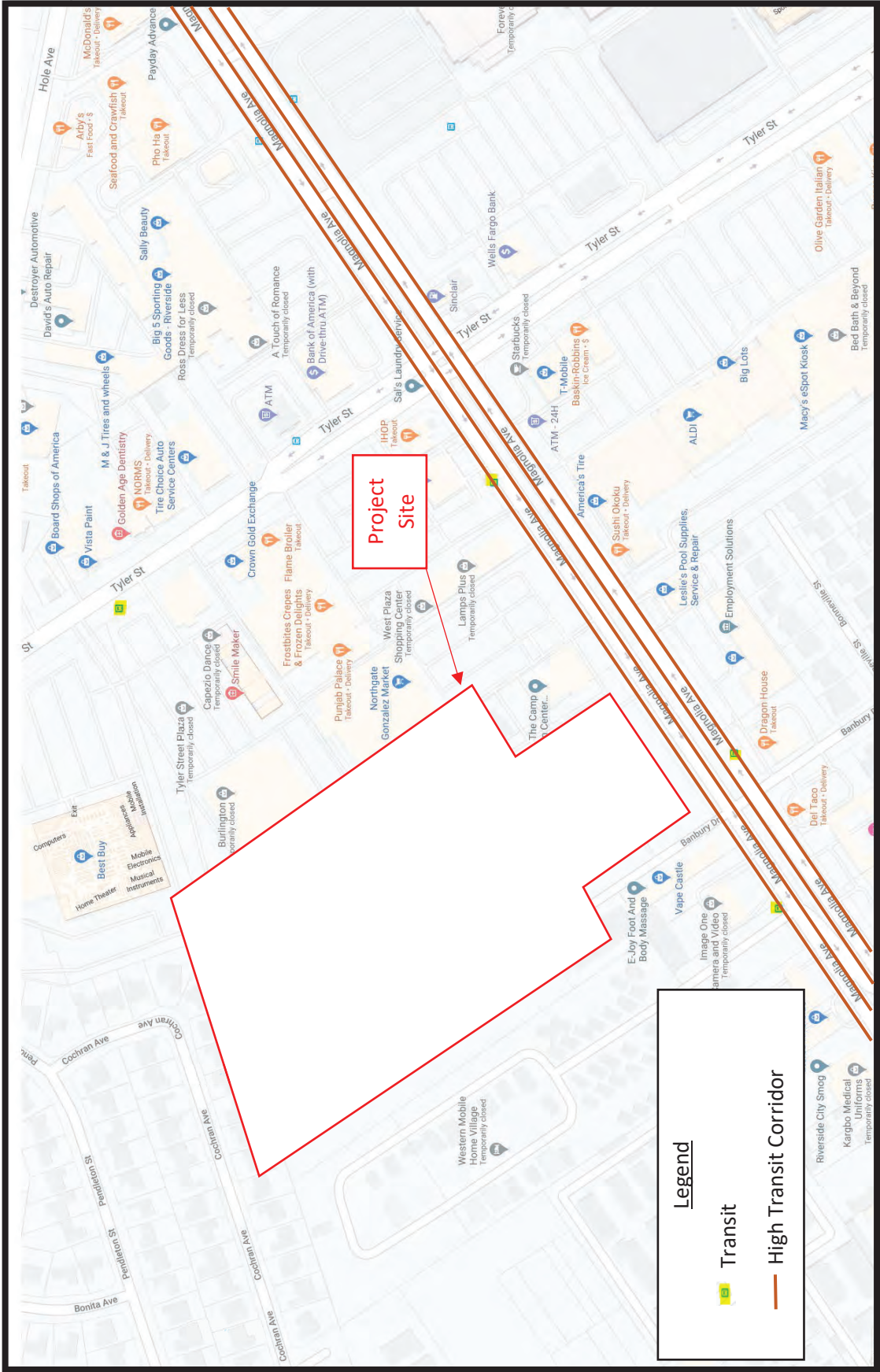


Figure 21 – Proximity To Transit Map
Source: Google Maps

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5.2 Environmental Factors Potentially Affected:

The environmental factors checked below would be potentially affected by the Proposed Project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- | | | |
|--|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture & Forestry Resources | <input type="checkbox"/> Air Quality |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Geology/Soils |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Hazards & Hazardous Material | <input type="checkbox"/> Hydrology/Water Quality |
| <input type="checkbox"/> Land Use/Planning | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Noise |
| <input type="checkbox"/> Paleontological Resources | <input type="checkbox"/> Population/Housing | <input type="checkbox"/> Public Services |
| <input type="checkbox"/> Recreation | <input type="checkbox"/> Transportation | <input type="checkbox"/> Tribal Cultural Resources |
| <input type="checkbox"/> Tribal Cultural Resources | <input type="checkbox"/> Utilities/Service Systems | <input type="checkbox"/> Mandatory Findings of Significance |

5.3 Determination:

Based on this initial evaluation:

- I find that the proposed infill project **WOULD NOT** have any significant effects on the environment that either have not already been analyzed in a prior EIR or that are more significant than previously analyzed, or that uniformly applicable development policies would not substantially mitigate. Pursuant to Public Resources Code Section 21094.5, CEQA does not apply to such effects. A Notice of Determination (Section 15094) will be filed.
- I find that although the proposed infill project will have effects that either have not been analyzed in a prior EIR, or are more significant than describe in the prior EIR, and that no uniformly applicable development policies would substantially mitigate such effects. With respect to those effects that are subject to CEQA, I find that such effects **WOULD NOT** be significant and a **NEGATIVE DECLARATION**, or if the project is a Transit Priority Project a Sustainable Communities Assessment, will be prepared.
- I find that the proposed infill project will have effects that either have not been analyzed in a prior EIR, or are more significant than describe in the prior EIR, and that no uniformly applicable development policies would substantially mitigate such effects. I find that although those effects could be significant, there will not be a significant effect in this case because revisions in the infill project have been made by or agreed to by the project proponent. A **MITIGATED NEGATIVE DECLARATION**, or if the project is a Transit Priority Project a **SUSTAINABLE COMMUNITIES ENVIRONMENTAL ASSESSMENT**, will be prepared.
- I find that the proposed infill project would have effects that either have not been analyzed in a prior EIR, or are more significant than described in the prior EIR, and that no uniformly applicable development policies would substantially mitigate such effects. I find that those effects **WOULD** be significant, and an infill **ENVIRONMENTAL IMPACT REPORT** is required to analyze those effects that are subject to CEQA.

Signature
Brian Norton, Senior Planner

Printed Name/Title

Date

Phone

5.4 Evaluation of Environmental Impacts of Infill Project

1. A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g. the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project-specific factors as well as general standards (e.g. the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
2. All answers must take account of the whole action involved, including off-site as well as on- site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. For the purposes of this checklist, “prior EIR” means the environmental impact report verified for a planning level decision, as supplemented by any subsequent or supplemental environmental impact reports, negative declarations, or addenda to those documents. “planning level decision” means the enactment or amendment of a general plan, community plan, specific plan, or zoning code. (Section 15183.3(e).)
4. Once the lead agency has determined that a particular physical impact may occur as a result of an infill project, then the checklist answers must indicate whether the impact has already been analyzed in a prior EIR. If the effect of the infill project is not more significant than what has already been analyzed, that effect of the infill project is not subject to CEQA. The brief explanation accompanying this determination should include page and section references to the portions of the prior EIR containing the analysis of that effect. The brief explanation shall also indicate whether the prior EIR included any mitigation measures to substantially lessen that effect and whether those measures has been incorporated into the infill project.
5. If the infill project would cause a significant adverse effect that either is specific to the project site and was not analyzed in a prior EIR or is more significant than what was analyzed in a prior EIR, the lead agency must determine whether uniformly applicable development policies or standards that have been adopted by the lead agency, or city or county, would substantially mitigate that effect. If so, the checklist shall explain how the infill project’s implementation of the uniformly applicable development policies will substantially mitigate that effect. That effect of the infill project is not subject to CEQA if the lead agency makes a finding, based upon substantial evidence, that the development policies or standards will substantially mitigate that effect.
6. If all effects of an infill project were either analyzed in a prior EIR or are substantially mitigated by uniformly applicable development policies or standards, CEQA does not apply to the project, and the lead agency shall file a Notice of Determination.
7. Effects of an infill project that either have not been analyzed in a prior EIR, or that uniformly applicable development policies or standards do not substantially mitigate, are subject to CEQA. With respect to those effects of the infill project that are subject to

CEQA, the checklist shall indicate whether those effects are significant, less than significant with mitigation, or less than significant. If there are one or more “Significant Impact” entries when the determination is made, an infill EIR is required. The infill EIR should be limited to analysis of those effects determined to be significant. (Sections 15128, 15183.3(d).)

8. “Less Than Significant with Mitigation Incorporated” applies where the incorporation of mitigation measures will reduce an effect of an infill project that is subject to CEQA from “Significant Impact” to a “Less Than Significant Impact.” The lead agency must describe the mitigation measures, and briefly explain how those measures reduce the effect to a less than significant level. If the effects of an infill project that are subject to CEQA are less than significant with mitigation incorporated, the lead agency may prepare a Mitigated Negative Declaration. If all of the effects of the infill project that are subject to CEQA are less than significant, the lead agency may prepare a Negative Declaration.
9. The analysis of each issue should identify:
 - a. the significance criteria or threshold used to evaluate each question; and
 - b. the mitigation measure identified, if any, to reduce the impact to less than significance.



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5.4.1 Aesthetics

Would the project:	Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed in the Certified EIR; No New Impact	Substantially Mitigated by Uniformly Applicable Development Policies
a) Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially degrade the existing visual character or quality of the site and its surroundings??	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project Design Features

- PDF AE-1: The Property Owner/Developer shall design the Proposed Project to include courtyards in the residential development design.
- PDF AE-2: The Property Owner/Developer shall design the Proposed Project to enhance pedestrian movement to, and between, adjacent uses.
- PDF AE-3: The Property Owner/Developer shall design the Proposed Project to include building articulation to create an interesting and individual design to diminish massing of the large residential structure.

Standard Conditions/Existing Plans, Programs, or Policies

General Plan 2025 Policies

- LU-3.1
- OS-2.1
- OS-2.2
- OS-2.3
- OS-2.4
- OS-4.1
- OS-4.2

RMC (Chapter 19.710 Section 19.556, 19.590.070)

MASP

Citywide Design Guidelines and Sign Guidelines

Non-Applicable Mitigation Measures:

No Certified EIR mitigation measures were required.

Applicable Mitigation Measures:

No Certified EIR mitigation measures were required.

No project-specific mitigation measures are required as a result of the Proposed Project.

a) Would the project have a substantial adverse effect on a scenic vista?

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that future implementing projects would have a less than significant impact on scenic vistas through compliance with General Plan 2025 goals and policies (including, but not limited to Policy LU-3.1 and Policies OS 2.1- OS 2.4), Riverside Municipal Code Standards (RMC) project's design review process (RMC Chapter 19.170), their respective specific plan, Magnolia Specific Plan (MASP) or University Avenue Specific Plan (UASP), and Citywide Design Guidelines and Sign Guidelines.

According to the Certified EIR, the City's scenic vistas include Box Springs Mountains, Alessandro Heights, Arlington Mountain La Sierra/Norco Hills. Mount Rubidoux, Pachappa Hill, Sycamore Canyon, Hawarden Hills, Santa Ana River Corridor, Box Springs Regional Park, Sycamore Canyon Wilderness Park, Fairmount Park, Mount Rubidoux Park, and California Citrus Sate Park, and northwest portions of the Santa Ana River Floodplain. (Certified EIR, pp. 7-1 – 7-2)

Impacts Associated with the Proposed Project

Less Than Significant: The Proposed Project is located on an infill site in a transit priority area. In accordance with Public Resources Code Section 21099(d), aesthetic and parking impacts of a residential, mixed-use residential, or employment center project on an infill site within a transit priority area shall not be considered significant impacts on the environment. Aesthetic issues are considered less than significant.

However, this does not preclude the Proposed Project from adhering to the City's local design review and applicable policies. The Proposed Project would be designed to include courtyards and building articulation to create an interesting and individual design to diminish massing of the structure. Additionally, the Proposed Project would be consistent with the General Plan 2025 goals and policies (including, but not limited to Policy LU-3.1 and Policies OS 2.1- OS 2.4), RMC project's design review process (RMC Chapter 19.170), the MASP, and Citywide Design Guidelines and Sign Guidelines.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects

associated with effects on scenic vistas that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- b) Would the project substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that future implementing projects would not impact State Scenic Highways. The City’s designated scenic parkways include Victoria Avenue; Magnolia Avenue/Market Street; University Avenue; Van Buren Boulevard; Riverwalk Parkway; La Sierra Avenue; Overlook Parkway; Canyon Crest Drive; and Arlington Avenue. Potential impacts to these scenic parkways would be reduced to less than significant through compliance with RMC, MASP standards, and Citywide Design Guidelines and Sign Guidelines. (Certified EIR, p. 7-2)

Impacts Associated with the Proposed Project

Less Than Significant: The Proposed Project is located on an infill site in a transit priority area. In accordance with Public Resources Code Section 21099(d), aesthetic and parking impacts of a residential, mixed-use residential, or employment center project on an infill site within a transit priority area shall not be considered significant impacts on the environment. Aesthetic issues are considered less than significant.

However, this does not preclude the Proposed Project from adhering to the City’s local design review and applicable policies. The Project Site is along Magnolia Avenue, which is identified as a scenic corridor. The Proposed Project would be consistent with General Plan 2025 goals and policies, RMC project’s design review process (RMC Chapter 19.170), the MASP, and Citywide Design Guidelines and Sign Guidelines.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- c) Would the project substantially degrade the existing visual character or quality of the site and its surroundings?**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that future implementing projects that would develop on vacant, rural, or agricultural land would have a less than significant impact regarding degrading the existing visual character or quality of the site and surrounding areas with

compliance with compliance with GP 2025 policies and RMC, MASP standards, and Citywide Design Guidelines and Sign Guidelines.

Future development must demonstrate conformance with GP 2025 Objective OS-4 policies, which are intended to preserve designated buffers between urban and rural uses for their open space and aesthetic benefits (i.e., Policies OS-4.1 and OS-4.2). Pursuant to RMC requirements and as part of the design review process, the City would assess all future development proposals on a project-by-project basis in order to prevent nonconforming uses and structures with the potential to impact the City’s visual character. The RMC regulates land uses, building heights, setbacks, landscaping, parking, fences and walls, and other development characteristics in order to protect the City’s visual character. Compliance with GP 2025 Objective OS-4 policies, among others, as well as RMC standards would ensure impacts to visual character would be less than significant. (Certified EIR, pp. 7-2 – 7-3)

Impacts Associated with the Proposed Project

Less Than Significant: The Proposed Project is located on an infill site in a transit priority area. In accordance with Public Resources Code Section 21099(d), aesthetic and parking impacts of a residential, mixed-use residential, or employment center project on an infill site within a transit priority area shall not be considered significant impacts on the environment. Aesthetic issues are considered less than significant.

However, this does not preclude the Proposed Project from adhering to the City’s local design review and applicable policies. The Project Site, which is vacant and underutilized, would be subject to the MASP standards. Replacing the vacant and underutilized Project Site with residential buildings of varied architectural style and mass with complementary aesthetically pleasing retail buildings would improve the visual character and quality of the Project Site (**Figure 4** through **Figure 10**). Further, the Proposed Project would be consistent with General Plan 2025 goals and policies, RMC project’s design review process (RMC Chapter 19.170), and Citywide Design Guidelines and Sign Guidelines.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with degrading the existing visual character or quality of the Project Site and its surroundings that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- d) **Would the project create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that future implementing projects impacts regarding light and glare would be less than significant with compliance with GP 2025 policies and RMC, MASP standards, and Citywide Design Guidelines and Sign Guidelines.

Future implementing Projects would also be subject to Riverside County Light Pollution Ordinance (Riverside County Ordinance No. 655), which restricts nighttime lighting for areas within a 15-mile radius (Zone A) and a 45-mile radius (Zone B) of the Palomar Observatory. The City requires all development which introduces light sources, or modifications to existing light sources, to incorporate shielding devices or other light pollution limiting design features (i.e., hoods or lumen restrictions). Pursuant to RMC, MASP standards, and Citywide Design Guidelines and Sign Guidelines, the City would assess all future development proposals on a project-by-project basis, as part of the design review process to regulate site lighting with the potential to result in light and glare impacts. RMC Section 19.556, Lighting, and Section 19.590.070, Light and Glare, include standards intended to protect the City from adverse light and glare impacts. Therefore, potential impacts would be less than significant impact. (Certified EIR, p. 7-3)

Impacts Associated with the Proposed Project

Less Than Significant: The Proposed Project is located on an infill site in a transit priority area. In accordance with Public Resources Code Section 21099(d), aesthetic and parking impacts of a residential, mixed-use residential, or employment center project on an infill site within a transit priority area shall not be considered significant impacts on the environment. Aesthetic issues are considered less than significant.

However, this does not preclude the Proposed Project from adhering to the City's local design review and applicable policies. The Proposed Project would be subject to RMC Section 19.556, Lighting, and Section 19.590.070, Light and Glare, which requires shielding devices or other light limiting design features (hoods, and lumen restrictions), MASP standards, and Citywide Design Guidelines and Sign Guidelines. The Project Site is outside Palomar Observatory Zone A and Zone B, so the Proposed Project would not be subject to Riverside County Ordinance No. 655.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with new sources of light or glare which would adversely affect day or nighttime views that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.



Source:

City of Riverside, *2014-2021 Housing Element Updated Housing Implementation Plan Environmental Impact Report, Final December 2017*. (Available at <https://riversideca.gov/cedd/planning/city-plans/general-plan-0> , accessed March 2020.)

5.4.2 Agriculture and Forestry Resources

Would the project:	Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed in the Certified EIR; No New Impact	Substantially Mitigated by Uniformly Applicable Development Policies
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project Design Features

None

Standard Conditions/Existing Plans, Programs, or Policies

General Plan 2025; OS-4 Policies

- OS-4.1
- OS-4.2

Non-Applicable Mitigation Measures:

No Certified EIR mitigation measures were required.

Applicable Mitigation Measures:

No Certified EIR mitigation measures were required.

No project-specific mitigation measures are required as a result of the Proposed Project.

- a) **Would the project convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?**

Summary of Impacts in the Certified EIR

No Impact: The Certified EIR determined that future implementing projects would have no impacts regarding farmland.

According to the Certified EIR, none of the candidate sites are located on designated farmland or a County-designated agricultural preserve. Since none of the candidate sites are located on any Farmland designations, no conversion of Farmland to non-agricultural use would occur. (Certified EIR, pp. 7-3 – 7-5)

Impacts Associated with the Proposed Project

No Impact: As stated in Certified EIR, the Project Site is devoid of farmland or a County-designated agricultural preserve. Additionally, there are no active farming activities within the Project Site or the nearby surrounding area.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with Prime Farmland, Farmland of Statewide Importance, Unique Farmland, or Farmland of Local Importance that were not identified in the Certified EIR. Therefore, no potential impacts would occur, and no mitigation would be required.

- b) **Would the project conflict with existing zoning for agricultural use, or a Williamson Act contract?**

Summary of Impacts in the Certified EIR

No Impact: The Certified EIR determined that none of the candidate sites are zoned for agriculture use or are in a Williamson Act contract. No impacts to agricultural zoning or Williamson Act contract lands would occur. (Certified EIR, p. 7-5)

Impacts Associated with the Proposed Project

No Impact: As stated in Certified EIR, the Project Site is not zoned for agriculture or is it covered by a Williamson Act contract. Therefore, no potential impacts associated with zoning for agricultural use, or a Williamson Act contract would occur.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with land zoned for agricultural use or covered by a Williamson Act contract that were not identified in the Certified EIR. Therefore, no potential impacts would occur, and no mitigation would be required.

- c) **Would the project conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?**

Summary of Impacts in the Certified EIR

No Impact: The Certified EIR determined that none of the candidate sites are zoned for forest land timberland, or timberland zoned Timberland Production areas (as defined in the PRC 12220(g) and PRC 4526 or Government Code 51104(g)). Additionally, there is no land within the City zoned forest land, timberland, or timberland zoned Timberland Production areas. (Certified EIR, p. 7-5)

Impacts Associated with the Proposed Project

No Impact: As stated in Certified EIR, the Project Site is not zoned for forest land and no lands within the City are zoned as forest land, timberland, or timberland zoned Timberland Production areas (as defined in the PRC 12220(g) and PRC 4526 or Government Code 51104(g)) within the City. Therefore, no impacts associated with forest land, timberland, or timberland zoned Timberland Production would occur.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with land zoned for forest land, timberland, or timberland zoned Timberland Production that were not identified in the Certified EIR. Therefore, no potential impacts would occur, and no mitigation would be required.

- d) **Would the project result in the loss of forest land or conversion of forest land to non-forest use?**

Summary of Impacts in the Certified EIR

No Impact: The Certified EIR determined that none of the candidate sites are zoned for forest land. Therefore, no impacts associated with forest land or conversion of forest land to non-forest use would occur. (Certified EIR, p. 7-5)

Impacts Associated with the Proposed Project

No Impact: As stated in Certified EIR, the Project Site is not zoned for forest land. Therefore, no impacts associated with forest land or conversion of forest land to non-forest use would occur.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with the loss of forest land or conversion of forest land to non-forest use that were not identified in the Certified EIR. Therefore, no potential impacts would occur, and no mitigation would be required.

- e) **Would the project involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?**

Summary of Impacts in the Certified EIR

No Impact: The Certified EIR determined that none of the candidate sites are in Farmland designations or are they zoned for forest land. Therefore, no impacts associated with conversion of Farmland to non-agricultural use or to the loss of forest land would occur. (Certified EIR, p. 7-5)

Impacts Associated with the Proposed Project

No Impact: As stated in Certified EIR, the Project Site is not zoned for forest land. Therefore, no impacts associated with conversion of Farmland to non-agricultural use or to the loss of forest land would occur.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with conversion of Farmland to non-agricultural use or forest land to non-forest use that were not identified in the Certified EIR. Therefore, no potential impacts would occur, and no mitigation would be required.

Source:

City of Riverside, *2014-2021 Housing Element Updated Housing Implementation Plan Environmental Impact Report, Final December 2017*. (Available at <https://riversideca.gov/cedd/planning/city-plans/general-plan-0> , accessed March 2020.)

5.4.3 Air Quality

Would the project:	Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed in the Certified EIR; No New Impact	Substantially Mitigated by Uniformly Applicable Development Policies
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Create objectionable odors affecting a substantial number of people??	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project Design Features

- PDF AQ-1: The Property Owner/Developer shall provide electrical vehicle charging space (EV space) capable of supporting future Electric vehicle supply equipment (EVSE) for the development as required in CalGreen.
- PDF AQ-2: The Property Owner/Developer shall use architectural paints, aerosol paints, and coatings that comply with CalGreen VOC limits.
- PDF AQ-3: The Property Owner/Developer shall install bike racks.

Standard Conditions/Existing Plans, Programs, or Policies

General Plan 2025 Policies

- CCM-6.1
- CCM-6.2
- CCM-9.1
- CCM-11.7
- OS-8.1
- AQ-1.2
- AQ-1.3
- AQ-1.5
- AQ-1.6
- AQ-1.9
- AQ-1.23
- AQ-1.26
- AQ-2.3
- AQ-2.4
- AQ-2.6
- AQ-3.3
- AQ-3.4
- AQ-3.6
- AQ-3.7
- AQ-4.2
- AQ-4.3
- AQ-4.5
- AQ-5.7
- AQ-7.9
- AQ-7.10

South Coast Air Quality Management District (SCAQMD) Rule 401 (Visible Emissions)

SCAQMD Rule 402 (Nuisance)

SCAQMD Rule 403 (Fugitive Dust)

SCAQMD Rule 1113 (Architectural Coatings)

SCAQMD RULE 445 (Wood-Burning Devices)

Non-Applicable Mitigation Measures

Certified EIR Mitigation Measure							Non-Applicability Justification																				
<p>MM AQ-3: Construction-Related Emissions. Prior to demolition, grading, or building permit approval, and in accordance with SCAQMD’s promulgated methodology protocols, an Air Quality Assessment for Construction-Related Emissions shall be prepared for projects that would exceed the development scenario of 774 DU and 878,720 SF non-residential uses, or the exclusively residential scenario of 1,007 DU, and that would exceed the following SCAQMD significance thresholds for construction-related emissions (or those in place at the time of the development application). Future development shall mitigate construction-related emissions to below SCAQMD’s thresholds of significance.</p>							<p>The Proposed Project would not exceed the development scenario of 774 DU and 878,720 SF non-residential uses, or the exclusively residential scenario of 1,007 DU.</p>																				
<table border="1"> <thead> <tr> <th rowspan="2">Phase</th> <th colspan="6">Pollutant (lbs/day)</th> </tr> <tr> <th>VOC</th> <th>NO_x</th> <th>CO</th> <th>SO_x</th> <th>PM₁₀</th> <th>PM_{2.5}</th> </tr> </thead> <tbody> <tr> <td>Construction-Related</td> <td>75</td> <td>100</td> <td>550</td> <td>150</td> <td>150</td> <td>55</td> </tr> </tbody> </table>		Phase	Pollutant (lbs/day)						VOC	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}	Construction-Related	75	100	550	150	150	55	<p>CO = carbon monoxide; VOC = volatile organic compounds; NO_x = nitrogen oxides; PM₁₀ = particulate matter smaller than 10 microns; PM_{2.5} = particulate matter smaller than 2.5 microns</p>					
Phase	Pollutant (lbs/day)																										
	VOC	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}																					
Construction-Related	75	100	550	150	150	55																					
<p>Source: South Coast Air Quality Management District, CEQA Air Quality Handbook, 1993. Revised November 1993.</p>																											
<p>MM AQ-4: Operational Emissions. Prior to demolition, grading, or building permit approval, and in accordance with SCAQMD’s promulgated methodology protocols, an Air Quality Assessment for Operational Emissions shall be prepared for multi-family residential projects proposing 541 dwelling units or more that would exceed the following SCAQMD thresholds of significance for operational emissions (or those in place at the time of the development application). Future development shall mitigate operational emissions to below SCAQMD’s thresholds of significance.</p>							<p>The Proposed Project includes 450 dwelling units, which is below the identified threshold of 541 dwelling units identified in MM AQ-4.</p>																				
<table border="1"> <thead> <tr> <th rowspan="2">Phase</th> <th colspan="6">Pollutant (lbs/day)</th> </tr> <tr> <th>VOC</th> <th>NO_x</th> <th>CO</th> <th>SO_x</th> <th>PM₁₀</th> <th>PM_{2.5}</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>		Phase	Pollutant (lbs/day)						VOC	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}													
Phase	Pollutant (lbs/day)																										
	VOC	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}																					

Certified EIR Mitigation Measure							Non-Applicability Justification
Operations	55	55	550	150	150	55	
CO = carbon monoxide; VOC = volatile organic compounds; NO _x = nitrogen oxides; PM ₁₀ = particulate matter smaller than 10 microns; PM _{2.5} = particulate matter smaller than 2.5 microns							
Source: South Coast Air Quality Management District, CEQA Air Quality Handbook, 1993. Revised November 1993.							
<p>MM AQ-5: A project-specific Health Risk Assessment shall be conducted for future residential development proposed within 500 feet of the SR-91 freeway right-of-way, pursuant to the recommendations set forth in the CARB Air Quality and Land Use Handbook. The Health Risk Assessment shall evaluate a project per the following SCAQMD thresholds:</p> <ul style="list-style-type: none"> • Cancer Risk: Emit carcinogenic or toxic contaminants that exceed the maximum individual cancer risk of 10 in one million. • Non-Cancer Risk: Emit toxic contaminants that exceed the maximum hazard quotient of one in one million. <p>The SCAQMD has also established non-carcinogenic risk parameters for use in HRAs. Noncarcinogenic risks are quantified by calculating a “hazard index,” expressed as the ratio between the ambient pollutant concentration and its toxicity or Reference Exposure Level (REL). An REL is a concentration at or below which health effects are not likely to occur. A hazard index less of than one (1.0) means that adverse health effects are not expected.</p> <p>If projects are found to exceed the SCAQMD’s Health Risk Assessment thresholds, mitigation shall be incorporated to reduce impacts to below SCAQMD thresholds.</p>							<p>The Proposed Project is not within 500 feet of the SR-91 freeway.</p>
<p>MM AQ-6: Future residential development shall not be located closer than 1,000 feet from any existing or proposed distribution center/warehouse facility which generates a minimum of 100 heavy truck trips per day, or 40 truck trips with transport refrigeration units (TRUs) per day, or TRU operations exceeding 300 hours per week, pursuant to the recommendations set forth in the CARB Air Quality and Land Use Handbook. If future residential development cannot meet this setback, a project-specific Health Risk Assessment shall be prepared to evaluate a project for the SCAQMD thresholds (i.e., carcinogenic risk equals or exceeds 10 in one million; acute non-carcinogenic hazard index equals or exceeds one; and/or if chronic non-carcinogenic hazard index equals or exceeds one, as outlined above). If projects are found to exceed the SCAQMD’s Health Risk Assessment</p>							<p>The Proposed Project is not within 1,000 feet from any existing or proposed distribution center/warehouse facility which generates a minimum of 100 heavy truck trips per day, or 40 truck trips with transport refrigeration units (TRUs) per day, or TRU operations exceeding 300 hours per week.</p>

Certified EIR Mitigation Measure	Non-Applicability Justification
thresholds, mitigation shall be incorporated to reduce impacts to below SCAQMD thresholds.	

Applicable Mitigation Measures:

No project-specific mitigation measures are required as a result of the Proposed Project.

Certified EIR Mitigation Measure	Applicability Justification
<p>MM AQ-1: In accordance with SCAQMD Rule 403, the contractor shall control excessive fugitive dust emissions during construction through regular watering or other dust prevention measures, and through compliance with SCAQMD Rule 402, which requires implementation of dust suppression techniques to prevent fugitive dust from creating a nuisance off-site. As specified in the SCAQMD’s Rules and Regulations, the following shall be implemented during construction:</p> <ul style="list-style-type: none"> • All active portions of the construction site shall be watered every three hours during daily construction activities and when dust is observed migrating from the construction site to prevent excessive amounts of dust. • A construction relations officer shall be appointed to act as a community liaison concerning on-site construction activity including resolution of issues related to particulate matter generation. • During daily construction activities, unpaved access roads, parking areas, and staging areas shall be paved, or water shall be applied every three hours, non-toxic soil stabilizers applied. More frequent watering shall occur if dust is observed migrating from the site during site disturbance. • Any on-site stockpiles of debris, dirt, or other dusty material shall be enclosed, covered, watered twice daily, or non-toxic soil binders shall be applied. • All grading and excavation operations shall be suspended when wind speeds exceed 25 miles per hour. • Disturbed areas shall be replaced with ground cover or paved immediately after construction is completed in the affected area. 	<p>Certified EIR MM AQ-1 would be implemented to control excessive fugitive dust as specified in the SCAQMD’s Rules and Regulations.</p>

Certified EIR Mitigation Measure	Applicability Justification
<ul style="list-style-type: none"> Track-out devices such as gravel bed track-out aprons (3 inches deep, 25 feet long, 12 feet wide per lane and edged by rock berm or row of stakes) shall be provided to reduce mud/dirt track-out from unpaved truck exit routes. Alternatively, a wheel washer shall be used at truck exit routes. On-site vehicle speed shall be limited to 15 miles per hour. Before departing the construction site, all material to be transported off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust. Construction trucks shall be rerouted away from congested streets or sensitive receptor areas. Construction drawings shall specify SCAQMD Rule 402 and Rule 403 requirements. 	
<p>MM AQ-2: To reduce ROG emissions resulting from application of architectural coatings, the contractor for future development exceeding the SCAQMD construction thresholds shall implement the following measures during construction:</p> <ul style="list-style-type: none"> High-pressure-low-volume (HPLV) paint applicators with a minimum transfer efficiency of at least 50 percent shall be used; Coatings and solvents used shall have a ROG content lower than required under Rule 1113; and Pre-painted construction materials shall be used. 	<p>Certified EIR MM AQ-2 would be implemented to reduce ROG emissions resulting from application of architectural coating to meet SCAQMD's thresholds.</p>

a) **Would the project conflict with or obstruct implementation of the applicable air quality plan?**

Summary of Impacts in the Certified EIR

Significant and Unavoidable After Implementation of Mitigation: The Certified EIR determined impacts to air quality plan would be significant and unavoidable. A statement of overriding considerations was prepared and adopted.

According to the Certified EIR, the rezoning of the candidate sites would have the potential to conflict with implementation of the applicable air quality plan, the 2016 AQMP. Short term construction of future implementing projects on the candidate sites would exceed SCAQMDs ROG emissions thresholds. Long-term operational emissions of future implementing projects on the candidate sites would exceed SCAQMD's daily emissions thresholds for all criteria pollutants (ROG, NO_x, CO, SO_x, PM₁₀, and PM_{2.5}), and localized construction and operational pollutant

concentrations would exceed SCAQMD localized significance thresholds (LSTs) for PM₁₀ and PM_{2.5}.

The rezoning of the candidate sites would conflict with the 2016 AQMP goals and policies since the rezoning would result in a net increase of as many as 8,155 DU and as much as 1.22 million SF of non-residential uses over GP 2025 projections. Certified EIR **MM AQ-1** through **MM AQ-4** and compliance with SCAQMD rules would reduce conflicts and obstruction of the AQMP; however, the combined emissions from future development would exceed the SCAQMD significance thresholds for criteria pollutants. Exceeding these thresholds has the potential to hinder the region's compliance with AQMP. Therefore, this impact is considered significant and unavoidable after implementation of mitigation. (Certified EIR, pp. 4.1-13 - 4.1-16)

Impacts Associated with the Proposed Project

Less Than Significant: The Proposed Project would not conflict or obstruct with the implementation of an applicable air quality plan with the implementation of Certified EIR **MM AQ-1** and **MM AQ-2**, which requires the project's contractor to comply with SCAQMDs regarding fugitive dust and ROG emissions. Additionally, Certified EIR **MM AQ-3** through **MM AQ-6** do not apply to the Proposed Project. Those mitigation measures apply to projects with a higher number of dwelling units (541), larger non-residential development (878,720 SF), within 500 feet of SR-91 freeway and within 1,000 feet of an existing or proposed distribution center. The Proposed Project would include 450 dwelling units, 9,000 SF of commercial uses and is not within 500 feet of SR-91 or is it within 1,000 feet of an existing or proposed distribution center.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with the implementation of the air quality plan that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

b) Would the project violate any air quality standard or contribute substantially to an existing or projected air quality violation?

Summary of Impacts in the Certified EIR

Significant and Unavoidable After Implementation of Mitigation: The Certified EIR determined impacts to air quality standards would be significant and unavoidable. A statement of overriding considerations was prepared and adopted.

According to the Certified EIR, future development would result in the criteria pollutant emissions for which the project area is in non-attainment during both project construction and operations. Site-specific mitigation would be determined on a project-by-project basis, an existing City practice, and SCAQMD rules would reduce construction-related emissions. However, even where such measures would reduce an individual project's emissions to less than significant

levels, none of the measures, for example, serve to prevent individual actions from being constructed concurrently resulting in cumulatively significant impacts. Additionally, neither the amount of construction occurring nor the exact location within the City is foreseeable, so, it cannot be determined if the resultant construction emissions could be adequately controlled or reduced to below regulatory thresholds. Without such information, it was not possible to conclude that air pollutant emissions resulting from construction activities would be adequately reduced.

Operational long-term emissions assuming development of all candidate sites resulted in total emissions exceeding SCAQMD thresholds for ROG, NO_x, CO, PM₁₀, and PM_{2.5}. While some of the individual development projects may be able to incorporate design and reduction features that would reduce emissions to below SCAQMD thresholds, the overall project must be evaluated for significance consideration. Quantifying future development's individual operational air emissions is not possible due to project-level variability and uncertainties concerning locations, detailed site plans, etc., among other factors, which are presently unknown. Since these factors can vary so widely (and individual project-related operations would occur over time dependent upon numerous factors), quantifying precise operational emissions and impacts would be impractical. Depending on how development proceeds, operational emissions associated with future development could exceed SCAQMD thresholds of significance.

Future development would be subject to compliance with applicable GP 2025 policies and SCAQMD rules and regulations, as well as **MM AQ-3** to reduce short-term construction-related air emissions to below SCAQMD significance thresholds and **MM AQ-4** to reduce long-term operational air emissions to below SCAQMD significance thresholds. Nonetheless, short-term construction-related and long-term operational air emissions would exceed SCAQMD thresholds. Therefore, impacts associated with short-term construction-related air emissions would remain significant and unavoidable. A statement of overriding considerations was prepared and adopted. (Certified EIR, pp. 4.1-13 - 4.1-16)

Impacts Associated with the Proposed Project

Less Than Significant: As stated in Section 5.4.3 (a), Certified EIR **MM AQ-3** through **MM AQ-6** do not apply to the Proposed Project. Those mitigation measures apply to projects with a higher number of dwelling units (541), larger non-residential development (878,720 SF), within 500 feet of SR-91 freeway and within 1,000 feet of an existing or proposed distribution center. The Proposed Project proposes to develop 450 dwelling units, 9,000 SF of commercial uses and is not within 500 feet of SR-91 or is it within 1,000 feet of an existing or proposed distribution center.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with air quality standards that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- c) **Would the project result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?**

Summary of Impacts in the Certified EIR

Significant and Unavoidable After Implementation of Mitigation: The Certified EIR determined criteria pollutant impacts would be significant and unavoidable. A statement of overriding considerations was prepared and adopted.

The Certified EIR determined that short-term construction and long-term operational emissions would exceed SCAQMD thresholds. Future development would result in the criteria pollutant emissions for which the project area is in non-attainment during both project construction and operations. However, the timing, exact location, and level of activity of future development is unknown and therefore cumulatively considerable increases to criteria pollutant levels cannot be quantified. Despite compliance with existing regulations and policies and implementation of proposed **MM AQ-1** through **MM AQ-4**, the Project would result in significant and unavoidable cumulative impacts. A statement of overriding considerations was prepared and adopted. (Certified EIR, p. 4.1-24)

Impacts Associated with the Proposed Project

Less Than Significant: As stated in Section 5.4.3 (a), Certified EIR **MM AQ-1** and **MM AQ-2** would be implemented to reduce fugitive dust and ROG emissions. Additionally, Certified EIR **MM AQ-3** through **MM AQ-6** do not apply to the Proposed Project. Those mitigation measures apply to projects with a higher number of dwelling units (541), larger non-residential development (878,720 SF), within 500 feet of SR-91 freeway and within 1,000 feet of an existing or proposed distribution center. The Proposed Project proposes to develop 450 dwelling units, 9,000 SF of commercial uses, and is not within 500 feet of SR-91 or is it within 1,000 feet of an existing or proposed distribution center.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects related net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

d) **Would the project expose sensitive receptors to substantial pollutant concentrations?**

Summary of Impacts in the Certified EIR

Significant and Unavoidable After Implementation of Mitigation: The Certified EIR determined criteria pollutant would be significant and unavoidable. A statement of overriding considerations was prepared and adopted.

The Certified EIR determined that since the candidate site site-specific details (construction phasing, equipment, intensity, etc.) for each individual development project are unknown, project-level analysis for impacts regarding localized pollutant concentrations cannot be accurately determined using SCAQMD's localized significance thresholds (LST) analysis methodology. Site-specific acreages, uses, and distances to sensitive receptors are required to calculate localized pollutant concentrations at sensitive receptors. Sensitive population groups include children, the elderly, and the acutely ill and the chronically ill, especially those with cardio-respiratory diseases. Sensitive receptors are those areas where sensitive populations may be for extended periods of time, resulting in sustained exposure to any pollutants present. The proximity of several candidate sites to SR-91, I-215, and/or railroads poses a concern for potential exposure of future development to toxic air contaminants (TAC) from these sources. Therefore, a project-specific Health Risk Assessment (HRA) shall be required for residential uses that could be located within 500 feet of SR-91 or I-215 in compliance with proposed **MM AQ-5**. Proposed **MM AQ-6** requires similar standards for sensitive receptors that would be located within 1,000 feet of a distribution center/warehouse facility. With implementation of proposed **MM AQ-5** and **MM AQ-6**, air toxic impacts would be less than significant. Despite compliance with existing regulations and policies and implementation of proposed **MM AQ-1** through **MM AQ-6**, the Project would result in significant and unavoidable cumulative impacts. A statement of overriding considerations was prepared and adopted. (Certified EIR, pp. 4.1-25 – 4.1-31)

Impacts Associated with the Proposed Project

Less Than Significant: As stated in Section 5.4.3 (a), Certified EIR **MM AQ-3** through **MM AQ-6** do not apply to the Proposed Project. Those mitigation measures apply to projects with a higher number of dwelling units (541), larger non-residential development (878,720 SF), within 500 feet of SR-91 freeway and within 1,000 feet of an existing or proposed distribution center. The Proposed Project proposes to develop 450 dwelling units, 9,000 SF of commercial uses and is not within 500 feet of SR-91 or is it within 1,000 feet of an existing or proposed distribution center.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with sensitive receptors exposure to substantial pollutant concentrations that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

e) **Would the project create objectionable odors affecting a substantial number of people?**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that future implementing projects would have a less than significant impact regarding creating objectionable odors.

Future development construction activities could generate detectable odors from heavy-duty equipment exhaust. However, construction-related odors would be short-term in nature and cease upon construction completion. Any impacts to existing adjacent land uses would be short-term. Operational, or long term, odors that are associated with odor complaints typically include agricultural uses, wastewater treatment plants, food processing plants, chemical plants, composting, refineries, landfills, dairies, and fiberglass molding. None of the candidate sites include those uses. Further, all future development would be subject to compliance with South Coast Air Quality Management District (SCAQMD) Rule 402, Nuisance, which would reduce odorous emissions from associated with operations, if any. Impacts associated with odors would be less than significant. (Certified EIR, p. 7.5)

Impacts Associated with the Proposed Project

Less Than Significant: As stated in Certified EIR, the Project Site would have a less than significant impact regarding construction related odors, as they would be short term in nature and cease upon construction completion. The Proposed Project land use is not associated with land uses associated with odor complaints such as agricultural uses, wastewater treatment plants, food processing plants, chemical plants, composting, refineries, landfills, dairies, and fiberglass molding. Therefore, potential impacts associated with odors would be less than significant and no mitigation would be required.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with objectional odors that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

Source:

City of Riverside, *2014-2021 Housing Element Updated Housing Implementation Plan Environmental Impact Report, Final December 2017*. (Available at <https://riversideca.gov/cedd/planning/city-plans/general-plan-0> , accessed March 2020.)

5.4.4 Biological Resources

Would the project:	Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed in the Certified EIR; No New Impact	Substantially Mitigated by Uniformly Applicable Development Policies
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or US Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>



Project Design Features

None

Standard Conditions/Existing Plans, Programs, or Policies

General Plan 2025 Policies

OS-1.1	OS-5.3	OS-7.3	LU-7.2
OS 5.-1	OS-5.4	LU-3.1	LU-7.4
OS-5.2	OS-6.3	LU-5.5	

RMC (Chapter 16.72, Western Riverside Multiple Habitat Conservation Plan Fee Program)

Clean Water Act Section 404

Western Riverside County Multiple Species Habitat Conservation Plan

Non-Applicable Mitigation Measures

Certified EIR Mitigation Measure	Non-Applicability Justification
<p>MM BIO-1: Prior to demolition, grading, or building permit approval of candidate sites located within areas that could impact riparian/riverine habitat or federally protected wetlands as defined by California Fish and Game Code 1600 et seq. and Clean Water Act Sections 401 and 404, a qualified biologist shall prepare an assessment. The assessment shall include, at a minimum, identification and mapping of any wetland or riparian/riverine resources present; evaluation of plant species composition; a soils analysis (where appropriate); avoidance and impacted wetland/riparian/riverine areas; and applicable mitigation measure(s) to avoid or reduce impacts to these resources to less than significant.</p>	<p>The Project Site is not within a riparian/riverine habitat or wetlands. The Proposed Project is an infill site located in an urbanized area.</p>
<p>MM BIO-2: Prior to demolition, grading, or building permit approval, the project proponent shall provide written notification to the Community & Economic Development Department that the alteration of any water course or wetland, located either onsite or on any required offsite improvement areas, complies with California Fish and Game Code and U.S. Army Corps of Engineers’ review and approval per California Fish and Game Code Section 1600 et seq. and Clean Water Act Sections 401 and 404. Copies of the approval from the relevant agencies shall be submitted to the Community & Economic Development.</p>	<p>Development of the Project Site would not alter any water course or wetland either on or off site. The Proposed Project is an infill site located in an urbanized area.</p>
<p>MM BIO-3: Prior to demolition, grading, or building permit approval, an assessment/jurisdictional delineation by a</p>	<p>The Project Site is not within a wetland. The Proposed Project</p>

Certified EIR Mitigation Measure	Non-Applicability Justification
<p>qualified biologist shall be prepared and submitted to the Planning Division for review and approval, for candidate sites located within areas that could impact federally protected wetlands as defined by Clean Water Act Section 404. The assessment shall include, at a minimum, identification and mapping of any wetlands present; evaluation of plant species composition; a soils analysis (where appropriate); avoidance and impacted wetland areas; and applicable mitigation measure(s) for proposed impacts to wetlands. The project proponent shall provide written notification to the Community & Economic Development Department that the alteration of any water course or wetland, located either onsite or on any required offsite improvement areas, complies with the U.S. Army Corps of Engineers Section 404 Nationwide permitting requirements. Copies of any agreements along with the notification shall be submitted to the Community & Economic Development.</p>	<p>is an infill site located in an urbanized area.</p>

Applicable Mitigation Measures:

No project-specific mitigation measures are required as a result of the Proposed Project.

GP FPEIR Mitigation Measure	Applicability Justification
<p>MM BIO-1: To reduce potential direct and indirect impacts to Federal Species of Concern, California Species of Special Concern, California Species Animals or plants listed on the lists one through four of the California Native Plant Society (CNPS) Inventory not covered under the MSHCP, a habitat assessment shall be prepared by a qualified biologist for projects located on undeveloped sites with potential to impact these species. The report shall specify mitigation to avoid or reduce potential impacts to less than significant.</p> <ul style="list-style-type: none"> • If the findings of the habitat assessment show no sensitive species or suitable habitat exists on site, then no additional surveys or mitigation measures are required. • If the potential for sensitive species exists or suitable habitat exists on site, focused surveys or mitigation, if identified in the habitat assessment, shall be completed. Focused surveys conducted in the appropriate season for each species, as identified in the habitat assessment report, shall be conducted to 	<p>A habitat assessment was prepared for the Project Site. No candidate, sensitive, or special status species were present on the Project Site and no project-specific mitigation measures would be required.</p>

GP FPEIR Mitigation Measure	Applicability Justification
<p>determine presence/absence status. · If no sensitive species are identified through focused surveys, then no additional surveys or mitigation measures are required.</p> <ul style="list-style-type: none"> • If sensitive species are found on site and are not avoided by project design, then additional mitigation measures as recommended by a qualified biologist shall be implemented to avoid or reduce impacts to less than significant. 	

- a) **Would the project have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?**

Summary of Impacts in the Certified EIR

Less Than Significant with Mitigation: The Certified EIR determined that impacts associated with species identified as candidate, sensitive, or special status species would be less than significant with the implementation of General Plan Final Program Environmental Impact Report (GP FPEIR) **MM BIO-1**, compliance with Western Riverside County Multiple Species Habitat Conservation Plan (WR MSHCP) provisions, and payment of applicable mitigation fees.

The WRC MSHCP serves as a comprehensive, multi-jurisdictional habitat conservation plan, pursuant to federal Endangered Species Act Section (a) (1)(B), as well as a natural communities conservation plan under the California Natural Community Conservation Planning Act of 2001. The WRC MSHCP includes a program for the collection of development mitigation fees, policies for the review of projects in areas where habitat must be conserved, and policies for the protection of riparian areas, vernal pools, narrow endemic plants, and criteria area species. It also includes requirements to perform plant, bird, reptile, and mammal surveys in certain areas. The candidate sites are located within WR MSHCP to which the City is a permittee and is required to comply with applicable provisions of the plan.

The California Natural Diversity Database (CNDDDB) and California Native Plant Society (CNPS) were queried for reported locations of listed and sensitive plant and wildlife species, as well as sensitive natural plant communities. The query identified 27 Special-status Plant Species, 41 Special-status Wildlife Species, and six (6) Special-status Plant Communities as having potential to occur within Riverside. Special -Status Plant Species, San Diego ambrosia occurs within or adjacent to candidate site WG7G4S35. Special-Status Wildlife Species, San Bernardino kangaroo rat occurs within or adjacent to candidate site WG4G4S16. However, both Special-status species are covered under MSHCP. No Special-Status Plant Communities occur within or adjacent to any candidate sites.

Project buildout, over time, would reduce available live-in and foraging habitat for these species within the Project vicinity. However, the Project’s potential impacts to sensitive species would

typically occur during the construction phase. The City would ensure future development is designed and, where necessary, conserved or mitigated, to demonstrate consistency with the WRC MSHCP and would ensure payment of development impact fees contributing to the MSHCP. To address potential operational impacts occurring in non-MSHCP areas, the City would ensure future development has incorporated all applicable mitigation requirements identified during a site-specific biological resources assessment (GP FPEIR **MM BIO-1**), as needed. (Certified EIR, pp. 4.2-32 – 4.2-35)

Impacts Associated with the Proposed Project

Less Than Significant: In conformance with GP FPEIR **MM BIO-1**, a habitat assessment for burrowing owls was completed to determine potential impacts to biological resources associated with the development of the Proposed Project (Appendix A – Burrowing Habitat Assessment-*Habitat Assessment for Burrowing Owl on a 16.3-acre site (Assessor's Parcel Nos. 143-180-028, 0-31, and -032) Riverside , Riverside County, California*, Osborne Biological Consulting, January 2020).

An initial site visit of the Project Site was conducted on January 18, 2020 by Osborne Biological Consulting biologist. The Project Site is characterized as a predominantly flat developed site with parking lots, drivers, paved curbs and gutters, with a large gravel area, and just over 3- acre field with exotic weedy vegetation area dominated by exotic forbs and grasses with signs of intense gopher activity. The northern and western portion of the Project Site contain sandy loam soils that support exotic annual grass dominated by such species as *Avena barbata*, *Bromus diandrus*, *Lactuca serriola*, *Malva parviflora*, and *Erodium cicutarium*. Parking lots east of the Project Site issue runoff onto the northeastern corner of the Project Site, allowing establishment of *Baccharis salicifolia* and *Prosopis*. These are weedy species typical of highly disturbed conditions

The results of the field investigation concluded that no signs of Burrowing Owl (*Athene cunicularia*) (such as pellets, plumage, guano on nearby perches, or tracks at burrow entrances) were present. Burrowing Owl was not observed on the site during this survey. Ground squirrels and burrows were not observed on the Project Site. The absence of animal burrows or other soil cavities suitable to harbor Burrowing Owl soundly precludes this Owl from inhabiting the subject site. The potential for Burrowing Owl on the site is further reduced by the surrounding presence of nearby residences and with many large trees and palms around the perimeter of open fields (which afford perches and harborage for predators [Hawks and large Owls] of Burrowing Owl). The vegetation encountered on the Project Site was annual grass/forbland dominated by such species as *Avena barbata*, *Bromus diandrus*, *Lactuca serriola*, *Malva parviflora*, *Erodium cicutarium* *Baccharis salicifolia*, and *Prosopis*. These species are not Special-status species.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with candidate, sensitive, or special status species that were not identified in the

Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- b) **Would the project have substantially a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or US Fish and Wildlife Service?**

Summary of Impacts in the Certified EIR

Less Than Significant with Mitigation: The Certified EIR determined that impacts associated with riparian habitat or other sensitive natural community would be less than significant with the implementation of Certified EIR **MM BIO-1** and **MM BIO-2**, conformance with WRC MSHCP Section 6.1.2, and relevant GP 2025 policies.

The Certified EIR determined that only one candidate site, site W3G4S27, is located within WRC MSHCP Criteria Cell (Criteria Cell 621). Criteria Cell 621 contributes to the assembly of Existing Core A, which consists of Santa Ana River and Prado Basin. High quality riparian habitat within the Core and along the edges must be maintained for species such as southwestern willow flycatcher, yellow warbler, yellow-breasted chat, western yellow-billed cuckoo, among others listed in the WRC MSHCP. Therefore, future development with the potential to impact riparian habitat or other sensitive natural communities within candidate site W3G4S27 would be subject to compliance with WRC MSHCP Section 6.1.2. WRC MSHCP Section 6.1.2 requires an assessment of a project's potentially significant effects on Covered Species occupying riparian/riverine areas and vernal pools.

Future development with potential to affect CDFW-jurisdictional riparian habitats and located outside of the MSHCP Conservation Area would require a jurisdictional assessment to determine if: 1) the project site supports CDFW-protected wetlands, and; 2) the project must initiate the CDFW permitting process (see Certified EIR **MM BIO-1**). Future development with potential to affect CDFW jurisdictional riparian habitats occurring in non-MSHCP areas must demonstrate conformance with Certified EIR **MM BIO-1**; refer to Certified EIR **MM BIO-2**. In addition, the City would continue to protect and preserve native plant communities, including riparian areas and vernal pools and other open space uses in compliance with GP 2025 Policies OS-5.4 and OS-6.3. (Certified EIR, pp. 4.2-35 – 4.2-36)

Impacts Associated with the Proposed Project

Less Than Significant: The physical conditions as they relate to riparian habitat or other sensitive natural communities, have not changed substantially in the City since the preparation of Certified EIR. The Project Site, candidate site WG6G1S01, remains urban and underutilized and does not contain riparian habitat or other sensitive natural communities.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects

associated with riparian habitat or other sensitive natural communities that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- c) **Would the project have a substantially substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?**

Summary of Impacts in the Certified EIR

Less Than Significant with Mitigation: The Certified EIR determined that impacts associated with wetlands would be less than significant with the implementation of Certified EIR **MM BIO-1**, **MM BIO-2** and **MM BIO-3**, conformance with WRC MSHCP Section 6.1.2, and relevant GP 2025 policies.

The Certified EIR determined that only one candidate site, site W3G4S27 is located within MSHCP Criteria Cell 621. In addition to Clean Water Act Section 404 compliance, development occurring within this site would be subject to compliance with WRC MSHCP Section 6.1.2. WRC MSHCP Section 6.1.2 outlines survey, mapping, and documentation requirements, along with avoidance and minimization measures intended to preserve the biological functions and habitat values for these areas. Development within candidate site W3G4S27 would also be subject to compliance with WRC MSHCP Section 6.1.4, Guidelines Pertaining to the Urban/Wildlands Interface, which outlines several measures intended to minimize edge effects between development proposals and the MSHCP Conservation Area

All future development with potential to affect federally protected wetlands occurring in non-MSHCP areas would require a jurisdictional assessment to determine if: 1) the project site supports federally protected wetlands, and; 2) the project must initiate the U.S. Army Corps of Engineers Section 404 process (see Certified EIR **MM BIO-3**). The City would require future development to demonstrate conformance with proposed **MM BIO-3** during the City's design review process. In addition, the City would continue to protect and preserve native plant communities, including wetlands and other open space uses in compliance with GP 2025 Policies OS-1.1, OS-5.2 and OS-7.3. (Certified EIR, pp. 4.2-37 – 4.2-38)

Impacts Associated with the Proposed Project

Less Than Significant: The physical conditions as they relate to wetlands, have not changed substantially in the City since the preparation of Certified EIR. The Project Site, candidate site WG6G1S01, remains urban and underutilized and does not contain wetlands. required.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with wetlands that were not identified in the Certified EIR. No further study is needed,

and no mitigation measures would be required. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- d) **Would the project interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?**

Summary of Impacts in the Certified EIR

Less Than Significant with Mitigation: The Certified EIR determined that impacts associated with areas associated with wildlife corridors or nursery sites would be less than significant with the conformance the WRC MSHCP requirements for Criteria Cell 621, as well as any other applicable WRC MSHCP requirements and conformance with the GP 2025 policies 6.1 through OS-6.4.

The Certified EIR determined that only one candidate site, site W3G4S27 is located within MSHCP Criteria Cell. Future development could potentially represent new barriers to wildlife movement. Future development occurring within candidate site W3G4S27 would be subject to conformance with the WRC MSHCP to reduce impacts to wildlife movement. The WRC MSHCP establishes a system of corridors and linkages to accommodate wildlife movement in open space areas of Riverside County. The WRC MSHCP also includes measures to ensure development does not substantially interfere with wildlife movement; refer to MSHCP Sections 3.2.3 (Cores and linkages within the MSHCP Conservation Area), 7.5.2 (Guidelines for Construction of Wildlife Crossings) and 7.5.3 (Construction Guidelines).

Impacts to migratory corridors would be further reduced following compliance with GP 2025 Policies OS- 6.1 through OS-6.4. GP 2025 Policy OS-6.1 requires the City to protect and enhance known wildlife migratory corridors and create new corridors as feasible. Policy OS-6.2 requires the City continue to support regional and local efforts to acquire, develop and maintain open space linkages. Pursuant to Policy OS-6.3, the City would preserve the integrity of its arroyos and riparian habitat areas through the preservation of native plants. Policy OS-6.4 requires the City continue its efforts to establish a wildlife movement corridor between Sycamore Canyon Wilderness Park and the Box Springs Mountain Regional Park as shown on the MSHCP. Pursuant to Policy OS-6.4, the City would condition new developments in this area to provide for the corridor and Caltrans shall be encouraged to provide an underpass at the State Route 60/Interstate 215 Freeways. (Certified EIR, pp. 4.2-39 – 4.2-40)

Impacts Associated with the Proposed Project

Less Than Significant: Physical conditions as they relate to wetlands have not changed substantially in the City since the preparation of Certified EIR. The Project Site, Candidate Site WG6G1S01, remains urban and underutilized area not associated with wildlife corridors. Therefore, potential impacts associated with movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites would be less than significant and no mitigation is required.

The Proposed Project would require removal of trees in the Project Site, which could provide habitat for nesting migratory birds. The Proposed Project has the potential to impact active bird

nests if vegetation and trees are removed during the nesting season. Nesting birds are protected under the federal MBTA (United States Code Title 33, Section 703 et seq.; see also Code of Federal Regulations Title 50, Part 10) and Section 3503 of the California Fish and Game Code. Project construction would be subject to the provisions of the MBTA, which prohibits disturbing or destroying active nests. Project implementation would be accomplished in a manner that avoids impacts to active nests during the breeding season. With compliance with the MBTA, impacts to nesting birds would be less than significant, and no mitigation is required.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with areas associated with wildlife corridors or nursery sites that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

e) Would the project conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that future implementing projects impacts to local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance would be less than significant with compliance with Riverside County Ordinances 633.10 and County Ordinance 810.2, RMC Chapter 16.72, WRC MSHCP Fee Program, Stephens' Kangaroo Rat Habitat Conservation Plan (SKR HCP), and the City's Urban Forestry Policy Manual which addresses the removal and planting of trees within the City's right-of-way. (Certified EIR, pp. 4.2-40 – 4.2-41)

Impacts Associated with the Proposed Project

Less Than Significant: The Proposed Project would protect existing streets in the public right of way; however if existing trees are found to be missing or dead or in poor condition, they would be replaced with similar sized trees as specified in the City's Urban Forestry Policy Manual. The Proposed Project would comply with these requirements and does not propose to remove any trees in violation of those requirements.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with tree preservation ordinance or other local regulation protecting biological resources that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- f) **Would the project conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that candidate sites land use and zoning changes impacts to provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan would be less than significant.

Future development would be subject to compliance, as appropriate, with the various WRC MSHCP provisions, including WRC MSHCP Section 6.1.2 Protection of Species Associated with Riparian/Riverine Areas and Vernal Pools, WRC MSHCP Section 6.1.3 Protection of Narrow Endemic Plant Species, WRC MSHCP Section 6.1.4 Guidelines Pertaining to the Urban/Wildlands Interface and WRC MSHCP Section 6.3.2 Additional Survey Needs and Procedures. Further, any future development within a Criteria Cell (candidate site W3G4S27) would be subject to compliance with a Joint Project Review (JPR) with the RCA. Future development would also be subject to payment of mitigation fees in accordance with Riverside County Ordinance 633.10 and 810.2. The GP 2025 incorporates several policies aimed at ensuring development activities obtain MSHCP compliance. (Certified EIR, pp. 4.2-41 – 4.2-42)

Impacts Associated with the Proposed Project

Less Than Significant: The Project Site would not conflict adopted habitat conservation plans: the WRC MSHCP; SKR HCP; Lake Mathews Multiple Species Habitat Conservation Plan & Natural Community Conservation Plan; and El Sobrante Landfill Habitat Conservation Plan following compliance with GP 2025 policies and WRC MSHCP and SKR HCP procedures.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

Source:

City of Riverside, *2014-2021 Housing Element Updated Housing Implementation Plan Environmental Impact Report, Final December 2017*. (Available at <https://riversideca.gov/cedd/planning/city-plans/general-plan-0> , accessed March 2020.)

5.4.5 Cultural Resources

Would the project:	Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed in the Certified EIR; No New Impact	Substantially Mitigated by Uniformly Applicable Development Policies
a) Cause a substantial adverse change in the significance of a historical resource pursuant to § 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to § 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project Design Features

PDF CUL-1: Prior to the issuance of a grading permit, the Property Owner/Developer shall retain an on-call archaeologist. In the event native soils are encountered during the building pad over-excavation, development in those areas shall be halted and the archaeologist shall implement sections b) through f) of MM Cultural 6.

Standard Conditions/Existing Plans, Programs, or Policies

General Plan 2025 Policies

- HP-1.1
- HP-1.2
- HP-1.3
- HP-1.4
- HP-1.5
- HP-1.6
- HP-1.7
- HP-2.1
- HP-2.2
- HP-2.3
- HP-3.1
- HP-3.2
- HP-4.1
- HP-5.1
- HP-5.2
- HP-7.1
- HP-7.2
- HP-7.4
- PS-11.1
- PS-11.2
- PS-11.3

RMC (Title 20, Historical Resources)

City of Riverside Historic Design Guidelines

MASP

Non-Applicable Mitigation Measures

Certified EIR Mitigation Measure		Non-Applicability Justification								
<p>MM CUL-1: Prior to demolition, grading, or building permit approval, any candidate site with buildings over 45 years in age not subject to previous identification, recordation on Department of Park and Recreation (DPR) 523 Forms, and NRHP, CRHR, and/or City of Riverside-designated Structures/Resources of Merit eligibility evaluation (as appropriate) within the last five years, shall be evaluated by a Secretary of the Interior Qualified Cultural Resource Professional specializing in Architectural History. Results of the evaluation shall specify site-specific mitigation requirements.</p>		<p>The Proposed Project does not include demolition of buildings.</p>								
<p>MM CUL-2: Concurrent with the proposed Zoning Code Map Amendment (Planning Case No. P17-0180), and to avoid potential impacts to previously recorded City of Riverside-designated contributors to the Arlington Village Commercial Neighborhood Conservation Area, Candidate Site W5G1S19 shall be avoided through exclusion (i.e., Tool H-21, Rezoning Program).</p>		<p>The Project Site is Candidate Site W6G1S01 and would not impact the Arlington Village Commercial Neighborhood Conservation Area, as discussed in Certified EIR MM CUL-2.</p>								
<p>MM CUL-3: To avoid impacts to previously recorded historic resources located within 50 feet of construction activities involving pile driving (if any) on the candidate sites listed below, prior to demolition, grading, or building permit approval for the candidate sites, a site-specific Construction Protection Plan (CPP) shall be prepared by a qualified Historic Building Architect. The CPP shall specify mitigation to avoid or reduce impacts to less than significant.</p>		<p>The Project Site, Candidate Site W6G1S01, is not a candidate site identified in the MM CUL-3 table as being within 50 feet of previously recorded historic resources.</p>								
<table border="1"> <thead> <tr> <th>Nearest Candidate Site</th> <th>Adjacent Resources and Location</th> </tr> </thead> <tbody> <tr> <td>W1G4S03</td> <td>City of Riverside-Designated Structure/Resource of Merit CHM-648 (3493 Ramona Drive) (adjacent south)</td> </tr> <tr> <td>W1G4S44</td> <td>P-33-11475: Historic-period building (adjacent south)</td> </tr> <tr> <td>W2G2S01</td> <td>City of Riverside-Designated Historic Landmark at 1393 University Avenue (adjacent west)</td> </tr> </tbody> </table>	Nearest Candidate Site		Adjacent Resources and Location	W1G4S03	City of Riverside-Designated Structure/Resource of Merit CHM-648 (3493 Ramona Drive) (adjacent south)	W1G4S44	P-33-11475: Historic-period building (adjacent south)	W2G2S01	City of Riverside-Designated Historic Landmark at 1393 University Avenue (adjacent west)	
Nearest Candidate Site	Adjacent Resources and Location									
W1G4S03	City of Riverside-Designated Structure/Resource of Merit CHM-648 (3493 Ramona Drive) (adjacent south)									
W1G4S44	P-33-11475: Historic-period building (adjacent south)									
W2G2S01	City of Riverside-Designated Historic Landmark at 1393 University Avenue (adjacent west)									

Certified EIR Mitigation Measure		Non-Applicability Justification
W2G2S02	City of Riverside-designated Historic Landmark CHL-052 (Weber House) (adjacent west)	
W2G2S03	City of Riverside-Designated Structures/Resources of Merit at 1855-1857 University Avenue (adjacent east)	
W2G2S06	City of Riverside-Designated Historic Landmark at 1651 University Avenue (adjacent east)	
W2G4S30	City of Riverside-Designated Structures/Resources of Merit CHM-091 (2009 Patterson Street) and CHM-090 (2008 Patterson Street) (adjacent west)	
W4G4S42	P-33-7818: Historic-period archaeological site (adjacent south)	
W5G1S02	City of Riverside-Designated Historic Landmark at 9856 Magnolia Avenue (adjacent west)	
W5G1S13	City of Riverside-Designated Lafayette Street Neighborhood Conservation Area (adjacent north)	
W5G1S19	P-33-9007: Historic-period building (adjacent southeast) P-33-9047: Historic-period building (adjacent southeast) P-33-9048: Historic-period building (adjacent southeast) P-33-9049: Historic-period building (adjacent southeast) P-33-9051: Historic-period building (adjacent southeast) P-33-9052: Historic-period building (adjacent southeast) P-33-11251: Historic-period building (adjacent southwest)	
W5G1S11/W5G4S12	P-33-13081: Historic-period building (adjacent south)	

Certified EIR Mitigation Measure		Non-Applicability Justification
	P-33-13082: Historic-period building (adjacent south) P-33-13083: Historic-period building (adjacent south) P-33-13084: Historic-period building (adjacent south) P-33-16974: Historic-period building (adjacent south)	
W5G4S23	P-33-12901: Historic-period building (adjacent northeast)	
W6G4S33	P-33-21007: Historic-period building (adjacent south)	
W6G4S41	P-33-21007: Historic-period building (adjacent south)	
W7G3S14	City of Riverside-Designated Historic Resource CHL-118 (Five Points) (adjacent southwest)	
Note: Refer to Certified EIR Appendix D, Candidate Sites Table, for a listing and description of the candidate sites.		
Source: BCR Consulting, Cultural Resources Records Search for the City of Riverside 2014-2021 Housing Element Rezoning Program, Table A, Records Search Results (One Half-Mile Radius), August 3, 2017.		
<p>To provide adequate protection to the adjacent previously recorded historic resource, the CPP shall include the following components, pursuant to the National Park Service Preservation Tech Notes, Temporary Protection Number 3, Protecting a Historic Structure During Adjacent Construction:</p> <ol style="list-style-type: none"> 1. Protocol for consultation between the historic building owner and project applicant to identify potential risks, negotiate changes, and agree upon protective measures; 2. Requirements for documentation of the condition of the adjacent historic building prior to any demolition/construction work, in a manner consistent with the U.S. Secretary of the Interior’s Standards for the Treatment of Historic Properties 3. Protective measures to be implemented at both the construction site and the historic site. 4. Mitigating the effects of vibrations shall begin during the consultation process when acceptable levels shall be set and alternative processes specified, as required. If vibrations are likely to damage adjacent 		

Certified EIR Mitigation Measure	Non-Applicability Justification
<p>structures, specific measures to mitigate potential impacts shall be identified during the consultation process. Alternative measures to be considered include the following, among others, as required:</p> <ul style="list-style-type: none"> • Pile cushioning, jetting, predrilling, cast-in-place systems, or resonance-free vibratory pile drivers; • Hand demolition as a substitute when conventional demolition activities would cause excessive vibrations; • If pile driving is likely to damage adjacent structures, non-displacement piles that are inserted in bored holes rather than driven, “jacking-in” or pressing the piles into the ground, or other equally effective measure; and • Delivery entry and exit points that are located the further distance possible/feasible from the historic site. <p>5. Procedures for regular monitoring during construction to: identify damage; evaluate the efficacy of protective measures already in place; and identify and implement additional corrective measures, if needed. Continual crack and vibration monitoring shall be provided as a warning system to prevent exceedances of previously established (during the Consultation phase) safe thresholds.</p> <p>6. All damage to historic structures shall be restored to its preexisting condition.</p>	
<p>MM CUL-4: To avoid impacts to previously recorded resources located adjacent to candidate sites identified in CUL-3, prior to demolition, grading, or building permit approval for the candidate sites, the project applicant shall substantiate that:</p> <ul style="list-style-type: none"> • The Contractor conducting work on the construction site has submitted documents pertaining to protection of historic resources (i.e., Construction Protection Plan (CPP)) to the Community & Economic Development Department. • Promotion of CPP awareness among all project participants. 	<p>The Project Site, Candidate Site W6G1S01, is not a candidate site identified in the MM CUL-3 table as being within 50 feet of previously recorded historic resources.</p>

Certified EIR Mitigation Measure	Non-Applicability Justification
<ul style="list-style-type: none"> • A Worker Historic Resources Awareness Program has been developed for implementation prior to demolition, grading, or building permit approval. The Program shall be implemented to educate all construction personnel (employees of contractors and subcontractors) who work on the project site or related facilities during demolition and construction concerning the adjacent historical resource. The training may be presented on electronic media in the form of a video recording. • The construction plans specify that the Contractor shall not locate any equipment or deliver any materials or commence any work whatsoever that may impact adjacent historic resources. • Each Contractor-Generated Submittal shall include the following: <ul style="list-style-type: none"> a. General location map of the development site showing where work on the Contract will be performed, including notation on the map of location of the historic resource (s). b. Listing of materials, products or construction equipment to be used in the course of the Contract that have the potential to come in contact with the historic resource, and the proposed methods to be employed to prevent any damage to said historic resources. c. In the event that the Contractor identifies potentially more effective and/or efficient methods of protection as construction proceeds, the Contractor shall provide said measures to the Community & Economic Development Department. Adjustments and modifications shall be documented with the City and on construction drawings. 	
<p>MM CUL-5: If excavation activities include digging deeper than 10 feet below the ground surface, a qualified paleontologist shall be contracted to monitor construction activities. If construction activities uncover potential paleontological (fossil) resources, construction would be temporarily halted within 50 feet of the find until the</p>	<p>The Proposed Project's excavation would not exceed ten feet below the ground surface.</p>

Certified EIR Mitigation Measure	Non-Applicability Justification
<p>resources' significance is determined by a qualified paleontologist. The paleontological monitor shall be equipped to salvage fossils as they are unearthed to avoid construction delays, and to remove samples of sediments which are likely to contain the remains of small fossil invertebrates and vertebrates.</p> <p>The paleontological monitors shall have stop-work authority to temporarily halt or divert equipment to allow removal of abundant or large specimens. The paleontologist shall identify and permanently preserve all recovered specimens and facilitate curation into an established, accredited, professional museum repository with permanent retrievable storage. The paleontologist shall have a written repository agreement prior to the initiation of recovery activities. The qualified paleontologist shall complete a report describing the methods and results of the monitoring and data recovery program that shall be submitted to the City.</p>	

GP FPEIR Mitigation Measure	Non-Applicability Justification
<p>MM Cultural 1: Candidate sites with high archaeological sensitivity shall be surveyed for archaeological resources by qualified individuals who meet the Secretary of the Interior's Standards and Guidelines regarding archaeological activities and methods. If potentially significant prehistoric archaeological resources are encountered during the archaeological survey, these shall be analyzed/processed managed in accordance with State and City regulations.</p>	<p>The Project Site is not within an area of high archaeological sensitivity.</p>
<p>MM Cultural 2: Avoidance is the preferred treatment for known prehistoric and historical archaeological sites and sites containing Native American human remains. Where feasible, project plans shall be developed to avoid known archaeological resources and sites containing human remains. Where avoidance of construction impacts is possible, the site shall be landscaped in a manner which will ensure that indirect impacts from increased public availability to these sites are avoided. Where avoidance is selected, archaeological resource sites and sites containing Native American human remains shall be placed within permanent conservation easements or dedicated open space areas.</p>	<p>The Project Site is not known to contain prehistoric, historical archaeological, or Native American cultural resources.</p>

MM Cultural 3: In accordance with the law, avoidance and/or preservation in place of known prehistoric and historical archaeological resources and sites containing Native American human remains are not feasible management options, the following mitigation measures shall be initiated:

- a. Prior to demolition, grading, or building permit approval for a project, a Phase II (i.e., test-level) Research Design shall be developed detailing how the archaeological resources investigation will be executed and providing specific research questions that will be addressed through the Phase II Testing Program. The Phase II Testing Program shall be designed to define site boundaries further and assess the structure, content, nature, and depth of subsurface cultural deposits and features. Emphasis shall also be placed on assessing site integrity, cultural significance, and the site’s potential to address regional archaeological research questions. These data shall be used for two purposes: to discuss culturally sensitive recovery options with the appropriate Tribe(s) if the resource is of Native American origins, and to address the California Register of Historical Resources (CRHR) and National Register of Historic Places (NRHP) eligibility for the cultural resource and make recommendations as to the suitability of the resource for listing on either Register. The Research Design shall include measures in compliance with the established regulatory framework to reduce impacts to less than significant. For sites determined ineligible for listing on either the CRHR or NRHP, execution of the Phase II Testing Program would suffice as the necessary level of data recovery and mitigation of project impacts to this resource.
- b. A participant-observer from the appropriate Native American Band or Tribe shall be used during all archaeological excavations involving sites of Native American concern.
- c. Prior to demolition, grading, or building permit approval, the City’s consultant shall complete the

The Project Site is not known to contain prehistoric, historical archaeological, or Native American cultural resources.

<p>Phase II Testing Program as specified in the Research Design. The results of this Program shall be presented in a technical report that follows the County of Riverside’s Phase II Cultural Resources Testing & Evaluation Standard Scope of Work. The Phase II Report shall be submitted to the appropriate Tribe and the City’s Cultural Heritage Board.</p> <p>d. If the cultural resource is identified as being potentially eligible for either the CRHR or NRHP, a Phase III Data Recovery Program to mitigate project effects shall be initiated. The Data Recovery Treatment Plan detailing the Phase III Program objectives shall be developed, in consultation with the appropriate Tribe, and contain specific testable hypotheses pertinent to the Research Design and relative to the sites under study. The Phase III Data Recovery Treatment Plan shall be submitted to the City’s Cultural Heritage Board and/or Cultural Heritage Board staff and the appropriate Tribe.</p> <p>e. After Treatment Plan completion, the Phase III Data Recovery Program for affected, eligible sites shall be completed. Typically, a Phase III Data Recovery Program involves the excavation of a statistically representative sample of the site to preserve those resource values that qualify the site as being eligible for listing on the CRHR or NRHP. A participant-observer from the appropriate Native American Band or Tribe shall be used during archaeological data-recovery excavations involving sites of Native American concern. At the Phase III Program’s conclusion, a Phase III Data Recovery Report shall be prepared, following the County of Riverside’s Outline for Archaeological Mitigation or Data Recovery. The Phase III Data Recovery Report shall be submitted to the appropriate Tribe and the City’s Cultural Heritage Board.</p> <p>f. All archaeological materials recovered during Phase II Testing or Phase III Data Recovery program implementation shall be subject to analysis and/or processing as outlined in the</p>	
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<p>Treatment Plan. If materials are of the type, which will be transferred to a curation facility, they shall be cleaned, described in detail, and analyzed including laboratory and analytical analysis. Materials to be curated may include archaeological specimens and samples, field notes, feature and burial records, maps, plans, profile drawings, photo logs, photographic negatives, consultants' reports of special studies, and copies of the final technical reports. All project related collections subject to curation should be suitably packaged and transferred to facility that meets the standards of 36 CFR 79 for long-term storage. Culturally sensitive treatment of certain artifacts may require treatment other than curation and as specified in the Treatment Plan, but it should be noted that Native American Graves Protection Repatriation Act (NAGPRA) provisions pertaining to Native American burials, sacred objects, and objects of cultural patrimony would come into effect when ownership of the collections transfer to a curation repository that receives Federal funding, unless otherwise agreed to with non-curation methods of treatment.</p> <p>g. The project proponent shall bear the expense of identification, evaluation, and treatment of all cultural resources directly or indirectly affected by project-related construction activity. Such expenses may include, archaeological and Native American monitoring, pre-field planning, field work, post-field analysis, research, interim and summary report preparation, and final report production (including draft and final versions), and costs associated with the curation of project documentation and the associated artifact collections. On the City and the project proponent's behalf, the final technical reports detailing the Phase II Testing or Phase III Data Recovery programs results shall be submitted to the appropriate Native American Tribe and to the California Historical Resources Information System (CHRIS) Eastern Information Center (EIC)</p>	
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<p>for their information and where it would be available to other researchers.</p>	
<p>MM Cultural 5: To address potential impacts to historic resources that may be adversely affected by future development allowed by the proposed project, mitigation including, but not limited to, the following shall be considered:</p> <p>For adverse impacts to individual historic resources, such as: those on the National Register, California Register or City Landmark, Structure of Merit eligible, mitigation considered shall include the following in the order of preference:</p> <ol style="list-style-type: none"> a. Avoidance. b. Changes to the structure provided pursuant to the Secretary of Interior’s Standards. c. Structure relocation. d. Structure recordation to HABSR/HAER standard if demolition is allowed. <p>For adverse impacts to a City designated Historic District, mitigation considered shall include, but not limited to, in order of preference:</p> <ol style="list-style-type: none"> a. Avoidance. b. Property relocation to HABSR/HAER standard if demolition is allowed. <p>Demolition is to be considered only if mitigation as described above is not feasible.</p>	<p>The Project Site is not known to contain prehistoric, historical archaeological, or Native American cultural resources.</p>

Applicable Mitigation Measures:

No project-specific mitigation measures are required as a result of the Proposed Project.

GP FPEIR Mitigation Measure	Applicability Justification
<p>MM Cultural 4: The following mitigation measures shall be implemented to reduce project-related adverse impacts to archaeological resources and sites containing Native American human remains that may be inadvertently discovered during construction of projects proposed in the City’s 2014- 2021 Housing Element Update:</p> <ol style="list-style-type: none"> a. In areas of archaeological sensitivity, including those that may contain buried Native American human remains, a 	<p>The Project Site is not within an area of high archaeological sensitivity and it is not within known prehistoric and historical archaeological sites and sites containing Native American human remains. However, in the event of an accidental discovery of any</p>

GP FPEIR Mitigation Measure	Applicability Justification
<p>registered professional archaeologist and the culturally affiliated Native American Tribe’s representative, with knowledge in cultural resources, shall monitor all project-related ground disturbing activities that extend into natural sediments in areas determined to have high archaeological sensitivity.</p> <p>b. If buried archaeological resources are uncovered during construction, all work shall be halted in the discovery’s vicinity until a registered professional archaeologist can visit the site of discovery and assess the archaeological resource’s significance and origin. If the resource is determined to be of Native American origin or a potentially significant cultural resource, these shall be analyzed/processed in accordance with State and local regulations, which may include data recovery, retention in situ, or other appropriate treatment and mitigation depending on the resources discovered.</p> <p>In the event of an accidental discovery of any human remains in a location other than a dedicated cemetery, the steps and procedures specified in Health and Safety Code 7050.5, CEQA Guidelines 15064.5(e), and Public Resources Code 5097.98 must be implemented. Specifically, in accordance with Public Resources Code (PRC) Section 5097.98, the Riverside County Coroner must be notified within 24 hours of the discovery of potentially human remains. The Coroner will then determine within two working days of being notified if the remains are subject to his or her authority. If the Coroner recognizes the remains to be Native American, he or she shall contact the Native American Heritage Commission (NAHC) by phone within 24 hours, in accordance with PRC Section 5097.98. The NAHC will then designate a Most Likely Descendant (MLD) with respect to the human remains within 48 hours of notification. The MLD then has the opportunity to recommend to the property owner or the person responsible for the excavation work means for treating or disposing, with appropriate dignity, the human remains and associated grave goods within 48 hours of notification. Whenever the NAHC is unable to identify a MLD, or the MLD fails to make a recommendation, or the landowner or his or her authorized representative rejects</p>	<p>human remains in a location other than a dedicated cemetery, the Project Applicant would comply with GP FPEIR MM Cultural 4 and follow steps and procedures outline in Health and Safety Code 7050.5, CEQA Guidelines 15064.5(e), and Public Resources Code 5097.98.</p>

GP FPEIR Mitigation Measure	Applicability Justification
<p>the MLD’s recommendation and the mediation provided for in subdivision (k) of PRC Section 5097.94 fails to provide measures acceptable to the landowner, the landowner or his or her authorized representative shall re-enter the human remains and items associated with Native American burials with appropriate dignity on the proper 5y in a location not subject to further subsurface disturbance.</p>	
<p>MM Cultural 6: Any application for projects within the Magnolia Avenue Specific Plan (MASP) boundaries for all undeveloped properties and for developed properties where the project application indicates the need for extensive excavation to a depth reaching native (i.e., previously undisturbed) soils, as determined by a geological survey, shall require the following:</p> <ul style="list-style-type: none"> a. Evaluation of the site by a qualified archaeologist retained by the Project applicant(s), which would include at a minimum a records search, a Phase I walkover survey, and preparation of an archeological report containing the results of this evaluation and specifying the mitigation necessary to avoid or reduce impacts to less than significant, in accordance with State and local regulations. No further action is necessary unless the Phase I survey determines that a Phase II/III survey(s) are necessary. If a Phase II/III are necessary, the following conditions shall apply: <ul style="list-style-type: none"> i. Prior to demolition, grading, or building permit approval, the project applicant shall retain an archaeological monitor to monitor all ground-disturbing activities to identify any unknown archaeological resources. Any newly discovered cultural resource deposits shall be subject to a cultural resources evaluation. b. Prior to demolition, grading, or building permit approval, the project archaeologist shall file a pre-grading report with the City to document the proposed methodology for grading activity observation. Said methodology shall include the requirement for a qualified archaeological monitor to be present and to have the authority 	<p>The Proposed Project’s excavation would not extend 4 feet below existing or finished grades in the proposed buildings pads. In the proposed paved areas, excavation would reach one foot below existing or finished grades. In order to ensure that no impacts to native (previously undisturbed) soils would occur, the Property Owner/Developer has incorporated PDF CUL-1, which would require that prior to the issuance of a grading permit, the Property Owner/Developer shall retain an on-call archaeologist. In the event native soils are encountered during the building pad over-excavation, development in those areas shall be halted and the archaeologist shall implement sections b) through f) of MM Cultural 6.</p> <p>In the event of inadvertent discoveries of subsurface archaeological/ cultural resources at the Project Site during ground disturbing activities, the Project applicant would be required to comply</p>

GP FPEIR Mitigation Measure	Applicability Justification
<p>to stop and redirect grading activities. In accordance with the agreement required in (c) above, the archaeological monitor’s authority to stop and redirect grading will be exercised in consultation with the Tribe(s) in order to evaluate the significance of any archaeological resources discovered on the property. Tribal monitors shall be allowed to monitor all grading, excavation and groundbreaking activities and shall also have the authority to stop and redirect grading activities in consultation with the project archaeologist.</p> <p>c. If human remains are encountered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the Riverside County Coroner has made the necessary findings as to the origin. Further, pursuant to California Public Resources Code Section 5097.98(b) remains shall be left in place and free from disturbance until a final decision as to the treatment and disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within a reasonable timeframe. Subsequently, the Native American Heritage Commission shall identify the “most likely descendant” (MLD). The MLD shall then make recommendations and engage in consultations concerning treatment of the remains as provided in Public Resources Code 5097.98.</p> <p>d. The landowner shall relinquish ownership of all cultural resources, including sacred items, burial goods and all archaeological artifacts that are found on the project to the MLD for proper treatment and disposition.</p> <p>e. All sacred sites shall be avoided and preserved as the preferred mitigation.</p> <p>f. If inadvertent discoveries of subsurface archaeological/ cultural resources are discovered during grading, the Project applicant(s)/developer, the project archaeologist</p>	<p>with all aspects of MM Cultural 6.</p>

GP FPEIR Mitigation Measure	Applicability Justification
<p>and the Tribe(s) shall assess the significance of such resources and shall meet and confer regarding the mitigation for such resources. If the project applicant and the Tribe(s) cannot agree on the significance or the mitigation for such resources, these items will be presented to the City for decision. The City shall make the determination based on California Environmental Quality Act (CEQA) requirements.</p>	

a) Would the project cause a substantial adverse change in the significance of a historical resource pursuant to § 15064.5?

Summary of Impacts in the Certified EIR

Significant and Unavoidable After Implementation of Mitigation: The Certified EIR determined impacts to historical resources would be significant and unavoidable. A statement of overriding considerations was prepared and adopted.

Seventeen candidate sites are adjacent to a resource of Merit, a UCR Eastern Information Center (EIC) historical resources, or within a district or neighborhood conservation area. To avoid potential impacts GP FPEIR **MM Cultural 5** would be implemented to address impacts to historic resources. Certified EIR **MM CUL-1** would require prior to demolition, grading, or building permit approval, any site with buildings over 45 years in age not subject to previous identification, recordation on Department of Park and Recreation (DPR) 523 Forms, and California Register of Historical Resources (CRHR), National Register of Historic Places (NRHP), and/or City-designated Structures/Resources of Merit eligibility evaluation (as appropriate) within the last five years, shall be evaluated by a Secretary of the Interior Qualified Cultural Resource Professional specializing in Architectural History. Eligibility would necessitate preservation or mitigation. Certified EIR **MM CUL-2** requires that candidate site W5G1S19 be excluded from rezoning as this development at this site could result in the removal of 13 Contributors to the Arlington Village Commercial Neighborhood Conservation Area. Certified EIR **MM CUL-3** requires a comprehensive Construction Protection Plan (CPP) that would provide adequate protection to historic resources located within 50 feet of construction activities involving pile driving, pursuant to National Park Service recommendations for protecting a historic structure during adjacent construction. Certified EIR **MM CUL-4** specifies contractor requirements and requires that protective measures developed through Certified EIR **MM CUL-3** be included on construction documents. (Certified EIR, pp. 4.3-26 – 4.3-37)

Impacts Associated with the Proposed Project

Less Than Significant: As stated in the Certified EIR, and specifically in the Certified **MM CUL-3**, the Proposed Project, Candidate Site W6G1S01, is not identified as a historical resource, adjacent to a historical resource, or adjacent to a historic district or neighborhood conservation area.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with historical resources that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

b) Would the project cause a substantial adverse change in the significance of an archaeological resource pursuant to § 15064.5?

Summary of Impacts in the Certified EIR

Less Than Significant with Mitigation: The Certified EIR determined impacts to archaeological resources would be less than significant with the implementation of GP FPEIR **MM Cultural 1** through **MM Cultural 6** and compliance with GP 2025 policies HP-1.1 through HP-1.4, HP-1.7, HP-2.1, HP-2.2, HP-2.3, HP-3.2, HP-4.1, HP-4.2, HP-4.3, HP-5.1, HP-7.1, HP-7.2, HP-7.

Due to the City's urbanized nature, most of the candidate sites have been impacted by past urban development. Therefore, there is a low potential for future development to encounter any intact, potentially significant subsurface archaeological resources, as defined in CEQA Guidelines Section 15064.5. However, if yet undiscovered archaeological resources are discovered during grading/other earth-moving activities associated with future development, a substantial adverse change in the significance of such a resource could occur. To address potential impacts to yet undiscovered archaeological resources, future development would be subject to compliance with RMC Title 20. Compliance with RMC Title 20 would provide for the identification, protection, enhancement, perpetuation, and use of objects, features, or sites (among others) having special historical, archaeological, cultural, architectural, community, aesthetic, or artistic value in the City. Additionally, the Project would be subject to compliance with GP 2025 Historic Preservation Element policies (i.e., HP-1.1 through HP-1.4, HP-1.7, HP-2.1, HP-2.2, HP-2.3, HP-3.2, HP-4.1, HP-4.2, HP-4.3, HP-5.1, HP-7.1, HP-7.2, HP-7.3) intended to guide development and ensure the identification, designation, and protection of archaeological resources are part of the City's community planning, development, and permitting process.

To further reduce impacts to yet undiscovered archaeological resources, future development would be subject to compliance with GP FPEIR **MM Cultural 1** through **Cultural 6**. GP FPEIR **MM Cultural 1** requires areas slated for development or other ground disturbing activities to be surveyed for archaeological resources by qualified individuals who meet the Secretary of the Interior's Standards and Guidelines regarding archaeological activities and methods prior to the City's approval of project plans and consultation with appropriate Native American Tribes if finds are considered tribal cultural resources. GP FPEIR **MM Cultural 2** requires, where feasible, that project plans be developed to avoid known archaeological resources and sites containing human remains. GP FPEIR **MM Cultural 3** requires a series of mitigation measures to reduce impacts to archeological resources if avoidance and/or preservation in place of known prehistoric and historical archaeological resources and sites containing Native American human remains are not feasible management options. GP FPEIR **MM Cultural 4** requires a series of mitigation measures

to reduce project-related adverse impacts to previously undiscovered archaeological resources and sites containing Native American human remains. GP FPEIR **MM Cultural 5** includes avoidance and preservation protocols for impacts to individual historic resources and City-designated Historic Districts. GP FPEIR **MM Cultural 6** is intended to protect archaeological resources within undeveloped properties and for developed properties in the Magnolia Avenue Specific Plan (MASP) where the project application indicates the need for extensive excavation to a depth reaching native (i.e., previously undisturbed) soils. Potentially significant impacts to yet undiscovered archaeological resources would be reduced to less than significant following compliance with the specified GP 2025 policies, and GP FPEIR **MM Cultural 1** through **MM Cultural 6**. (Certified EIR, pp. 4.3-26 – 4.3-37)

Impacts Associated with the Proposed Project

Less Than Significant: As described in the Certified EIR, Candidate Site W6G1S01 is not identified as an archaeological resource or adjacent to an archaeological resource. Due to the Project Site's urbanized nature, the majority of the Project Site has been impacted by past urban development. There is a low potential for future development to encounter any intact potentially significant subsurface archaeological resources, as defined in CEQA Guidelines Section 15064.5. The maximum excavation for residential and retail buildings would extend four (4) feet below existing or finished grade and one (1) foot below existing or finished grade for paved areas. The Geotechnical Report (Appendix C) identified natural, undisturbed soils generally below five (5) feet in depth the apartment and retail building footprint, and below two (2) feet to six (6) in the remaining of the Project Site. In the unlikely event that a yet undiscovered archaeological resources would be discovered during grading or other earth-moving activities, the Property Owner/Developer would be subject to compliance with RMC Title 20. Compliance with RMC Title 20 would provide for the identification, protection, enhancement, perpetuation, and use of objects, features, or sites (among others) having special historical, archaeological, cultural, architectural, community, aesthetic, or artistic value in the City.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with archaeological that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

c) **Would the project directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?**

Summary of Impacts in the Certified EIR

Less Than Significant with Mitigation: The Certified EIR determined impacts to paleontological resources would be less than significant with the implementation of Certified EIR **MM CUL-5** and compliance with GP 2025 policies HP-1.3 and HP-1.4.

The Certified EIR determined impacts to paleontological resources or unique geologic feature would be less than significant with mitigation incorporated. Due to the City's urbanized nature, most of the candidate sites have been disturbed by past urban development and have inevitably reduced surface soil and shallow subsurface sediments for intact, potentially significant paleontological resources.

To reduce potential impacts to previously unknown paleontological resources, Certified **EIR MM CUL-5** requires a qualified paleontologist to monitor construction activities if excavation activities include digging deeper than 10 feet below the ground surface. Additionally, future development involving ground disturbing activities with the potential to directly or indirectly destroy a unique paleontological resource or site or unique geologic feature would be required to demonstrate compliance with GP 2025 Policies HP-1.3 and HP-1.4. Pursuant to GP 2025 Policy HP-1.3, the City would protect sites of paleontological significance and ensure compliance with all applicable federal and State cultural resources protection and management laws in its planning and project review process. Pursuant to GP 2025 Policy HP-1.4, the City would protect natural resources including geological features in the planning and design review process and in park and open space planning. Compliance with Certified EIR **MM CUL-5**, as well as GP 2025 Policies HP-1.3 and HP-1.4 would reduce potentially significant impacts associated with paleontological resources and unique geologic features to less than significant. (Certified EIR, pp. 4.3-43 – 4.3-44)

Impacts Associated with the Proposed Project

Less Than Significant: As described in the Certified EIR, Candidate Site W6G1S01 is not identified as a paleontological resource or adjacent to a paleontological resource or unique geologic feature. The maximum excavation for residential and retail buildings would extend four (4) feet below existing or finished grade and one (1) foot below existing or finished grade for paved areas. This excavation would not exceed the 10 feet below the surface grade identified in Certified EIR **MM CUL-5** which could result in direct or indirect impact to a unique paleontological resource.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with paleontological resources or unique geologic features that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

d) Would the project disturb any human remains, including those interred outside of formal cemeteries?

Summary of Impacts in the Certified EIR

Less Than Significant with Mitigation: The Certified EIR determined impacts to human remains resources would be less than significant with the implementation of GP FPEIR **MM Cultural 1** through **MM Cultural 6** and compliance with GP 2025 policies HP-7.2.

The Certified EIR determined impacts to human remains, including those interred outside of formal cemeteries would be less than significant with mitigation incorporated. Due to the City's urbanized nature, most of the candidate sites have been disturbed by past urban development and have inevitably reduced the potential for future development activities to uncover human remains. If human remains are found, those remains would require proper treatment in accordance with applicable laws, including HSC Sections 7050.5-7055 and PRC Sections 5097.98 and 5097.99. Compliance with GP FPEIR **MM Cultural 1** through **MM Cultural 6** would further reduce potential impacts to a less than significant level. In addition to GP FPEIR **MM Cultural 1** through **MM Cultural 6**, the GP 2025 Land Use, Public Services, and Historic Preservation Elements include several policies intended to guide development to reduce potential impacts to unknown human remains. Following compliance with GP FPEIR **MM Cultural 1** through **MM Cultural 6**, and the GP 2025, potentially significant impacts to human remains would be reduced to a less than significant level. (Certified EIR, pp. 4.3-44 – 4.3-45)

Impacts Associated with the Proposed Project

Less Than Significant: The Project Site has been disturbed by previous development and the likelihood of the discovery of human remains would be minor. However, in the unlikely event that human remains are found, those remains would require proper treatment in accordance with applicable laws, including HSC Sections 7050.5-7055 and PRC Sections 5097.98 and 5097.99.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with human remains, including those interred outside of formal cemeteries that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

Source:

City of Riverside, *2014-2021 Housing Element Updated Housing Implementation Plan Environmental Impact Report, Final December 2017*. (Available at <https://riversideca.gov/cedd/planning/city-plans/general-plan-0> , accessed March 2020.)

5.4.6 Geology and Soils

Would the project:	Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed in the Certified EIR; No New Impact	Substantially Mitigated by Uniformly Applicable Development Policies
a) Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:						
i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii. Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii. Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iv. Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project Design Features

None

Standard Conditions/Existing Plans, Programs, or Policies

General Plan 2025 Policies

- PS-1.1
- PS-1.2
- PS-1.3
- PS-1.4
- PS-9.8
- OS-2.3

RMC (Chapter 16.08 Building Code; Title 17 Grading; Chapter 17.16 Grading Permit and Application; and Chapter 17.28 Minimum Grading Standards and General Requirement)

Applicable Mitigation Measures:

No Certified EIR mitigation measures were required.

No project-specific mitigation measures are required as a result of the Proposed Project.

- a) **Would the project directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving**
- i. **Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?**
 - ii. **Strong seismic ground shaking?**
 - iii. **Seismic-related ground failure, including liquefaction?**
 - iv. **Landslide?**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined impacts associated with rupture of known earthquake fault, strong seismic ground shaking, seismic-related ground failure, including liquefaction, and landslide, would be less than significant.

Earthquake Fault and Seismic Shaking

The candidate sites and City are not affected by an Alquist-Priolo Earthquake Fault; however, the City is located within a Southern California area that is affected by several active fault lines, including those associated with the San Jacinto and Elsinore Fault Zones. One candidate site, site W1G4S44, is traversed by unnamed active fault. The GP 2025 Public Safety Element includes several policies intended to avoid or minimize adverse seismic effects to people or structures. Future development on candidate site W1G4S44 (as well as all other future development) must demonstrate conformance with GP 2025 Objective PS-1 policies, which would act to minimize the potential damage to new structures and loss of life that may result from geologic and seismic hazards (i.e., Policies PS-1.1 through PS-1.4). Future development subject to discretionary review (not by right uses) must also demonstrate conformance with GP 2025 Policy PS-9.8, which acts to reduce the risk to the community from hazards associated with geologic conditions and seismic activity by requiring feasible mitigation of such impacts on discretionary development. Further, all future development must demonstrate compliance with seismic design guidelines and requirements contained in the California Building Standards Code (CBSC), which is adopted by

RMC Chapter 16.08, Building Code. Compliance with GP 2025 policies, and RMC and CBSC requirements, as well as required geologic investigations for candidate sites within proximity to a fault, would reduce impacts associated with earthquake faults and strong seismic shaking to less than significant levels (Certified EIR, pp. 7-6 – 7-8)

Ground Failure: Liquefaction

The Certified EIR identified 38 candidate sites located within the Liquefaction Zones, which have a high to very high liquefaction potential. Future development within the liquefaction hazard zone must perform a site-specific geologic investigation pursuant to RMC Chapter 16.08 requirements. Additionally, all grading and building plans would be subject to City review to ensure regulatory compliance. Compliance with GP 2025 Objective PS- 1 policies, which act to minimize the potential damage to existing and new structures and loss of life that may result from geologic and seismic hazards (i.e., Policies PS-1.1 through PS-1-4), Policy PS-9.8, which acts to reduce the risk to the community from hazards associated with geologic conditions and seismic activity by requiring feasible mitigation of such impacts on discretionary development projects, and CBSC seismic design standards (adopted by reference in RMC Chapter 16.08), would reduce impacts associated with the exposure of people or structures to less than significant (Certified EIR, pp. 7-8 – 7-9)

Land Slide

The Certified EIR concluded that none of the candidate sites are located within an area susceptible to landslides and rock falls (i.e., with slopes in excess of 30 percent). Further, future development must perform a sight-specific geologic investigation pursuant to RMC Chapter 16.08 requirements. Compliance with GP 2025 policies and RMC standards would ensure impacts associated with the exposure of people or structures to potential substantial adverse effects involving seismic landslides are less than significant. (Certified EIR, pp. 7-9 – 7-11)

Impacts Associated with the Proposed Project

Less Than Significant: A feasibility level investigation (Feasibility Report) and a Geotechnical Investigation were prepared for the Proposed Project to determine potential geological impacts associated with the development of the Proposed Project (Appendix B – *Feasibility-Level Investigation, Proposed Mixed-Use Apartment Development, NEC Magnolia Avenue and Banbury Drive, Riverside, California, GPI Project No. 2924.I*, GPI Geotechnical Professional Inc., February 2019 and Appendix C – *Geotechnical Investigation Proposed Mixed-Use Apartment Development Magnolia Flats NEC Magnolia Avenue and Banbury Drive, Riverside, GPI Geotechnical Professional Inc., January 2020*).

A Percolation Study was completed to determine potential impacts associated with drainage and water quality (Appendix D – *Percolation Testing, Proposed Apartments and Retail Development Magnolia Flats, NEC Magnolia Avenue and Banbury Drive, Geotechnical Professionals, Inc. (GPI), December 2019*).

Earthquake Fault and Seismic Shaking

The Feasibility Report and the Geotechnical Report determined that the Project Site is not within an Alquist-Priolo Earthquake Fault Zone. The closest active fault is approximately 8 (eight) miles southwest of the Project Site. As indicated in the Certified EIR, the Project Site is not underlain

by any known active faults not previously identified and potential for damage due to direct fault rupture would be considered low.

The Project Site may experience ground shaking and earthquake activity that is typical of the Southern California area. However, the Proposed Project would be required to comply with recommendations of the Geotechnical Report and implement all requirements of the current edition of the California Building Code (CBC), applicable to the Proposed Project, which provides criteria for the seismic design of buildings.

Ground Failure: Liquefaction

Liquefaction occurs when shallow, fine to medium-grained sediments saturated with water are subjected to strong seismic ground shaking. It generally occurs when the underlying water table is 50 feet or less below the surface. The County of Riverside assigned a groundwater depth of 30 feet for this zone of very high susceptibility.

Five cone penetration tests (CPTs) were performed at the Project Site. The CPTs indicate that the silty sands, silty clays, sandy silts, and sandy clays are present. A portion of the soils below a depth of 30 feet consists of very stiff to hard silty clays not typically considered to be potentially liquefiable. These clays are resistant to liquefaction. In general, the soils in the upper 10 to 15 feet have properties consistent with loose to medium dense silty sands and soft to firm sandy silts. The soils below a depth of 15 feet are interbedded and have properties consistent with silty clays, silty sands, sandy silts, sandy clays, and sands. Groundwater was not encountered from the CPTs depth from 22 to 56 feet. Groundwater monitoring wells located 0.5 miles northeast and 0.6 miles southwest of the site indicate measured groundwater depths of 52 feet and 55 feet below grade, respectively. Based on the results, the subsurface soils at the Project Site exhibit a minor potential for liquefaction at depths greater than the groundwater depth of 30 feet provided in the County's liquefaction map.

Land Slide

The Project Site is not located within an area within an area susceptible to landslides and rock falls (i.e., with slopes in excess of 30 percent).

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with rupture of known earthquake fault, strong seismic ground shaking, seismic-related ground failure, including liquefaction, and landslide that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

b) **Would the project result in substantial soil erosion or the loss of topsoil?**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined impacts associated with soil erosion or the loss of topsoil would be less than significant through compliance with GP 2025 policies and RMC standards, including but not limited to site-specific Storm Water Pollution Prevention Plan (SWPPP), best management practices (BMPs), National Pollutant Discharge Elimination System (NPDES) program, and Water Quality Management Plans (WQMP), as applicable.

Short-term erosion effects during the construction phase of future individual projects would be prevented through required grading permits and implementation of a SWPPP through compliance with NPDES and the incorporation of BMPs, as required, intended to reduce soil erosion. Specifically, future development must demonstrate conformance with RMC Title 17, Grading, standards. Pursuant to RMC Title 17, all projects requiring a grading permit must submit all grading plans, including an interim erosion control plan, to the Public Works Director and Community & Economic Development Director for review and approval.

Future projects involving one or more acre of clearing, grading, or excavation, must prepare and implement a SWPPP prior to issuance of a grading permit; refer to RMC Chapter 17.16, Grading Permit Application Requirements. These plans would identify site-specific BMPs to be implemented during site development to prevent erosion, minimize siltation from impacting downstream water bodies, and protect water quality. Future development classified as “Priority Development Projects” pursuant to the Water Quality Management Plan for the Santa Ana Region of Riverside County would be required to develop a project- and site-specific WQMP to help reduce potential impacts to soil erosion. Future development must also demonstrate conformance with GP 2025 Policy OS-2.3, which acts to control the grading of land pursuant to the City’s Grading Code to minimize the potential for erosion. (Certified EIR, p. 7-11)

Impacts Associated with the Proposed Project

Less Than Significant: The physical conditions as they relate to soil erosion or the loss of topsoil have not changed on the Project Site, Candidate Site W6G1S01, since the preparation of Certified EIR. As described in the Certified EIR, soils in the Project Site have erosion potential during construction activities. Construction of the Proposed Project would adhere to the requirements of the Construction General Permit which requires preparation of a SWPPP and implementation of construction BMPs for erosion management. Additionally, the Proposed Project would conform to GP 2025 policies and RMC standards and implement construction BMPs.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with soil erosion or the loss of topsoil that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- c) **Would the project be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?**

Summary of Impacts in the Certified EIR

See Section 5.4.5.(a) for discussion regarding liquefaction and landslide hazards.

Less Than Significant: The Certified EIR determined impacts associated with unstable soil conditions would be less than significant through compliance with GP 2025 policies and RMC standards.

The GP 2025 Open Space and Recreation Element and Public Safety Element include objectives and policies intended to avoid or minimize potential adverse impacts to people or structures as a result of lateral spreading or subsidence. Future development must demonstrate conformance with GP 2025 Policy OS-2.3, which acts to control the grading of land pursuant to the City's Grading Code to minimize the potential for land failure. Future development within lateral spreading and subsidence hazard zones must also demonstrate compliance with GP 2025 Objective PS-1 policies, which act to minimize the potential damage to existing and new structures and loss of life that may result from geologic and seismic hazards (i.e., Policies PS-1.1 through PS-1-4). Further, future development would require a site-specific preliminary soils report prepared by a registered soil engineer pursuant to RMC Chapter 17.16. The preliminary soils report would determine site-specific lateral spreading and/or subsidence potential and prescribe design measures to be incorporated into the design of the grading plan. (Certified EIR, p. 7-12)

Impacts Associated with the Proposed Project

See Section 5.4.5.(a) for discussion regarding liquefaction and landslide hazards.

Less Than Significant: The physical conditions as they relate to unstable soils or geologic units have not changed on the Project Site, Candidate Site W6G1S01, since the preparation of Certified EIR. Based on Appendix B, the soils encountered to depths of 10 to 15 feet below existing grades have the properties of loose to medium dense silty sands and soft sandy silts. In this current condition, the soils may collapse upon wetting and settle under seismic shaking. As recommended, the Proposed Project would excavate to a depth of six feet and recompact the existing soils to reduce potential settlement and collapse. By following the RMC, the Uniform Building Code, and the recommendations contained in site-specific geotechnical studies, the soils would be stable for building and the risk of incident would be low.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with unstable soils or geologic units that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- d) **Would the project be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined impacts associated with unstable soil conditions would be less than significant through compliance with GP 2025 policies and RMC standards.

Future development must comply with the soil hazard design guidelines and requirements contained in the CBSC, which is adopted by reference in RMC Chapter 16.08. Conformance with the RMC and CBSC requirements would be enforced during building plan review and through preparation of a geologic investigation prepared by a licensed design professional for any property located within a seismic hazard zone, subject to approval by the City of Riverside Building Official. Further, future development would require a site-specific preliminary soils report prepared by a registered soil engineer pursuant to RMC Chapter 17.16. The preliminary soils report would determine site-specific expansive soil potential and prescribe design measures to be incorporated into the Grading Plan's design. Future development must also demonstrate conformance with GP 2025 Open Space and Recreation Element and Public Safety Element policies intended to avoid or minimize adverse impacts to people or structures associated with expansive soils. (Certified EIR, pp. 7-13 – 7-14)

Impacts Associated with the Proposed Project

Less Than Significant: The physical conditions as they relate to expansive soils have not changed on the Project Site, Candidate Site W6G1S01, since the preparation of Certified EIR. The Project Site is in an area susceptible to subsidence. The Proposed Project must conform to GP 2025 Open Space and Recreation Element and Public Safety Element policies intended to avoid or minimize adverse impacts and RMC standards and requirements to ensure the soils would be stable for building and risks of incident would be low. Further, Appendix D determined near surface soils have a very low expansion potential.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with expansive soils that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- e) **Would the project have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?**

Summary of Impacts in the Certified EIR

No Impact: The Certified EIR determined no impacts would occur associated with septic tanks or alternative wastewater disposal systems.

The candidate sites are located within urbanized areas supported by public sewer infrastructure. Future development, pursuant to RMC Section 14.08.030, Connection to Public Sewer Required, is required to connect to the public sewer system when the property on which such house or structure is not more than 160 feet from the public sewer and the right-of-way admits such connection, or if the house or structure is located within an area where the use of a septic tank poses a potential contamination risk to the City's drinking water wells in the area. All new houses or structures located within such area must be properly connected to the public sewer system, even if the property on which such house or structure is situated more than 160 feet from the public sewer and/or the right-of-way must be altered to admit such connection. It is further noted that multifamily developments would not be allowed on septic tanks, and most commercial uses would similarly not be allowed.

Therefore, it is not anticipated that future development would require the use of septic tanks and a less than significant impact would occur in this regard. It is noted, GP FPEIR **MM Geo 1** requires that a registered hydrologist and geotechnical or soils engineer review development proposing septic systems for the site's suitability for septic and its potential impact to groundwater resources. Compliance with GP FPEIR **MM Geo 1** would ensure soil stability for Project impacts requiring the use septic tanks or alternative wastewater disposal systems, if any. (Certified EIR, p. 7.14)

Impacts Associated with the Proposed Project

No Impact: The Proposed Project would not add septic tanks or other alternative waste disposal systems to the Project Site.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with septic tanks or other alternative wastewater disposal systems that were not identified in the Certified EIR. Therefore, no potential impacts would occur and no mitigation would be required.

Source:

City of Riverside, *2014-2021 Housing Element Updated Housing Implementation Plan Environmental Impact Report, Final December 2017*. (Available at <https://riversideca.gov/cedd/planning/city-plans/general-plan-0> , accessed March 2020.)

5.4.7 Greenhouse Gas Emissions

Would the project:	Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed in the Certified EIR; No New Impact	Substantially Mitigated by Uniformly Applicable Development Policies
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project Design Features

- PDF GHG-1: The Property Owner/Developer shall use water efficient irrigation systems and drought tolerate landscaping. Potable water in landscape areas will be used in compliance with City and California Department of Water Resources’ Model Water Landscape Ordinance, whichever is more stringent.
- PDF GHG-2: The Property Owner/Developer shall provide indoor water conserving plumbing and fixtures such as low flow showerhead, faucets and urinals that comply with CalGreen requirements.
- PDF GHG-3: The Property Owner/Developer shall include trees throughout the Project Site along the perimeter of the Project Site, the residential buildings, and the retail buildings. Additionally, trees would be planted throughout the park and parking areas.
- PDF GHG-4: The Property Owner/Developer shall design include carpet, flooring, and wood paneling with low levels of low levels of formaldehyde and low volatile organic components and/or be composed of recycled product.
- PDF GHG-5: The Property Owner/Developer shall use architectural paints, aerosol paints, and coatings that comply with CalGreen VOC limits.

Standard Conditions/Existing Plans, Programs, or Policies

General Plan 2025 Policies

- AQ-8.15
- AQ-8.20
- AQ-8.21
- AQ-8.23
- AQ-8.24
- CCM-6.1
- CCM-9.1
- OS-8.10
- LU-8.1
- LU-8.3

Non-Applicable Mitigation Measures

All Certified EIR MMs are applicable to the Proposed Project.

Applicable Mitigation Measures:

No project-specific mitigation measures are required as a result of the Proposed Project.

Certified EIR Mitigation Measure	Applicability Justification
<p>MM GHG-1: GHG Emissions. Prior to demolition, grading, or building permit approval, and in accordance with SCAQMD’s promulgated methodology protocols, a Greenhouse Gas Emissions Assessment shall be prepared for multi-family residential developments that would exceed SCAQMD’s tiered-approach requirements and the following SCAQMD thresholds of significance (or those in place at the time of the development application). Future development shall mitigate GHG emissions to below SCAQMD’s thresholds of significance.</p> <ul style="list-style-type: none"> • Residential Uses: 3,000 metric tons of CO₂ equivalent per year (MTCO₂eq/yr); or • Efficiency-Based (through Year 2020): 4.8 MTCO₂eq per service population (SP) per year; or • Efficiency-Based (post Year 2020): 3.0 MTCO₂eq/SP/year. 	<p>A Greenhouse Gas Emissions Assessment was prepared for the Proposed Project. The assessment indicated that the Proposed Project would not exceed SCAQMDs thresholds of significance.</p>

a) **Would the project generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?**

Summary of Impacts in the Certified EIR

Significant and Unavoidable After Implementation of Mitigation: The Certified EIR determined impacts associated with greenhouse gas emissions would be significant and unavoidable. A statement of overriding considerations was prepared and adopted.

The total greenhouse gas (GHG) emissions from future development long-term operations would be approximately 433,907.75 MTCO₂eq/yr, which would exceed the South Coast Air Quality Management District (SCAQMD)’s 3,000 MTCO₂eq/yr threshold. Additionally, based on a service population (SP) of 38,791 persons, the candidate sites GHG emissions would be 11.19 MTCO₂eq/SP/year, which would exceed the 4.8 MTCO₂eq/SP/year and 3.0 MTCO₂eq/SP/year thresholds. The City adopted feasible mitigation measures and a Statement of Overriding Considerations, however additional project specific analysis is required for each candidate site. Future development would be subject to compliance with applicable GP 2025 policies, as well as Certified EIR **MM GHG-1** which requires multi-family residential (MFR) developments exceeding

SCAQMD’s tiered-approach requirements and thresholds of significance to conduct a project-level assessment of GHG emissions impacts. (Certified EIR, pp. 7-12 – 7-18)

Impacts Associated with the Proposed Project

Less Than Significant: A greenhouse gas analysis was prepared for the Proposed Project (Appendix E – Greenhouse Gas Assessment-*City of Riverside Magnolia Flats Project Greenhouse Gas Technical Memo*, Vista Environmental Services, April 2020). This analysis looked at the Proposed Project’s GHG impacts, in accordance with Certified **EIR MM GHG-1** and SCAQMD, to determine if impacts would exceed the Efficiency Based (post 2020) threshold of 3.00 MTCO₂eq/SP/year. The California Emissions Estimator Model (CalEEMod Version 2016.3.2), a computer model published by the SCAQMD for estimating air pollutant emissions, was used to estimate impacts created by the Proposed Project. The results are summarized in the following analysis.

The Proposed Project would not generate GHG emissions, either directly or indirectly, that may have a significant impact on the environment. The Proposed Project would consist of development of 450 residential apartment units with 9,000 of SF of commercial retail use, and a maximum of 830 parking stalls. The Proposed Project would generate GHG emissions during construction activities (demolition, grading, building construction, paving, architectural coating, and construction equipment) and operations (area sources, energy usage, mobile sources, solid waste disposal, and water and wastewater usage). The Proposed Project’s GHG emissions are shown in Table 3 - *Project Related Greenhouse Gas Annual Emissions*.

Table 3 – Project Related Greenhouse Gas Annual Emissions

Category	Greenhouse Gas Emissions (Metric Tons per Year)			
	CO ₂	CH ₄	N ₂ O	CO ₂ e
Area Sources ¹	7.60	0.00	0.00	7.79
Energy Usage ²	1,088.89	0.02	0.01	1,092.98
Mobile Sources ³	2,211.44	0.09	0.00	2,213.81
Solid Waste ⁴	31.88	1.88	0.00	78.98
Water and Wastewater ⁵	143.70	0.84	0.02	170.76
Construction ⁶	52.83	0.01	0.00	52.98
Total GHG Emissions	3,536.34	2.84	0.03	3,617.30
			Service Population	1,287
			GHG Emissions per Service Population	2.81
			Certified EIR MM GHG-1 for post year 2020	3.0
			Exceed Threshold?	No
Notes:				
¹ Area sources consist of GHG emissions from consumer products, architectural coatings, hearths, and landscaping equipment.				
² Energy usage consists of GHG emissions from electricity and natural gas usage.				
³ Mobile sources consist of GHG emissions from vehicles.				
⁴ Waste includes the CO ₂ and CH ₄ emissions created from the solid waste placed in landfills.				
⁵ Water includes GHG emissions from electricity used for transport of water and processing of wastewater.				
⁶ Construction emissions amortized over 30 years as recommended in the SCAQMD GHG Working Group on November 19, 2009.				
Source: CalEEMod Version 2016.3.2.				

Table 3 shows that the Proposed Project would create 3,617.30 MTCO₂e per year for an estimated service population of 1,287. This results in GHG emissions of 2.81 MTCO₂eq per year, which is less than the Certified EIR **MM GHG-1**, in accordance SCAQMD, threshold.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with direct or indirect greenhouse gas emissions that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

b) Would the project conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

Summary of Impacts in the Certified EIR

Significant and Unavoidable After Implementation of Mitigation: The Certified EIR determined that impacts associated with conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases would be significant and unavoidable. A statement of overriding considerations was prepared and adopted.

As noted in Section 5.4.6.(a), greenhouse gas emissions exceed SCAQMDs thresholds. The total GHG emissions from future development long-term operations would be approximately 433,907.75 MTCO₂eq/yr, which would exceed the SCAQMD's 3,000 MTCO₂eq/yr threshold. Additionally, based on a service population (SP) of 38,791 persons, the candidate sites GHG emissions would be 11.19 MTCO₂eq/SP/year, which would exceed the 4.8 MTCO₂eq/SP/year and 3.0 MTCO₂eq/SP/year thresholds. Compliance with GP 2025 policies, and State-mandated programs/regulations (e.g., Title 24), which are consistent with AB 32 scoping plan and the City's adopted Climate Action Plan (CAP), would indirectly reduce future development operational GHG emissions. The City adopted feasible mitigation measures and a Statement of Overriding Considerations, however additional project specific analysis is required for each candidate site. Future development would be required to mitigate GHG emissions to below SCAQMD's thresholds of significance. (Certified EIR, pp. 7-18 – 7-19)

Impacts Associated with the Proposed Project

Less Than Significant: The Proposed Project would not conflict with any applicable plan, policy or regulation of an agency adopted for the purpose of reducing GHG emissions. The Proposed Project would be consistent with the City's adopted CAP which is in conformance with the GP2025 policies, state mandated programs and regulations, and with AB32 scoping plan. The CAP employs local measures to help the City achieve deep greenhouse gas reductions through the year 2035. Table 4 – *Greenhouse Gas Reduction Strategies Consistency* identifies how the Proposed Project would achieve compliance with state, regional, and CAP regulations regarding

greenhouse gas. Additionally, as noted in the analysis in Section 5.4.7 (a), the Proposed Project would have less than significant impacts regarding greenhouse gas.

Table 4 – Greenhouse Gas Reduction Strategies Consistency

Measure/Regulation	Project Consistency
State and Regional Regulations	
Energy	
<p>California Building Energy Efficiency Standards (Title 24, Part 6). Maximize energy efficiency building and appliance standards, and pursue additional efficiency efforts including new technologies, and new policy and implementation mechanisms. Pursue comparable investment in energy efficiency from all retail providers of electricity in California (including both investor-owned and publicly owned utilities).</p>	<p>Consistent. The Proposed Project would comply with the requirements of the 2020 California Building Energy Efficiency Standards (Title 24, Part 6) including measures to incorporate energy-efficient building design features.</p>
Water	
<p>Water Use Efficiency. Reduce per capita water use by 20% by 2020. SB X7-7 is part of a California legislative package passed in 2009 that requires urban retail water suppliers to reduce per-capita water use by 10% from a baseline level by 2015, and to reduce per capita water use by 20% by 2020. Green accountability performance (GAP) Goal 16 directly aligns with SB X7-7. In Southern California, energy costs and GHG emissions associated with the transport, treatment, and delivery of water from outlying regions are high. Therefore, the region has extra incentive to reduce water consumption. While this is considered a state measure, it is up to the local water retailers, jurisdictions, and water users to meet these targets.</p>	<p>Consistent. The Proposed Project would comply with the requirements of Title 19 – Article VIII – Chapter 19.570 – Water Efficient Landscaping and Irrigation, including measures to increase water use efficiency. Water-efficient irrigation systems and devices and drought-tolerant landscaping would be installed on the Project Site.</p>
Solid Waste	
<p>Construction and Demolition Waste Diversion. Meet mandatory requirement to divert 50% of construction and demolition (C&D) waste from landfills by 2020 and exceed requirement by diverting 90% of C&D waste from landfills by 2035.</p>	<p>Consistent. In compliance with CalGreen requirements, at least 65 percent of all nonhazardous construction waste generated by the proposed project would be recycled and/or salvaged (including, but not limited to, soil, vegetation, concrete, lumber, metal, and cardboard).</p>
Transportation	

Measure/Regulation	Project Consistency
<p>Pavley and Low Carbon Fuel Standard (LCFS). ARB identified this measure as a Discrete Early Action Measure. This measure would reduce the carbon intensity of California’s transportation fuels by at least 10 percent by 2020.</p>	<p>Not Applicable. The Proposed Project does not involve the manufacture, sale, or purchase of vehicles.</p>
Climate Action Plan Measures	
Energy Measures	
<p>E-1: Traffic and Streetlights. Replace traffic and streetlights with high-efficiency bulbs.</p>	<p>Not Applicable. This objective is aimed at government agencies, not private developers. Nonetheless, the Proposed Project would comply with applicable energy efficiency requirements associated with lighting detailed in the Green Building Standards Code (Title 24, California Code of Regulations).</p>
<p>E-2: Shade Trees Strategically. Plant trees at new residential developments to reduce the urban heat island effect.</p>	<p>Consistent. The Proposed Project would include trees throughout the Project Site. Specifically, trees would be planted along the perimeter of the Project Site, the residential buildings, and the retail buildings. Additionally, trees would be planted throughout the park and parking areas.</p>
<p>E-3: Local Utility Programs. Electricity Financing and incentives for business and homeowners to make energy efficient, renewable energy, and water conservation improvements</p>	<p>Not Applicable. This objective is aimed at government agencies, not private developers. Nonetheless, the project would comply with applicable energy efficiency requirements detailed in the Green Building Standards Code (Title 24, California Code of Regulations).</p>
<p>E-4: Renewable Energy Production on Public Property. Large scale renewable energy installation on publicly owned property and in public rights of way.</p>	<p>Not Applicable. This objective is aimed at government agencies, not private developers.</p>
<p>E-5: UCR Carbon Neutrality. Collaborate with UCR to achieve a carbon neutral campus.</p>	<p>Not Applicable. This objective is aimed at government agencies and the University of California Riverside, not private developers.</p>
<p>E-6: RPU Technology Grants. RPU grant programs to foster research, development, and demonstration of innovative solutions to energy problems.</p>	<p>Not Applicable. This objective is aimed at government agencies, not private developers.</p>
Transportation Measures	
<p>T-1: Bicycle Infrastructure Improvements. Expand on-street and off-street bicycle</p>	<p>Consistent. Shared bike lanes are provided on Magnolia Avenue. These bike lanes are consistent with the bicycle routes shown in the</p>

Measure/Regulation	Project Consistency
infrastructure, including bicycle lanes and bicycle trails.	Circulation/Transportation element of the City's General Plan and connect with citywide routes.
T-2: Bicycle Parking. Provide additional options for bicycle parking.	Consistent. The Proposed Project would comply with RMC Chapter 10.64 regarding bicycle accommodations.
T-3: End of Trip Facilities. Encourage use of non-motorized transportation modes by providing appropriate facilities and amenities for commuters.	Consistent. The Proposed Project would comply with RMC Chapter 10.64 regarding bicycle accommodations.
T-4: Promotional Transportation Demand Management. Encourage Transportation Demand Management strategies.	Not Applicable. This objective is aimed at large employment centers with 100 or more employees. The Proposed Project would not be considered a large employment center.
T-5: Traffic Signal Coordination. Incorporate technology to synchronize and coordinate traffic signals along local arterials.	Not Applicable. This objective is aimed at government agencies, not private developers.
T-6: Density. Improve jobs-housing balance and reduce vehicle miles traveled by increasing household and employment densities.	Consistent. The residential portion of the Proposed Project is allowed a density of 30/40 dwelling units per acre. The commercial retail uses of the Proposed Project would add job assumed to be filled by the City's residents.
T-7: Mixed-Use Development. Provide for a variety of development types and uses.	Consistent. The Proposed Project is a mixed-use development which includes 450 residential units and 9,000 SF of commercial retail use.
T-8: Pedestrian-Only Areas. Encourage walking by providing pedestrian-only community areas.	Consistent. The Proposed Project would provide on-site internal pedestrian walkways to access residential structure, commercial retail uses, park, and adjacent uses.
T-9: Limit Parking Requirements for New Development. Reduce requirements for vehicle parking in new development projects.	Consistent. The Proposed Project would provide the minimum parking required comply with applicable City parking requirements.
T-10: High Frequency Transit Service. Implement bus rapid transit service in the subregion to provide alternative transportation options.	Not Applicable. This objective is aimed at government agencies, not private developers. However, the Proposed Project is along a High-Quality Transit Corridor (Magnolia Avenue) and has several transit stops within a half-mile, which would encourage employees and residents to use transit.
T-11: Voluntary Transportation Demand Management. Encourage employers to create TDM programs for their employees.	Not Applicable. This objective is aimed at large employment centers with 100 or more employees. The Proposed Project would not be considered a large employment center.

Measure/Regulation	Project Consistency
<p>T-12: Accelerated Bike Plan. Accelerate the implementation of all or specified components of a jurisdiction’s adopted bike plan.</p>	<p>Not Applicable. This objective is aimed at government agencies, not private developers. However, the Proposed Project would not obstruct the implementation of the adopted bike plan.</p>
<p>T-13: Fixed Guideway Transit. By 2020, complete feasibility study and by 2025 introduce a fixed route transit service in the jurisdiction</p>	<p>Not Applicable. This objective is aimed at government agencies, not private developers.</p>
<p>T-14: Neighborhood Electric Vehicle Programs. Implement development requirements to accommodate Neighborhood Electric Vehicles and supporting infrastructure.</p>	<p>Not Applicable. This objective is aimed at government agencies, not private developers.</p>
<p>T-15: Subsidized Transit. Increase access to transit by providing free or reduced passes</p>	<p>Not Applicable. This objective is aimed at large employment centers with 100 or more employees and is not applicable to the Proposed Project.</p>
<p>T-16: Bike Share Program. Create nodes offering bike sharing at key locations throughout the City.</p>	<p>Not Applicable. This objective is aimed at government agencies, not private developers.</p>
<p>T-17: Car Share Program. Offer Riverside residents the opportunity to use car sharing to satisfy short-term mobility needs.</p>	<p>Consistent. The Proposed Project would provide parking areas for residents and would not inhibit the opportunity to use car sharing.</p>
<p>T-18: SB 743 - Alternative to LOS. Use SB 743 to incentivize development in the downtown and other areas served by transit.</p>	<p>Not Applicable. This objective is aimed at government agencies, not private developers.</p>
<p>T-19: Alternative Fuel & Vehicle Technology and Infrastructure. Promote the use of alternative fueled vehicles such as those powered by electric, natural gas, biodiesel, and fuel cells by Riverside residents and workers.</p>	<p>Consistent. The Proposed Project would be required to be consistent with applicable electric vehicle charging station requirements detailed in the Green Building Standards Code (Title 24, California Code of Regulations). The Proposed Project would be equipped with the electric vehicle changing plug-in infrastructure in the parking lot area.</p>
<p>T-20: Eco-Corridor/Green Enterprise Zone. Create a geographically defined area(s) featuring best practices in sustainable urban design and green building focused on supporting both clean-tech and green businesses.</p>	<p>Not Applicable. This objective is aimed at government agencies, not private developers.</p>
Water Measure	
<p>W-1: Water Conservation and Efficiency. Reduce per capita water use by 20 percent by 2020.</p>	<p>Consistent. The Proposed Project would be required to be consistent with applicable water efficiency requirements detailed in the Green Building</p>

Measure/Regulation	Project Consistency
	Standards Code (Title 24, California Code of Regulations). The Proposed Project would be equipped with low flow plumbing fixtures that reduce water use.
Solid Waste	
SW-1: Yard Waste Collection. Provide green waste collection bins community wide.	Consistent. The Proposed Project would comply with applicable solid waste requirements
SW-2: Food Scrap and Compostable Paper Diversion. Divert food and paper waste from landfills by implementing commercial and residential collection program.	Consistent. The Proposed Project would be required to participate in applicable waste diversion programs. The Proposed Project would also be subject to all applicable State and City requirements for solid waste reduction.
Food, Agriculture, and Urban Forest Measures	
A-1: Local Food and Agriculture. Promote local food and agricultural programs.	Not Applicable. This objective is aimed at government agencies, not private developers
A-2: Urban Forest. Augment City’s Urban and Community Forest Program to include an Urban Forest Management Plan.	Consistent. The Proposed Project would be required to comply with the MASP Landscape Requirements, the City of Riverside Landscape Design Guidelines, and Chapter 19.62 of the RMC. The proposed landscape plan includes the planting of trees around the perimeter of the project site.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with conflicts with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

Source:

City of Riverside, *2014-2021 Housing Element Updated Housing Implementation Plan Environmental Impact Report, Final December 2017.* (Available at <https://riversideca.gov/cedd/planning/city-plans/general-plan-0>, accessed March 2020.)

5.4.8 Hazards and Hazardous Materials

Would the project:	Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed in the Certified EIR; No New Impact	Substantially Mitigated by Uniformly Applicable Development Policies
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the Project result in a safety hazard for people residing or working in the Project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Would the project:	Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed in the Certified EIR; No New Impact	Substantially Mitigated by Uniformly Applicable Development Policies
h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project Design Features

None

Standard Conditions/Existing Plans, Programs, or Policies

General Plan 2025 Policies

- CCM-11.1
- CCM-11.2
- CCM-11.3
- CCM-11.4
- CCM-11.7
- LU-22.2
- LU-22.3
- LU-22.4
- LU-22.5
- LU-22.6
- LU-22.7
- LU-22.8
- LU-22.9
- N-2.1
- PS-3.1
- PS-3.2,
- PS-3.3
- PS-3.4
- PS-4.1
- PS-4.2
- PS-4.3
- PS-4.4
- PS-4.5
- PS-4.6
- PS-4.7
- PS-6.1
- PS-6.2
- PS-6.3
- PS-6.4
- PS-6.5
- PS-6.6
- PS-6.7
- PS-9.5
- PS-9.7
- PS-10.3
- PS-10.4

RMC (Chapter 16.32, Fire Prevention; Chapter 16.52, Development Fees for Fire Stations)

Non-Applicable Mitigation Measures

Certified EIR Mitigation Measure	Non-Applicability Justification
MM HAZ-1: Prior to any renovation or demolition or building permit approval, an Asbestos Hazard Emergency Response Act (AHERA) and California Division of Occupational Safety and Health (Cal/OSHA) certified building inspector shall conduct an asbestos survey to determine the presence or absence of asbestos containing-materials (ACMs). If the asbestos survey reveals ACMs, asbestos removal shall be performed by a State certified asbestos containment contractor in accordance with the South Coast Air Quality Management District (SCAQMD) Rule 1403 prior to any	The Proposed Project does not include demolition of buildings.

Certified EIR Mitigation Measure	Non-Applicability Justification
activities that would disturb ACMs or create an airborne asbestos hazard.	
<p>MM HAZ-2: If paint is chemically or physically separated from building materials during structure demolition, the paint waste shall be evaluated independently from the building material by a qualified Environmental Professional. If lead-based paint is found, abatement shall be completed by a qualified lead specialist prior to any activities that would create lead dust or fume hazard. Lead-based paint removal and disposal shall be performed in accordance with California Code of Regulation Title 8, Section 1532.1, which specifies exposure limits, exposure monitoring and respiratory protection, and mandates good worker practices by workers exposed to lead. Contractors performing lead-based paint removal shall provide evidence of abatement activities to the City Project Engineer.</p>	<p>The Proposed Project does not include demolition of buildings.</p>
<p>MM HAZ-5: Concurrent with the proposed Zoning Code Map Amendment (Planning Case No. P17-0180), and to avoid potential impacts to March Air Reserve Base/Inland Port Airport operations within Zone C2, Flight Corridor Zone, the following candidate sites shall be avoided through exclusion of these properties from the Project (i.e., Tool H-21, Rezoning Program): W4G3S13; and W4G4S36.</p>	<p>The Proposed Project is not within March Air Reserve Base/Inland Port Airport Zone C2.</p>

Applicable Mitigation Measures

No project-specific mitigation measures are required as a result of the Proposed Project.

Certified EIR Mitigation Measure	Applicability Justification
<p>MM HAZ-3: Prior to any renovation, or demolition, grading or building permit approval, a formal Phase I Environmental Site Assessment (ESA) shall be prepared for any vacant, commercial, and industrial properties involving hazardous materials or waste. The Phase I ESA shall be prepared in accordance with ASTM Standard Practice E 1527-05 or the Standards and Practices for All Appropriate Inquiry (AAI), prior to any land acquisition, demolition, or construction activities. The Phase I ESA would identify specific Recognized Environmental Conditions (RECs), which may require further sampling/remedial activities by a qualified hazardous materials Environmental Professional with Phase II/site characterization experience prior to land acquisition,</p>	<p>The Project Site’s previous uses (as gas station and dry cleaner) involved tenants that used hazardous materials. In Compliance with Certified MM HAZ-3, a Phase I and Phase II Environmental Site Assessment was prepared. A Determination of No Further Action was granted.</p>

Certified EIR Mitigation Measure	Applicability Justification
<p>demolition, and/or construction. The Environmental Professional shall identify proper remedial activities, if necessary.</p>	
<p>MM HAZ-4: If the contractor discovers unknown wastes or suspect materials during construction that are believed to involve hazardous waste or materials, the contractor shall:</p> <ul style="list-style-type: none"> • Immediately cease work in the suspected contaminant’s vicinity, and remove workers and the public from the area; • Notify the City’s Project Engineer; • Secure the area as directed by the Project Engineer; and • Notify the implementing agency’s Hazardous Waste/Materials Coordinator. <p>The Hazardous Waste/Materials Coordinator shall advise the responsible party of further actions that shall be taken, if required.</p>	<p>In the event of discovery of an unknown waste or suspect material during construction, the Proposed Project’s contractor would follow the steps outlined in Certified EIR MM HAZ-4.</p>

a) Would the project create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with routine transport, use, or disposal of hazardous materials would be less than significant. Future projects would be required to comply with GP 2025 Public Safety Element which identifies policies to reduce the risk of hazardous materials exposure. Additionally, future commercial uses involved in the routine transport, use, or storage of hazardous materials are required to comply with Riverside Fire Department (RFD), County, OSHA, Cal EPA, and U.S. EPA requirements.

Future commercial use where the maximum quantity of a regulated substance exceeds the specified threshold quantity, would be required to register with the RFD Certified Union Program Agencies (CUPA) and prepare a Risk Management Plan. All hazardous materials or chemicals used by future commercial uses would be required to be registered with the RFD who would routinely inspect these materials to ensure they are being stored, handled, and used in accordance with all applicable federal, State, and local standards and regulations, in order to reduce the potential for a hazardous materials incident. Hazardous materials transport to/from the respective commercial uses would also adhere to all applicable Caltrans protocols.

Future residential uses are not expected to require the use of substantial quantities of hazardous materials or generate significant quantities of hazardous waste. Long-term operation of future residential development would be subject to applicable federal, State, and local regulations

intended to manage the transport, use, storage, manufacture, and disposal of hazardous materials to ensure that these materials do not adversely impact the public or the environment. (Certified EIR, pp. 4.5-23 – 4.5-23)

Impacts Associated with the Proposed Project

Less Than Significant: The Proposed Project would not result in a land use or introduce a new use that could contribute to additional hazardous material usage during operation. During construction, hazardous and potentially hazardous materials typically associated with construction activities would be routinely transported and used in the Project Site. These hazardous materials could include gasoline, diesel fuel, lubricants, and other products used to operate and maintain construction equipment. The transport, use, and handling of these materials would be a temporary activity coinciding with project construction. Although such materials may be stored in the Project Site, any transport, use, and handling of these materials is expected to be limited to quantities and concentrations required to operate and maintain equipment. Removal and disposal of any hazardous materials from the Project Site during construction would be conducted by a permitted and licensed service provider in compliance with GP 2025 Public Safety Element, (RFD), County, OSHA, Cal EPA, and U.S. EPA requirements.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with transport, use, and disposal of hazardous materials that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

b) Would the project create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?

Summary of Impacts in the Certified EIR

Less Than Significant with Mitigation: The Certified EIR determined that impacts associated with accidental release of hazardous materials would be less than significant with mitigation.

Future projects would be required to comply with applicable Certified EIR **MM HAZ-1** through **MM HAZ-4** to reduce impacts to less than significant levels. Certified EIR **MM HAZ-1** requires future development involving demolition activities to perform an asbestos survey to determine the presence or absence of ACMs prior to demolition activities. Certified EIR **MM HAZ-2** outlines procedures to handle and dispose lead-based paint. Certified EIR **MM HAZ-3** requires future development to prepare Phase I ESA prior to any renovation, or demolition, grading or building permit approval. Certified EIR **MM HAZ-4** outlines contractor requirements in the event of a discovery of unknown waste or suspect material during construction. (Certified EIR, pp. 4.5-23 – 4.5-26)

Impacts Associated with the Proposed Project

Less Than Significant: The Proposed Project would not increase the usage of hazardous materials during operation and would therefore not increase the risk of accidental release of hazardous materials into the environment, refer to Section 5.4.7(a). Hazardous materials handling during construction would comply with Certified EIR **MM HAZ-3** regarding the discovery of an unknown waste or suspect material during construction, and applicable federal, State, and local regulations. Certified EIR **MM HAZ-1** and **MM HAZ-2** do not apply to the Proposed Project since the Proposed Project does not include demolition of building structures. Therefore, with implementation of Certified EIR **MM HAZ-3** potential construction impacts associated with release of hazardous materials into the environment would be less than significant.

An environmental assessment (ESA) was conducted for the Proposed Project to determine potential hazardous impacts (Appendix F – *Phase I Environmental Site Assessment for 10411-10491 Magnolia Avenue, Riverside, California*, Hillman Consulting, July 2020) Additionally, two determination letters of no further action were prepared by RWQCB regarding the Project Site (Appendix G – *No Further Action Letter – Unocal 76 Gas Station*, RWQCB, July 2020 and Appendix H – *No Further Action Letter – One-Hour Dry Cleaner*, RWQCB, January 2020).

Phase I Assessment

Information from standard federal and state environmental record sources was provided through Environmental Data Resources, Inc. (EDR). No recognized environmental conditions (REC) in connection with the Project Site were identified. Two (2) historical recognized environmental conditions (HREC) in connection with the Project Site were identified. The assessment revealed notable environmental conditions; however, they are not considered a REC in connection with the Project Site.

Historical Recognized Environmental Conditions:

10451 Magnolia Avenue-Unocal 76 (HREC #1)

10451 Magnolia Avenue is listed on the FINDS, RCRA-LQG, ECHO, HAZNET, RGA LUST, LUST, SWEEPS UST, CA FID UST, and HIST CORTESE databases. At this location, a former Unocal 306440/Unocal Service Station #6975 was located at southeastern portion of the Project Site from 1979-1997. Four underground storage tanks (USTs) were excavated and removed from the gas station in 1997: one (1) 12,000-gallon diesel UST and three (3) 12,000-gallon gasoline USTs. Subsequent investigation discovered soil and groundwater were impacted. This led to quarterly groundwater monitoring and remediation from 1998 to 2014. In 2015, the Unocal 76 station was in the final stages of a LUST closure, when additional impacts were discovered in the vicinity of the former One-Hour Dry Cleaner and the southwest adjoining Montessori School, which is a voluntary cleanup site with no further action status as of January 23, 2014. In 2018, at the request of SARWQCB, additional groundwater testing took place. The results of that test met the media-specific criteria of the Low-Threat Underground Storage Tank Closure Policy (LTCP). However, RWQCB requested that additional soil vapor probes and soil vapor sampling be conducted in all existing probes to satisfy data gaps concerning the presence of benzene in the sub-slab at the Montessori School.

In March 2019, an additional soil vapor investigation was conducted in vicinity of the Montessori School (the 10493 Magnolia Avenue site) and the Unocal 76 site (10451 Magnolia Avenue site), and laboratory results indicated that PCE and benzene were sporadically detected above their respective laboratory reporting limits. However, none of the detected concentrations were above their respective soil vapor ESLs with one exception; PCE was detected at SV-15-10 at 280 µg which was slightly above the soil vapor ESL of 240 µg.

The results of the investigation were indicated to provide evidence that the former One-Hour Dry Cleaner and Montessori School were not the source of the benzene contamination. The RWQCB concluded that the residual concentration of PCE and benzene at the Unocal 76 site did not appear to pose a risk to human health or threat to the beneficial uses of groundwater in the Arlington Groundwater Management Zone. The RWQCB granted a No Further Action Letter for the Unocal 76 site on July 6, 2020 (see Appendix G) that determined that no further action related to the petroleum releases at the Unocal 76 site is required. Due to the granted regulatory closure, this listing is a HREC in connection to the Project Site and no further remediation is required.

10491 Magnolia Avenue-One Hour Dry Cleaner (HREC #2)

The One Hour Dry Cleaner is listed on the BROWNFIELDS, CPS-SLIC, and DRYCLEANERS databases. The former dry cleaner operated at a suite located at the 10491 Magnolia Avenue building from approximately 1997 to 2009. Multiple subsurface investigations identified PCE in the soil vapor in the vicinity of the former dry cleaner and benzene in the sub-slab at the Montessori School. Geosyntec concluded in a 2017 subsurface investigation report that the benzene identified at the Montessori School could not have originated from the Property based on an absence of benzene concentrations in groundwater in the vicinity of the former dry cleaner. The RWQCB requested that additional sampling and excavation of areas of concern at the former dry cleaner be conducted. The excavation and sampling were done in 2018 and found low concentrations of PCE that did not exceed the Residential ESL for soil vapor.

The RWQCB requested that additional soil vapor probes and soil vapor sampling be conducted in all existing probes to satisfy data gaps concerning the presence of benzene in the sub-slab at the Montessori School.

In March 2019, an additional soil vapor investigation was conducted in vicinity of the Montessori School and the Unocal 76 site, and laboratory results indicated that PCE and benzene were sporadically detected above their respective laboratory reporting limits; however, none of the detected concentrations were above their respective soil vapor ESLs with one exception; PCE was detected at SV-15-10 at 280 µg which was slightly above the soil vapor ESL of 240 µg/m³.

The results of the investigation were indicated to provide evidence that the former One-Hour Dry Cleaner and Montessori School were not the source of the benzene contamination. The RWQCB concluded that the residual concentration of PCE and benzene at the One Hour Dry Cleaner site did not appear to pose a risk to human health or threat to the beneficial uses of groundwater in the Arlington Groundwater Management Zone. The RWQCB granted a No Further Action Letter for One-Hour Dry Cleaner on January 9, 2020 (see Appendix H). Due to the granted regulatory closure, this listing is a HREC in connection to the Property and no further remediation is required.

Notable Environmental Conditions:

10493 Magnolia Avenue-Montessori School

Montessori School (10493 Magnolia Avenue) is listed on the ENVIROSTOR and VCP databases as a voluntary cleanup site with no further action listed since January 23, 2014. This site is adjoining to the south/southwest and is located downgradient of the Property. Prior investigations identified benzene in the sub-slab soil vapor at this site. Although these database lists no further action, according to recent email correspondence between the RWQCB and Geosyntec, additional investigations were conducted to determine whether the benzene impacts at this site originated from the Project Site.

In March 2019, an additional soil vapor investigation was conducted in vicinity of the Montessori School and the Unocal 76 site, and laboratory results indicated that PCE and benzene were detected above their respective laboratory reporting limits. None of the detected concentrations were above their respective soil vapor ESLs with only PCE being detected in SV-15-10 at 280/ug.

The investigation provided evidence that the former One-Hour Dry Cleaner and Montessori were not the source of the benzene contamination. The investigation provided evidence that the former One-Hour Dry Cleaner and Montessori School were not the source of the benzene contamination, and indicated that residual concentration of PCE and benzene at the Property does not appear to pose a risk to human health or threat to the beneficial uses of groundwater in the Arlington Groundwater Management Zone. The RWQCB granted a No Further Action Letter for the One-Hour Dry Cleaner and confirmed that One Hour Dry Cleaner and Montessori School were not the source of detected benzene in soil vapor (see Appendix H). Based on this NFA letter, combined with the VCP status, the Montessori School site is not considered to be a REC in connection to the Property.

Historic Uses

According to aerial photographs ranging from 1931 to 2016, the proposed Project site has been used either for agriculture or commercial structures. Aerial from 2016 show the large commercial structure on the Project Site demolished in addition to the two structures along the southeastern border. Two small commercial structures remain on the Project Site. Historical use records confirm that the Project Site was cultivated agricultural land for at least 22 years and likely to have included the application of pesticides. The Property was eventually partly redeveloped with a commercial structure in the 1960s. The Property was again redeveloped between the late 1970s and the early 1980s with multiple commercial buildings. The construction process would have required site work including the stripping of topsoil, de-grubbing, and re-grading for the new improvements; and would have removed or dispersed accumulated pesticides that may have been present in the shallow soils. Therefore, the former use of the Property as agricultural land is not considered to be a REC in connection with the Property.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects

associated with accidental release of hazardous materials that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- c) **Would the project emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?**

Summary of Impacts in the Certified EIR

Less Than Significant with Mitigation: The Certified EIR determined that impacts associated with hazardous waste emissions within 0.25 mile of an existing school would be less than significant with mitigation. With the implementation of Certified EIR **MM HAZ-1** through **MM HAZ-4**, GP 2025 Policies PS-3.1 through PS-3.5, and the established regulatory framework would reduce construction and operational impacts to less than significant levels. (Certified EIR, pp. 4.5-26 – 4.5-28)

Impacts Associated with the Proposed Project

Less Than Significant: The Proposed Project would not increase the use of hazardous materials during operation and would not increase the risk of accidental release of hazardous materials within 0.25 mile of a school. The closest school to the Project Site is the Montessori School adjacent to the Project Site on 10493 Magnolia Avenue. The Phase I investigation prepared for the Proposed Project found benzene in the sub-slab of the Montessori School and was believed that the previous One-Hour Cleaner, which was formerly located at the Project Site, was the source of the benzene. In March 2019, an expanded soil vapor investigation was conducted and determined that the source of benzene contamination at the Montessori School is not the former One-Hour Cleaner. Previous uses at the Project Site were also investigated and were granted a Determination of No Further Action, on July 6, 2020 for the former Unocal 76 gas station, and on January 9, 2020 for the One-Hour Cleaner (see Appendix G and Appendix H). The Project Site would not pose a risk to human health or a threat to the beneficial uses of groundwater and no further action was necessary.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with hazardous waste emissions within 0.25 mile of an existing school that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- d) **Would the project be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with hazardous materials sites that were included on a list per Government Code Section 65962.5 would be less than significant.

Two sites that the DTSC has identified as having land use restrictions for future development: the Snyder Trust Property (2511 Northbend Street, Riverside, CA 92501) and University of California Riverside (UCR) Agricultural Operation Yard (1060 Pennsylvania Avenue, Riverside, CA 92521). None of the candidate sites involve the two sites having land use restrictions, and none are identified in the DTSC EnviroStor database; therefore, Project implementation would not create a significant hazard to the public or the environment in this regard. Notwithstanding, through the design review process, the City would evaluate all future individual development proposals on a project-by-project basis to verify the development is not on a government listed hazardous materials site. (Certified EIR, p. 7-14)

Impacts Associated with the Proposed Project

Less Than Significant: The Project Site's previous uses, which included a former gas station and a dry cleaner, were identified as recognized areas of concern (REC). The former gas station and dry cleaner were previously identified as a Leaking Underground Storage Tank (LUST) and a California Spill, Leaks, Investigations and Cleanups (SLIC) cases, respectively. However, with remediation and monitoring, both cases were granted regulatory closure. A Determination of No Further Action was granted for the former gas station, on July 6, 2020, and for the former dry cleaner, on January 9, 2020 (see Appendix G and Appendix H). The Project Site would not pose a risk to human health or a threat to the beneficial uses of groundwater and no further action is necessary. The Montessori School Adjacent to the Project Site was previously identified as a REC in connection with the Project Site. Multiple subsurface investigations identified benzene in the school's sub-slab. A 2017 subsurface investigation concluded that the benzene identified at the Montessori School could not have originated from the Project Site. Additionally, the Montessori School is listed in the Voluntary Cleanup Program (VCP) database as a voluntary cleanup site with no further action. At the request of Riverside Water Quality Control Board- Region 8, excavation and sampling were conducted in 2018. The results showed low concentrations of PCE that did not exceed the Residential ESL for soil vapors.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with hazardous materials sites that were included on a list per Government Code

Section 65962.5 that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- e) **For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?**

Summary of Impacts in the Certified EIR

Less Than Significant with Mitigation: The Certified EIR determined that impacts associated with airport safety hazards would be less than significant with the implementation of Certified EIR **MM HAZ-5**, compliance with Basic Compatibility Criteria for Riverside Municipal Airport (RMA) Zone E, and compliance with March Air Reserve Base/Inland Port ALUCP Basic Compatibility Criteria. (Certified EIR, pp. 4.5-28 – 4.5-33)

Impacts Associated with the Proposed Project

Less Than Significant: As indicated in the Certified EIR, the Project site not within RMA, March Air Reserve Base/Inland Port and is not one of the sites identified in Certified EIR **MM HAZ-5**.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with airport safety hazard that were not identified in the Certified EIR. No further study is needed, and no mitigation measures would be required. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- f) **For a project within the vicinity of a private airstrip, would the Project result in a safety hazard for people residing or working in the Project area?**

Summary of Impacts in the Certified EIR

No Impact: The Certified EIR determined that no impacts associated with private airport safety hazards would occur since no private airstrips are located within the City. (Certified EIR, p. 7-14)

Impacts Associated with the Proposed Project

No Impact: As indicated in the Certified EIR, no impacts would occur associated with private airport safety hazards.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects

associated with private airport safety hazard that were not identified in the Certified EIR. Therefore, no potential impacts would occur, and no mitigation would be required.

g) Would the project impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with emergency response plans or emergency evaluation plans would be less than significant with continued use of Standard Emergency Management System (SEMS) and Riverside County Operational Area Multi-Jurisdictional Local Hazard Mitigation Plan, and implementation of the City's GP 2025 policies enforcing compliance with the Emergency Operations Plan (EOP).

The City GP 2025 policies include, PS-9.1 and PS-9.3, which require the City to maintain and test the City's EOP. Policy PS-9.5 ensures the City would provide information to the public regarding disaster preparedness. Policy PS-9.7 and PS-9.8 require the City to identify actions to reduce the severity and risk to the community from hazards. Policy PS-10.3 ensures that public safety infrastructure and staff resources to keep pace with new development. Policy PS-10.4 ensures that development has adequate ingress and egress. Policy PS-10.5 requires coordination to educate on hazard safety. Policy PS-10.6 ensures coordination between the City and public safety departments. Policy PS-10.7 and Policy PS-10.8 encourage funding for emergency response programs. Policy PS-10.9 requires the City to maintain the Emergency Operations Center and allow for expansion. (Certified EIR, p. 7-15)

Impacts Associated with the Proposed Project

Less Than Significant: As described in the Certified EIR, rezoning of the candidate sites, including Candidate Site W6G1S01, the Proposed Project, would not interfere with the implementation of an emergency response plan.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with emergency response plans or emergency evaluation plans that were not identified in the Certified EIR. No further study is needed, and no mitigation measures would be required. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- h) **Would the project expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with wildland fires would be less than significant with conformance with RMC Chapter 16.32, Fire Prevention, and Chapter 16.52, Development Fees for Fire Stations, and continued implementation of GP 2025 Policies PS-6.1 through PS-6.7 and PS-10.3. Further, no candidate sites would be in an area susceptible to wildland fires. (Certified EIR, pp. 4.5-34 – 4.5-35)

Impacts Associated with the Proposed Project

Less Than Significant: As described in the Certified EIR, the candidate sites, including Candidate Site W6G1S01, the Proposed Project, are not located in an area susceptible to wildland fires. Further, the Proposed Project would be required to conform to RMC Chapter 16.32, Fire Prevention, and Chapter 16.52, Development Fees for Fire Stations, and continued implementation of GP 2025 Policies PS-6.1 through PS-6.7 and PS-10.3.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with wildland fires that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

Source:

City of Riverside, *2014-2021 Housing Element Updated Housing Implementation Plan Environmental Impact Report, Final December 2017*. (Available at <https://riversideca.gov/cedd/planning/city-plans/general-plan-0>, accessed March 2020.)

5.4.9 Hydrology and Water Quality

Would the project:	Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed in the Certified EIR; No New Impact	Substantially Mitigated by Uniformly Applicable Development Policies
a) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Would the project:	Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed in the Certified EIR; No New Impact	Substantially Mitigated by Uniformly Applicable Development Policies
h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j) Inundation by seiche, tsunami, or mudflow?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project Design Features

None

Standard Conditions/Existing Plans, Programs, or Policies

General Plan 2025 Policies

- LU-5.1
- LU-5.2
- LU-5.3
- LU-5.4
- LU-5.5
- LU-5.6
- PF-4.1
- PF-4.2
- PF-4.3
- PS-2.1
- PS-2.2
- PS-2.3
- PS-2.4
- PS-2.5
- PS-2.6
- PS-2.7
- OS-2.3
- OS-6.3
- OS-7.6
- OS-10.6
- OS-10.7
- OS-10.8
- OS-10.9
- OS-10.10
- OS-10.11

RMC (Chapter 16.18 Flood Hazard Areas and Implementation of the National Flood Insurance Rate Program; Title 17; Section 18.210.100 Flood Prone Lands and Insurance;)

Riverside Local Hazard Mitigation Plan (LHMP)

Applicable Mitigation Measures:

No Certified EIR mitigation measures were required.

No project-specific mitigation measures are required as a result of the Proposed Project.

a) **Would the project violate any water quality standards or waste discharge requirements?**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined impacts associated with water quality standards or waste discharge would be less than significant.

Future development must demonstrate conformance with NPDES and RMC requirements for protection of water quality. Future projects involving one or more acre of clearing, grading, or excavation would be subject to RMC Title 17, which specifies that all projects requiring a grading permit identify site-specific BMPs to identify and control post-construction/dischARGE of pollutants to the Waters of the United States. Project compliance with the local, State, and federal laws, ordinances, and requirements would ensure that Project operational activities would have a less than significant impact on water quality and would not significantly impact the beneficial uses of receiving waters. (Certified EIR, pp. 7-15 – 7-18)

Impacts Associated with the Proposed Project

Less Than Significant: A Geotechnical Feasibility investigation was completed to determine potential impacts associated with soil and infiltration (Appendix B – *Feasibility-Level Investigation, Proposed Mixed-Used Apartment Development, NEC Magnolia Avenue and Banbury Drive*, Geotechnical Professionals, Inc. (GPI), February 2019).

A Percolation Study was completed to determine potential impacts associated with drainage and water quality (Appendix D – *Percolation Testing, Proposed Apartments and Retail Development Magnolia Flats, NEC Magnolia Avenue and Banbury Drive*, Geotechnical Professionals, Inc. (GPI), December 2019).

A Water Quality Management Plan was completed to determine potential impacts associated with water quality (WQMP) (Appendix I – *Preliminary Water Quality Management Plan for Magnolia Flats-10431 Magnolia Avenue*, KHR Associates, February 2020).

A Preliminary Drainage Study was completed to determine potential impacts associated with drainage (Appendix J – *Preliminary Drainage Study for Magnolia Flats*, KHR Associates, February 2020).

Construction of the mixed-use development would include grading, excavation, and other earthmoving activities that have the potential to cause erosion that would subsequently degrade water quality and/or violate water quality standards. As required by the Clean Water Act, the Property Owner/Developer must comply with the Riverside County Storm Sewer Systems (MS4) National Pollution Discharge Elimination System (NPDES) Permit. The NPDES MS4 Permit Program, which issued by the State Water Resources Control Board (SWRCB), is regulated by the Santa Ana Regional Water Quality Control Board (SARWQCB), regulates storm water and urban runoff discharges from developments to natural and constructed storm drain systems in the City of Riverside. Since the Proposed Project would disturb one or more acres of soil, the Property Owner/Developer would be required to obtain coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity (Construction General Permit Order 2009-

0009-DWQ). Construction activities subject to the Construction General Permit include clearing, grading, and disturbances such as stockpiling or excavation. The Construction General Permit requires implementation of a Storm Water Pollution Prevention Plan (SWPPP). The SWPPP would generally contain a site map showing the construction perimeter, proposed buildings, storm water collection and discharge points, general pre- and post-construction topography, drainage patterns across the Project Site, and adjacent roadways.

The SWPPP must also include BMPs designed to protect against storm water runoff; a visual monitoring program; a chemical monitoring program for “non-visible” pollutants should the BMPs fail; and a sediment monitoring plan, should the residential development at the Project Site discharge directly into a water body listed on the 303(d) list for sediment. The Project Site is within the Santa Ana Watershed, which covers 1,603 square miles (22 percent of the 7,300 square miles within Riverside County). Drainage on the Project Site currently flows towards the Santa Ana River, Reach 3. The majority of the Project Site’s runoff, which includes run off from the north westerly offsite buildings, flows towards the westerly corner entering the mobile park property and gets collected by the private storm drain system of that property. The remaining storm drain water flows along existing gutters until it reaches into a catch basin at the corner of the parking lot near Magnolia Avenue, which connects to County of Riverside maintained storm drain.

Under the operating condition, the Proposed Project flow rate of 52.13 cubic feet per second (cfs) would be lower than the existing flow rate of 54.85 cfs. Offsite runoff flows would be collected by the proposed grated catch basin (offsite area northwest of the Project Site) or redirected along the proposed ribbon gutter and discharge to Magnolia Avenue (offsite area north of the Project site). All onsite runoff (Lot 1 and Lot 2) would be collected through catch basins and drop inlets then conveyed to storm drains which would direct the runoff to a storm water treatment system for pretreatment (Aqua-Swirl Hydrodynamic Separator) and then routed to a drywell system (MaxWell IV Drywells) for onsite infiltration to hydrological Soil Type B. Through percolation test, infiltration rates were found to be between 0.7 in/hr to 6.00 in/hr. However, the lowest testing may have been skewed since a waterline was broken causing significant flooding near the that test well. A conservative infiltration rate of 0.20 in/hr was used in sizing the BMP.

The drywell system BMP was sized to infiltrate the entirety of the required design capture volume. All high flows that exceed the mitigation volume would bypass the treatment and flow into the proposed storm drain system, discharging into the County’s storm drain system on Magnolia Avenue. Section A of the Construction General Permit describes the elements that must be contained in the SWPPP. Incorporation of these policies and requirements would reduce impacts associated with water quality standards or waste discharge.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant effects identified in the Certified EIR, nor would it result in new specific effects associated with violation of water quality standards or waste discharge requirements or

degradation of water quality that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- b) Would the project substantial decrease groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted?)**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with ground water supplies would be less than significant.

Most of the City receives water services from Riverside Public Utilities (RPU); however, southeast Riverside receives water services from Western Municipal Water District (Western). RPU's water supply portfolio is chiefly composed of groundwater supplies. Western's portfolio is largely dominated by imported or purchased supplies; however, groundwater represented 21 percent of Western's total supply in 2015. RPU has indicated that Project implementation would result in an additional water demand of approximately 74-acre feet per year (AFY). RPU has concluded that enough groundwater supplies are available to serve the Project as accounted for in their 2015 Urban Water Management Plan. Therefore, Project implementation would not substantially deplete groundwater supplies and impacts would be less than significant. (Certified EIR, p. 7-16)

Impacts Associated with the Proposed Project

Less Than Significant: The Proposed Project does not propose to exceed the current zoned densities of the Project Site. The Proposed Project would not increase water use or demand for groundwater supplies from what was evaluated in the Certified EIR.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant effects identified in the Certified EIR, nor would it result in new specific effects associated with groundwater supplies and recharge that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- c) Would the project substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would: result in substantial erosion or siltation on- or off-site?**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with ground water would be less than significant.

The City is largely built-out and urbanized in character. Future development occurring on partially or fully developed sites would not have significant impacts associated with erosion or siltation. In addition, future development must demonstrate conformance with GP 2025 Policies LU-5.1 through LU-5.6, OS-6.3, and OS-7.6, which are intended to protect the City's drainage courses.

Where development would occur on undeveloped properties, the potential to substantially alter the existing drainage pattern of the site or area would exist. This type of development would be required to demonstrate conformance with NPDES and SWPP requirements which manages construction-related erosion and siltation impacts. Construction-related impacts would also be analyzed as part of a project-specific WQMP (as required) and through the Riverside Grading Permit process

All new development projects under the RWQCB jurisdiction must adhere to the current Municipal Separate Storm Sewer Systems (MS4) permit requirements, as the entire area ultimately drains to the Santa Ana River, which is within Santa Ana RWQCB jurisdiction. Although a WQMP may not be required for each future project, each project would be responsible for the implementation of BMPs required to meet the current MS4 permit requirements. Post-construction impacts to erosion or siltation would be assessed and mitigated through site design and the City's MS4 permitting process. (Certified EIR, pp. 7-17 – 7-18)

Impacts Associated with the Proposed Project

Less Than Significant: The Proposed Project involves the consolidation of three parcels into two lots and demolition of the existing improvements on the Project Site, Candidate Site W6G1S01, to construct a mixed-use development with a four-story 450-unit residential building and two commercial/retail buildings totaling approximately 9,000 SF. As a result, the Proposed Project would add more non permeable surfaces to the Project Site. However, as indicated in the Certified EIR, development on partially developed sites, like the Project Site, would not have significant impacts associated with erosion or siltation. Further, the Proposed Project demonstrated compliance with NPDES, SWPP, and GP 2025 Policies and submitted the WQMP and grading plans to City. Through LID principles used in the WQMP, the Project Site would match as close as the possible existing drainage paths and minimize usage of inlets. The drainage improvements would not result in the alteration of the course of a stream or river.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant effects identified in the Certified EIR, nor would it result in new specific effects associated with erosion and siltation that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- d) **Would the project substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with onsite or offsite flooding would be less than significant.

Most of the City is built-out and urbanized in character. The City requires development pads to be elevated above identified floodplains and Riverside County Flood Control and Water Conservation District (RCFCWCD) requires improvements to comply with their standards for flood control. Future development must implement BMPs identified in the project specific SWPPP prior to the commencement of construction. Through conformance with City and RCFCWCD requirements, as well as implementation of project-specific BMPs, future development would not substantially alter the existing drainage pattern of the area, nor substantially increase the rate of surface runoff in a manner which would result in flooding on- or offsite. (Certified EIR, p. 7-18)

Impacts Associated with the Proposed Project

Less Than Significant: Using the LID principles identified in the WQMP, the Project Site would match as close as possible the existing drainage paths and minimize usage of inlets. The Proposed Project is designed to collect all onsite runoff (Lot 1 and Lot 2) through catch basins and drop inlets then conveyed to storm drains which would direct the runoff to a storm water treatment system for pretreatment and onsite infiltration. All high flows that exceed the mitigation volume would bypass the treatment and flow into the County's storm drain system on Magnolia Avenue. Offsite runoff flows that previously entered the Project Site would be collected by the proposed grated catch basin (offsite area northwest of the Project Site) or redirected along the proposed ribbon gutter and discharge to Magnolia Avenue (offsite area north of the Project site). The Proposed Project flow rate of 52.13 cfs would be lower than the existing flow rate of 54.85 cfs. Further, the Project Site is consistent with the Riverside Water Shed Plan that addresses Hydrologic Condition of Concern (HCOC) in Receiving Waters and would not significantly impact downstream channels.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant effects identified in the Certified EIR, nor would it result in new specific effects associated with onsite or offsite flooding that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- e) **Would the project create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined impacts associated with stormwater drainage systems or additional sources of polluted runoff would be less than significant.

Compliance with NPDES and City standards would ensure the amount of runoff water entering the City's stormwater drainage system resulting from future development is controlled. The State's General Construction Permit regulates discharges from construction sites that disturb one or more acres of soil. By law, all storm water discharges associated with future individual development projects that involve construction activity where clearing, grading, and excavation results in soil disturbance of at least one acre of total land area must comply with the provisions of this NPDES Permit, and develop and implement an effective SWPPP. The SWPPP is required to list BMPs that would be used to protect storm water runoff and the placement of those BMPs. All impacts associated with runoff during site preparation, demolition, and grading would be addressed by the SWPPP. (Certified EIR, p. 7-18)

Impacts Associated with the Proposed Project

Less Than Significant: As indicated in the Certified EIR, development impacts associated with stormwater drainage systems or additional sources of polluted runoff would be less than significant with conformance with NPDES and City standards. The proposed pretreatment (Aqua-Swirl Hydrodynamic Separator) and drywell system (MaxWell IV Drywells) would pretreat and infiltrate runoff. Non-structural BMPs such as source control requirements, landscaping with native and/or drought tolerant species and common area landscape maintenance and litter control, would also contribute towards runoff control and water quality protection. In addition, the Proposed Project would be required to comply with the NPDES permit requirements to reduce any potential water quality impacts. The Proposed Project would not create or contribute runoff water that would exceed the capacity of the drainage systems or provide additional sources of polluted runoff.

The amount of water runoff is not expected to exceed stormwater drainage capacity. The Property Owner/Developer shall prepare a SWPPP for construction activity associated with the Proposed Project. The SWPPP shall be maintained at the construction site for the entire duration of construction. The objectives of the SWPPP are to identify pollutant sources that may affect the quality of storm water discharge and to implement BMPs to reduce pollutants in storm water discharges during construction and post construction in compliance with NPDES. Projects that comply with NPDES standards would result in a less than significant impact. In addition, storm drains located within the City limits are maintained by the City and Riverside County Flood.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant effects identified in the Certified EIR, nor would it result in new specific effects associated with stormwater drainage systems or additional sources of polluted runoff that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

f) Would the project otherwise substantially degrade water quality?

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined impacts associated with water quality would be less than significant with compliance with NPDES (SWPP, BMPs, WQMP), RMC, and City standards. (Certified EIR, p. 7-18)

Impacts Associated with the Proposed Project

Less Than Significant: As indicated in Section 5.4.8.(a) and (e), the Proposed Project would have less than significant impacts to water quality.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant effects identified in the Certified EIR, nor would it result in new specific effects associated with water that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

g) Would the project place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?

h) Would the project place within a 100-year flood hazard area structures which would impede or redirect flood flows?

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined impacts associated with placing housing within a 100-year flood hazard and impede or redirect flows would be less than significant. Compliance with National Flood Insurance Rate Program, Natural Flood Insurance Program, and RMC Chapter 16.18 would ensure potential impacts concerning flooding are reduced to less than significant.

Flood hazard areas identified on the Flood Insurance Rate Map (FIRM) are labeled “Special Flood Hazard Area” (SFHA). The Federal Emergency Management Agency (FEMA) identified Special Flood Hazard Areas (SFHA) as high-risk areas subject to inundation by one-percent annual chance

flood.10 The one-percent annual chance flood is also referred to as the base flood or 100- year flood. Federal floodplain management regulations and mandatory flood insurance purchase requirements apply in these zones.

According to FEMA FIRM Panel 726, Map No. 06065C0726G (effective 08/28/17), the candidate sites are in three FEMA Flood Zones: Flood Zone “X”; Flood Zone “X” (Other Flood Areas); and Flood Zone “D”. Therefore, future development on candidate sites within Zone “X” (Other Flood Areas) or Zone “X” would not place housing within a 100-year flood hazard area, and a less than significant impact would occur in this regard. Future development on candidate sites within Zone “D” (i.e., Candidate Sites W4G3S13, W4G4S36, and W4G4S42) could place housing within a 100-year flood hazard area, since no analysis of flood hazards has been conducted in these areas and flood hazards are undetermined, but possible. Future development on Candidate Sites W4G3S13, W4G4S36, and W4G4S42 must conform to National Flood Insurance Rate Program and RMC Chapter 16.18, Flood Hazard Areas and Implementation of the National Flood Insurance Rate Program, requirements, which address potential flooding effects. RMC Chapter 16.18, Flood Hazard Areas and Implementation of Natural Flood Insurance Program, Section 16.18.050 requires new construction located within flood hazard areas to mitigate flood hazards by including on-site drainage, anchoring methods to prevent floating structures, elevating buildings above flood levels, and flood proofing, which requires buildings to be inspected and certified by a professional engineer, surveyor, or building inspector. Future development in Zone “D” would be conditioned to meet these requirements, including compliance with State Civil Code Section 1103 through 1103.4 requiring notification to those potentially affected of the risk involved in locating within a flood hazard or dam inundation area. (Certified EIR, pp. 7-19 – 7-21)

Impacts Associated with the Proposed Project

Less Than Significant: The physical conditions as they relate to flood flows have not changed in the City since the preparation of Certified EIR. According to the latest FEMA Flood Insurance Rate Map (FIRM) No. 06065C0715G (August 28, 2008), the Project Site is within Flood Zone “X”, an area with minimal flood hazard.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant effects identified in the Certified EIR, nor would it result in new specific effects associated with placing housing within a 100-year flood hazard or impeding or redirecting flood flows that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- i) **Would the project expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined impacts associated with flooding as a result of the failure of a levee or dam would be less than significant with the City’s continued implementation of their Riverside Local Hazard Mitigation Plan (LHMP) and future development’s compliance with National Flood Insurance Rate Program requirements, Natural Flood Insurance Program, RMC Chapter 16.18, and GP 2025 Objective PS-2 policies.

There are nine that have a National Dam Safety Standard Rating of “High Hazard” under the National Dam Inventory System for dam failure which could impact portions of the City: Alessandro Dam; Mary Street Dam; Box Springs Dam, Harrison Dam; Lake Mathews Dam (Dike 1 and 2); Mockingbird Canyon Dam; Prenda Dam; and Woodcrest Dam. However, failure of any of these dams is extremely unlikely, as the Army Corps of Engineers is responsible for regular inspection of these facilities. Further the dam inundation areas are generally associated with open space and recreational uses. All future development must demonstrate conformance with GP 2025 Objective PS-2 policies, which are intended to guard against flooding and dam inundation hazards (i.e., PS-2.1 through PS-2.7). RMC Section 18.210.100, Flood Prone Lands and Drainage, and RMC Chapter 16.18, Flood Hazard Areas and Implementation of Natural Flood Insurance Program, Section 16.18.050 requires new construction located within flood hazard areas to mitigate flood hazards by including on-site drainage, anchoring methods to prevent floating structures, elevating buildings above flood levels, and flood proofing, which requires buildings to be inspected and certified by a professional engineer, surveyor, or building inspector. Future projects would be conditioned to meet these requirements, including compliance with State Civil Code Section 1103 through 1103.4 requiring notification to those potentially affected of the risk involved in locating within a flood hazard or dam inundation area. (Certified EIR, pp. 7-21 – 7-22)

Impacts Associated with the Proposed Project

Less Than Significant: The physical conditions as they relate to failure of a levee or dam have not changed in the City since the preparation of Certified EIR. According to the latest GP FPEIR Figure 5.8-2, Flood Hazard Areas, the Project Site is located within Harrison Dam Failure area. The Proposed Project would be constructed in accordance with Section 16.18.050 which requires new construction located within flood hazard areas to mitigate flood hazards. Also, as noted in Section 5.4.8(g) and (h), the Project Site is within Flood Zone “X”, an area with minimal flood hazard.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant effects identified in the Certified EIR, nor would it result in new specific effects related

flooding as a result of the failure of a levee or dam that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

j) Would the project result in exposure to inundation by seiche, tsunami, or mudflow?

Summary of Impacts in the Certified EIR

No Impact: The Certified EIR determined impacts associated with inundation by seiche, tsunami, or mudflow would not occur. A seiche is a surface wave created when a large body of water, such as a lake, is shaken. A seismic event could cause a seiche event at Lake Mathews or Lake Evans, however future development would not be in proximity to Lake Mathews or Lake Evans.

The City of Riverside is located over 35 miles inland of the Pacific Ocean. There would be no impacts associated with exposure of people or structures to a significant risk involving a tsunami.

Areas near the Santa Ana River, Lake Hills, Norco Hills, Box Springs Mountain Area, and the City's nine arroyos are capable of significant mudflows. The City designated these areas as open space and recreational uses in order to minimize the effects of mudflow. Candidate sites W1G4S02, W1G4S03, W1G4S04, and W1G4S08 are located approximately 0.05-miles from Tequesquite Arroyo. However, State Route 91 separates these candidate sites from the Tequesquite Arroyo. (Certified EIR, p. 7-22)

Impacts Associated with the Proposed Project

No Impact: The physical conditions as they relate to inundation by seiche, tsunami, or mudflow have not changed in the City since the preparation of Certified EIR.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant effects identified in the Certified EIR, nor would it result in new specific effects associated with inundation by seiche, tsunami, or mudflow that were not identified in the Certified EIR. Therefore, no potential impacts would occur, and no mitigation would be required.

Source:

City of Riverside, *2014-2021 Housing Element Updated Housing Implementation Plan Environmental Impact Report, Final December 2017*. (Available at <https://riversideca.gov/cedd/planning/city-plans/general-plan-0> , accessed March 2020.)

5.4.10 Land Use and Planning

Would the project:	Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed in the Certified EIR; No New Impact	Substantially Mitigated by Uniformly Applicable Development Policies
a) Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Conflict with any applicable habitat conservation plan or natural community conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project Design Features

None

Standard Conditions/Existing Plans, Programs, or Policies

General Plan 2025 Policies

- AQ-3.5
- AQ-5.7
- AQ-8.23
- LU-8.1
- LU-8.3
- CCM-1.1
- CCM-1.2
- CCM-1.3
- CCM-1.4
- CCM-6.1
- CCM-7.1
- CCM-9.1
- OS-5.1
- OS-5.2
- OS-5.3
- OS-5.4
- OS-6.1
- OS-6.2
- OS-6.3
- OS-6.4
- OS-8.10
- LU-7.1
- LU-7.2
- LU-7.3
- LU-7.4
- LU-8.1
- LU-8.2
- LU-8.3
- LU-8.4
- LU-9.2
- LU-9.3
- LU-9.4
- LU-9.5
- LU-9.7
- LU-10.1
- LU-10.4
- LU-28.2

RMC (Title 18 Subdivision Code; Title 19 Zoning Code)

Non-Applicable Mitigation Measures

Certified EIR Mitigation Measure	Non-Applicability Justification
MM LU-1: Concurrent with the proposed Zoning Code Map Amendment (Planning Case No. P17-0180), and to avoid potential conflicts with the Riverside Municipal Code and	The Project Site, Candidate Site W6G1S01, is not a site excluded from rezoning, as

Certified EIR Mitigation Measure	Non-Applicability Justification
<p>partially developed or entitled sites, the following properties shall be avoided through exclusion of these candidate sites/properties from the Project (i.e., Tool H-21, Rezoning Program):</p> <ul style="list-style-type: none"> • W3G4S11 (entire site); • W3G4S09 (entire site); • W2G2S03 (entire site); • W4G3S13 (entire site); • W4G4S36 (entire site); • W5G1S02 (partial, APN's 234080031, 234080032, 234091012, and 234091013 only); • W5G1S11 (entire site); • W5G1S19 (entire site); • W6G4S17 (partial, APN 143040011 only); • W6G4S20 (partial, APN's 143080026 and 143080032 only); • W6G4S26 (entire site); • W6G4S33 (entire site); • W6G4S34 (entire site); and • W6G4S41 (partial, APN's 145082036, 145161007, 145161004, and 145161008 only). 	<p>identified in the Certified EIR MM LU-1.</p>

Applicable Mitigation Measures

No project-specific mitigation measures are required as a result of the Proposed Project.

a) Would the project physically divide an established community?

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with physically dividing an established community would be less than significant.

Most of the future uses would occur through infill development and/or adaptive reuse. Given the City's urbanized nature, the candidate sites are generally surrounded by existing development. Additionally, no major roadway (e.g., expressway or freeway), which would traverse an existing community or neighborhood were proposed. (Certified EIR, pp. 4.6-24 – 4.6-25)

Impacts Associated with the Proposed Project

Less Than Significant: The Proposed Project involves the consolidation of three parcels into two lots and demolishing existing improvements on the Project Site, Candidate Site W6G1S01, to construct a mixed-use development with a four-story 450-unit residential building and two commercial/retail buildings totaling approximately 9,000 SF. The Project Site is situated in urban

developed area that consists of commercial and residential uses. Implementation of the Proposed Project would provide complementary uses and would not divide an established community.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with physically dividing an established community that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- b) Would the project cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?**

Summary of Impacts in the Certified EIR

Significant and Unavoidable After Implementation of Mitigation: The Certified EIR determined impacts to land use plan would be significant and unavoidable. A statement of overriding considerations was prepared and adopted.

SCAG Land Use Plans and Regulations

The Certified EIR determined that impacts associated with SCAG land use plans and regulations would be significant and unavoidable. A statement of overriding considerations was prepared and adopted. While rezoning the candidate sites was consistent with the 2016-2040 Regional Transportation Plan/Sustainable Communities Strategy (RTP/SCS) Goals, it was not consistent with Southern California Association Governments(SCAG) Adopted Growth Forecast, which covered planning period October 2013 to October 2021, as they were based on the GP 2025 forecast prior to adoption of the candidate site land use designations. The candidate sites' existing GP 2025 development potential was approximately 3,472 DU and approximately 5.9 million SF of non-residential land uses. With the approved land use designation, the candidate sites' development potential based on GP land use amendments was approximately 11,715 DU and approximately 7.2 million SF of nonresidential land uses. Therefore, SCAG's Adopted Growth Forecasts were exceeded, resulting in a significant and unavoidable impact.

General Plan 2025 Land Use Plans, Policies or Regulations

The Certified EIR determined that impacts associated with GP 2025 polices would be less than significant. The rezoning was consistent with the City's land use visionary goals including, but not limited to: well-planned infill development (LU-8.1, LU-8.4); mixed used development as a means of revitalizing underutilized urban parcels (LU8-3); promote future patterns of urban development and land use that reduce infrastructure construction costs and make better use of existing and planned public facilities when considering amendments to the Land Use Policy Map (LU-9.4)

Zoning Ordinance Land Use Plans, Policies or Regulations

The Certified EIR determined that impacts associated with zoning ordinance land use plan, policies, and regulations are less than significant with mitigation. Certified EIR **MM LU-1** excluded some partially developed or entitled sites from rezoning consideration.

Habitat Conservation Plans

The Certified EIR determined that impacts associated with WR MSHCP or Stephens Kangaroo Rat Habitat Conservation Plan would be less than a significant impact. Future development would be subject to compliance with the various WRC MSHCP provisions including Section 6.1.2, Protection of Species Associated with Riparian/Riverine Areas and Vernal Pools, Section 6.1.3, Protection of Narrow Endemic Plant Species, Section 6.1.4, Guidelines Pertaining to the Urban/Wildlands Interface, and Section 6.3.2, Additional Survey Needs and Procedures. Additionally, candidate site W3G4S27 would be subject to compliance with a Joint Project Review (JPR) with the Western Riverside County Regional Conservation Authority (RCA). Future development would also be subject to payment of mitigation fees in accordance with Riverside County Ordinance 633.10 and 810.2. Compliance with Riverside County Ordinance Number 633.10 and 810.2, as well as the GP 2025 policies identified on DEIR page 4.6-36, would ensure future development does not conflict with an adopted habitat conservation plan, natural community conservation plan, or other approved local, regional, or State habitat conservation plan. (Certified EIR, pp. 4.6-25 – 4.5-35)

Impacts Associated with the Proposed Project

Less Than Significant: The Proposed Project involves the consolidation of four parcels into three lots and demolishing of the existing improvements, on the namely vacant proposed Lot 1 and Lot 2, Candidate Site W6G1S01, to construct a mixed-use development with a four-story 450-unit residential building and two commercial/retail buildings totaling approximately 9,000 SF. The Proposed Project would not introduce any new uses and would not be inconsistent with or conflict with SCAG, GP 2025, RMC, WR MSHCP, or Stephens Kangaroo Rat Habitat Conservation Plan.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant effects identified in the Certified EIR, nor would it result in new specific effects associated with a land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- c) **Would the project conflict with any applicable habitat conservation plan or natural community conservation plan?**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with habitat conservation plan or natural community conservation plan would be less than significant.

The City is a permittee under the Western Riverside County Multiple Species Habitat Conservation Plan (WRC MSHCP) and the Stephens' Kangaroo Rat Habitat Conservation Plan (SKR HCP) and is required to comply with provisions of the plans. Future development within the City, would also be required to comply. Additionally, future development would also be required to subject to payment of mitigation fees in accordance with Riverside County Ordinance 633.10 and 810.2. (Certified EIR, pp. 4.6-35 – 4.6-36)

Impacts Associated with the Proposed Project

Less Than Significant: As discussed in the Certified DEIR, implementing projects would be required to comply with conservations plans to which the City is a permittee. These conservation plans include WRC MSHCP, SKR HCP, and Riverside County Ordinance 633.10 and 810.2.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with habitat conservation plan or natural community conservation plan that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

Source:

City of Riverside, *2014-2021 Housing Element Updated Housing Implementation Plan Environmental Impact Report, Final December 2017*. (Available at <https://riversideca.gov/cedd/planning/city-plans/general-plan-0> , accessed March 2020.)

5.4.11 Mineral Resources

Would the project:	Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed in the Certified EIR; No New Impact	Substantially Mitigated by Uniformly Applicable Development Policies
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan, or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project Design Features

None

Standard Conditions/Existing Plans, Programs, or Policies

General Plan 2025 Policies

- OS-1.1 • OS-1.3 • OS-1.7 • OS-1.10
- OS-1.2 • OS-1.4 • OS-1.8

California Surface mining and Reclamation Act of 1975 (SMARA)

Applicable Mitigation Measures:

No Certified EIR mitigation measures were required.

No project-specific mitigation measures are required as a result of the Proposed Project.

a) Would the project result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with mineral resources would be less than significant.

All the candidate sites are located within MRZ-4 areas; however, these areas do not have enough information available to determine the presence or absence of mineral deposits. Project implementation is not anticipated to result in the loss of availability of a known mineral resource that would be of value to the region and the State’s residents given most of the candidate sites

are fully improved and situated within urban areas. Further there are no mines located within the City. (Certified EIR, pp. 7-22 – 7-23)

Impacts Associated with the Proposed Project

Less Than Significant: As indicated in the Certified EIR this site is located within MRZ-4 areas; however, these areas do not have enough information available to determine the presence or absence of mineral deposits. Further there are no mines located within the City. Implementation of the Proposed Project is not anticipated to result in the loss of availability of a known mineral resource that would be of value to the region and the State’s residents given most that the Project Site is situated within urban areas.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with mineral resources that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

b) Would the project result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan, or other land use plan?

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with locally important mineral resources would be less than significant.

Given most of the candidate sites are fully improved and situated within urban areas the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan is unlikely. (Certified EIR, p. 7-23)

Impacts Associated with the Proposed Project

Less Than Significant: The Project Site is situated in an urban area, and implementation of the Proposed Project would not result in the loss of locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with locally important mineral resources that were not identified in the Certified EIR. No further study is needed, and no mitigation measures would be required.

Source:

City of Riverside, *2014-2021 Housing Element Updated Housing Implementation Plan Environmental Impact Report, Final December 2017*. (Available at <https://riversideca.gov/cedd/planning/city-plans/general-plan-0> , accessed March 2020.)

5.4.12 Noise

Would the project result in:	Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed in the Certified EIR; No New Impact	Substantially Mitigated by Uniformly Applicable Development Policies
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies??	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Result in exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Result in a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) For a project within the vicinity of a private airstrip, would the Project expose people residing or working in the Project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project Design Features

PDF NOI-1: The Property Owner/Developer shall require that the pool and spa area to closed between the hours of 10 PM and 7 AM every day of the week. The pool and spa hours shall be specified in all lease agreements as well as posted at every entrance to the pool and spa area.

PDF NOI-2: The Property Owner/Developer shall modify existing block wall along residential uses. The wall shall have a minimum height of 6 feet above finish surface on both sides and it shall be painted and reconstructed at certain portions, as needed.

Standard Conditions/Existing Plans, Programs, or Policies

General Plan 2025 Policies

- N-1.1
- N-1.2
- N-1.3
- N-1.4
- N-1.5
- N-1.8
- N-2.1
- N-2.2
- N-2.5
- N-3.1
- N-3.3

Non-Applicable Mitigation Measures

Certified EIR Mitigation Measure	Non-Applicability Justification
<p>MM NOI-3: To avoid impacts to vibration sensitive land uses (i.e., non-engineered timber and masonry buildings) located within a 50-foot radius of pile driving activities, prior to demolition, grading, or building permit approval, the following measures shall be specified on the project plans and implemented during construction:</p> <ul style="list-style-type: none"> • Pile driving within a 50-foot radius of vibration sensitive land uses shall utilize alternative installation methods (e.g., pile cushioning, jetting, predrilling, cast-in-place systems, resonance-free vibratory pile drivers) such that vibration velocities from the alternative construction activity would fall below the 0.2 the inch/second threshold. • The preexisting condition of all vibration sensitive land uses within a 50-foot radius of proposed pile driving shall be documented during a preconstruction survey. The preconstruction survey shall determine conditions that exist before construction begins for use in evaluating damage caused by pile driving, if any. Fixtures and finishes susceptible to damage and within a 50-foot radius of pile driving shall be documented (photographically and in writing) prior to demolition, grading, or building permit approval. 	<p>The Proposed Project's construction activities do not include pile driving.</p>

Certified EIR Mitigation Measure	Non-Applicability Justification
All damage shall be repaired/restored to its preexisting condition.	

Applicable Mitigation Measures

No project-specific mitigation measures are required as a result of the Proposed Project.

GP FPEIR Mitigation Measure	Applicability Justification
<p>MM NOI-1: To reduce construction-related noise impacts, Project applicants shall require construction contractors to implement a site-specific Noise Reduction Program, which includes the following measures, ongoing through demolition, grading, and/or construction:</p> <ul style="list-style-type: none"> • Equipment and trucks used for project construction shall utilize the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures, and acoustically attenuating shields or shrouds), wherever feasible. • Impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for construction shall be hydraulically or electronically powered wherever possible to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler shall be used (this muffler can lower noise levels from the exhaust by up to approximately 10 dBA). External jackets on the tools themselves shall be used where feasible (this can achieve an approximately 5.0-dBA reduction). Quieter procedures shall be used, such as drills rather than impact equipment, whenever feasible. • Stationary construction-related noise sources shall be located as far from adjacent receptors as possible, and they shall be muffled and incorporate insulation barriers, or other measures to the extent feasible. 	<p>The Proposed Project’s construction related noise would be reduced to less than significant impacts with the implementation of Certified EIR MM NOI-1.</p>
<p>MM NOI-2: Prior to demolition, grading, or building permit approval, the project applicant shall submit to the Community & Economic Development Department a list of measures to respond to and track complaints pertaining to construction noise, ongoing throughout demolition, grading,</p>	<p>The Proposed Project’s construction related noise would be reduced to less than significant impacts with the</p>

GP FPEIR Mitigation Measure	Applicability Justification								
<p>and/or construction. These measures shall include the following:</p> <ul style="list-style-type: none"> • A procedure and phone numbers for notifying the Community & Economic Development Department and Police Department (during regular construction hours and off-hours); • A requirement for a sign to be posted on-site specifying the permitted construction days and hours and complaint procedures, and who to notify in the event of a problem. The sign shall also include a listing of both the City and • A requirement for a preconstruction meeting to be held with the job inspectors and general contractor/on-site Project manager to confirm that noise measures and practices (including construction hours, neighborhood notification, posted signs, etc.) are completed. 	<p>implementation of Certified EIR MM NOI-2.</p>								
<p>MM NOI-4: Traffic and Stationary Source Noise Impacts. Prior to demolition, grading, or building permit approval, an Operational Noise Assessment shall be prepared for multi-family residential projects that would result in the following:</p> <ul style="list-style-type: none"> • Existing Plus Project and Future Plus Project Traffic Noise Impacts: A permanent increase in ambient noise levels of 3.0 dB or greater and a noise level that would exceed the following applicable Riverside Municipal Code Title 7 interior/exterior noise standards at the noise sensitive receptor (or those in place at the time of the development application). • Stationary Noise Impacts: A noise level that would exceed the following applicable Riverside Municipal Code Title 7 interior/exterior noise standards at the noise sensitive receptor (or those in place at the time of the development application). <p>Future development would be required to mitigate noise impacts for compliance with RMC Title 7 noise standards.</p>	<p>An Operational Noise Assessment was prepared for the Proposed Project. The Noise Assessment concluded that the Proposed Project would not exceed RMC Title 7 Noise Standards.</p>								
<table border="1"> <thead> <tr> <th data-bbox="203 1698 477 1749" rowspan="2">Land Use</th> <th colspan="2" data-bbox="477 1698 989 1749">RMC Title 7 Noise Standards</th> </tr> <tr> <th data-bbox="477 1749 732 1787">Interior</th> <th data-bbox="732 1749 989 1787">Exterior</th> </tr> </thead> <tbody> <tr> <td data-bbox="203 1787 477 1862">Residential</td> <td data-bbox="477 1787 732 1862">35 dBA (10 PM to 7 AM)</td> <td data-bbox="732 1787 989 1862">45 dBA (10 PM to 7 AM)</td> </tr> </tbody> </table>	Land Use	RMC Title 7 Noise Standards		Interior	Exterior	Residential	35 dBA (10 PM to 7 AM)	45 dBA (10 PM to 7 AM)	
Land Use		RMC Title 7 Noise Standards							
	Interior	Exterior							
Residential	35 dBA (10 PM to 7 AM)	45 dBA (10 PM to 7 AM)							

GP FPEIR Mitigation Measure			Applicability Justification
	45 dBA (7 AM to 10 PM)	55 dBA (7 AM to 10 PM)	
Office/Commercial	N/A	65 dBA (any time)	
Industrial	N/A	70 dBA (any time)	
Community Support	N/A	60 dBA (any time)	
Public Recreation Facility	N/A	65 dBA (any time)	
Non-urban	N/A	70 dBA (any time)	
School	N/A	N/A	
Hospital	N/A	N/A	
Source: City of Riverside Municipal Code Title 7, Noise Control.			

- a) **Would the project result in exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?**
- b) **Would the project result in a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?**

Summary of Impacts in the Certified EIR

Less Than Significant with Mitigation: The Certified EIR determined that impacts associated with temporary (construction) noise levels in excess of standards would be less than significant with implementation of Certified EIR **MM NOI-1** and **MM NOI-2**, as well as compliance with RMC Section 7.35.020(G) requirements.

All construction activities associated with future development would be subject to compliance with RMC Title 7. According to RMC Section 7.35.020(G), noise sources associated with construction, repair, remodeling, or grading of any real property are exempt from the noise standards provided: a permit has been obtained from the City as required; and said activities do not take place between the hours of 7:00 PM and 7:00 AM on weekdays, between the hours of 5:00 PM and 8:00 AM on Saturdays, or at any time on Sunday or a federal holiday. Further, GP 2025 Policy N-1.3 requires compliance with the Riverside Noise Ordinance (RMC Title 7) to ensure that noise emanating from construction activities and stationary noise sources (as well as from private developments/residences and special events) are minimized. Compliance with RMC Title 7 (i.e., RMC Section 7.35.020) would ensure construction-related noise impacts are less than significant. Further implementation of Certified EIR **MM NOI-1** and **MM NOI-2** would ensure no impact would occur to adjacent noise-sensitive receptors. Compliance with proposed Certified EIR **MM NOI-1** would minimize construction noise associated with future development through use of site-specific noise reduction features. Specifically, Certified EIR **MM NOI-1** requires the use of the best available noise control techniques, as well as alternatives to pneumatic power tools.

The Certified EIR **MM NOI-2** requires compliance with a list of measures to respond to and track complaints associated with construction noise. (Certified EIR, pp. 4.7-13 – 4.7-16)

Impacts Associated with the Proposed Project

Less Than Significant: Construction activities for the Proposed Project are anticipated to include demolition, grading, building construction, and application of architectural coatings. Noise impacts from construction activities associated with the Proposed Project would be a function of the noise generated by construction equipment, equipment location, sensitivity of nearby land uses, and the timing and duration of the construction activities. The nearest sensitive receptors to the Project Site are single family residences and a mobile home park located adjacent north and west of the Project Site, respectively. Additionally, there is a private school adjacent west of the Project Site.

Construction activities related with the Proposed Project would be short-term, and construction related noise would cease to occur after construction is completed. Section 7.35.020 of the RMC exempts noise sources associated with construction, repair, remodeling, or grading of any real property from the noise standards, provided (1) a permit has been obtained from the City as required; and (2) said activities do not take place between the hours of 7:00 PM and 7:00 AM on weekdays, between the hours of 5:00 PM and 8:00 AM on Saturdays, or at any time on Sunday or a federal holiday. As required, the Property Owner/Developer would obtain a permit from the City and construction activities associated with the Proposed Project would occur during the allowable hours as detailed in Section 7.35.020 of the Municipal Code. To further reduce construction related impacts to adjacent noise-sensitive receptors, the Proposed Project would implement Certified EIR **MM NOI-1** and **MM NOI-2**. Therefore, with implementation of Certified EIR **MM NOI-1** and **MM NOI-2**, potential impacts associated with temporary (construction) noise levels in excess of standards would be less than significant.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with temporary (construction) noise levels in excess of standards that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

c) **Would the project result in the exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?**

Summary of Impacts in the Certified EIR

Less Than Significant with Mitigation: The Certified EIR determined that impacts associated with groundborne vibration or groundborne noise levels would be less than significant with implementation of Certified EIR **MM NOI-3**, **MM CUL-2**, and **MM CUL-3**.

Operational activities associated with the future implementing projects were not anticipated to generate excessive groundborne vibration or groundborne noise. However, construction activities would have the potential to generate groundborne vibration and noise.

The groundborne vibration generated during construction activities would primarily impact vibration sensitive land uses (i.e., non-engineered timber and masonry buildings) located adjacent to or within the vicinity of specific projects. The force of vibrations reaching an adjacent structure would depend upon several variables, including the activity generating the vibrations, the distance between the source and the existing structure, and the type of soil or pavement found between the two. The Federal Transit Administration (FTA) standards for architectural damage criterion for continuous vibrations is 0.2 inch/second at distances of 50 feet, and 0.5 inch/second at 25 feet. Typical heavy construction equipment operations at 25 feet and 50 feet from the activity source would generally not exceed either criterion, except for pile driving activities. Some candidate sites are located adjacent to previously recorded historic resources (see Certified EIR **MM CUL-2** and **MM CUL-3**) therefore Certified EIR **MM NOI-3** requires that the preexisting condition of all buildings within a 50-foot radius of proposed construction activities that involve pile driving be evaluated during a preconstruction survey, and that alternative methods be utilized.

Residential and commercial mixed uses are not anticipated to generate excessive groundborne vibration or groundborne noise. Future development would not involve railroads or substantial heavy truck operations, and therefore would not result in vibration impacts at surrounding uses. (Certified EIR, pp. 4.7-16 – 4.7-19)

Impacts Associated with the Proposed Project

Less Than Significant: As described in the Certified EIR, residential and commercial mixed uses, like the Proposed Project, would not generate excessive groundborne vibration or noise and operational impacts would be less than significant.

Vibration impacts from construction activities would typically be created from the operation of heavy construction equipment such as bulldozers and pile drivers. FTA standards for architectural damage criterion for continuous vibrations is 0.2 inch/second at distances of 50 feet, and 0.5 inch/second at 25 feet. A bulldozer would typically emanate vibration at 0.089 inches/second at 25 feet and would not exceed FTAs threshold. However, a pile driver would typically emanate vibration at 0.644 inches/ second at 25 feet which would exceed FTAs threshold. Although the Project Site is adjacent to sensitive land uses, construction activities would not require the use of pile drivers. Construction activities would not generate excessive groundborne vibration or noise.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with groundborne vibration or groundborne noise levels that were not identified in

the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- d) **Would the project result in exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?**
- e) **Would the project result in a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?**

Summary of Impacts in the Certified EIR

Significant and Unavoidable After Implementation of Mitigation: The Certified EIR determined that impacts associated with permanent (operational) noise levels in excess of standards would be significant and unavoidable. A statement of overriding considerations was prepared and adopted.

Future development would generate increased traffic noise impacts near the candidate sites area and surrounding roadways. Under Existing Plus Project Conditions and Future Plus Project Conditions, traffic noise impacts are likely to exceed the “normally acceptable” land use compatibility thresholds along Van Buren Boulevard and Alessandro Boulevard and Van Buren Boulevard (north of Jurupa Avenue).

Future development would be subject to compliance with relevant GP 2025 policies (i.e., Policy N-1.2, N-1.5, and N-2.1) intended to mitigate potential traffic noise impacts and RMC Title 7, which sets forth interior and exterior noise standards for specific land uses and zoning. Compliance with these measures would minimize operational noise and traffic noise impacts, under Existing Plus Project Conditions and Future Plus Project Conditions. However, there are project-level variabilities and uncertainties concerning locations, detailed site plans, etc., among other factors, which are presently unknown. Since these parameters can vary so widely (and Project development would occur over time dependent upon market demand, economic, and planning considerations, among other factors), traffic noise impacts under Existing Plus Project Conditions and Future Plus Project Conditions would remain significant and unavoidable after implementation of mitigation. (Certified EIR, pp. 4.7-19 – 4.7-26)

Impacts Associated with the Proposed Project

A Noise Impact Analysis was completed to determine potential impacts to noise associated with the development of the Proposed Project (Appendix K - *Noise Impact Report, Magnolia Flats Mixed-Use Project, City of Riverside*, Vista Environmental, April 2020).

Less Than Significant: In compliance with **MM NOI-4**, a noise assessment was prepared for the Proposed Project and determined that the Proposed Project would not generate noise levels in excess of City standards nor would it substantially increase noise levels above existing ambient levels. The following section discusses long-term operations of the Proposed Project and compares the noise levels to the City standards.

Project Generated Roadway Vehicular Noise Impacts to Offsite Sensitive Receptors

Vehicle noise is a combination of the noise produced by the engine, exhaust, and tires. The level of traffic noise depends on three primary factors (1) the volume of traffic, (2) the speed of traffic, and (3) the number of trucks in the flow of traffic. The Proposed Project does not propose any uses that would require a substantial number of truck trips nor would it alter the speed limit on any existing roadway. The Proposed Project’s potential offsite noise focused on the noise impacts associated with the change of volume of traffic that would occur with development of the Proposed Project.

As discussed in the Certified EIR, future implementing projects would result in significant noise impacts if traffic noise levels at sensitive uses exceed the City’s noise standards, as described in RMC Title 7, and result in a permanent increase in ambient noise levels of 3.0 dBA.

The potential offsite traffic noise impacts created by the on-going operations of the Proposed Project have been analyzed through utilization of the Federal Highway Administration (FHWA) model and parameters described in Appendix K, Section 5. The Proposed Project’s offsite traffic noise impacts have been calculated through a comparison of the existing year scenario to the existing year with project scenario.

Existing Year Conditions

The Proposed Project’s potential offsite traffic noise impacts have been calculated through a comparison of the Existing scenario to the Existing with Project scenario. The results of this comparison are shown in Table 5 - *Existing Year Project Traffic Noise Contributions*.

Table 5 – Existing Year Project Traffic Noise Contributions

Roadway	Segment	dBA CNEL at Nearest Receptor ¹			Exceeds +3 dBA Threshold ²
		Existing No Project	Existing Plus Project	Project Contribution	
Polk Street	North of Magnolia Avenue	62.4	62.5	0.1	No
Polk Street	South of Magnolia Avenue	60.6	60.7	0.1	No
Banbury Drive	South of Magnolia Avenue	55.6	55.8	0.2	No
Magnolia Avenue	West of Polk Street	64.4	64.6	0.2	No
Magnolia Avenue	West of Banbury Drive	64.7	65.0	0.3	No
Magnolia Avenue	East of Banbury Drive	58.3	58.5	0.2	No

Notes:
¹ Distance to nearest residential use shown in Table B, Appendix K, does not consider existing noise barriers.
² Threshold from Certified EIR and MM NOI-4
Source: FHWA Traffic Noise Prediction Model FHWA-RD-77-108.

Table 5 shows that for the existing year conditions, the Proposed Project’s permanent noise increases to the nearby homes from the generation of additional vehicular traffic would not exceed the noise increase thresholds. The Proposed Project would not result in a substantial permanent increase in ambient noise levels for the existing year conditions. Therefore, potentially significant noise impacts associated with existing year conditions would be less than significant.

Traffic Noise Impacts onto the Proposed Residential Apartment Units

The potential roadway traffic noise impacts to the proposed residential apartment units have been analyzed through utilization of the same FHWA model used for the offsite traffic noise analysis. The Certified EIR, and more specifically the Certified EIR **MM NOI-4**, states that the noise level at the proposed residential apartment units cannot exceed the residential interior and exterior noise standards provided in the RMC Title 7. However, RMC Section 7.35.020(C) states that Federal or State preempted activities, such as noise created from public roadways, are exempt from provisions of RMC Title 7. Potential roadway traffic noise impacts to the proposed residential apartment units would be considered less than significant.

However, this is a unique project, where the nearest roadway (Magnolia Avenue) is located 500 feet from the nearest proposed residential unit, which results in a very low roadway noise impact to the proposed residential apartment units. The roadway noise impacts to the proposed residential units were analyzed solely for informative purposes. Table 6 – *Roadway Noise Impacts to the Proposed Residential Units* shows the roadway noise impacts from Magnolia Avenue to the proposed residential units. The City does not provide a standard exterior to interior noise reduction rate to calculate the interior noise levels, therefore the standard exterior to interior noise reduction rate from the County of Riverside General Plan was used. This rate details standard architecture with no additional noise attenuation features and provides a minimum of 20 dB noise reduction.

Table 6 – Roadway Noise Impacts to the Proposed Residential Units

Roadway	Segment	Exterior Noise ¹ (dBA Leq)		Interior Noise ¹ (dBA Leq)	
		Day (7 AM to 10 PM)	Night (10 PM to 7 AM)	Day (7 AM to 10 PM)	Night (10 PM to 7 AM)
Magnolia Avenue	East of Banbury Drive	51.1	45.0	31.1	25.0
	Title 7 Noise Standards ²	55	45	45	35
	Exceed Standard?	No	No	No	No

Notes:
¹ Exterior noise based on the proposed residential units located as near as 500 feet from Magnolia Avenue centerline, does not consider shielding provided by existing and proposed structures.
² Interior noise is based on 20 dBA of noise reduction per County of Riverside General Plan for standard architecture.
² Threshold from Certified DEIR, MM NOI-4.
Source: FHWA Traffic Noise Prediction Model FHWA-RD-77-108.

Table 6 shows that the exterior and interior noise levels for the proposed apartment units from roadway noise impacts would be within the RMC Title 7 noise standards, however as previously stated, this is provided for informational purposes only as the RMC Title 7 noise standards do not apply to roadway noise impacts.

Project Generated Onsite Noise Impacts to Offsite Sensitive Receptors

The operation of the Proposed Project may create an increase in onsite noise levels from noise created from the proposed rooftop mechanical equipment, dog park, tot lot, pool and spa area, truck deliveries, outdoor dining, and parking lot areas. The exterior residential noise levels, as

identified in the RMC Title 7 Section 7.25.010, are 55 dBA during the daytime and 45 dBA during the nighttime.

In order to determine the noise impacts from the rooftop mechanical equipment, dog park, tot lot, pool and spa area, truck deliveries, outdoor dining and parking lot areas reference noise measurements were taken of each noise source and are shown in Table 7 – *Project Operational Noise Levels at the Adjacent Residential*, which also shows the anticipated noise level from each source at the nearest off-site receptors. The operational reference noise measurements and sound wall noise reduction calculations are shown in Appendix K (see Appendix E).

Table 7 – Project Operational Noise Levels at the Adjacent Residential

Location	At Single-Family Homes Property Line to North		At Mobile Homes Property Line to West		At Nearest Proposed Residential Unit	
	Distance (feet)	Noise Level ¹ (dBA Leq)	Distance (feet)	Noise Level ² (dBA Leq)	Distance (feet)	Noise Level ² (dBA Leq)
Rooftop Equipment ³	270	11	80	25	20	40
Dog Park ⁴	45	36	55	34	220	19
Tot Lot ⁵	25	41	355	13	220	18
Pool and Spa Area ⁶	550	20	300	27	50	54
Truck Delivery ⁷	350	21	100	34	50	42
Outdoor Dining ⁸	1,040	--	260	12	340	9
Parking Lot ⁹	30	25	5	43	25	27
Combined Noise from all Sources		43	--	44		54
City Noise Standards (Day/Night)		55/45		55/45		55/45
Exceed City Noise Standard?		No/No		No/No		No/Yes
Notes:						
¹ The calculated noise levels account for the noise reduction provided by the existing 6-foot high wall on the west property line and the proposed 4-foot parapet wall on the roof for the Rooftop Equipment Appendix K (see Appendix G).						
² The calculated noise levels account the noise reduction provided by the existing 6-foot high wall on the south property line and the 4-foot parapet wall on the roof for the Rooftop Equipment Appendix K (see Appendix G).						
³ The rooftop equipment was based on a noise measurement 10 feet from an operational rooftop HVAC unit that measured 66.6 dBA Leq.						
⁴ The dog park was based on a noise measurement as near as 10 feet from dogs at Laguna Beach Dog Park that measured 60.2 dBA Leq.						
⁵ The tot lot was based on a noise measurement as near as 5 feet from children playing at a tot lot that measured 66.6 dBA Leq.						
⁶ The pool and spa area were based on a noise measurement as near as 15 feet from a pool area with 50 people that measured 66.6 dBA Leq.						
⁷ The truck delivery was based on a noise measurement 30 feet from a truck unloading that produced a noise level of 54.8 dBA Leq.						
⁸ The outdoor dining was based on a noise measurement at the edge of an outdoor restaurant that produced a noise level of 62.6 dBA Leq.						
⁹ The parking lot was based on a 24-hour measurement at the edge of an apartment complex parking lot that produced a noise level of 52.1 dBA Leq.						
Source: Noise calculation methodology from Caltrans, 2013.						

Table 7 shows that the combined noise levels from all onsite sources occurring simultaneously would be as high as 43 dBA at the shared property line with the single-family homes to the west and as high as 44 dBA at the shared property line with the mobile homes to the south. The combined noise levels at the single-family homes to the west and mobile homes to the south would be within the RMC Title 7 Section 7.25.010 residential exterior noise standards of 45 dBA during the nighttime and 55 dBA during the daytime. The onsite stationary noise created from the Proposed Project at the single-family homes to the west and mobile homes to the south would be less than significant.

Table 7 also shows that the combined noise levels from all onsite sources occurring simultaneously would be as high as 54 dBA at the proposed residential apartment units, which would be within the RMC Title 7 Section 7.25.010 daytime residential exterior noise standard of 55 dBA. However, the combined noise levels would exceed the nighttime residential exterior noise standard of 45 dBA. The noise impacts to the proposed residential units would be primarily created from the pool and spa area. PDF NOI-1, which requires the pool and spa area to be closed during the nighttime hours of 10 PM to 7 AM daily, was incorporated in the noise analysis. With implementation of PDF NOI-1, the combined noise levels from all onsite noise sources would be reduced to 44 dBA, which is within the nighttime noise standard. Therefore, potential impacts associated with permanent (operational) noise levels in excess of standards would be less than significant and no mitigation would be required.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with permanent (operational) noise levels in excess of standards that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- f) **For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with airport noise levels would be less than significant.

The City is located within or near the Riverside Municipal Airport, Flabob Airport, and March Air Reserve Base Airport Land Use Plans. The northern portion of the City is affected by the Riverside Municipal Airport; however, no candidate sites are within the 60 CNEL noise contour. Flabob Airport is adjacent to the City, but none of its noise contours affect the City. Within the March Air Reserve Base contour map, the eastern portion of City is located within the 55, 60 and 65 dB CNEL contours. However, there are no candidate sites within the noise contour. Further, there are no private airstrips near the City. (Certified EIR, pp. 4.7-13 – 4.7-16)

Impacts Associated with the Proposed Project

Less Than Significant: As indicated in the Certified EIR, the Project Site, Candidate Site W6G1S01, is not located within the noise contours of the Riverside Municipal Airport, Flabob Airport, and March Air Reserve Base Airport Land Use Plans. Further, there are no private airstrips within the City. Therefore, potential impacts associated with excessive airport noise levels would be less than significant and no mitigation would be required.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with excessive airport noise levels that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

g) For a project within the vicinity of a private airstrip, would the Project expose people residing or working in the Project area to excessive noise levels?

Summary of Impacts in the Certified EIR

No Impact: The Certified EIR determined that no impacts would occur associated with private airstrip noise levels. There are no private airstrips within the City. (Certified EIR, pp. 7-14 – 7-15)

Impacts Associated with the Proposed Project

No Impact: As indicated in the Certified EIR, the Project site not within vicinity of a private airstrip. Therefore, no potential impacts associated with private airstrip noise levels would occur.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with private airstrip noise levels that were not identified in the Certified EIR. Therefore, no potential impacts would occur, and no mitigation would be required.

Source:

City of Riverside, *2014-2021 Housing Element Updated Housing Implementation Plan Environmental Impact Report, Final December 2017*. (Available at <https://riversideca.gov/cedd/planning/city-plans/general-plan-0> , accessed March 2020.)

5.4.13 Population and Housing

Would the project:	Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed in the Certified EIR; No New Impact	Substantially Mitigated by Uniformly Applicable Development Policies
a) Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project Design Features

None

Standard Conditions/Existing Plans, Programs, or Policies

General Plan 2025 Policies

- AQ-1.5
- AQ-1.6
- AQ-1.7
- AQ-1.12
- AQ-1.18
- AQ-1.20
- AQ-1.26
- H-1.1
- H-1.2
- H-2.1
- H-2.4
- LU-8.1
- LU-8.3
- LU-9.3
- LU-9.4
- LU-9.5
- LU-9.6
- LU-9.7
- LU-10.1
- LU-10.2
- LU-25.4

Applicable Mitigation Measures:

No Certified EIR mitigation measures were required.

No project-specific mitigation measures are required as a result of the Proposed Project.

- a) **Would the project substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with unplanned population growth would be less than significant. Future development on candidate sites would not be growth-inducing with respect to removing an impediment to growth (i.e., establishing an essential public service or through providing new access to the area) or through encroaching on an isolated area of open space. However, the Project is considered growth-inducing with respect to fostering economic and population growth and establishing a precedent-setting action.

SCAG is responsible for developing and adopting growth forecasts for Riverside County (County), among others. As discussed previously, future development on candidate sites implementation would exceed SCAG's adopted growth forecasts. At the regional level, the emphasis regarding growth has been placed primarily on achieving a balance of employment and housing opportunities within the subregions. This regional concept, referred to as jobs/housing balance, encourages the designation and zoning of enough vacant land for residential uses with appropriate standards to ensure adequate housing is available to serve the needs derived from the local employment base. The jobs/housing ratio can be used as the general measure of balance between a community's employment opportunities and the housing needs of its residents. A ratio of 1.0 or greater generally indicates that a City provides adequate employment opportunities, potentially allowing its residents to work within the City. A desirable jobs/housing balance improves regional mobility (traffic), reduces vehicle miles traveled, and improves air quality. Conversely, imbalance between a City's jobs and housing increases commutes, with resultant increases in traffic volumes and air emissions, and overall reduces the quality of life.

The City's current jobs/housing ratio is approximately 1.19, indicating the City is currently job rich with enough employment opportunities for its residents to potentially work within the City. The future development on candidate sites is anticipated to increase the Planning Area's housing stock by approximately 12 percent (11,649 DU) and employment by 14 percent (13,581 jobs) over existing conditions, resulting in a forecast jobs/housing ratio of approximately 1.19. The future development on candidate sites would not change the City's jobs/housing balance. City residents who currently commute to work in Riverside, Los Angeles, or San Bernardino Counties could potentially seek work in the City due to the availability of approximately 13,581 new jobs. Therefore, the future development on candidate sites would not impact the City's jobs/housing balance, since the jobs/housing ratio would remain the same, when compared to existing conditions.

Additionally, the GP 2025 accounts for increased growth and establishes policies to reduce its potential growth-related impacts. All future development with growth-inducing potential would be subject to compliance with GP 2025 policies outlined in DEIR Section 4.7, Land Use and Planning. It is also noted that the forecast household and population growth would occur incrementally through 2025, allowing for development of necessary services and infrastructure commensurate with the proposed growth. (Certified EIR, pp. 5-2 – 5-9)

Impacts Associated with the Proposed Project

Less Than Significant: The Proposed Project involves the consolidation of three parcels into two lots and demolition of the existing improvement on the Project Site (Candidate Site W6G1S01), to construct a mixed-use development with a four-story 450-unit residential building and two commercial/retail buildings totaling approximately 9,000 SF. The density and floor-area ratio (FAR) proposed for the Project Site would be consistent with the existing land use designation and zoning classification. Additionally, the Proposed Project does not extend infrastructure beyond what is required to adequately serve the Project Site.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with unplanned growth were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- b) **Would the project displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?**
- c) **Would the project displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with displacing housing and people would be less than significant.

There are approximately 66 DU and approximately 1.33 million SF of non-residential land uses located on the candidate sites. These existing uses would be replaced by the future development (i.e., residential and mixed uses). Future development occurring on the candidate sites would displace both housing and people. However, the future development occurring on the candidate sites would increase residential and mixed-use opportunities within the City by allowing higher densities/intensities than are currently permitted under existing zoning. This would result in a net increase of as many as 11,649 DU and as much as 5.9 million SF of nonresidential uses over existing conditions and would not necessitate construction of replacement housing elsewhere. (Certified EIR, pp. 7.23 – 7.24)

Impacts Associated with the Proposed Project

No Impact: The mixed-use development at the Project Site would be developed on a vacant underutilized site and would not require the removal of existing housing or people.



Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects related displacement of housing or people that were not identified in the Certified EIR. Therefore, no potential impacts would occur, and no mitigation would be required.

Source:

City of Riverside, *2014-2021 Housing Element Updated Housing Implementation Plan Environmental Impact Report, Final December 2017*. (Available at <https://riversideca.gov/cedd/planning/city-plans/general-plan-0> , accessed March 2020.)

5.4.14 Public Services

Would the project:	Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed in the Certified EIR; No New Impact	Substantially Mitigated by Uniformly Applicable Development Policies
a) Result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:						
i. Fire protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii. Police protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii. Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iv. Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
v. Other public facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project Design Features

None

Standard Conditions/Existing Plans, Programs, or Policies

General Plan 2025 Policies

- CCM-8.1
- CCM-8.2
- CCM-10.1
- CCM-10.2
- CCM-10.4
- CCM-10.5
- CCM-10.7
- CCM-10.8
- CCM-10.9
- CCM-10.10
- CCM-10.12
- ED-1.1
- ED-3.1
- ED-5.1
- ED-5.2
- LU-26.1
- OS-1.5
- OS-1.8
- OS-1.9
- OS-1.11
- OS-7.1
- OS-7.4
- PF 5.3
- PF-8.3
- PF-10.4
- PR-1.1
- PR-1.2
- PR-1.3
- PR-1.4
- PR-1.5
- PR-2.2
- PR-2.3
- PR-2.4
- PR-2.6
- PR-3.1
- PR-3.3
- PR-3.4
- PR-3.5
- PS-6.1
- PS-6.2
- PS-6.3
- PS-6.4
- PS-6.5
- PS-6.6
- PS-6.7
- PS-6.9
- PS-7.1
- PS-7.2

- PS-7.5
- PS-8.1
- PS-8.2
- PS-8.3
- PS-8.4
- PS-8.5
- PS-10.1
- PS-10.3
- PS-10.4

RMC (Chapter 16.32 Fire Protection; Chapter 16.52 Development Fees for Fire Station; Chapter 16.56, School Development Fee; Chapter 16.76, Trails Development Fee)

California Code of Regulations Title 24, Parts 2 and 9, Fire Codes

California Public Resources Code Sections 4290-4299 and General Code Section 51178

City of Riverside Library Parcel Tax, Measure I (November 2011)

Non-Applicable Mitigation Measures

GP FPEIR Mitigation Measure	Non-Applicability Justification
MM REC-2: The City shall re-evaluate Park Development Impact Fees on an annual basis to ensure that the fees collected from new development appropriately pay for the development of required park acreage.	This mitigation measure is the responsibility of the City.

Applicable Mitigation Measures

No project-specific mitigation measures are required as a result of the Proposed Project.

GP FPEIR Mitigation Measure	Applicability Justification
MM REC-1: Future development shall provide developed parks or pay applicable Park Development Impact Fees to the City of Riverside Parks, Recreation, and Community Services Department prior to demolition, grading, or building permit approval.	Park Development Fees would be paid as part of the Proposed Project.

- a) **Would the Project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:**

- i. **Fire**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with fire protection services would be less than significant.

Future development would increase demand for fire protection services over time. Future development buildout would occur incrementally through 2025, based on market conditions and other factors, such that fire protection facilities are not overburdened by substantially increased

demands at any single point in time. However, future development on candidate sites does not propose new or physically altered fire protection facilities or create a demand for new or physically altered fire protection facilities, the construction of which could cause significant environmental impacts. No impact would occur in this regard. Any future expansion of existing fire protection facilities, if required, would be subject to environmental review under CEQA requirements. Payment of development fees for fire stations (i.e., RMC Chapter 16.52), as required, and continued compliance with GP 2025 Policies PS-6.1 through PS-6.7, PS-6.9, PS-10.1, PS-10.3, PS-10.4, and LU-26.1 would ensure the increased demand for fire protection services associated with future development would be met. (Certified EIR, pp. 4.8-18 – 4.8-19)

Impacts Associated with the Proposed Project

Less Than Significant: The Proposed Project’s residential intensity is the same residential intensity analyzed in the Certified EIR. Additionally, as required by RMC Chapter 16.52, the Proposed Project would pay for fire stations development fees.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects related fire protection services that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

ii. Police Protection

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with police protection services would be less than significant.

Future development would increase demand for police protection services over time. Future development buildout would occur incrementally through 2025, based on market conditions and other factors, such that Riverside Police Department (RPD) facilities are not overburdened by substantially increased demands at any single point in time. However, future development on candidate sites does not propose new or physically altered police protection facilities or create a demand for new or physically altered police protection facilities, the construction of which could cause significant environmental impacts. No impact would occur in this regard. Any future expansion of existing police protection facilities, if required, would be subject to environmental review under CEQA requirements. Compliance with relevant GP 2025 policies (i.e., GP Policies PS-7.1 to PS-7.5, PS-8.1 to PS-8.5, PS-10.1, PS-10.3, and LU-26.1) would ensure adequate police protection services are available to serve future development. (Certified EIR, pp. 4.8-19 – 4.8-22)

Impacts Associated with the Proposed Project

Less Than Significant: The Certified EIR determined that future development on candidate sites, consistent with the same intensity analyzed, would have a less than significant impacts to police protection services. The Proposed Project would be within the intensity previously analyzed in the Certified EIR.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects related police protection services that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

iii. Schools

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with schools would be less than significant.

Future development would increase demand for school services over time. Future development buildout would occur incrementally through 2025, based on market conditions and other factors, such that Riverside Unified School District (RUSD) and Alvord Unified School District (AUSD) facilities are not overburdened by substantially increased demands at any single point in time. However, future development on candidate sites does not propose new or physically altered school facilities or create a demand for new or physically altered school facilities, the construction of which could cause significant environmental impacts. No impact would occur in this regard. Any future expansion of existing school facilities, if required, would be subject to environmental review under CEQA requirements. Payment of development fees for school facilities (i.e., RMC Chapter 16.56, School Development Fee), as required, and continued compliance with GP 2025 Policies ED-1.1 and ED-3.1 would ensure the increased demand for school services associated with future development would be met. (Certified EIR, pp. 4.8-20 – 4.8-22)

Impacts Associated with the Proposed Project

Less Than Significant: The Proposed Project's residential intensity is the same residential intensity analyzed in the Certified EIR. As required by RMC Chapter 16.56, the Proposed Project would pay school development fees.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects related to schools that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

iv. Parks

Summary of Impacts in the Certified EIR

Less Than Significant with Mitigation: The Certified EIR determined that impacts associated with parks would be less than significant with implementation of mitigation measures GP FPEIR MM REC-1 and FPEIR MM REC-2 which require future development pay applicable Park Development Impact Fees to the City of Riverside Parks, Recreation and required the City to re-evaluate Park Development Impact Fees on an annual basis.

Future development must also comply with GP 2025 policies pertaining to parks and recreational facilities, including the following: GP 2025 Policies CCM-8.1, CCM- 8.2, CCM-10.1, CCM-10.2, CCM-10.4, CCM-10.5, CCM-10.7 through CCM-10.10, CCM-10.12, LU-26.1, PF-10.4, PR-1.1 through PR-1.5, PR-2.2 through PR-2.4, PR-2.6, PR-3.1, PR-3.3 through PR-3.5, OS-1.5, OS-1.8, OS-1.9, OS-1.11, Policy OS-7.1, and OS-7.4. Additionally, compliance with RMC Chapters 16.60 and 16.76 would ensure adequate parks and recreation facilities are available to serve the future implementing projects on candidate sites. (Certified EIR, pp. 4.7-23 – 4.7-25)

Impacts Associated with the Proposed Project

Less Than Significant: The Proposed Project involves the consolidation of three parcels into two lots and demolishing existing improvements on the Project Site, Candidate Site W6G1S01, to construct a mixed-use development with a four-story 450-unit residential building and two commercial/retail buildings totaling approximately 9,000 SF. On the northern portion of the Project Site, an approximate 67,473 SF park, North Park, would be constructed as a common open space amenity for residents. The park would include meandering walking trails, a tot lot, and a dog park. This park was designed with GP2025 policies in mind, including requiring open space linkages between development projects (OS-1.5), residential clustering (OS-1.8), open space and recreation sources (OS-1.9). Additionally, the Proposed Project would be required to pay the parkland dedication fee in accordance with RMC Chapter 16.60, Local Park Development Fees, and RMC Chapter 16.76, Trails Development Fee.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with parks that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

v. Other public facilities?

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with other public facilities such as libraries would be less than significant. Future development would increase demand for library services over time. Future development buildout would occur incrementally through 2025, based on market conditions and other factors, such that existing library facilities are not overburdened by substantially increased demands at any single point in time. However, the future development on candidate sites does not propose new or physically altered library facilities or create a demand for new or physically altered library facilities, the construction of which could cause significant environmental impacts. No impact would occur in this regard.

The City does not collect assessed development impact fees on the library's behalf. Instead library funding is achieved through the General Fund, trust funds, gift funds/ donations and library parcel tax. Any future expansion of existing library facilities, if required, would be subject to environmental review under CEQA requirements. Compliance with relevant GP 2025 policies (Policies ED-5.1 to 5.3, PF-8.3, and LU-26.1), and the City's continued collection of a parcel tax for libraries, would ensure adequate library facilities are available to serve future development. (Certified EIR, pp. 4.8-22 – 4.8-23)

Impacts Associated with the Proposed Project

Less Than Significant: The Proposed Project would generate an increased demand on library services, however, as indicated in the Certified EIR, that demand, which was analyzed in the Certified EIR, would be incremental and would not overburden the existing library facilities.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects related library services that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

Source:

City of Riverside, *2014-2021 Housing Element Updated Housing Implementation Plan Environmental Impact Report, Final December 2017*. (Available at <https://riversideca.gov/cedd/planning/city-plans/general-plan-0> , accessed March 2020.)

5.4.15 Recreation

Would the Project:	Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed in the Certified EIR; No New Impact	Substantially Mitigated by Uniformly Applicable Development Policies
a) Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project Design Features

None

Standard Conditions/Existing Plans, Programs, or Policies

See Section 5.4.14.(a.) iv.

Applicable Mitigation Measures:

See Section 5.4.14. (a).iv.

- a) **Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?**
- b) **Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?**

Summary of Impacts in the Certified EIR

Less Than Significant: See Section 5.4.14. (a).iv.

Impacts Associated with the Proposed Project

Less Than Significant: See Section 5.4.14. (a).iv.

Source:

City of Riverside, *2014-2021 Housing Element Updated Housing Implementation Plan Environmental Impact Report, Final December 2017.* (Available at <https://riversideca.gov/cedd/planning/city-plans/general-plan-0> , accessed March 2020.)

5.4.16 Transportation

Would the project:	Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed in the Certified EIR; No New Impact	Substantially Mitigated by Uniformly Applicable Development Policies
a) Conflict with program, plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with the Riverside County Congestion Management Plan, including but not limited to level of service standards and travel demand measures, or other standards established for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project Design Features

PDF TRAF-1: The Proposed Project includes bicycle parking near the commercial/retail area.

Standard Conditions/Existing Plans, Programs, or Policies

General Plan 2025 Policies

- CCM-1.1
- CCM-1.3
- CCM-2.1
- CCM-5.2
- CCM-1.2
- CCM-1.4
- CCM-2.3
- CCM-5.4



- CCM-6.1
- CCM 9.5
- CCM-10.7
- PR-2.3
- CCM-7.1
- CCM-9.8
- CCM-10.8
- PR-2.4
- CCM-9.1
- CCM-10.1
- CCM-10.10
- PS-10.4
- CCM-9.2
- CCM-10.2
- OS-1.11

RMC (Chapter 16.32.020, International Fire Code Adopted – Filed with City Clerk; Chapter 19.120, Mixed-Use Zones (MU-N, MU-V, MU-U)

County of Riverside Congestion Management Program

Non-Applicable Mitigation Measures

All Traffic-related mitigation measures in the Certified EIR are applicable to the Proposed Project.

Applicable Mitigation Measures:

No project-specific mitigation measures are required as a result of the Proposed Project.

Certified EIR Mitigation Measure	Applicability Justification
<p>MM TRA-1: Payment of Transportation Uniform Mitigation Fees (TUMF). To mitigate impacts to roadway levels of service and in accordance with RMC Chapter 16.68, Transportation Uniform Mitigation Fee, and specifically the provisions of RMC Section 16.68.060 concerning the procedures for the levy, collection, and disposition of fees, the project applicant shall pay the appropriate TUMF, to fund their proportionate fair share of the following roadway improvements:</p> <ul style="list-style-type: none"> • #4 - Arlington Avenue (between Magnolia Avenue and SR-91 Southbound Ramps). Widening of this roadway from four to six lanes (two additional lanes, one in each direction). This improvement shall account for the bikeway that exists along this roadway segment, in accordance with the City of Riverside Bicycle Master Plan, as well as the existing transit route. • #28 - Van Buren Boulevard (between Rudicill Street and Mockingbird Canyon Road). Widening of this roadway from four to six lanes (two additional lanes, one in each direction). This improvement shall account for the bikeway that is proposed along this roadway segment, in accordance with the City of Riverside Bicycle Master Plan, as well as the existing transit route. 	<p>The Project Applicant would comply with Certified EIR MM TRA-1 and pay appropriate TUMF.</p>

Certified EIR Mitigation Measure	Applicability Justification
<ul style="list-style-type: none"> • #29 - Van Buren Boulevard (between Mockingbird Canyon Road and Washington Street). Widened of this roadway from four to six lanes (two additional lanes, one in each direction). This improvement shall account for the bikeway that is proposed along this roadway segment, in accordance with the City of Riverside Bicycle Master Plan, as well as the existing transit route. • #30 - Van Buren Boulevard (between Washington Street and Wood Road). Widening of this roadway from four to six lanes (two additional lanes, one in each direction). This improvement shall account for the bikeway that exists along this roadway segment, in accordance with the City of Riverside Bicycle Master Plan, as well as the existing transit route. • #33 - Van Buren Boulevard (between Limonite Avenue and Jurupa Avenue). Widening of this roadway from four to six lanes (two additional lanes, one in each direction) <p>Cumulative/Future (2040) Plus Project Conditions</p> <ul style="list-style-type: none"> • #28 - Van Buren Boulevard (between Rudicill Street and Mockingbird Canyon Road). See mitigation described above. 	
<p>MM TRA-2: Traffic Operations Assessment. Prior to grading and/or building permit approval, a Traffic Operations Assessment shall be required for future development that results in any one of the following:</p> <ol style="list-style-type: none"> 1. Generates 100 or more new peak hour vehicle trips; 2. Does not conform with the City of Riverside’s Access Management Guidelines; 3. The project site is located within 1,000 feet of a roadway or intersection where three or more reported vehicular accidents have occurred in a 12-month period, or five or more reported vehicular accidents in a 24-month period, and where the installation of traffic controls or improvements could reduce vehicular accidents; or 4. The closest intersection, if greater than 1,000 feet from the project site, or segment of roadway between the project and the closest intersection, have had three or more reported vehicular accidents 	<p>A Traffic Operations Assessment was prepared for the Proposed Project and it concluded that traffic impacts associated with the Proposed Project would not exceed what was previously analyzed.</p>

Certified EIR Mitigation Measure	Applicability Justification
<p>in a 12-month period, or five or more reported vehicular accidents in a 24-month period, and where the installation of traffic controls or improvements could reduce vehicular accidents.</p>	
<p>MM TRA-3: Riverside County Congestion Management Program (CMP). Payment of Transportation Uniform Mitigation Fee (TUMF) shall be required prior to issuance of grading and/or building permits, which mitigates potentially significant traffic/circulation impacts to CMP facilities.</p>	<p>The Project Applicant would comply with Certified EIR MM TRA-3 and pay appropriate TUMF.</p>

- a) **Would the project conflict with an applicable plan, ordinance, or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?**

Summary of Impacts in the Certified EIR

Significant and Unavoidable After Implementation of Mitigation: The Certified EIR determined that impacts associated with conflicts with any program plan, ordinance or policy addressing the circulation system, including transit roadways, bicycle and pedestrian facilities would be significant and unavoidable even after implementation of Certified EIR **MM TRA-1** and **MM TRA-2**. A statement of overriding considerations was prepared and adopted.

Existing (2017) Plus Project Conditions

The Existing (2017) Plus Project Conditions scenario, used to evaluate the net change in traffic conditions resulting from future development on the candidate sites, identify nine roadway segments that would be impacted. These segments include:

- #2 - Alessandro Boulevard (North of Via Vista Drive);
- #4 - Arlington Avenue (East of Brockton Avenue);
- #8 - Indiana Avenue (East of Harrison Street);
- #9 - Jackson Street (North of Indiana Avenue);
- #28 - Van Buren Boulevard (South of Cleveland Avenue);
- #29 - Van Buren Boulevard (West of Washington Street);
- #30 - Van Buren Boulevard (West of Wood Road);
- #31 - Van Buren Boulevard (North of Arlington Avenue); and
- #33 - Van Buren Boulevard (North of Jurupa Avenue).

With the implementation of Certified EIR **MM TRA-1**, the following segments impacts would be reduced to less than significant level:

- #4 - Arlington Avenue (East of Brockton Avenue);
- #28 - Van Buren Boulevard (South of Cleveland Avenue);
- #29 - Van Buren Boulevard (West of Washington Street);

- #30 - Van Buren Boulevard (West of Wood Road);
- #33 - Van Buren Boulevard (North of Jurupa Avenue).

Additional lanes improvements were recommended to the remaining segments; however, the recommended improvements were considered infeasible or the roadway were already fully improved according to its GP 2025 designation. The following roadway segments would be considered significant and unavoidable, under Existing (2017) Plus Project Conditions:

- #2 - Alessandro Boulevard (North of Via Vista Drive);
- #8 - Indiana Avenue (East of Harrison Street);
- #9 - Jackson Street (North of Indiana Avenue);
- #31 - Van Buren Boulevard (North of Arlington Avenue); and

Cumulative/Future (2040) Plus Project Conditions

The Cumulative/Future (2040) Plus Project Conditions scenario which analyzed the roadway conditions with the addition of ambient growth to Cumulative Year 2040 and traffic generated from the proposed development on candidate sites, identified eight roadway segments that would be impacted. These segments include:

- #1 - Alessandro Boulevard (East of Mission Grove Parkway);
- #2 - Alessandro Boulevard (North of Via Vista Drive);
- #3 - Alessandro Boulevard (West of Sycamore Canyon Boulevard);
- #8 - Indiana Avenue (East of Harrison Street);
- #9 - Jackson Street (North of Indiana Avenue);
- #28 - Van Buren Boulevard (South of Cleveland Avenue);
- #31 - Van Buren Boulevard (North of Arlington Avenue); and
- #33 - Van Buren Boulevard (North of Jurupa Avenue).

With the implementation of Certified EIR **MM TRA-1**, the following segments impacts would be reduced to less than significant level:

- #28 - Van Buren Boulevard (South of Cleveland Avenue);

Additional lanes improvements were recommended to the remaining segments; however, the recommended improvements were considered infeasible or the roadway were already fully improved according to its GP 2025 designation. The following roadway segments would be considered significant and unavoidable, under Cumulative/Future (2040) Plus Project Conditions:

- #1 - Alessandro Boulevard (East of Mission Grove Parkway);
- #2 - Alessandro Boulevard (North of Via Vista Drive);
- #3 - Alessandro Boulevard (West of Sycamore Canyon Boulevard);
- #8 - Indiana Avenue (East of Harrison Street);
- #9 - Jackson Street (North of Indiana Avenue);
- #31 - Van Buren Boulevard (North of Arlington Avenue); and
- #33 - Van Buren Boulevard (North of Jurupa Avenue).

To minimize potential impacts resulting from increases in traffic volumes, all future development would be subject to compliance with GP 2025 policies intended to ensure an effective circulation system, including Policy CCM-2.3, CCM-5.2, and CCM-5.4, among others.

Additionally, the appropriate City of Riverside TIA Guidelines would be employed, among other procedures, to evaluate site-specific LOS impacts. The City's significance thresholds would be relied upon to determine the significance level of a future project's individual impact upon LOS. Future development that satisfies the criteria outlined in the Certified EIR **MM TRA-2** (e.g., that generates 100 or more new peak hour vehicle trips) would be required to conduct a Traffic Operations Assessment and mitigate LOS impacts to below the City's thresholds of significance, to the extent feasible. A project that does not meet the criteria outlined in the Certified EIR **MM TRA-2** is considered to have a less than significant impact on traffic. Future mixed-use developments (not proposed multifamily residential by right uses) would be evaluated at the project-level and subject to review under CEQA when individual projects are implemented. Despite implementation of Certified EIR **MM TRA-1** and **MM TRA-2**, and compliance with the specified GP 2025 policies, the addition of future development on candidate sites would result in significant and unavoidable impacts under Existing (2017) Plus Project Conditions and Cumulative/Future (2040) Plus Project Conditions. (Certified EIR, pp. 4.9-20 – 4.9-38)

Impacts Associated with the Proposed Project

Less Than Significant with Mitigation: A Traffic Operations Assessment (TOA) was completed in accordance with Certified EIR **MM TRA-2**, to determine potential impacts to traffic associated with the development of the Proposed Project (Appendix L – Traffic Operations Assessment; *Magnolia Flats Project Focused Traffic Analysis*, EPD Solutions, Inc., April 2020). As noted in the Certified EIR, evaluation of future cumulative or General Plan Buildout conditions is not necessary, as these conditions have already been evaluated. The analysis was prepared using methodologies and significance criteria consistent with the requirements of the City's Traffic Impact Analysis Preparation Guide. The following discussion is based on Existing and Existing Plus Project Conditions.

Traffic Impact Analysis and Study Area

The TOA included evaluation of the Proposed Project driveways, the adjacent retail center driveway, and adjacent signalized intersections on Magnolia Avenue. The following intersections were included in the analysis and are shown in Appendix L, Figure 2.

1. Tyler Street/Magnolia Avenue
2. 10391 Magnolia Avenue Driveway/Magnolia Avenue
3. Proposed Project Driveway/Magnolia Avenue
4. Banbury Drive/Magnolia Avenue
5. Polk Street/Magnolia Avenue

The study area intersections were evaluated during the AM and PM peak hours, which are defined as the hour with the highest traffic volumes during the 7 AM to 9 AM and 4 PM to 6 PM peak commute periods. The AM and PM peak hour traffic operations were evaluated for two scenarios:

1. Existing Condition
2. Existing Condition and Existing plus Project Condition

Methodology

Intersection operations were evaluated using Level of Service (LOS), which is a measure of the delay experienced by drivers on a roadway facility. LOS A indicates free-flow traffic conditions and is generally the best operating conditions. LOS F is an extremely congested condition and is the worst operating condition from the driver's perspective. LOS at signalized and unsignalized intersections is calculated using the Highway Capacity Manual (HCM), 6th Edition methodology.

Significance Criteria

Intersections

The City has established the following level of service standards to be used in evaluating intersections:

LOS (D) is the maximum acceptable threshold for study intersections and roadways of Collector or higher classification. LOS C is to be maintained on all street intersections. For projects in conformance with the General Plan, a significant impact occurs at a study intersection when the peak hour LOS falls below C, or D per CCM-2.3. The City's Policy CCM-2.3 states "Maintain LOS D or better on Arterial Streets wherever possible. At key locations, such as City Arterials that are used by regional freeway bypass traffic and at heavily traveled freeway interchanges, allow LOS E at peak hours as the acceptable standard on a case-by-case basis."

Based on these criteria, the Proposed Project would have a significant impact at a study intersection if the Proposed Project causes that intersection to operate worse than LOS D or worsens an already unacceptable LOS E or F condition.

Existing Conditions

Transportation System

Access to the Project Site is provided from Magnolia Avenue and Banbury Drive. Magnolia Avenue is a 120-foot Arterial (6-lanes) classified as a Special Boulevard on the City's Master Plan of Roadways. Magnolia Avenue has a speed limit of 40 mph near the Project Site. Banbury Drive is a local street with a speed limit of 25 miles per hour (mph) that runs from Magnolia Avenue to Diana Avenue, adjacent to the SR-91 Freeway. The Magnolia Avenue Widening Project is currently planned to start construction in 2020 and would widen Magnolia Avenue from 2 lanes in each direction to 3 lanes in each direction from Buchanan Street to Banbury Drive. The Magnolia Avenue Widening Project would also include capacity improvements at signalized intersections within the Proposed Project limits, including Polk Street and Banbury Drive. The proposed Magnolia Avenue Widening Project improvements were not included in the analysis because this study evaluated only Existing and Existing plus Project conditions and the Proposed Project's construction would likely be completed before completion of the Magnolia Avenue Widening Project.

Existing sidewalks adjacent to the Project Site facilitate pedestrian travel to nearby land uses and to transit stop. Transit service is provided to the Project Site by Riverside Transit Authority (RTA) and there are bus stops on Magnolia Avenue at Banbury Drive. The Rapidlink Gold Line as well as

RTA routes 1 and 15 serve Magnolia Avenue. Route 1 provides service approximately every 20 minutes and Route 15 provides service approximately every 30 minutes. Routes 12 and 13 stop on Tyler Avenue near Magnolia Avenue, approximately 830 feet from the Project Site. Route 12 provides service approximately every 60 minutes and Route 13 provides service approximately every 50 minutes. Routes 10, 12, 13, 14, 15, 21, 27, and 200 serve the Galleria at Tyler, approximately 1,500 feet from the Project Site. At least 10 busses per hour stop at the Galleria at Tyler and provide service to destinations throughout Riverside and the surrounding communities.

Existing Volume and Levels of Service

Traffic counts at the existing study area intersections were collected on Thursday, December 5, 2019. The counts were taken on a typical weekday when schools were in session. Intersection turn movement count sheets are provided in Appendix L, Appendix B and the existing AM and PM peak hour traffic volumes are shown on Appendix L, Figure 3 – Existing and Existing plus Project Peak Hour Traffic Volumes. It should be noted that there was construction at the intersection of Polk Street/Magnolia Avenue. The construction was mostly contained to the median on the east side of the intersection; however, construction activities also partially blocked the northbound movements at the intersections. The existing Levels of Service at the study area intersections were determined using the HCM. Table 8 – *Existing AM and PM Peak Hour Levels of Service* shows the existing AM and PM peak hour levels of service at study intersections. All study intersections operate at satisfactory LOS D or better during the AM and PM peak hours in the existing condition.

Table 8 – Existing AM and PM Peak Hour Levels of Service

Intersection	Signal Control ¹	AM Peak		PM Peak	
		Delay ¹	LOS ²	Delay ¹	LOS ²
1. Tyler Street/Magnolia Avenue	Signal	17.33	B	26.6	C
2. 10391 Magnolia Ave Driveway/Magnolia Ave	TWSC	13.5	B	27.8	D
3. Proposed Project Driveway/Magnolia Ave	TWSC	12.3	B	15.6	C
4. Banbury Drive/Magnolia Ave	Signal	10.9	B	12.4	B
5. Polk Street/Magnolia Ave	Signal	18.1	B	42.9	B

TWSC= Two- Way Stop
¹ Delay in Seconds
² Levels of Service

Trip Generation

To determine the Proposed Project’s traffic impacts for the Existing and Existing Plus Project Conditions, vehicle trips were generated using trip rates from the Institute of Transportation Engineers (ITE) *Trip Generation 10th Edition (2017)*. It is likely that a portion of the trip generation would be captured internally, as residents would patronize the on-site retail/commercial or adjacent businesses. An internal trip capture of 10 percent has been applied, per the City Traffic Impact Study procedures. The project trip generation is shown in Table 9 – *Project Trip*

Generation Summary. The Proposed Project would generate 5,040 daily trips, including 163 AM peak hour trips and 293 PM peak hour trips.

Table 9 – Project Trip Generation Summary

Land Use	Size/Units	Daily	AM Peak Hour			PM Peak Hour		
			In	Out	Total	In	Out	Total
Trip Rates								
Multifamily Housing (Mid-Rise) ¹	per DU	5.440	0.094	0.266	0.360	0.268	0.172	0.440
Fast Casual Restaurant ^{2,3}	per TSF	315.170	1.387	0.683	2.070	7.772	6.359	14.130
Project Trip Generation								
Residential	400 DU	2,448	42	120	162	121	77	198
Internal Trip Capture (Residential) ⁴		(245)	(4)	(12)	(16)	(12)	(8)	(20)
Food Hall	9,000 SF	2,837	12	6	19	70	57	127
Internal Trip Capture (Food Hall) ⁴		(284)	(1)	(1)	(2)	(7)	(6)	(13)
Total Trip Generation		5,040	49	113	163	172	121	293

TSF = Thousand Square Feet

¹ Trip rates from the Institute of Transportation Engineers, Trip Generation, 10th Edition, 2017. Land Use Code 222 - Multifamily Housing (Mid-Rise).

² Trip rates from the Institute of Transportation Engineers, Trip Generation, 10th Edition, 2017. Land Use Code 930 - Fast Casual Restaurant.

³ This analysis evaluated 10,000 SF of fast-casual restaurant per the original traffic scoping agreement with the City. Instead of modifying the scoping agreement to what is now 9,000 SF of retail use, which would generate less trips, the analysis evaluated the original use of 10,000 SF fast-casual restaurant. This approach resulted in a conservative evaluation of potential impacts.

⁴ Ten percent Internal Trip Capture utilized at the direction of City staff.

Source: Appendix L, Table 4

Trip Distribution and Assignment

Project trips were distributed to the five study area intersections based on the location of the project and logical routes of travel to and from the site. Project trips were assigned to the study area intersections by multiplying the net project trip generation by the trip distribution percent at each location. The resulting project trip distribution percentages and assignments are shown in Appendix L, Figure 4.

Existing Plus Project Traffic Volumes and Intersection Operations

Table 10 – *Existing and Existing Plus Project Peak Hour Levels of Service* shows the results of the study area intersection analysis for the Existing plus Project weekday AM and PM peak hour conditions using the HCM methodology. All the intersections would operate with satisfactory LOS of D or better in the Existing Plus Project Condition.

Table 10 – Existing and Existing Plus Project Peak Hour Levels of Service

Intersection	Signal Control ¹	AM Peak		PM Peak		AM Peak		PM Peak	
		Delay ¹	LOS ²	Delay ¹	LOS ²	Delay ¹	LOS ²	Delay ¹	LOS ²
1. Tyler Street/Magnolia Avenue	Signal	17.33	B	26.6	C	17.5	B	28.3	C
2. 10391 Magnolia Ave Driveway/Magnolia Ave	TWSC	13.5	B	27.8	D	13.9	B	33.0	D
3. Proposed Project Driveway/Magnolia Ave	TWSC	12.3	B	15.6	C	12.6	B	16.9	C
4. Banbury Drive/Magnolia Ave	Signal	10.9	B	12.4	B	11.2	B	15.2	B
5. Polk Street/Magnolia Ave	Signal	18.1	B	42.9	B	22.0	C	15.2	D
TWSC= Two- Way Stop ¹ Delay in Seconds ² Levels of Service									

Vehicles Miles Traveled

The Senate Bill (SB) 743 was signed by Governor Brown in 2013 and required the Governor’s Office of Planning and Research (OPR) to amend the CEQA Guidelines to provide an alternative to LOS for evaluating Transportation impacts. SB743 specified that the new criteria should promote the reduction of greenhouse gas emissions, the development of multimodal transportation networks and a diversity of land uses. The bill also specified that delay-based level of service could no longer be considered an indicator of a significant impact on the environment under CEQA. In response, Section 15064.3 was added to the CEQA Guidelines beginning January 1, 2019. Section 15064.3 - Determining the Significance of Transportation Impacts states that Vehicle Miles Traveled (VMT) is the most appropriate measure of transportation impacts and provides lead agencies with the discretion to choose the most appropriate methodology and thresholds for evaluating VMT. Section 15064.3(c) states that the provisions of the section shall apply statewide beginning on July 1, 2020.

The City of Riverside has prepared Draft Traffic Impact Analysis Guidelines for Vehicle Miles Traveled and Level of Service Assessment (March 2020). The draft guidelines provide an exemption to the VMT analysis requirement for projects that meet certain criteria. Based on the City’s guidelines, the Proposed Project would not be required to prepare a VMT analysis if meets the following criteria:

1. The project is located within a Transit Priority Area. According to the WRCOG VMT Screening Tool (<https://gis.fehrandpeers.com/WRCOGVMT/>) the project TAZs are located within an existing Transit Priority Area.
2. The project is located within a low VMT-generating area. According to the WRCOG VMT Screening Tool, the project TAZ is within a low VMT generating TAZ based on Total VMT, Residential Home-Based VMT, and Home-Based Work VMT as noted below:
 - a. Jurisdictional average 2012 daily total VMT per service population = 27.77. Project TAZ 2012 daily total VMT per service population = 18.63 (33 percent below jurisdictional average)
 - b. Jurisdictional average 2012 daily residential home-based VMT per capita = 10.77. Project TAZ 2012 daily residential home-based VMT per capita = 5.01 (53 percent below jurisdictional average)
 - c. Jurisdictional average 2012 daily home-based work VMT per worker = 13.24. Project TAZ 2012 daily home-based work VMT per worker = 10.50 (21 percent below jurisdictional average)

The Proposed Project meets these two screening criteria and a VMT analysis would not be required.

As indicated in the preceding analysis, the Proposed Project would not conflict with the City's applicable plan, ordinance, or policy establishing measures of effectiveness for the performance of the circulation. Table shows that all the study intersection would operate with satisfactory LOS of D or better in the Existing Plus Project Condition and no roadway improvements would be required. Additionally, the Proposed Project would be subject to comply with Certified **MM TRA-1** and the Property Owner/Developer would be required to pay TUMF. Therefore, with implementation of Certified **MM TRA-1**, potential impacts associated with any program plan, ordinance or policy addressing the circulation system would be less than significant.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with any program plan, ordinance or policy addressing the circulation system, including transit roadways, bicycle and pedestrian facilities that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- b) Would the project conflict with the Riverside County Congestion Management Plan, including but not limited to level of service standards and travel demand measures, or other standards established for designated roads or highways?

Summary of Impacts in the Certified EIR

Significant and Unavoidable After Implementation of Mitigation: The Certified EIR determined that impacts associated with designated roads or highway standards would be significant and unavoidable even after implementation of Certified **MM TRA-1** and **MM TRA-2**. A statement of overriding considerations was prepared and adopted.

The 2011 Riverside County Congestion Management Plan (CMP). The CMP requires that, when an environmental impact report is prepared for a project, traffic impact analyses be conducted for select regional facilities based on the volume of project traffic expected to use those facilities. The CMP locations in the study area are:

- Alessandro Boulevard;
- Arlington Avenue;
- La Sierra Avenue;
- Magnolia Avenue; and
- Van Buren Boulevard.

The CMP study area encompassed 20 roadway segments.

Existing (2017) Plus Project Conditions

Under the Existing (2017) Plus Project Conditions scenario three out of the 20 CMP roadway segments, roadway segments operated at LOS F, exceeded the significance criteria of V/C levels higher than 1.1:

- #28 - Van Buren Boulevard (South of Cleveland Avenue);
- #30 - Van Buren Boulevard (West of Wood Road);
- #33 - Van Buren Boulevard (North of Jurupa Avenue).

Under Existing (2017) Plus Project Conditions, impacts to the following CMP roadways would be reduced to less than significant (operations would improve to LOS C or better), with mitigation incorporated (see Certified EIR **MM TRA-1**):

- #28 - Van Buren Boulevard (South of Cleveland Avenue);
- #30 - Van Buren Boulevard (West of Wood Road);
- #33 - Van Buren Boulevard (North of Jurupa Avenue).

Cumulative/Future (2040) Plus Project Conditions

Under the Cumulative/Future (2040) Plus Project Conditions scenario two out of the 20 CMP roadway segments, roadway segments operated at LOS F, exceeded the significance criteria of V/C levels higher than 1.1:

- #28 - Van Buren Boulevard (South of Cleveland Avenue);
- #33 - Van Buren Boulevard (North of Jurupa Avenue).

Under Cumulative/Future (2040) Plus Project Conditions, impacts to the following CMP roadway would be reduced to less than significant (operations would improve to LOS C or better), with mitigation incorporated (see Certified EIR **MM TRA-1**):

- #28 - Van Buren Boulevard (South of Cleveland Avenue)

Given the recommended improvement would be infeasible, impacts to the following CMP roadway segment would be considered significant and unavoidable, under Cumulative/Future (2040) Plus Project Conditions:

- #33 - Van Buren Boulevard (North of Jurupa Avenue).

To minimize potential impacts to CMP facilities resulting from increases in traffic volumes, all future development would be subject to compliance with GP 2025 Policy CCM-1.4. Policy CCM-1.4 supports improvement of the Van Buren Boulevard/I-215 Interchange and along the length of Van Buren Boulevard between I-215 and SR-91.

Additionally, the appropriate CMP methodology would be employed, among other procedures, to evaluate site-specific impacts to CMP facilities. The CMP criteria would be relied upon to determine the significance level of a future project's individual impact upon LOS. Future development that satisfies the criteria outlined in Certified EIR **MM TRA-2** (e.g., that generates 100 or more new peak hour vehicle trips) would be required to conduct a Traffic Operations Assessment. Future development would be required to mitigate LOS impacts to CMP facilities to below CMP thresholds of significance, to the extent feasible. Impacts for future development that does not meet the criteria outlined in Certified EIR **MM TRA-2** would be sufficiently mitigated through payment of TUMFs (see Certified EIR **MM TRA-3**). Future mixed-use developments (not proposed multifamily residential by right uses) would be evaluated at the project-level and subject to CEQA review when individual projects are implemented. Despite implementation of proposed Certified **EIR MM TRA-1** through **TRA-3**, and compliance with the specified GP 2025 policies, the addition of Project traffic would result in significant and unavoidable impacts under Existing (2017) Plus Project Conditions and under Cumulative/Future (2040) Plus Project Conditions. (Certified EIR, pp. 4.9-38 – 4.9-41)

Impacts Associated with the Proposed Project

Less Than Significant: As discussed in Section 5.4.16(a), a Traffic Operations Assessment was prepared to determine the impacts of the Proposed Project. Table 10 in Section 5.1.14(a) shows that all the intersection in the study area under the Existing Plus Project condition would operate with satisfactory levels of LOS of D or better and no roadway improvements would be required. Additionally, the Proposed Project would be subject to comply with Certified **MM TRA-1** and the Property Owner/Developer would be required to pay TUMF. Therefore, with implementation of Certified **MM TRA-1**, potential impacts associated with conflict with the Riverside County Congestion Management Plan would be less than significant.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with conflict with the Riverside County Congestion Management Plan that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- c) **Would the project substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with design feature hazards or incompatible uses would be less than significant. Future development would be evaluated to verify that the site plan is designed according to minimum City standards (e.g., RMC Sections 19.710.040 and 19.710.050, among others). Compliance with City standards, impacts concerning site-specific traffic/circulation improvements with potential to increase hazards due to a design feature would be reduced to less than significant.

Future development that require roadway improvements would design roadways to avoid hazards associated with design features. In addition, future development would be subject to several GP 2025 policies (i.e., Policies CCM-1.1, CCM-1.2, CCM-1.3, CCM-1.4, and CCM-7.1) intended to ensure the Project would not substantially increase hazards due to a design feature.

The mixed-use zones (MU-N, MU-V, MU-U), according to RMC Chapter 19.120, were established to encourage a mixture of compatible and synergistic land uses, such as residential with compatible non-residential uses including office, retail, personal services, public spaces and other community amenities. Compliance with permitted uses in these zones as detailed in RMC Section 19.120.020, Permitted Land Uses, and the standards in RMC Section 19.120.060, Development Standards, and RMC Section 19.120.070, Design Standards and Guidelines would ensure the future development on candidate sites would not substantially increase hazards due to incompatible land uses. (Certified EIR, pp. 4.9-42 – 4.9-43)

Impacts Associated with the Proposed Project

Less Than Significant: The Proposed Project has been designed in accordance with the applicable design standards established by the City. By adhering to these standards, the Proposed Project would not include hazardous design features or incompatible uses.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects related

design feature hazards or incompatible uses that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

d) Would the project result in in inadequate emergency access?

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with inadequate emergency access would be less than significant.

Future development would be subject to review through the City's design review process to verify compliance with all applicable Fire Code and Building Code requirements for construction and access, as well as the City's minimum site access standards. The City has adopted the International Fire Code, codified in RMC Section 16.32.020. Future development would be subject to the site planning and development standards codified in RMC Section 16.32.020 to ensure adequate emergency access. Also, the City would continue to ensure that each development has adequate emergency ingress and egress. Further, the City and RFD would review any modifications to existing roadways to ensure that adequate emergency access, and ingress/egress locations are provided. Emergency response and evacuation procedures would continue to be coordinated through the City in consultation with the police and fire departments. (Certified EIR, pp. 4.9-43 – 4.9-44)

Impacts Associated with the Proposed Project

Less Than Significant: The Proposed Project involves the consolidation of three parcels into two lots and demolishing of the existing improvements on the Project Site, Candidate Site W6G1S01, to construct a mixed-use development with a four-story 450-unit residential building and two commercial/retail buildings totaling approximately 9,000 SF. Construction of the Proposed Project would not require the temporary closure of travel lanes in the vicinity. The Proposed Project's construction would not impede access to the commercial buildings immediately adjacent to the Project Site. The Proposed Project's construction would, for the most part, remain internal to its boundaries. Once operational, access to and from the Project Site would be from Magnolia Avenue and Banbury Drive. Access to and from the eastern and western commercial centers would remain available through their shared access lanes (Figure 15). Additionally, the Proposed Project would be reviewed and approved by the City and RFD prior to issuance of building permits to ensure that enough accessibility for emergency vehicles is provided.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with inadequate emergency access that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant and no mitigation would be required.

- e) **Would the project conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?**

Summary of Impacts in the Certified EIR

Less Than Significant with Mitigation: The Certified EIR determined that impacts associated with public transit, bicycle, or pedestrian facilities would be less than significant with implementation of Certified EIR **MM TRA-1** and compliance with GP 2025 Policies CCM-9.2, CCM 9.5, and CCM-9.8.

Several candidate sites are located adjacent to existing and proposed bikeways and pedestrian facilities, and existing transit. All future development would be subject to compliance with GP 2025 Policies CCM-9.8, CCM-10.1, CCM-10.2, and CCM-10.10. Policy CCM-10.1 ensures the provision of bicycle facilities consistent with the Bicycle Master Plan. Policy CCM-10.2 ensures future development projects incorporate bicycle and pedestrian trails and bicycle racks. Policy CCM-10.10 ensures the planning, design, construction, and operation of all roadway projects funded by the City evaluate the needs of bicycle traffic. Additionally, future developments would be subject to Certified EIR **MM TRA-1** which requires the proportionate fair share payment of Uniform Mitigation Fees (TUMF). (Certified EIR, pp. 4.9-44 – 4.9-49)

Impacts Associated with the Proposed Project

Less Than Significant: The Project Site is along Magnolia Avenue which has an existing Class 2 bikeway, pedestrian, and transit facilities. The Proposed Project would not impede or otherwise obstruct the existing public transit, bicycle, or pedestrian facilities. As discussed in the Certified EIR, the Proposed Project is subject to compliance with GP 2025 Policies CCM-9.8, CCM-10.1, CCM-10.2, and CCM-10.10. Policy CCM-10.1. Additionally, the Proposed Project would also be subject to comply with Certified **MM TRA-1** and the Property Owner/Developer would be required to pay TUMF. Therefore, with implementation of Certified **MM TRA-1**, potential impacts associated with public transit, bicycle, or pedestrian facilities would be less than significant.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

Source:

City of Riverside, *2014-2021 Housing Element Updated Housing Implementation Plan Environmental Impact Report, Final December 2017*. (Available at <https://riversideca.gov/cedd/planning/city-plans/general-plan-0> , accessed March 2020.)

5.4.17 Tribal Cultural Resources

Would the project:	Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed in the Certified EIR; No New Impact	Substantially Mitigated by Uniformly Applicable Development Policies
Cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:						
a) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Project Design Features

None

Standard Conditions/Existing Plans, Programs, or Policies

General Plan 2025 Policies

- HP-1.1
- HP-1.2
- HP-2.2
- HP-4.1
- HP-4.3
- HP-7.1
- HP-7.2
- HP-7.4
- LU-4.6
- PS-11.3

RMC (Title 20, Historical Resources)

Applicable Mitigation Measures:

See mitigation measures in Section 5.4.4 Cultural Resources.

- a) **Would the Project cause a substantial adverse change in the significance of a tribal cultural resource that is listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k)??**
- b) **Would the Project cause a substantial adverse change in the significance of a tribal cultural resource that is a resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1? In applying the criteria set forth in subdivision (c) of Public Resources Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.?**

Summary of Impacts in the Certified EIR

Less Than Significant with Mitigation: The Certified EIR determined that impacts associated with tribal cultural resources would be less than significant with implementation of GP FPEIR **MM Cultural 1** through **MM Cultural 6**.

The City of Riverside, acting as the Lead Agency, initiated consultation with California Native American tribes in accordance with Assembly Bill 52 (AB 52) - Requirements for Consultation and Tribal Cultural Resources. No tribal cultural resources were identified as a result of the consultation. Pursuant to AB 52 requirements, future development would not result in potential impacts to tribal cultural resources.

Undiscovered archaeological resources involving a tribal cultural resource could be discovered during grading/other earth-moving activities associated with future development. However, compliance with RMC Title 20, the specified GP 2025 policies, and GP FPEIR **MM Cultural 1** through **MM Cultural 6** would reduce impacts to less than significant levels.

The historical and archeological resources located within Riverside, as noted in Section 5.4.4, were not identified as a tribal cultural resources and future development would not cause a substantial adverse change in the significance of a tribal resource. (Certified EIR, pp. 4.3-45 – 4.3-76)

Impacts Associated with the Proposed Project

Less Than Significant: As stated in the Certified EIR, and specifically in the Certified MM CUL 3, the Proposed Project, site W6G1S01, is not identified as a historical or paleontological resource. The Project Site is not adjacent to a historical resource, or adjacent to a historic district or neighborhood conservation area, and the Proposed Project would include PDF CUL-1 (See Section 5.4.5 for full discussion). Development at the Project Site would not cause a substantial adverse change in the significance of a historical or paleontological resource. Additionally, the previous AB52 consultation did not result in the identification of tribal cultural resources.



Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with historical or tribal cultural resources that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

Source:

City of Riverside, *2014-2021 Housing Element Updated Housing Implementation Plan Environmental Impact Report, Final December 2017*. (Available at <https://riversideca.gov/cedd/planning/city-plans/general-plan-0> , accessed March 2020.)

5.4.18 Utilities and Service Systems

Would the project:	Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed in the Certified EIR; No New Impact	Substantially Mitigated by Uniformly Applicable Development Policies
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board??	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Be served by a landfill with sufficient permitted capacity to accommodate the Project's solid waste disposal needs??	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project Design Features

None

Standard Conditions/Existing Plans, Programs, or Policies

General Plan 2025 Policies

- PF-1.1 • PF-1.4 • PF-3.3 • PF-4.3
- PF-1.2 • PF-3.1 • PF-4.1 • PF-5.1
- PF-1.3 • PF-3.2 • PF-4.2

Non-Applicable Mitigation Measures

Certified EIR Mitigation Measure	Applicability Justification
<p>MM UTL-1: In order to mitigate potential impacts related to the need for expanded entitlements for water supply if population growth exceeds Typical Project level, the City will review population and development trends with respect to water sources and supply in 2015 and 2020 to assure that growth is occurring as expected under the Typical Project development scenario which can be accommodated with present and expected water sources. If the review finds that development is outpacing what would be expected under the typical level, then mitigation and funding mechanisms shall be implemented to address expected deficiencies. Options for mitigation could include, but are not limited to, such approaches as outlined below:</p> <ol style="list-style-type: none"> 1. Acquire additional water from WMWD or other wholesale provider, or 2. Implement water conservation regulations to provide incentives and/or penalties to achieve necessary water conservation. 	<p>Mitigation measure applies to the City.</p>
<p>MM UTL-2: In order to mitigate potential impacts to adequate wastewater treatment plant capacity, the City will review population and development trends with respect to capacity of the treatment plant in 2020 to assure growth is occurring as expected under the Typical Project development scenario which can be accommodated with the present plant and planned expansions. If the review finds that development is outpacing what would be expected under the typical level, then mitigation and funding mechanisms shall be implemented to address expected capacity deficiencies. Options for mitigation could include, but are not limited to, such approaches as outlined below:</p> <ol style="list-style-type: none"> 1. Upgrade the 52.5 mgd wastewater treatment plant to accommodate excess growth, or; 	<p>Mitigation measure applies to the City.</p>

Certified EIR Mitigation Measure	Applicability Justification
2. Construct a new 40 mgd wastewater treatment plant. This plant could be funded by new development (General Plan Policy PF-3.2), or 3. Develop an agreement with WMWD to take on additional wastewater generated within the City’s service area.	
MM UTL-4: The City will review the County Waste Management Annual Reports to California Integrated Waste Management Board (CIWMB) every five years to ensure that projections still show adequate capacity to and through the year 2025. If levels show that landfill capacity is becoming limited or exhausted, then the City shall increase efforts to divert waste from landfills such as meeting Policy PF 5.1 which encourages innovative methods and strategies to reduce the amount of waste materials entering landfills, including achieving 100 percent recycling citywide for both residential and non-residential development.	Mitigation measure applies to the City.

Applicable Mitigation Measures

No Certified EIR mitigation measures were required.

No project-specific mitigation measures are required as a result of the Proposed Project.

a) Would the project exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with wastewater treatment requirements of the applicable Regional Water Quality Control Board would be less than significant with conformance with the waste discharge requirements in place for the City’s Regional Water Quality Control Plant (RWQCP), Western Riverside County Regional Wastewater Authority (WRCRWA), and Western Water Recycling Facility.

The City’s RWQCP operations are subject to the waste discharge requirements for Order No. R8-2006-0009, NPDES Permit No. CA105350. Western’s WRCRWA and Western Water Recycling Facility operations are subject to the waste discharge requirements for Order No. R8-2015-0013, NPDES Permit No. CA8000316, and Order No. R8-3002-0113, respectively.

Construction activities associated with future development are anticipated to involve demolition of existing structures, construction of new structures, and grading to create building pads and roadways. Other improvements could include, but are not limited to, building walls and fencing, adding signage and lighting, providing landscaping, onsite utilities, and infrastructure

improvements such as sewer, water, and dry utilities to support/serve the Project. Should they require wastewater disposal, all construction activities would be subject to conformance with the waste discharge requirements in place for the RWQCP, WRCRWA, and Western Water Recycling Facility. Waste discharge requirements specify limits on the amount of pollutants that can be contained in each facility's discharge and are implemented to preserve, protect, and restore water quality. Less than significant impacts would occur in this regard.

Wastewater treatment services for the future development would be provided through RPU and Western under regulations enforced by the Santa Ana RWQCB. Future development would increase the existing wastewater treatment demands; however, the RWQCP, WRCRWA, and Western Water Recycling Facility would continue to be subject to compliance with their individual waste discharge requirements, which specify limits on the amount of pollutants that can be contained in each facility's discharge. (Certified EIR, pp 4.10-14 – 4.10-15)

Impacts Associated with the Proposed Project

Less Than Significant: As noted in Section 5.4.8 (a) and (e), the proposed mixed-use development at Project Site would have less than significant impact to water quality through conformance with the waste discharge requirements of the City and SARWQCB such as SWPP, BMPs, and WQMP.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with wastewater treatment requirements of the applicable Regional Water Quality Control Board that were not identified in the Certified EIR. No further study is needed, and no mitigation measures would be required. Therefore, potential impacts would be less than significant, and no mitigation would be required.

b) Would the project require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?

Summary of Impacts in the Certified EIR

Less Than Significant with Mitigation:

Wastewater Treatment Facilities

The Certified EIR determined that impacts associated with wastewater treatment facilities would be less than significant with the implementation of GP FPEIR **MM UTL-2**, payment of future City and Western connection fees and user fees, and compliance with RMC Chapter 14.04, relevant GP 2025 Policies (i.e., Policies OS-10.6, OS-10.7, PF-3.1 to PF-3.3, PF-4.2).

Future development on candidate sites would generate an average of 2 MGD of wastewater and a peak wet weather flow of 6 MGD of wastewater. Impacts to existing wastewater conveyance and treatment facilities are discussed in the following analysis.

Wastewater Conveyance.

Construction activities associated with wastewater conveyance upgrades/expansions would be subject to compliance with all federal, State, regional, and local requirements as well as any project-specific mitigation measures necessary to ensure construction-related impacts are not significant. In particular, future development would be required to uphold the goals and objectives of the City's Wastewater Collection and Treatment Facilities Integrated Master Plan (Integrated Master Plan), including its Capital Improvement Plan, to ensure the RWQCP continues to provide adequate wastewater treatment services concurrent with projected growth. Future development would also be subject to compliance with Western's design criteria and the Riverside Public Works Department's "Criteria for Sewer Facility Design," City Standard Drawings for Sewer Line Construction, Greenbook Standard Specifications for Public Works. Construction (latest edition), and the most recently adopted edition of the Uniform Building Code. This framework establishes planning and design requirements for the sanitary sewer systems and includes considerations such as d/D ratios, minimum pipe size, system loading in gallons, and other data necessary for the design of sewers, lift stations, and other wastewater infrastructure. The City would also continue to coordinate with Western to ensure adequate wastewater conveyance.

Wastewater Treatment Facilities

The City generally receives wastewater treatment services from RPU at their RWQCP; however, areas south of Van Buren Boulevard receive wastewater treatment services from Western's WRCRWA or Western Water Recycling Facility. Wastewater treatment facilities are sized on accordance with adopted GP 2025 projections. When compared to GP 2025 projections, future development is anticipated to result in a net increase of as many as 8,243 DU and as much as 1.3 million SF of non-residential uses over current GP 2025 development potential and would exceed the land use projections assumed in sizing these wastewater treatment facilities. However, future development would occur incrementally through 2025, based on market conditions and other factors, such that wastewater treatment services are not overburdened by substantially increased demands at any single point in time. Further, the RWQCP has a design capacity of 46 mgd and currently processes an average flow of 27 mgd (or 59 percent capacity). The WRCRWA is expanding to achieve a design capacity of 14 mgd and currently processes an average flow of 8 mgd (or 57 percent capacity). The Western Water Recycling Facility has a design capacity of 3 mgd and currently processes an average flow of 0.8 mgd (or 25 percent capacity). Therefore, enough excess capacity exists at these wastewater treatment facilities.

Future development would also be subject to compliance with RMC Chapter 14.04, which establishes sewer service charges for new development, relevant GP 2025 policies (i.e., Policies PF-3.1 to PF-3.3), as well as existing GP FPEIR **MM UTL-2**. Compliance with GP 2025 policies, RMC standards, as well as GP FPEIR **MM UTL-2** would ensure impacts associated with wastewater conveyance facilities and wastewater treatment facilities are less than significant. (Certified EIR, pp. 4.10-15 – 4.10-18)

Water Treatment Facilities

The Certified EIR determined that impacts associated with water treatment facilities would be less than significant with the implementation of GP FPEIR **MM UTL-1** and compliance with relevant GP 2025 policies (Policies PF-1.1 to PF-1.4).

The City primarily receives water services from RPU; however, southeast Riverside receives water services from Western. RPU indicated that the Project's addition of 11,649 DU and 5.9 million SF of non-residential uses would create a water demand of 74 AFY.⁷ However, future development would occur incrementally through 2025, based on market conditions and other factors, such that existing water services are not overburdened by substantially increased demands at any single point in time. Further, future development satisfying certain criteria would require preparation of a WSA to verify enough water supply is available to meet the development's water demand. Future development would also be subject to compliance with relevant GP 2025 policies (Policies PF-1.1 to PF-1.4) as well as GP FPEIR **MM UTL-1**.

If required, water facility construction activities associated with future development would be subject to compliance with the local, State, and federal laws, ordinances, and regulations, which would ensure that impacts would be reduced to less than significant. Future development would be required to uphold the goals and objectives of the Riverside Capital Improvement Program, to ensure the adequate water treatment and distribution systems are planned for concurrent with projected growth. Future development would also be subject to compliance with Western's design criteria for water distribution systems or RPU's "Water Engineering Design Standards," and the most recently adopted edition of the Uniform Building Code. This framework establishes planning and design requirements for the water distribution systems. The City would also continue to coordinate with Western to ensure adequate water distribution. Compliance with the abovementioned existing regulatory framework would ensure adequate water facilities are available to serve the Project. (Certified EIR, pp. 4.10-18 – 4.10-21)

Impacts Associated with the Proposed Project

Less Than Significant: The nature and scope of the Proposed Project would not require or result in the relocation or construction of new or expanded water or wastewater facilities. The Proposed Project would provide sewer and water lines within the Project Site which would connect to existing sewer and water infrastructure located along Magnolia Avenue, which has been analyzed in the preceding section. As indicated in the Certified EIR, RPU would be able to service the Proposed Project and would not overburden RPU's water services.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with water or wastewater facilities that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- c) **Would the project require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with construction of new water or wastewater treatment facilities or expansion of existing facilities would be less than significant.

Construction activities associated with the Project’s stormwater drainage facilities would be subject to compliance with the local, State, and federal laws, ordinances, and regulations, which would ensure that impacts are reduced to less than significant. As applicable, the City would require development proposals to mitigate impacts to stormwater drainage facilities through compliance with RMC Chapter 18.220, Improvements. Additionally, to further ensure development conforms to NPDES regulations, future development would be subject to compliance with the BMP Design Criteria identified in the BMP Design Handbook. Compliance with NPDES regulations, RMC Chapter 18.220, as well as applicable GP 2025 policies (Policies PF-4.1 through PF-4.3), would ensure adequate stormwater drainage facilities are able to serve the projects. (Certified EIR, pp. 4.10-21 – 4.10-22)

Impacts Associated with the Proposed Project

Less Than Significant: The nature and scope of the Proposed Project would not require or result in the relocation or construction of new or expanded storm water drainage facilities. The Proposed Project would provide storm drainage facilities within the Project Site which would connect to existing storm water infrastructure located along Magnolia Avenue, which has been analyzed in the preceding analysis.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with storm water drainage facilities that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- d) **Would the project have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with water supplies would be less than significant.

Both RPU and Western have adequate supply accounted for in their respective Urban Water Management Plan (UWMP) to meet anticipated future development water demands. RPU and

Western would have adequate water supplies from existing entitlements and operational impacts would be less than significant. Further, where applicable, in compliance with SB 221 and SB 610 requirements, future development would be required to demonstrate adequate water supply with a signed Water Availability Form or “Will-Serve” letter from RPU or Western. The City would enforce all existing laws and regulations pertaining to water conservation and would continue to implement GP 2025 Policies PF-1.1 through PF-1.4, among others. (Certified EIR, pp. 4.10-22 – 4.10-24)

Impacts Associated with the Proposed Project

Less Than Significant: The Proposed Project does not exceed the mixed-use intensity and would not increase the water demand analyzed in the Certified EIR. RPU’s water supplies would be enough to meet the Proposed Project needs.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects related water supplies that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

- e) **Would the project result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project’s projected demand in addition to the provider’s existing commitments?**

Summary of Impacts in the Certified EIR

See Section to 5.4.18 (b).

Impacts Associated with the Proposed Project

See Section to 5.4.18 (b).

- f) **Would the project be served by a landfill with sufficient permitted capacity to accommodate the project’s solid waste disposal needs?**

Summary of Impacts in the Certified EIR

Less Than Significant with Mitigation: The Certified EIR determined that impacts associated with landfills would be less than significant with implementation of GP FPEIR **MM ULT-4** and compliance with GP 2025 Policy PF-5.1.

All future construction activities would be required to demonstrate compliance with federal, State, and local statues and regulations for solid waste. Construction activities would be subject to compliance with the 50 percent diversion of solid waste requirement pursuant to the California Integrated Waste Management Act of 1989 (AB 939). In addition, construction activities would

be required to comply with the 2016 (or most recent) Green Building Code, which implements design and construction measures that act to reduce construction-related waste through material conservation measures and other construction-related efficiency measures. Construction activities would also be subject to the City's Source Reduction and Recycling Element (SRRE) requirements for diverting solid waste. GP FPEIR MM UTL-4 requires the City to review the County Waste Management Annual Reports to California Integrated Waste Management Board every five years to ensure adequate capacity. If consultation with the County Waste Management Annual Reports to California Integrated Waste Management Board (CIWMB) determines landfill capacity is becoming limited or exhausted, GP FPEIR **MM UTL- 4** requires the City to increase solid waste diversion efforts. (Certified EIR, pp. 4.10-24 – 4.10-25)

Impacts Associated with the Proposed Project

Less Than Significant: The mixed-use development at the Project Site would construct 450 residential units resulting in an estimate of 1,350¹ residents. Using CalRecycle's 2017 generation rate of 6.2 pounds per resident per day², the residential development would generate approximately 8,370 pounds per day, or 4.1 tons per day of solid waste. The commercial development would employ approximately 22³ employees. Using CalRecycle's 2017 generation rate of 11.9 pounds per employee per day, the commercial development would generate approximately 254 pounds per day, or 0.1 tons per day of solid waste. The mixed-use development at the Project Site's waste would be collected by Riverside County Waste Management. According to Cal Recycle⁴, Lamb Canyon Sanitary Landfill (33-AA-0007), has a max permitted capacity of 5,000 tons per day and Badlands Sanitary Landfill (33-AA-0006), has a max permitted capacity of 4,800 tons per day. The waste the mixed-used development at the Project Site would generate would not be significant in the context of the Landfills operating permit. Operational activities would result in only a nominal amount of solid waste

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with solid waste disposal that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

¹ 3.0 Person Per Household, Certified EIR, p. 4-6

² Cal Recycle, California's 2017 Per Capita Disposal Rate Estimate
<https://www.calrecycle.ca.gov/lgcentral/goalmeasure/DisposalRate/MostRecent>

³ 2.3 employment factor for mixed-use development for TSF, Certified EIR, p. 5-5

⁴ Cal Recycle, Solid Waste Information System (SWISS) Facility /Site Search
<https://www2.calrecycle.ca.gov/swfacilities/Directory/37-AA-0902/Index>

- g) **Would the project comply with federal, state, and local management and reduction statutes and regulations related to solid waste?**

Summary of Impacts in the Certified EIR

Less Than Significant: The Certified EIR determined that impacts associated with solid waste federal and state regulations and local management and reduction statutes would be less than significant.

Construction activities associated with future development would be required to demonstrate compliance with federal, State, and local statutes and regulations for solid waste. Construction would be required to comply with the 2016 (or most recent) Green Building Code, which includes design and construction measures to reduce construction-related waste through material conservation measures and other construction-related efficiency measures. Construction activities would be subject to compliance with the 50 percent diversion of solid waste requirement pursuant to the California Integrated Waste Management Act of 1989 (AB 939). Construction activities would also be subject to the City's SRRE requirements for diverting solid waste. Compliance with the 2016 (or most recent) Green Building Code, AB 939, and the City's Source Reduction and Recycling Element SRRE requirements would ensure compliance with existing statutes and regulations associated with solid waste. Impacts would be less than significant.

Operational activities associated with future development would also be subject to compliance with all relevant federal, State, and local statutes and regulations for solid waste, including AB 939 and the 2016 (or most recent) Green Building Code. The City would also review future development for its consistency with the City's SRRE and would continue to implement GP 2025 Policy PF-5.1 to reduce the volume of solid waste entering regional landfills. Operational impacts would be less than significant in this regard. (Certified EIR, p. 4.10-26)

Impacts Associated with the Proposed Project

Less Than Significant: As discussed in Section 5.4.17(f), solid waste generated by the mixed-use development at the Project Site would be picked up by Riverside County Waste Management and disposed at nearby landfills in Riverside County. Disposal of solid waste would be required to comply with all federal state, and local statutes and regulations associated with solid waste. This would include providing receptacles for green waste, recyclables, and garbage.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with solid waste regulations that were not identified in the Certified EIR. Therefore, potential impacts would be less than significant, and no mitigation would be required.

Source:

City of Riverside, *2014-2021 Housing Element Updated Housing Implementation Plan Environmental Impact Report, Final December 2017*. (Available at <https://riversideca.gov/cedd/planning/city-plans/general-plan-0> , accessed March 2020.)

5.4.19 Mandatory Findings of Significance

Does the Project:	Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed in the Certified EIR; No New Impact	Substantially Mitigated by Uniformly Applicable Development Policies
a) Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

a) Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?

Summary of Impacts in the Certified EIR

Less Than Significant with Mitigation: The Certified EIR determined that impacts associated with biological and cultural resources would not substantially degrade the quality of the environment

because most of the candidate sites are developed or partially developed. The mitigation required is discussed in Section 5.4.4 Biological Resources and Section 5.4.5 Cultural Resources.

Impacts Associated with the Proposed Project

Less Than Significant: As previously described, the Proposed Project is an infill development project located in an urbanized area of the City and the Project Site would not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, other approved local, regional, or state habitat conservation plan. In compliance with GP FPEIR **MM BIO-1**, a habitat assessment was prepared for the Project Site and no candidate, sensitive, or special species were present.

According to Section 5.4.5 Cultural Resources, no cultural resources were recorded within the Project Site, and the Project Site does not contain any resources that are important to major periods of California history or prehistory. Although the Project Site does not contain any documented cultural resources, there is a possibility that undiscovered, buried resources (including paleontological and tribal cultural resources) might be encountered during construction. The Proposed Project would include PDF CUL-1, which would ensure applicable mitigation measures from the GP FEIR are utilized if needed. GP FPEIR **MM Cultural-4** and **MM Cultural-6** would reduce any potential impacts associated with any undiscovered resources. Therefore, with implementation of GP FPEIR **MM BIO-1**, **MM Cultural-4**, and **MM Cultural-6**, potential impacts associated with degrading the quality of the environment would be less than significant.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new cumulative impacts that were not identified in the Certified EIR. Therefore, no potential impacts would occur, and no mitigation would be required.

- b) **Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects?)**

Summary of Impacts in the Certified EIR

Significant and Unavoidable After Implementation of Mitigation: The Certified EIR determined that impacts related air quality, cultural and tribal resources, GHG, noise, and traffic would result in cumulatively considerable impacts for which mitigation measures were adopted. As a result of these findings, the City Council adopted a Statement of Overriding Considerations (Certified EIR, pp. 4.1-24, 4.3-48 – 4.3-49, 4.4-20 – 4.4-21, 4.7-29 – 4.7-34, 4.9-49 – 4.9-53).

Impacts Associated with the Proposed Project

Less Than Significant: The Proposed Project would result in potentially significant project-specific impacts related to air quality, biological resources, cultural and paleontological resources, greenhouse gas emissions, hazards and hazardous material, tribal cultural resources, noise, and traffic. However, the Proposed Project would include project design features (PDF AE-1, PDF AE-2, PDF AE-3, PDF AQ-1, PDF AQ-2, PDF AQ-3, PDF CUL-1, PDF GHG-1, PDF GHG-2, PDF GHG-3, PDF GHG-4, PDF GHG-5, PDF NOI-1, PDF NOI-2, and PDF TRAF-1) which, in addition to certified EIR **MM AQ-1, MM AQ-2, MM GHG-1, MM HAZ-3, MM HAZ-4, MM NOI-1, MM NOI-2, MM NOI-4, MM TRA-1, MM TRA-2, MM TRA-3** and GP FPEIR **MM BIO-1, MM Cultural-4, and MM Cultural-6**, would reduce these impacts to less than significant levels. The Air Quality and Transportation analyses presented in Section 4.3 and Section 4.16, respectively, of this document considered cumulative impacts and determined that cumulative air and traffic impacts would be less than significant with mitigation incorporated, as outlined in those sections. Therefore, with implementation of Certified **MM AQ-1, MM AQ-2, MM TRA-1, MM TRA-2, MM TRA-3** and GP FPEIR **MM Cultural-4** and **MM Cultural-6**, potential impacts associated with past projects, other current projects, and the probable future projects would be less than significant.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new individually limited, but cumulatively considerable specific effects impacts that were not identified in the Certified EIR. Therefore, no potential impacts would occur, and no mitigation would be required.

- c) **Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?**

Summary of Impacts in the Certified EIR

Significant and Unavoidable After Implementation of Mitigation: The Certified EIR determined that impacts related to air quality, GHG, noise, and traffic would result in significant unavoidable impacts. As a result of these findings, the City Council adopted a Statement of Overriding Considerations (Certified EIR, pp. 4.1-24, 4.3-48 – 4.3-49, 4.4-20 – 4.4-21, 4.7-29 – 4.7-34, 4.9-49 – 4.9-53).

Impacts Associated with the Proposed Project

Less Than Significant: All potential impacts of the Proposed Project have been identified, and mitigation measures have been provided, where applicable, to reduce potential impacts to less than significant levels. Therefore, with implementation of Certified EIR **MM AQ-1, MM AQ-2, MM GHG-1, MM HAZ-3, MM HAZ-4, MM NOI-1, MM NOI-2, MM NOI-4, MM TRA-1, MM TRA-2, MM TRA-3** and GP FPEIR **MM BIO-1, MM Cultural-4, and MM Cultural-6**, and project design features, potential impacts associated with adverse environmental effects on human beings would be less than significant.

Conclusion

Based on an examination of the analysis, findings, and conclusions of the Certified EIR, implementation of the Proposed Project would not substantially increase the severity of significant impacts identified in the Certified EIR, nor would it result in new specific effects associated with environmental effects which will cause substantial adverse environmental effects on human beings that were not identified in the Certified EIR. Therefore, no potential impacts would occur, and no mitigation would be required.

Standard Conditions/Existing Plans, Programs, or Policies

See Section 5.4.3 Air Quality; 5.4.4 Biological Resources; 5.4.5 Cultural Resources; 5.4.7 Greenhouse Gas Emission; 5.4.8 Hazards and Hazardous Materials; 5.4.12 Noise; and 5.4.16 Transportation

Applicable Mitigation Measures:

See Section 5.4.3 Air Quality; 5.4.4 Biological Resources; 5.4.5 Cultural Resources; 5.4.7 Greenhouse Gas Emission; 5.4.8 Hazards and Hazardous Materials; 5.4.12 Noise; and 5.4.16 Transportation

No project-specific mitigation measures are required as a result of the Proposed Project.

Source:

City of Riverside, *2014-2021 Housing Element Updated Housing Implementation Plan Environmental Impact Report, Final December 2017*. (Available at <https://riversideca.gov/cedd/planning/city-plans/general-plan-0> , accessed March 2020.)



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