

DUNCAN GARDENS

CODE DESCRIPTION:

ALL PLANS & INFORMATION HEREIN SHALL COMPLY WITH:
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA ENERGY CODE
2019 BUILDING ENERGY EFFICIENCY STANDARDS

PROJECT SCOPE:

PROPOSAL OF NEW CONSTRUCTION OF (2) BUILDINGS TOTALING 9,104 SQ. FT. TRIPLEX/CONDO BUILDINGS. EACH BUILDING CONTAINING (3) UNITS WITH 3 BEDROOMS, 2-1/2 BATHROOMS AND A 2 CAR GARAGE ON A VACANT PROPERTY WITH OFF-SITE PARKING. RETAINING BLOCK WALLS TO BE ADDED TO THE SIDES OF THE PROPOSED PROJECT LOT.

CITY/COUNTY UTILITIES:

WATER (PROPOSED) ELECTRIC (PROPOSED)

TELEPHONE (PROPOSED) DISPOSAL (PROPOSED)

GAS (PROPOSED) SEWER (PROPOSED)

WATER EFFICIENCY SCHEDULE:

FIXTURE TYPE	MAXIMUM FLOW RATE
SHOWER HEAD	2.0 GPM @ 80 PSI
KITCHEN FAUCET	1.8 GPM @ 80 PSI
LAVATORY FAUCET	1.2 GPM @ 80 PSI
WATER CLOSET	1.20 GPF

PROPOSED LAND COVERAGE:

AREA	SQ. FT.	COVERAGE
BUILDING AREA FOOTPRINT:	5,348.47	25%
CONCRETE:	10,412.64	51%
LANDSCAPING:	4,225.48	24%

TOTAL NET LAND AREA COVERAGE: 21,197.04 100%
NO PROTECTED PLANTS ON SITE

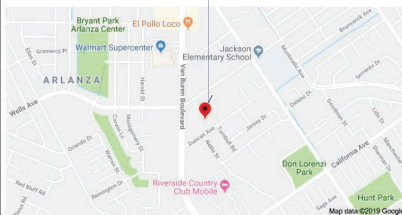
AREA BETWEEN BUILDING: 55'-10"
OPEN AREA: 40'-10" x 55'-10"

LEGAL DESCRIPTION:

APN: 191-200-028
ADDRESS: 9321 DUNCAN AVENUE
RIVERSIDE, CA 92506
SITE DESCRIPTION: 48 ACRES NET IN PAR 2 PM 223/004 PM 30874
OCCUPANCY: R-3
TYPE: V-B
USE: MULTI-FAMILY RESIDENCE
OCCUPANCY LOAD: <10
SPRINKLER: YES
STORIES: 2
HEIGHT: 24.2

VICINITY MAP:

PROJECT SITE
A.P.N. 191-200-028



EXTERIOR RENDERING

FOR ILLUSTRATION ONLY NO SCALE



GENERAL NOTES:

- A SEPARATE PERMIT IS REQUIRED FOR GRADING, RETAINING WALLS, FENCES, FIRE SPRINKLERS, FIRE ALARM SYSTEM WHEN OCCURS, MONUMENT SIGNAGE, TRASH ENCLOSURE, LIGHT STANDARDS, AND SWIMMING POOLS. THEY SHALL BE OBTAINED FROM THE DEVELOPMENT DEPARTMENT PRIOR TO INSTALLATION.
- SITE PLAN IS NOT A BOUNDARY SURVEY.
- PROPOSED CONSTRUCTION COMMENCEMENT DATE: 11/1/2022
- PROPOSED CONSTRUCTION END DATE: 11/1/2022
- NO EARTHWORK IS PROPOSED.
- NO PROTECTED VEGETATION EXISTS ON THE PROJECT PROPERTY.
- ROUGH INSPECTION OF PLUMBING, MECHANICAL, GAS, AND ELECTRICAL SYSTEMS SHALL BE MADE PRIOR TO COVERING OR CONCEALMENT, BEFORE FIXTURES OR APPLIANCES ARE SET OR INSTALLED, AND PRIOR TO FRAMING INSPECTION.
- ALL GLAZING SHALL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED SHOWING THE U-VALUE.
- WINDOWS ADJACENT TO TUBS, SHOWERS, STAIRWAYS, AND WITHIN 24" OF A DOORWAY SHALL BE TEMPERED.

AREA TABULATIONS:

TOTAL BUILDING AREA:	11,146 SQ. FT.
TOTAL LIVABLE AREA:	8,418 SQ. FT.
GARAGE AREA:	2,110 SQ. FT.
BALCONY/PORCH:	618 SQ. FT.
COMMON AREA:	2,894 SQ. FT.

UNIT TABULATIONS:

UNIT A/D	1404 LIVABLE / 350 GARAGE / 140 BALCONY-PORCH
UNIT B/E	1401 LIVABLE / 350 GARAGE / 140 BALCONY-PORCH
UNIT C/F	1401 LIVABLE / 350 GARAGE / 140 BALCONY-PORCH

MINIMUM ENERGY VALUES:

EXTERIOR WALLS:	2x6 @ 16" O.C.
INTERIOR WALLS:	2x4 @ 16" O.C.
CEILING:	R-38
GLAZING:	VINYL DUAL-PANE LOW-E 0.40 U-VALUE MIN.
DUCTS:	R-8
WATER HEATER:	R-12 INSULATION
HVAC:	AS PER ENERGY CALCULATIONS

INDEX OF SHEETS:

NUMBER	LABEL	TITLE	DESCRIPTION
1	0	PRESENTATION VIEWS	
2	0-1.1	PROJECT OVERVIEW	
3	SP-0	TENTATIVE TRACT MAP	
4	1	PRELIMINARY GRADING	
5	2	GRADING CROSS SECTIONS	
6	SP-1	SITE LAYOUT	
7	1A	SITE PLAN	
8	LP-1	COMMON/PRIVATE SPACE	
9	LP-1.0	LANDSCAPE PLAN	
10	SP-1.1	EROSION CONTROL	
11	SP-1.2	DRIVEWAY/CURB	
12	2	FOUNDATION PLAN	
13	3	1ST FLOOR PLAN	
14	3.1	2ND FLOOR PLAN	
15	4	FRAMING/PLUMBING NOTES	
16	5	ROOF PLAN 1ST FLOOR	
17	5.1	ROOF PLAN 2ND FLOOR	
18	6	EXTERIOR ELEVATIONS	
19	7	CROSS SECTIONS	
20	8	INTERIOR ELEVATIONS	
21	10	MECHANICAL	
22	11	ELECTRICAL	
23	PI-0	PHOTOMETRIC	
24	11.1	LIGHTING SPEC. DATA	
25	12	FENCE WALL PLAN	
26	92.0	FOUNDATION PLAN DETAIL	
27	92.1	1ST LEVEL STRUCTURAL	
28	92.2	2ND LEVEL STRUCTURAL	
29	93.1	MISC. DETAILS CONT.	
30	93.1	MISC. DETAILS CONT.	
31	93.1	MISC. DETAILS	
32	SM1	SHEAR MAX DETAIL	
33	SM2	SHEAR MAX DETAIL	
34	SM3	SHEAR MAX DETAIL	
35	L-1	LANDSCAPE DETAIL	
36	GN	GENERAL NOTES	
37	LN	LANDSCAPE NOTES	
38	NM	MANDATORY MEASURES	STAIRS & RAILINGS
39	NM	MANDATORY MEASURES	GREEN CODE & FIRE ACCESS
40	NM	MANDATORY MEASURES	BLOCK WALL ENCLOSURE
41	NM	MANDATORY MEASURES	
42	SCH	SCHEDULES	SCHEDULES & MATERIALS
43	CFR	TITLE 24 ENERGY CALCS.	
44	CFR	TITLE 24 ENERGY CONT.	
45	PV	SOLAR PHOTOVOLTAIC	
46	PV	SOLAR PHOTOVOLTAIC	
47	PV	SOLAR PHOTOVOLTAIC	
48	PV	SOLAR PHOTOVOLTAIC	

PROJECT TEAM

PROJECT MANAGEMENT: JOHNNY VU

ARCHITECTURAL: JONATHAN L. ZANE
ARCHITECTURE
RICHARDS DESIGN GROUP
ANDREW RICHARDS
PAUL A. CROSBY
CONSULTING ENGINEER
PAUL CROSBY

SURVEY: TANA ENGINEERS, INC
BLADIMIR PAYAN

CONSTRUCTION MANAGEMENT: JOHNNY VU

STRUCTURAL: PAUL A. CROSBY
CONSULTING ENGINEER
PAUL CROSBY

GEOTECHNICAL: TANA ENGINEERS, INC
BLADIMIR PAYAN

FIRE SPRINKLER SUPPRESSION: DIFFERED SUBMITTAL
LICENSED SPRINKLER ENGINEER

PHOTOMETRIC/ELECTRICAL: JPC DESIGN CONSORTIUM

ENVIRONMENTAL: TANA ENGINEERS, INC
BLADIMIR PAYAN

LANDSCAPE: SPLA
SCOTT PETERSON
LANDSCAPE ARCHITECT

SOLAR: UNIVER-CITY SOLAR



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REVISION TABLE		
NUMBER	DATE	REVISION BY

DRAWINGS PROVIDED BY	DATE
RICHARDS DESIGN GROUP	11/1/2022
ENGINEER	11/1/2022
DESIGNED BY: JLR	11/1/2022
DRAWN BY: JLR	11/1/2022
CHECKED BY: JLR	11/1/2022
APPROVED BY: JLR	11/1/2022

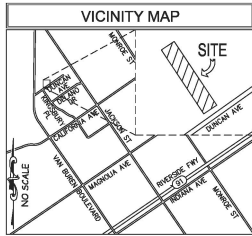
APN: 191-200-028	VERTICAL/HORIZONTAL CONTROL
SHEET TITLE: Project Overview	
PROJECT: DUNCAN GARDENS CONDO UNITS	
ADDRESS: 9321 DUNCAN AVENUE, RIVERSIDE, CA 92503	

DATE: 11/1/2022

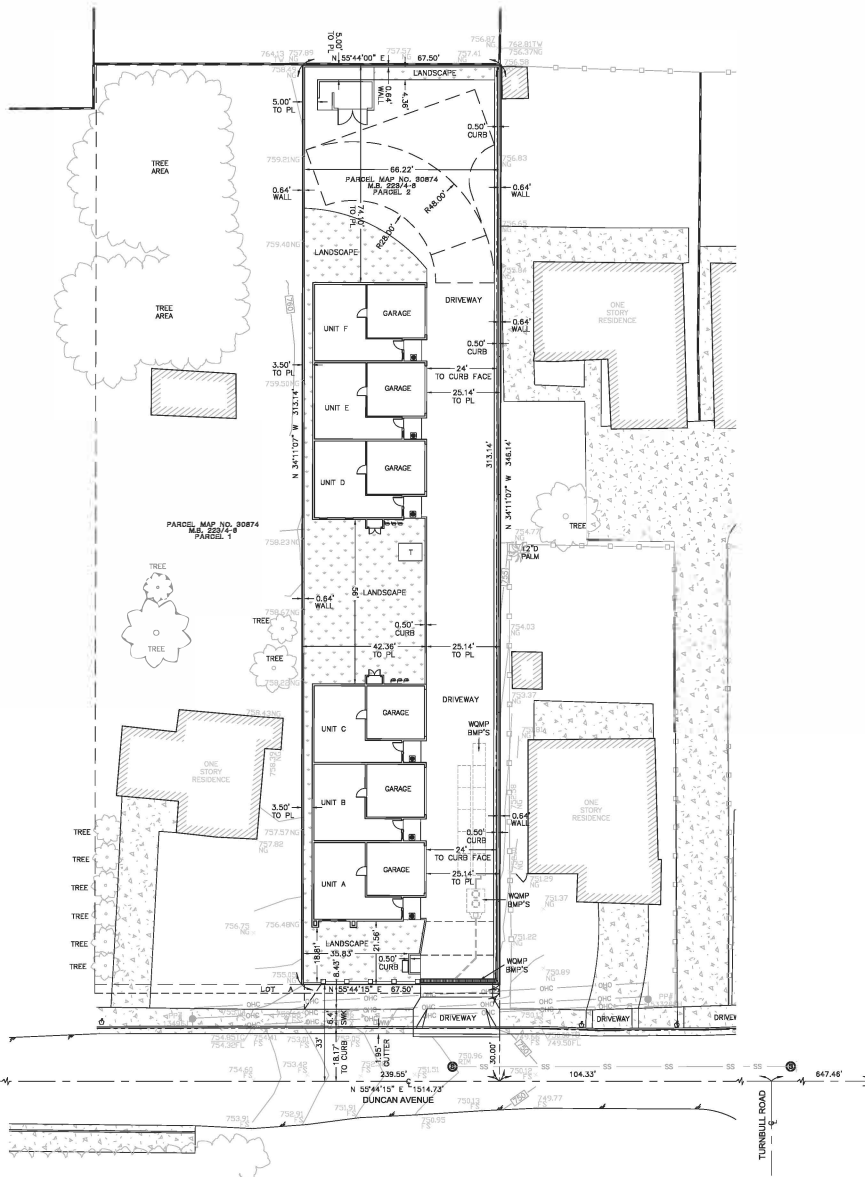
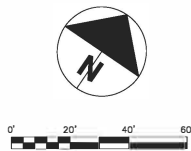
SCALE:

SHEET NO.:

G-1.1



LEGEND	
	EXIST. BLOCK WALL
	EXIST. BUILDING
	EXIST. CENTER LINE
	EXIST. CONCRETE
	EXIST. CONTOUR
	EXIST. EASEMENT
	EXIST. EDGE OF PAVEMENT
	EXIST. FINISHED SURFACE
	EXIST. FLOW LINE
	EXIST. GATE
	EXIST. LOT LINE
	EXIST. NATURAL GROUND
	EXIST. OVERHEAD CABLE
	EXIST. POWER POLE
	EXIST. PROPERTY LINE
	EXIST. SEWER MANHOLE
	EXIST. TOP OF CURB
	EXIST. TOP OF WALL
	EXIST. WATER METER
	EXIST. WOOD FENCE
	PROP. A.C. UNIT
	PROP. LANDSCAPE
	PROP. SPOT ELEVATION
	PROP. TRANSFORMER



CITY OF RIVERSIDE SITE PLAN DUNCAN GARDENS CONDO UNITS

9321 DUNCAN AVENUE
RIVERSIDE, CA 92503

PROJECT MANAGEMENT:
JOHNNY YU

ARCHITECT:
RICHARD DESIGN GROUP
9569 PERIDOT AVENUE
HESPERIA, CA 92344
(760)662-6769
A.R.DGROUP@GMAIL.COM

CIVIL ENGINEER:
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2404 MARY CLARE STREET
CORONA, CA 92882
(949) 734-0093
BLADIMIR@TANAENGINEERS.COM

LAND SURVEYOR:
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2404 MARY CLARE STREET
CORONA, CA 92882
(951)356-6456
ATANACIO@PAYANSURVEYING.COM

FIRST AMERICAN TITLE COMPANY

ORDER NO.: 0623-6068631
DATED: OCTOBER 07, 2019

LEGAL DESCRIPTION:

REAL PROPERTY IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 2 OF PARCEL MAP NO. 30874, IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 223, PAGE 4 TO 6, OF PARCEL MAPS, RECORDS OF SAID COUNTY

ASSESSOR'S PARCEL NUMBER: 191-200-028-9

AREA: 21,137.09 S.F. (0.485 ACRES)

EXCEPTION ITEMS:

- ANY AND ALL OFFERS OF DEDICATIONS, CONDITIONS, RESTRICTIONS, EASEMENTS, NOTES AND/OR PROVISIONS SHOWN OR DISCLOSED BY THE FILED OR RECORDED MAP REFERRED TO IN THE LEGAL DESCRIPTION INCLUDING BUT NOT LIMITED TO: PUBLIC UTILITIES, AVIGATION, AND THE RIGHT OF FLIGHT FOR THE PASSAGE OF AIRCRAFT AND INCIDENTAL PURPOSES AFFECTING SAID LAND. THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
- A RIGHT OF WAY RESERVED TO THE RIVERSIDE WATER COMPANY, AND ITS ASSIGNS, FOR THE CONSTRUCTION AND MAINTENANCE OF ALL NECESSARY WATER DITCHES, PIPES, FLUMES AND APPARATUS FOR THE PURPOSES OF IRRIGATION AND DOMESTIC USE AS GRANTED ON AUGUST 14, 1885 IN BOOK 42 OF DEEDS PAGE 284, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA; THE EXACT LOCATION THEREOF NOT BEING DISCLOSED BY THE RECORDS. THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.

BENCH MARK:

CITY OF RIVERSIDE BENCHMARK NO. 5052
ELEVATION = 811.264 FEET (NAVD 83 DATUM) 21999
FOUND 2" LP NO TAG DN 0.7" STA 22+24.66 PER LL AT C.L. COOK AVE B.C. E'LY OF TOMLINSON

BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED UPON THE CENTER LINE OF DUNCAN AVENUE, BEING N 55° 44' 15" E AS SHOWN ON PARCEL MAP NO. 30874 RECORDED IN BOOK 223, PAGES 4 TO 6, RECORDS OF RIVERSIDE COUNTY.

AREA TABULATIONS:

TOTAL BUILDING AREA: 11,368 S.F.
TOTAL LIVABLE AREA: 8,418 S.F.
GARAGE AREA: 2,110 S.F.
BALCONY/PORCH: 618 S.F.
COMMON AREA: 2,282 S.F.

UNIT TABULATIONS:

UNIT A/D 1409 LIVABLE/350 GARAGE/140 BALCONY-PORCH
UNIT B/E 1401 LIVABLE/350 GARAGE/140 BALCONY-PORCH
UNIT C/F 1401 LIVABLE/350 GARAGE/140 BALCONY-PORCH

EARTHWORK QUANTITIES:

CUT (RAW) = 1441 C.Y.
FILL (RAW) = 124 C.Y.
EXPORT (RAW) = 1317 C.Y.
TOTAL = 21,109 SQ. FT.
DISTURBED AREA (0.48 ACRES)



ENGINEER		
PRK	BY	DATE

REVISIONS

UNDER THE SUPERVISION OF:

J.M. SANCHEZ
RCE# 30846 (EXP. 03/31/2022)

02/16/23
DATE



2404 Mary Clare Street
Corona, CA 92882
949-734-0093
bladimir@tanaengineers.com

CITY OF RIVERSIDE

SITE PLAN

DUNCAN GARDENS CONDO UNITS
9321 DUNCAN AVENUE
RIVERSIDE, CA 92503

SHEET NO.

1

1 OF 1 SHTS

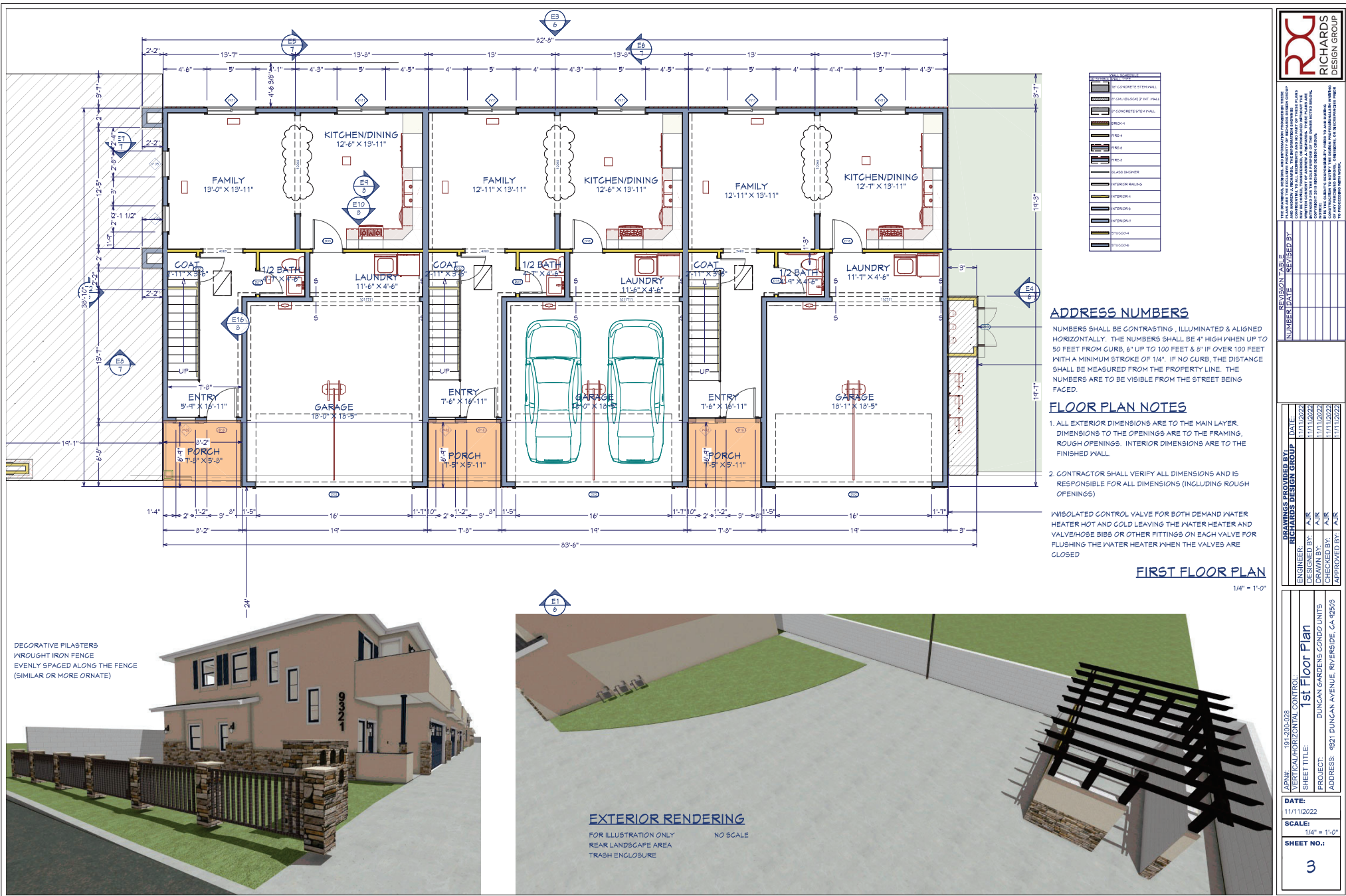
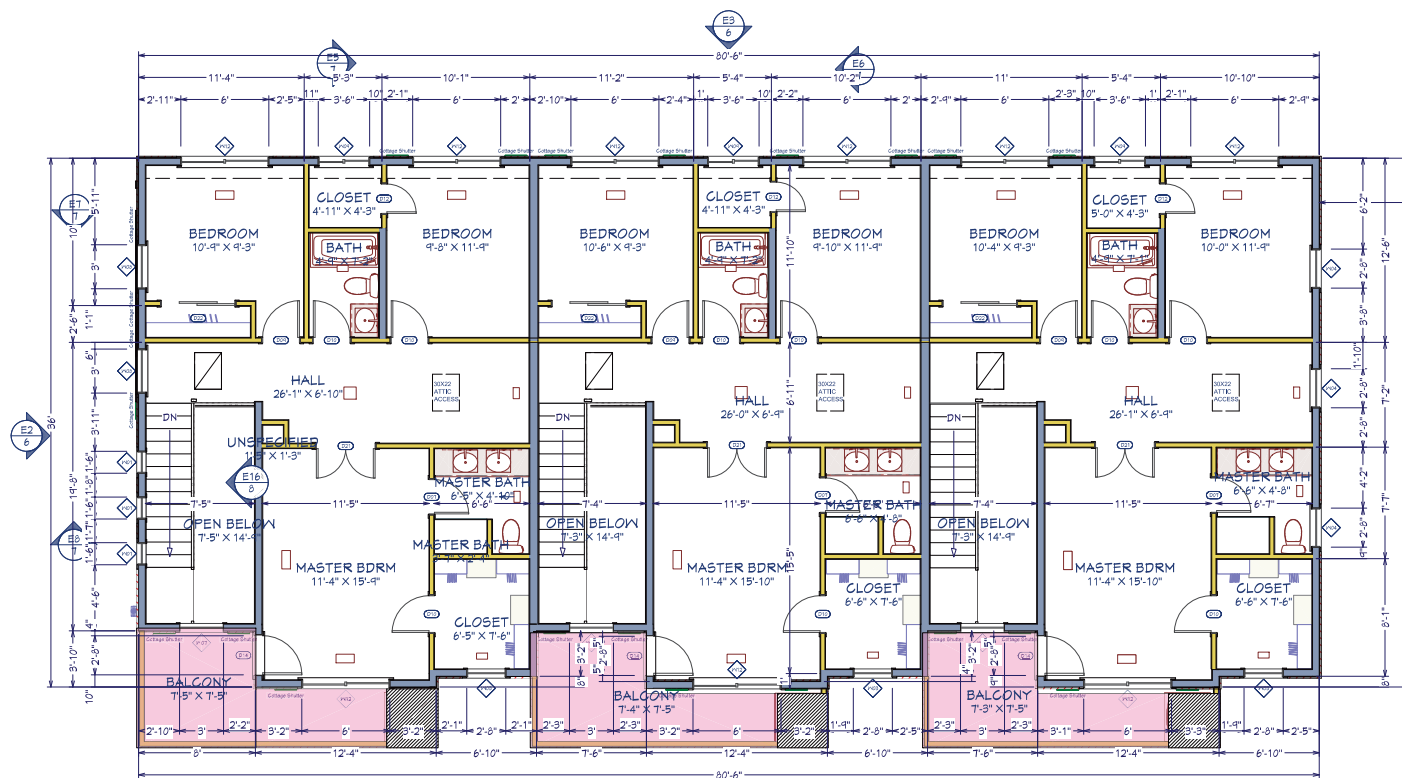


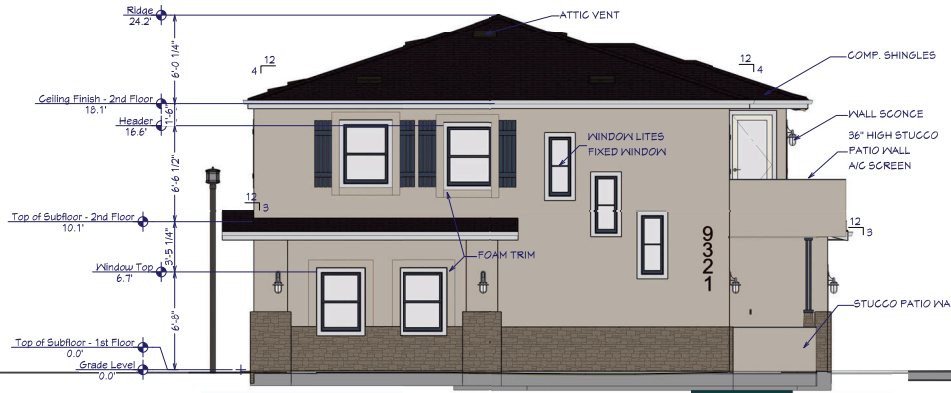
Exhibit 8 - Project Plans

3.1

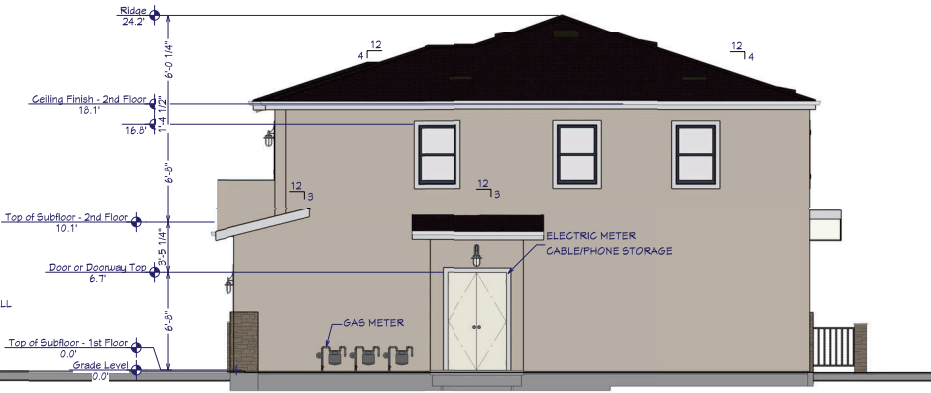
TRASH ENCLOSURE



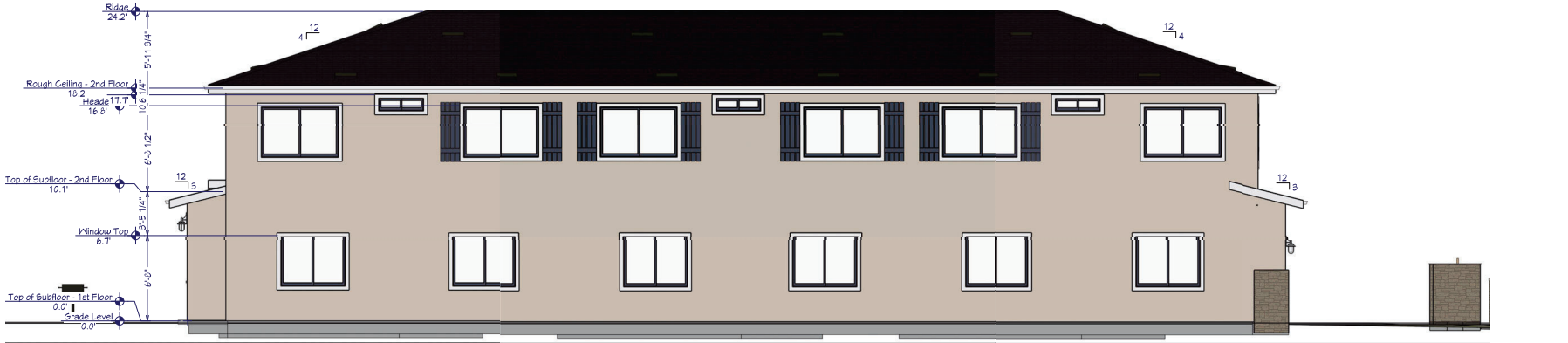
EAST/FRONT ELEVATION



SOUTH/LEFT ELEVATION



NORTH/RIGHT ELEVATION



WEST/REAR ELEVATION

EXTERIOR ELEVATIONS

RICHARDS DESIGN GROUP

11112022

REVISION TABLE	
NUMBER	DATE

DATE	BY	FOR
11/11/2022		
11/11/2022		
11/11/2022		
11/11/2022		

APPROVED BY:

ENGINEER:

DESIGNED BY:

DRAWN BY:

CHECKED BY:

APPROVED BY:

VERTICAL HORIZONTAL CONTROL

PROJECT: DUNCAN GARDENS CONDO UNITS

ADDRESS: #21 DUNCAN AVENUE, RIVERSIDE, CA 92505

DATE: 11/11/2022

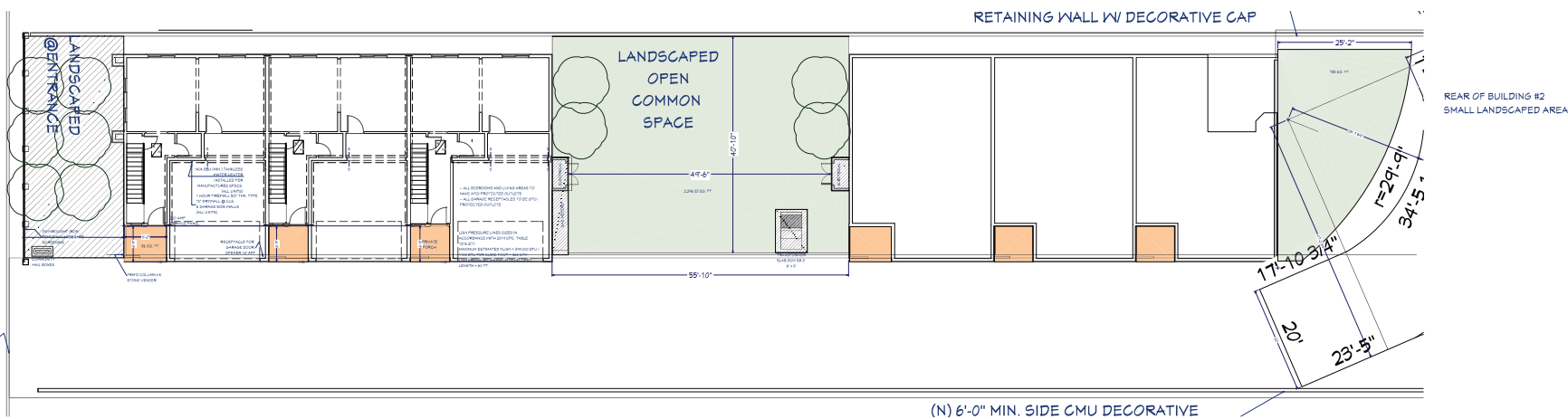
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SHEET NO.:

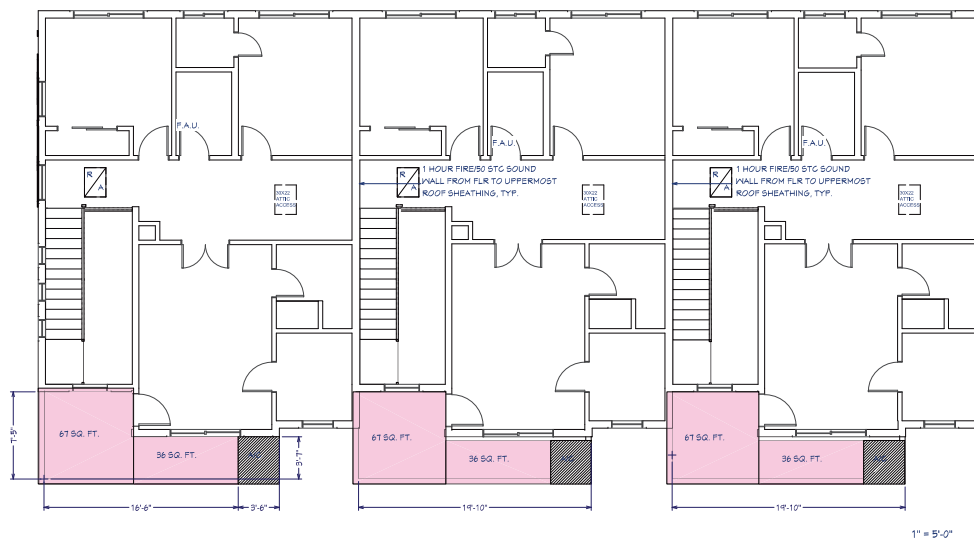
6



F. ANCHOR VENEER: $2 \times 2 \times 0.0625$ " CORROSION-RESISTANT WIRE MESH WITH TWO LAYERS OF WATER-RESISTIVE BARRIER IN ACCORDANCE WITH SEG. 1404.2 SHALL BE APPLIED DIRECTLY TO WOOD STUDS SPACED A MAXIMUM OF 16" O.C. ON STUDS, THE MESH SHALL BE ATTACHED WITH 2" LONG CORROSION-RESISTANT STEEL WIRE FURRING NAILS AT 4" O.C. PROVIDING A MINIMUM 1.125" PENETRATION INTO EACH STUD AND WITH 8d COMMON NAILS AT 5" O.C. INTO TOP AND BOTTOM FLATES OR WITH EQUIVALENT WIRE TIES. THERE SHALL BE NO LESS THAN 0.1055" CORROSION-RESISTANT WIRE, OR APPROVED EQUAL, LOOPED THROUGH THE MESH FOR EVERY 2.5d. FT. OF STONE VENEER. THIS SHALL BE A LOOP HAVING LEGS NOT LESS THAN 1.5" IN LENGTH, SO BEYOND THAT IT WILL LIE IN THE STONE VENEER MORTAR JOINT. THE LAST 2" OF EACH WIRE LEG SHALL HAVE A RIGHT-ANGLED BEND. 1" MINIMUM THICKNESS OF CEMENT GROUT SHALL BE PLACED BETWEEN THE BACKING AND THE STONE VENEER.



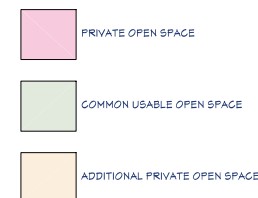
1st Floor



2nd Floor

COLOR LEGEND:

PRIVATE OPEN SPACE: 618 SQ. FT.
COMMON USABLE OPEN SPACE: 3,031 SQ. FT.
ADDITIONAL PRIVATE OPEN SPACE: 336 SQ. FT.



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REVISION	DATE	BY	REVISION
1	11/11/2022	AJR	ISSUED FOR PERMIT
2	11/11/2022	AJR	REVISIONS
3	11/11/2022	AJR	REVISIONS
4	11/11/2022	AJR	REVISIONS
5	11/11/2022	AJR	REVISIONS

DATE	BY	DATE	BY
11/11/2022	AJR	11/11/2022	AJR
11/11/2022	AJR	11/11/2022	AJR
11/11/2022	AJR	11/11/2022	AJR
11/11/2022	AJR	11/11/2022	AJR

APR 191-200-028	VERTICAL HORIZONTAL CONTROL	DATE: 11/11/2022
SHEET TITLE: Common/Private Space	DESIGNED BY: AJR	SCALE: VARIES
PROJECT: DUNCAN GARDENS CONDO UNITS	DRAWN BY: AJR	SHEET NO.: LP-1
ADDRESS: 4821 DUNCAN AVENUE, RIVERSIDE, CA 92503	CHECKED BY: AJR	
	APPROVED BY: AJR	

CITY OF RIVERSIDE PRELIMINARY GRADING PLAN FOR: DUNCAN GARDENS CONDO UNITS

9321 DUNCAN AVENUE
RIVERSIDE, CA 92503

PROJECT MANAGEMENT:
JOHNNY VU

ARCHITECT:
RICHARD DESIGN GROUP
8569 PERIDOT AVENUE
HESPERIA, CA 92344
(760)662-6769
A.R.DGROUP@gmail.com

CIVIL ENGINEER:
TANA ENGINEERS, INC.
2404 MARY CLARE STREET
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(949) 734-0093
BLADIMIR@TANAENGINEERS.COM

LAND SURVEYOR:
PAYAN SURVEYING, INC.
2404 MARY CLARE STREET
CORONA, CA 92882
(951)356-6456
ATANAGIO@PAYANSURVEYING.COM

FIRST AMERICAN TITLE COMPANY

ORDER NO.: 0623-6068631

DATED: OCTOBER 07, 2019

LEGAL DESCRIPTION:

REAL PROPERTY IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 2 OF PARCEL MAP NO. 30874, IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 223, PAGE 4 TO 6, OF PARCEL MAPS, RECORDS OF SAID COUNTY

ASSESSOR'S PARCEL NUMBER: 191-200-028-9

AREA: 21,137.09 S.F. (0.485 ACRES)

EXCEPTION ITEMS:

- ④ ANY AND ALL OFFERS OF DEDICATIONS, CONDITIONS, RESTRICTIONS, EASEMENTS, NOTES AND/OR PROVISIONS SHOWN OR DISCLOSED BY THE FILED OR RECORDED MAP REFERRED TO IN THE LEGAL DESCRIPTION INCLUDING BUT NOT LIMITED TO: PUBLIC UTILITIES, AVIGATION, AND THE RIGHT OF FLIGHT FOR THE PASSAGE OF AIRCRAFT AND INCIDENTAL PURPOSES AFFECTING SAID LAND. THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
- ⑤ A RIGHT OF WAY RESERVED TO THE RIVERSIDE WATER COMPANY, AND ITS ASSIGNS, FOR THE CONSTRUCTION AND MAINTENANCE OF ALL NECESSARY WATER DITCHES, PIPES, FLUMES AND APPARATUS FOR THE PURPOSES OF IRRIGATION AND DOMESTIC USE, AS GRANTED ON AUGUST 14, 1885 IN BOOK 42 OF DEEDS PAGE 294, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA; THE EXACT LOCATION THEREOF NOT BEING DISCLOSED BY THE RECORDS.

THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.

BENCH MARK:

CITY OF RIVERSIDE BENCHMARK NO. 5052

ELEVATION = 811.264 FEET (NAVD 83 DATUM) 21999

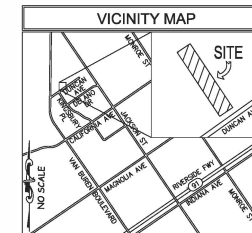
FOUND 2" I.P. NO TAG DN 0.7' STA 22+24.66 PER LL AT C.L. COOK AVE B.C. E'LY OF TOMLINSON

BASIS OF BEARINGS:

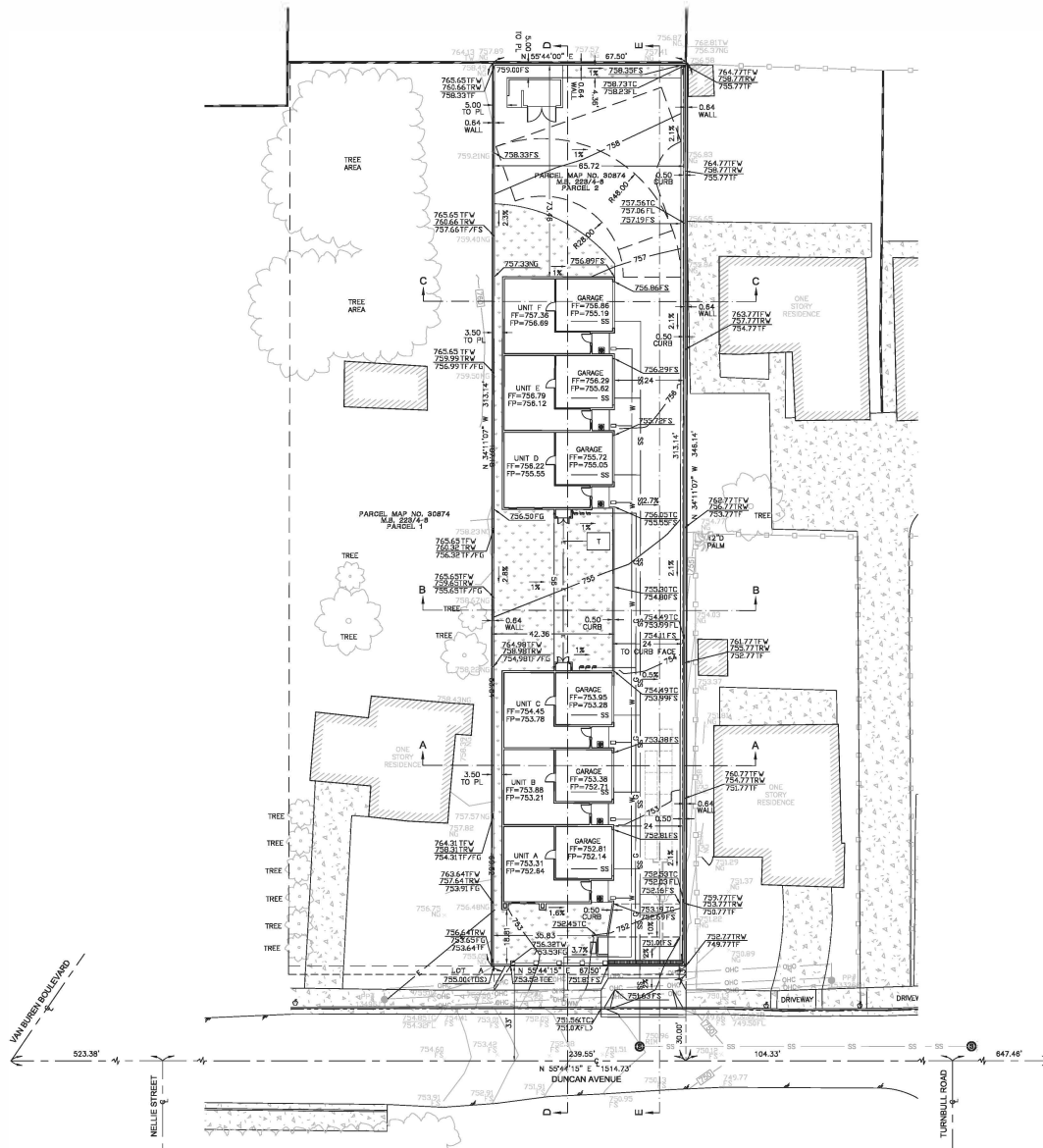
THE BEARINGS SHOWN HEREON ARE BASED UPON THE CENTER LINE OF DUNCAN AVENUE, BEING N 55° 44' 15" E AS SHOWN ON PARCEL MAP NO. 30874 RECORDED IN BOOK 223, PAGES 4 TO 6, RECORDS OF RIVERSIDE COUNTY.

EARTHWORK QUANTITIES:

CUT (RAW) = 1,441 C.Y.
FILL (RAW) = 124 C.Y.
EXPORT (RAW) = 1,217 C.Y.
TOTAL = 21,109 SQ. FT.
DISTURBED AREA (0.48 ACRES)



LEGEND	
	EXIST. BLOCK WALL
	EXIST. BUILDING
	EXIST. CENTER LINE
	EXIST. CONCRETE
	EXIST. CONTOUR
	EXIST. EASEMENT
	EXIST. EDGE OF PAVEMENT
	EXIST. FINISHED SURFACE
	EXIST. FLOW LINE
	EXIST. GATE
	EXIST. LOT LINE
	EXIST. NATURAL GROUND
	EXIST. OVERHEAD CABLE
	EXIST. POWER POLE
	EXIST. SEWER MANHOLE
	EXIST. TOP OF CURB
	EXIST. TOP OF WALL
	EXIST. WATER METER
	EXIST. WOOD FENCE
	PROP. A.C. UNIT
	PROP. CONTOUR
	PROP. FINISHED GRADE
	PROP. FINISHED SURFACE
	PROP. FLOW LINE
	PROP. LANDSCAPE
	PROP. TOP OF CURB
	PROP. TOP OF FOOTING
	PROP. TOP OF PREEXISTING WALL
	PROP. TOP OF RETAINING WALL
	PROP. TRANSFORMER



ENGINEER		
REV	BY	DATE

REVISIONS

UNDER THE SUPERVISION OF:

J.M. SANCHEZ
RCE# 30946 (EXP. 03/31/2022)

02/16/23

DATE

SEAL-ENGINEER



2404 Mary Clare Street
Corona, CA 92882
949-734-0093
bladimir@tanaengineers.com

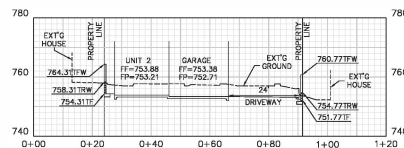
CITY OF RIVERSIDE PRELIMINARY GRADING PLAN

DUNCAN GARDENS CONDO UNITS
9321 DUNCAN AVENUE
RIVERSIDE, CA 92503

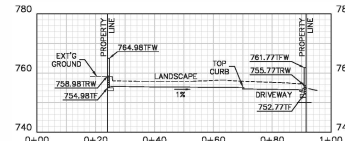
SHEET NO.

1

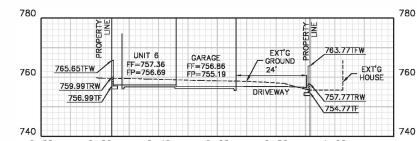
1 OF 2 SHITS



SECTION A-A
VERTICAL SCALE 1" = 20'
HORIZONTAL SCALE 1" = 20'

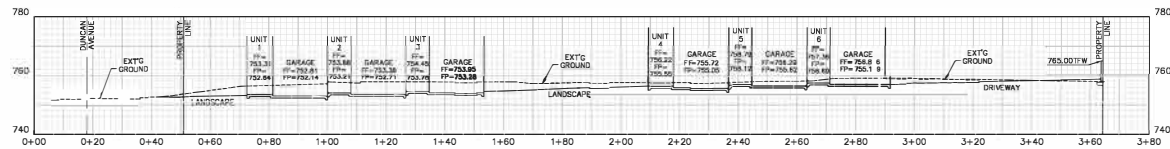


SECTION B-B
VERTICAL SCALE 1" = 20'
HORIZONTAL SCALE 1" = 20'

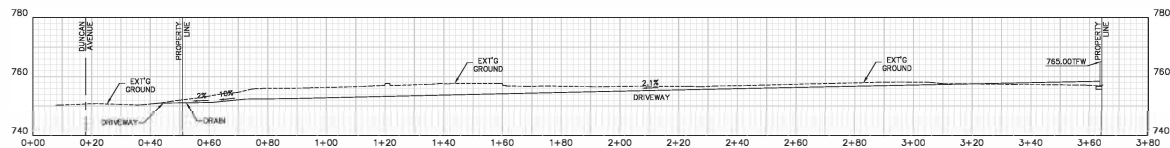


SECTION C-C
VERTICAL SCALE 1" = 20'
HORIZONTAL SCALE 1" = 20'

LEGEND	
FF	FINISHED FLOOR
FP	FINISHED PAD
TFW	TOP OF FREESTANDING WALL
TRW	TOP OF RETAINING WALL
IF	TOP OF FOOTING



SECTION D-D
VERTICAL SCALE 1" = 20'
HORIZONTAL SCALE 1" = 20'

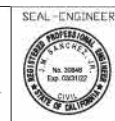


SECTION E-E
VERTICAL SCALE 1" = 20'
HORIZONTAL SCALE 1" = 20'



ENGINEER			REVISIONS
MR	BY	DATE	

UNDER THE SUPERVISION OF:	
 J.M. SANCHEZ RCE# 30846 (EXP. 03/31/2022)	10/14/22 DATE



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CITY OF RIVERSIDE		SHEET NO.
CROSS SECTIONS		2
DUNCAN GARDENS CONDO UNITS 8321 DUNCAN AVENUE RIVERSIDE, CA 92503		2 OF 2 SHTS

1. SITE SURVEY TO BE COMPLETED TO VERIFY PIN LOCATIONS AND HOME LOCATION PRIOR TO EXCAVATION.
2. CALL BEFORE DIG: 811
3. NO PROTECTED PLANTS ON SITE.
4. ALL WALLS ARE RETAINING WALLS

2. INSTALL SILT FENCE PRIOR TO EXCAVATION OR CONSTRUCTION.
3. MINIMIZE SITE DISTURBANCE BY TIGHT CONTROL OF EXCAVATION LIMITS.
3. ALL EXPOSED SOIL SHALL BE MULCHED WITH STRAW OR WOOD CHIPS TO MINIMIZE SOIL EROSION. NO SOILS SHALL BE LEFT IN AN EXPOSED CONDITION. IT IS RECOMMENDED THAT THE CONTRACTOR MAINTAIN A STOCK PILE OF THIS MATERIAL ON SITE FOR QUICK APPLICATION.
4. HYDROSEED WITH A WOOD CELLULOSE FIBER MULCH APPLIED AT A RATE OF 3000 #/ACRES. USE AN ORGANIC TACKIFIER AT NO LESS THAN 150 #/ACRE OR PER MANUFACTURER'S RECOMMENDATION IF HIGHER. APPLICATION OF TACKIFIER SHALL BE HEAVIER AT EDGES IN VALLEYS AND AT CRESTS OF BANKS AND OTHER AREAS WHERE SEED CAN BE MOVED BY WIND OR WATER.
5. DISPERSION TRENCHES SHALL OVERFLOW ONTO NATIVE UNDISTURBED GROUND. NO SITE DISTURBANCE BELOW TRENCHES.

1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
2. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
3. FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD ROCK CHANNELS AND DISPERSION TRENCHES.
4. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTABLE MATERIAL AND STRIPPED OF TOPSOIL.
5. PLACE FILL SLOPES WITH A GRADIENT STEPPER THAT 3:1 IN LIFTS NOT TO EXCEED 8" INCHES AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED.
6. PAD AT RESIDENCE SHALL BE OVER-EXCAVATED 2'-0" AND REPLACED IN 12" LIFTS AND RE-COMPACTED TO 90% - ALL LAND DISTURBANCE IS APPROX. 10,300 SQ. FT. - CUT = 37 CUBIC YARDS, FILL = 37 CUBIC YARDS.

FOUNDATION SLAB SHALL BE A MINIMUM 8" ABOVE GRADE

ALL WORK WITHIN A PUBLIC RIGHT-OF-WAY IS REQUIRED TO HAVE AN ENCROACHMENT PERMIT BY THE PUBLIC WORKS DEPARTMENT.

1/8" MIN. SLOPE - GRADE SHALL FALL 6" WITHIN THE FIRST 10' OF FOUNDATION.

PROVISIONS FOR CONTRIBUTORY DRAINAGE SHALL BE MADE AT ALL TIMES.

THE GROUNDS IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 6" (5 PERCENT SLOPE) IN THE FIRST 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING. (CRC R401.3)

EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR SWALES SHALL BE CONSTRUCTED WITH A MINIMUM SLOPE OF 2% IN THE DIRECTION OF FLOW TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.



2. INDICATES EXISTING GROUND ELEVATIONS.
3. INDICATES PROPOSED GROUND ELEVATIONS.
4. ALL GRADING IS TO BE DONE IN ACCORDANCE WITH THIS PLAN AND THE CITY OF RIVERSIDE STANDARDS & SPECIFICATIONS.
5. ALL SLOPES SHALL BE 2 HORIZONTAL TO 1 VERTICAL MAX.
6. THE CONTRACTOR SHALL PROVIDE ADEQUATE SLOPE CONTROL.
7. ALL WASTE VEGETATION AND REFUSE SHALL BE REMOVED BEFORE GRADING. NO PLANT TO BE PLACED UNTIL PREPARATION OF THE ORIGINAL GROUND IS APPROVED.
8. SCARIFY GROUND TO A DEPTH OF 6" BEFORE GRADING. PLACE PLANT IN 8' LIFTS WITH ROCKS NO GREATER THAN 6".
9. ALL COMPACTED FILL AREAS SHALL BE PLACED TO 90% OF MAXIMUM DENSITY AND ALL COMPACTION TESTS IN FILL SHALL BE TAKEN AT A MAXIMUM OF 4 VERTICAL INTERVALS, PER A.S.T.M. D1557-70.
10. THE FOUNDATION BEARING VALUE SHALL BE MINIMUM 1500 P.S.F.
11. TO MINIMUM OF 1 COMPACTION TEST IN THE CUT AREA AND 1 COMPACTION TEST IN THE FILL AREA ARE REQUIRED. THE CONTRACTOR SHALL SUBMIT A COMPACTION TEST REPORT AND OBTAIN APPROVAL PRIOR TO FOUNDATION INSPECTION.
12. EXCAVATION: 100 C.Y. (15-20% LOSS DUE TO SHRINKAGE) IS ASSUMED).
13. EMBANKMENT: 360 C.Y.
14. TRANSPORTATION DEPARTMENT PERMIT IS REQUIRED FOR ANY CONSTRUCTION, TEMPORARY OR PERMANENT, ON CITY RIGHT OF WAY, OR FOR USE OF CITY MAINTENANCE ROADS BY OVERLOAD EQUIPMENT.
15. CONTACT THE GRADING INSPECTOR A MINIMUM OF 48 HOURS BEFORE START FOR AN ON SITE PRE-GRADING MEETING.
** IMPORT: C.Y. COMPACTED ON SITE FOR ANY IMPROVED AREA.
16. PLACE PORTABLE TOILET NEAR STABILIZED SITE ENTRANCE. BEHIND THE FLARE AND AWAY FROM GUTTERS, STORM DRAIN INLETS, AND WATER BODIES. THE OR STAKE PORTABLE TOILET TO PREVENT TIPPING AND EQUIP UNITS WITH OVERFLOW PANTRY.
17. DESIGNATE WASTE COLLECTION AREA ON SITE. USE WATERIGHT DUMPSITER AND TRASH CANS; INSPECT FOR LEAKS. COVER AT THE END OF EACH WORK DAY AND WHEN IT IS RAINING OR WINDY. ARRANGE FOR REGULAR WASTE COLLECTION. PICK UP SITE LITER DAILY.

A. LUMBER:

- 1) DOUGLAS FIR LARCH (NORTH), 14% MOISTURE CONTENT
- 2) 2" x JOISTS AND RAFTERS - #2 OR BETTER
- 3) 4" x, 6" x, 8" x BEAMS AND HEADERS - #1 OR BETTER
- 3) PLATES, BLOCKING AND STUDS - STUDS GRADE OR BETTER

B. GLUED-LAMINATED BEAM:

- COMBINATION: 24F-V4
- SPECIES: DF/DI

C. CONCRETE:

- 8000 PSI MINIMUM STRENGTH AT 28 DAYS

D. STEEL:

- 1) ASTM A36, F_y=36 ksi FOR STRUCTURAL STEEL
- 2) ASTM A615, GRADE 40 FOR #3 AND #4, GRADE 60 FOR #5 AND LARGER REBAR STEEL
- 3) ASTM A53, GRADE B FOR PIE STEEL
- 4) ASTM A500, GRADE B FOR TUBE STEEL

ANCHOR BOLTS A307

SAWN LUMBER - LOGS P-20

PREFAB WOOD JOISTS - ASTM D5055

GLUE LAMS - ANSI / AITC 408.1 & ASTM D3971

WOOD STRUCTURE PANELS - DOG P5 1 OR P2

PARTICLEBOARD - ANSI A208.1

TREATED WOOD - AMPA STANDARD U1 & M4

NAILS AND STAPLES - ASTM F1667

SAWN LUMBER - DOC P5 20
 PREFAB WOOD JOISTS - ASTM D5055
 GLUE LAMS - ANSI / AITC A90.1 & ASTM D3737
 WOOD STRUCTURE PANELS - DOC P5 1 OR P5 2
 PARTICLEBOARD - ANSI A208.1
 TREATED WOOD - ANPA STANDARD U1 & M4
 NAILS AND STAPLES - ASTM F1667

THE GROUNDS IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 6" (5 PERCENT SLOPE) IN THE FIRST 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING. (CRC R401.3)



EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR SWALES SHALL BE CONSTRUCTED WITH A MINIMUM SLOPE OF 2% IN THE DIRECTION OF FLOW TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.

FOR ILLUSTRATION ONLY NO SCALE

A. DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE
COMPLEMENTARY. SPECIFIC INFORMATION MAY BE FOUND IN EITHER
OR BOTH.

B. LAYOUT OF WORK:

- 1) EXERCISE PROPER PRECAUTION TO VERIFY ALL EXISTING
CONDITIONS AND LAYOUT OF WORK.
- CONTRACTOR SHALL NOTIFY ARCHITECT/DRAFTING DESIGNER OF
ANY DISCREPANCIES IMMEDIATELY.
- 2) CONTRACTOR IS RESPONSIBLE FOR ANY ERRORS RESULTING
FROM FAILURE TO EXERCISE SUCH PRECAUTIONS. SUCH ERRORS WILL
NOT BE CONSIDERED SUBSEQUENTLY AS A BASIS FOR EXTRA
COMPENSATION.
- 3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT WORK,
ALL LINES, MEASUREMENTS OF THE BUILDING, UTILITIES, AND OTHER
WORK EXECUTED UNDER THE CONTRACT.
- 4) SHOULD A CONTRACTOR FIND DISCREPANCIES IN OR OMISSIONS
FROM THE DRAWINGS OR SPECIFICATIONS, OR SHOULD THEY BE IN
DOUBT AS TO THE MEANING, HE SHALL AT ONCE NOTIFY THE ARCHITECT/
DRAFTING DESIGNER.

C. EXAMINATION:

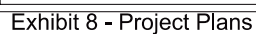
- 1) ANY DISCREPANCIES, ERRORS OR OMISSIONS DISCOVERED IN
THE CONTRACT DOCUMENTS BY THE CONTRACTOR SHALL BE BROUGHT
TO THE ATTENTION OF THE ARCHITECT/DRAFTING DESIGNER BEFORE
PROCEEDING WITH RELATED WORK, OTHERWISE THE CORRECTION OF
SUCH ITEMS IS THE RESPONSIBILITY OF THE CONTRACTOR.

D. CODES AND STANDARDS:

- 1) ALL WORK MATERIALS AND INSTALLATION SHALL BE IN STRICT
ACCORDANCE WITH ALL ORDINANCES, STATE AND LOCAL BUILDING
CODES, LATEST EDITION.
- 2) DESIGN LOADS, LOADS AND CODE RESTRICTIONS FOR ALL
DESIGN CONSIDERATIONS SHALL CONFORM TO THE LOCAL, STATE AND
ALL GOVERNING CODES.

SHEET NO.:	DATE: 11/11/2022	SCALE: 1" = 20'-0"	APN#: 191-204-028	VERTICAL/HORIZONTAL CONTROL	SHEET TITLE: Site Layout	PROJECT: DUNCAN GARDENS CONDO UNITS	ADDRESS: 4821 DUNCAN AVENUE, RIVERSIDE, CA 92503	DRAWINGS PROVIDED BY:		REVISION TABLE	
								ENGINEER: RICHARDS DESIGN GROUP	DATE: 11/11/2022	NUMBER:	REVISED BY:
SP-1					SHEET TITLE: DESIGNED BY: AJR	DRAWN BY: AJR	CHECKED BY: AJR	APPROVED BY: AJR	DATE: 11/11/2022	NUMBER:	REVISED BY:
					PROJECT: DESIGNED BY: AJR	DRAWN BY: AJR	CHECKED BY: AJR	APPROVED BY: AJR	DATE: 11/11/2022	NUMBER:	REVISED BY:
					ADDRESS: DESIGNED BY: AJR	DRAWN BY: AJR	CHECKED BY: AJR	APPROVED BY: AJR	DATE: 11/11/2022	NUMBER:	REVISED BY:
					PROJECT: DESIGNED BY: AJR	DRAWN BY: AJR	CHECKED BY: AJR	APPROVED BY: AJR	DATE: 11/11/2022	NUMBER:	REVISED BY:
					ADDRESS: DESIGNED BY: AJR	DRAWN BY: AJR	CHECKED BY: AJR	APPROVED BY: AJR	DATE: 11/11/2022	NUMBER:	REVISED BY:

SC-5



TENTATIVE
TRACT MAP NO. 37865

IN THE CITY OF RIVERSIDE

BEING A PROPOSED SUBDIVISION OF PARCEL 2 OF PARCEL MAP NO. 30874, AS
PER PLAT RECORDED IN BOOK 223, PAGES 4 AND 6 OF PARCEL MAPS, RECORDS
OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

LOT 1 IS FOR CONDOMINIUM PURPOSES

PROPERTY ADDRESS:
9321 DUNCAN AVENUE
RIVERSIDE, CA 92503

OWNER/DEVELOPER:
RIVERCAL, LLC
c/o LONNE DUPLICHAN
4328 CANTERBURY TRAIL
COLORADO SPRINGS, CO 80922

PREPARED BY:
TANA ENGINEERS, INC.
2404 MARY CLARE ST.
CORONA, CA 92882
(951) 734-0093
BLADIMIR@TANAENGINEERS.COM

LEGAL DESCRIPTION:

REAL PROPERTY IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS
FOLLOWS:

PARCEL 2 OF PARCEL MAP NO. 30874, IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF
CALIFORNIA, AS PER PLAT RECORDED IN BOOK 223, PAGE 4 TO 6, OF PARCEL MAPS, RECORDS OF SAID
COUNTY.

BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED UPON THE CENTER LINE OF DUNCAN AVENUE, BEING
N 55° 44' 15" E AS SHOWN ON PARCEL MAP NO. 30874 RECORDED IN BOOK 223, PAGES 4 TO 6,
RECORDS OF RIVERSIDE COUNTY.

BENCHMARK:

CITY OF RIVERSIDE BENCHMARK NO. 5052
ELEVATION = 811.264 FEET (NAVD 83 DATUM) ±1999
FOUND 2" I.P. NO TAG DN 0.7' STA 22+24.66 PER LL AT C.L. COOK AVE B.C. E'LY OF TOMLINSON

MONUMENT NOTES:

■ = INDICATES FOUND MONUMENT AS DESCRIBED HEREON.
[1] = 3/4" I.P., DOWN 0.35'
[2] = 1 1/2" I.P. WITH N/T "RIVERSIDE ENGINEER" DOWN 0.15' PER P.M.B. 223/4-5
[3] = MAG. NAIL
[4] = S/W "RIVERSIDE CITY SURVEYOR" PER P.M.B. 223/4-5

NOTE:

MAP IS BASED ON TOPOGRAPHIC SURVEY PREPARED BY PAYAN SURVEYING, INC. ON OCTOBER 18, 2019.

AREAS:

PROPOSED BUILDING 1 = 3,183.18 S.F.
PROPOSED BUILDING 2 = 3,175.79 S.F.
PROPOSED HARDSCAPE AREA = 10,912.64 S.F.
PROPOSED LANDSCAPE AREA = 3,865.48 S.F.
TOTAL AREA = 21,137.09 S.F. (0.485 ACRES)

PREPARED BY ME OR UNDER MY DIRECTION AND SUPERVISION

Atanacio Payan
ATANACIO PAYAN, PLS 7796

05-11-2020
DATE

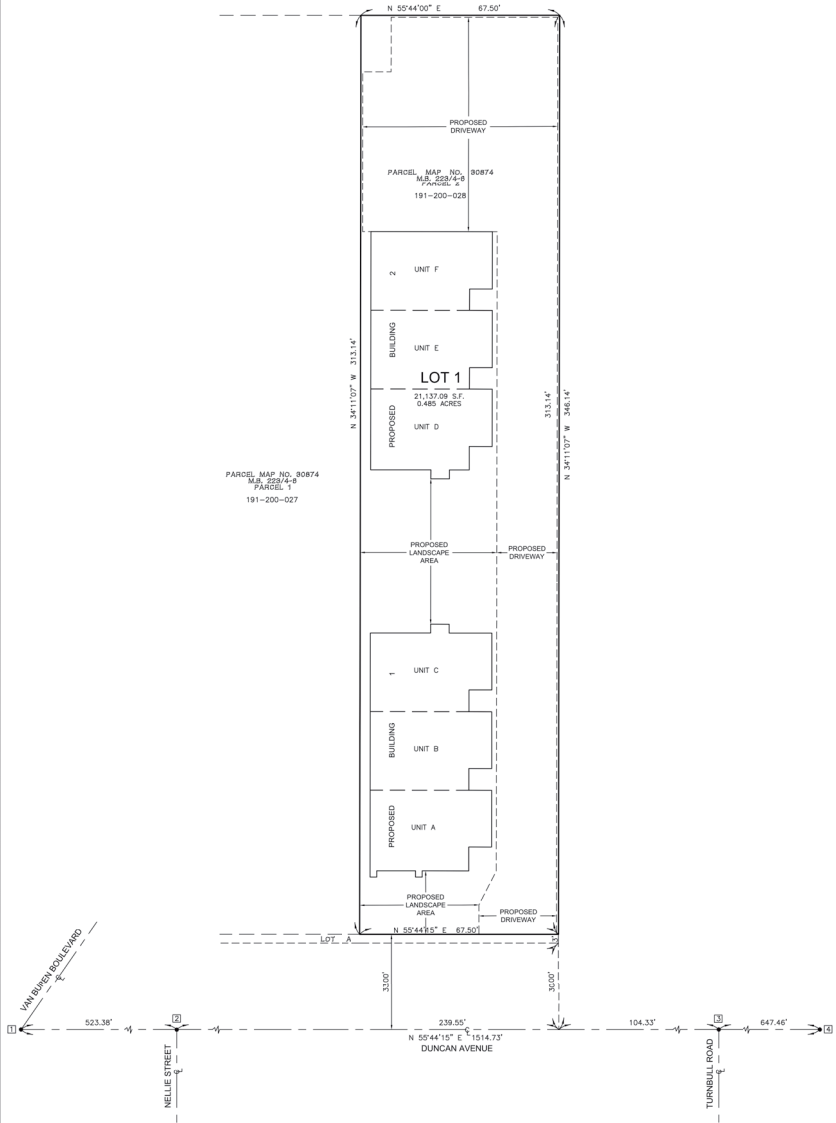
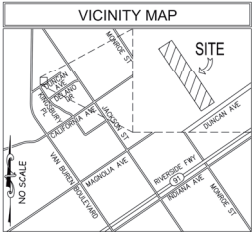
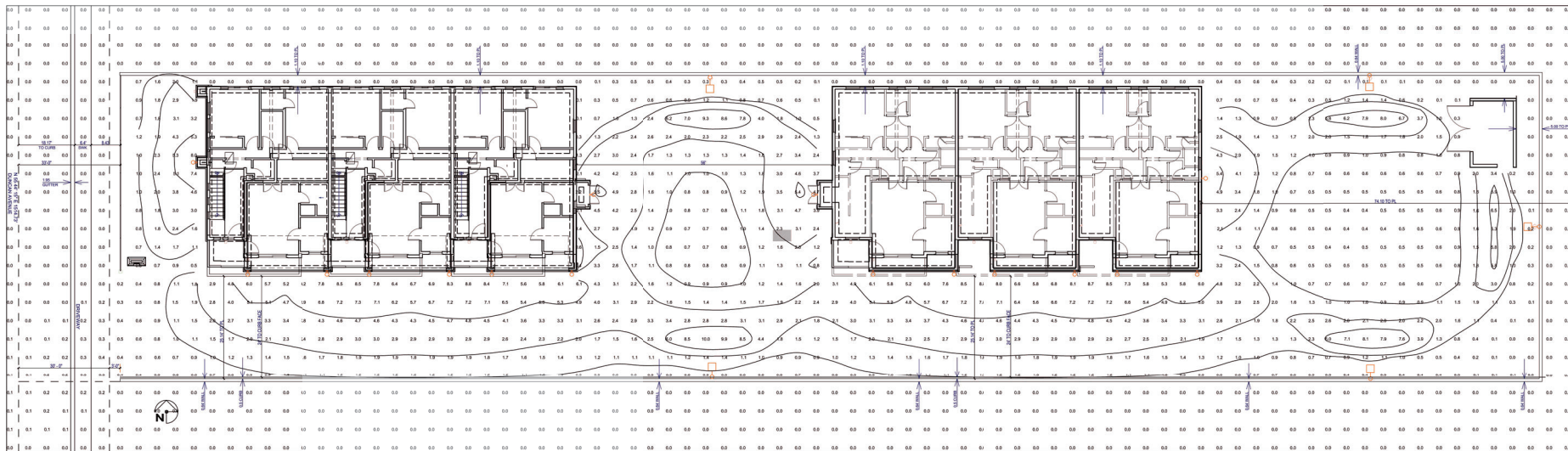


Exhibit 8 - Project Plans



GENERAL PHOTOMETRIC SCHEDULE	
AVERAGE FOOT-CANDELES	1.11
MAXIMUM FOOT-CANDELES	10.0
MINIMUM FOOT-CANDELES	0.00
MINIMUM TO MAXIMUM FC RATIO	0.00
MAXIMUM TO MINIMUM FC RATIO	10.02 / 0.00
AVERAGE TO MINIMUM FC RATIO	1.11 / 0.00



LUMINAIRE SCHEDULE											
CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	VOLTS	NOTE 1	NOTE 2	NOTE 3	QUANTITY
E		(1) 40W 400 W PS MH ED 28, MS400H75ED28PS	OUTDOOR ROADWAY ARCHITECTURAL REFLECTOR SPECIAL SEGMENT ALUM ENCL CLEAR, FLAT GLASS	ELECTRONIC	POLE	SPALLING LIGHTING, CR1-P40-HSP	120V 1P 2W	POLE HEIGHT= 19'-0" ARM LENGTH= 2'-0" TILT ANGLE = +10 DEGREES LUMENS = 500			5
W		(1)	WALL COMMANDER WALL MOUNTED LUMINAIRE: CAST ALUM. REFLECTOR SYSTEM WITH SPICULAR PANEL/CLAY FLAT GLASS LENS	ELECTRONIC	WALL	KIM LIGHTING, WC14627HPS-ED17	120V 1P 2W	MOUNTING HEIGHT = 8'-0" LUMENS = 400			16

Exhibit 8 - Project Plans



PLANTING LEGEND

TREES			
SYMBOL	TREE NAME	QTY.	WUCOLS
	CERCIDIUM 'DESERT MUSEUM', DESERT MUSEUM PALO VERDE 36" BOX SIZE, DOUBLE STAKE, MULTI-TRUNK	6	L
	TRISTANIA CONFERTA, BRISBANE BOX 36" BOX SIZE, DOUBLE STAKE	4	L
	SCHINUS MOLLE, CALIFORNIA PEPPER TREE 60" BOX SIZE, DOUBLE STAKE	1	L

SHRUBS & ACCENT SUCCULENTS

SYMBOL	NAME	WUCOLS
	FICUS PUMILA, CREEPING FIG 5 GAL @ 60" O.C.	M
	WESTRINGIA FRUTICOSA 'WYNABIE GEM', COAST ROSEMARY 5 GAL @ 36" O.C.	L
	IGLUSTRUM TEXANUM, TEXAS PRIVET 5 GAL @ 36" O.C.	L
	AGAVE WEBERI, WEBER'S AGAVE 5 GAL SIZE	L
	DODONAEA VISCOSEA, HOPSEED BUSH 5 GAL @ 48" O.C.	L

GROUND COVERS

SYMBOL	NAME	WUCOLS
	LOMANDRA LONGIFOLIA BREEZE, DWARF MAT RUSH 1 GAL @ 24" O.C.	L
	LANTANA CAMARA 'DWARF GOLD', DWARF LANTANA 1 GAL SIZE @ 30" O.C.	L
	CHONDROPETALUM TECTORUM, SMALL CAPE RUSH 1 GAL @ 36" O.C.	L
	MUHLBERGIA DUBIA, PINE MUHLY 1 GAL @ 36" O.C.	L
	SALVIA CLEVELANDII, CLEVELAND SAGE 5 GAL @ 48" O.C.	L
	DIANELLA TASMANICA 'VARIEGATA', WHITE STRIPED TASMAN FLAX LILY 1 GAL @ 24" O.C.	L
	NEW TURF SOD MARATHON II, TALL FESCUE	M

PLANTING NOTES:

- ALL PLANTING AREAS TO RECEIVE A 3" LAYER OF SMALL BARK MULCH. PROVIDE PRODUCT DATA AND SAMPLE FOR LANDSCAPE ARCHITECT TO REVIEW PRIOR TO INSTALLATION.
- ALL TREES PLANTED WITHIN 4' OF CURB, WALKWAY, WALL OR BUILDING TO BE INSTALLED WITH DEEP ROOT BARRIER PANELS UB 24, 24" DEEP, 8' LONG.
- ALL TREES TO BE PLANTED A MIN. OF 4' CLEAR FROM ANY UNDERGROUND UTILITIES



0 20' 40' 60'
SCALE: 1" = 20'-0"



CONSULTANTS:

DIVISION	
ARCHITECTURE	
MECHANICAL	
ELECTRICAL	
PLUMBING	
LANDSCAPE	
PAINT	
INTERIOR DESIGN	
EXTERIOR DESIGN	
SCULPTURE	
LANDSCAPE ARCHITECTURE	

2 Flintridge
IRVINE, CA 92603

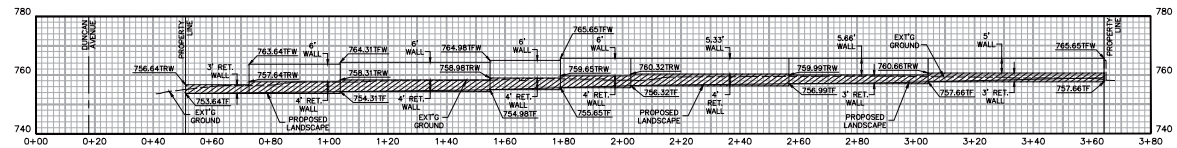
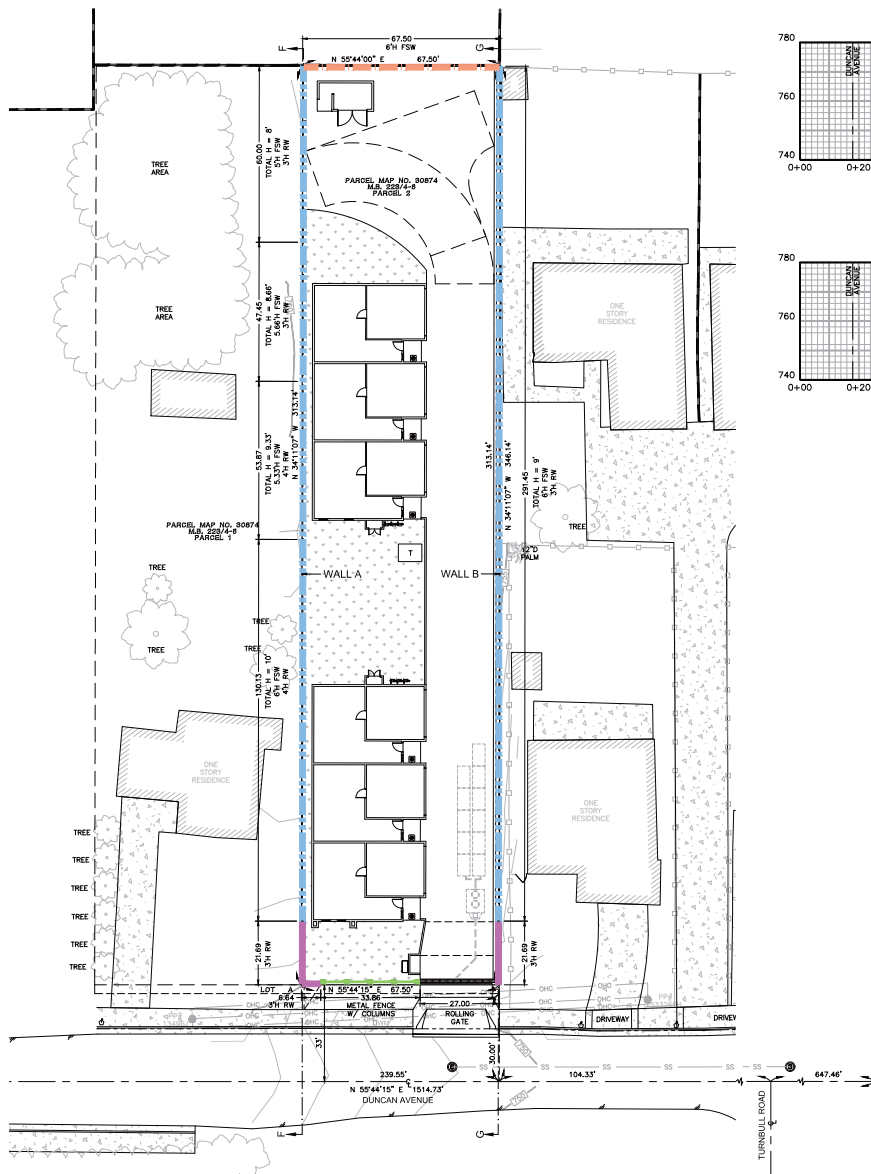
11-20-2020

DATE OF
DRAWING
JOB#

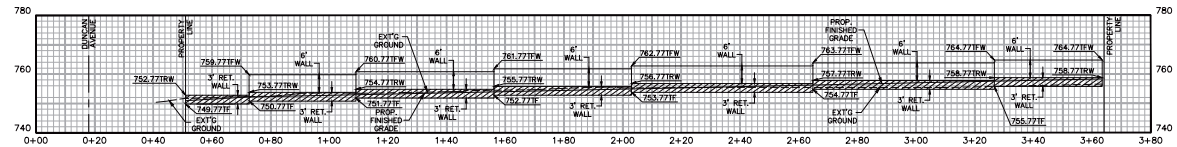
SHEET NO.
PLANTING
PLAN

LP-1.0

10/1/2020



WALL A
VERTICAL SCALE 1" = 20'
HORIZONTAL SCALE 1" = 20'



WALL B
VERTICAL SCALE 1" = 20'
HORIZONTAL SCALE 1" = 20'

LEGEND

- DECORATIVE PILASTER
- WROUGHT IRON FENCE
- CMU FREESTANDING WALL
- CMU RETAINING WALL W/ CMU FREESTANDING WALL ON TOP
- CMU RETAINING WALL

ABBREVIATIONS

- FF FINISHED FLOOR
- FP FINISHED PAD
- FSW FREESTANDING WALL
- H HEIGHT
- RW RETAINING WALL
- TFW TOP OF FREESTANDING WALL
- TRW TOP OF RETAINING WALL
- TF TOP OF FOOTING



ENGINEER		
REV	BY	DATE

REVISIONS

UNDER THE SUPERVISION OF:

J.M. SANCHEZ
RCE# 30846 (EXP. 03/31/2022)

02/06/23
DATE

SEAL-ENGINEER



2404 Mary Clare Street
Corona, CA 92882
949-734-0093
bladimir@tanaengineers.com

CITY OF RIVERSIDE
FENCE AND WALL PLAN
DUNCAN GARDENS CONDO UNITS
9321 DUNCAN AVENUE
RIVERSIDE, CA 92503

SHEET NO.

12

1 OF 1 SHTS



BLACK ASPHALT SHINGLE



SPECIFICATIONS OF OMEGA PRODUCTS INTERNATIONAL:
COLOR: 412 - BISON BEIGE

COMPARISON OF CEMENTITIOUS AND ACRYLIC FINISHES

Feature	Cementitious	Acrylic
Application Thickness	1/8 inch (3 mm)	1/16 inch (1.5 mm)
Ease of Application	Wedge to compensate for wall irregularities. More labor intensive than acrylic stucco finish. Usually requires interior primer.	Does not easily hide wall irregularities. Less labor intensive than cement stucco finish. No photo plastic liner required.
Application Temperature Range	40°F (4.4°C) to 120°F (49°C)	40°F (4.4°C) to 120°F (49°C)
Ease of Clean-Up	Less difficult than acrylic stucco finish.	More difficult than cementitious finish since it can stain surrounding surfaces. Solvents may be required to remove dried finish from surrounding materials.
Vapor Permeability	Highly vapor permeable.	Vapor permeable, greater than 10 Pm rating will vary by the texture of the acrylic stucco finish.
Initial Color Consistency on Wall	Surface color may vary due to substrate conditions, slightly creating a mottled look (can be made more consistent with slags 1 or 100 (Cell).	Excellent initial color consistency on wall, more color uniformity than cementitious finish.
Assortment of Colors	Good range of colors, but limited in comparison to acrylic stucco finish. Darker and darker colors are more difficult to match with cementitious finishes.	Unlimited colors are possible. Colors are easily matched in acrylic finishes.
Finish Appearance	Good depth of color and texture. Mottling may appear, due to light and application conditions.	Very uniform.
Range of Textures	Numerous textures may be achieved depending on applicators skill. Smooth (hard trowel to heavy Spanish).	Range of textures are available depending on the skill of the applicator and aggregate gradation in acrylic finish. Heavy Spanish type of texture not easily achieved.
Color Permanency/Uniformity	More color permanency than acrylic finish. Colors typically darken with age. Good uniformity, but not as good as with an acrylic finish.	Colors are very uniform, but may fade over time. Some darker colors may fade faster than others.
Fire Resistance	Contributing to 1/8 inch (3 mm) to required 7/8 thickness of portland cement plaster for fire resistance.	Adds no resistance, using achieved through increased 1/8" base coat.
Material Costs	Lower initial material costs than acrylic finish.	Higher initial material costs than cementitious finish.
Wet/Dry Cracking	Wet/dry cracking/traveling from base coat is not uncommon.	Good crack resistance. Hand-troweled base coat cracks very low or much less than cementitious finish.
Color Matching	Good color matching.	Excellent color matching.
Regular Maintenance	Little maintenance required. Can be routinely washed.	Excellent color matching.
Repair Maintenance	Less expensive to replace or upgrade. Lower refurbish/repair material costs than acrylic finish.	Little maintenance required. Can be routinely washed.
Crack Resistance	Underlayment	More expensive to replace or upgrade. Higher refurbishing/repair costs in comparison to cementitious finish.
Life Cycle	Finish is rigid because of the cementitious chemistry. Cementitious stucco finish is applied over a cementitious base coat.	Finish is flexible due to the acrylic chemistry. Acrylic finish is applied over a cementitious base coat or as the topcoat of EPS.
	Info have performed for over 30 years without repair or recoating.	Info have performed for over 30 years without repair or recoating.

ALL EXTERIOR GLAZING SHALL BE MULTI-PANE UNITS WITH MINIMUM OF ONE TEMPERED PANE

ALL EXTERIOR DOORS TO BE 20 MIN. RATED WITH CLOSURE

TEMPERED GLAZING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:

- GLAZING IN ALL DOORS
- GLAZING IN BATH AND SHOWER
- GLAZING WITHIN A 24" ARC OF A DOOR EDGE
- PANELS OVER 9 SQUARE FT. HAVING THE LOWEST EDGE LESS THAN 18-IN. ABOVE THE FINISH FLOOR AND HAVING A TOP EDGE GREATER THAN 36-IN. ABOVE THE FLOOR
- ALL GLAZING 5 FT. FROM TOP OR BOTTOM OF STAIRWAYS WITH BOTTOM EDGE LESS THAN 60-IN. ABOVE WALKING SURFACE

RETAINING WALL W/ WOOD FENCE ON TOP
EAST AND WEST OF PROPERTY LINE.



SPECIFICATIONS OF WELLINGTON DRY STACK EARTH PANEL:
MODEL:WS-DS-FN-EA
LINE:WELLINGTON
STYLE:DRY STACK
COLOR:EARTH
TYPE:PANEL
EDGE TYPE:INTERLOCKING
FIRE RATING: FIRE RATED POLYURETHANE AVAILABLE FOR EXTRA CHARGE
PRODUCTION TIME:QUICK SHIP - APPROX. 1 TO 3 DAYS
STANDARD - APPROX. 2 TO 3 WEEKS
MATERIAL:POLYURETHANE
OVERALL DIMENSIONS:48 3/4" WIDE x 25 1/2" HIGH x APPROX. 1 1/2" THICK
COVERAGE DIMENSIONS:43 1/2" WIDE x 24" HIGH
COVERAGE:APPROX. 1.25 SQ. FT.
WEIGHT:APPROX. 1 LBS 10 OZ EACH PANEL
SUGGESTED AMOUNT OF CAULK / GLUE:1 TUBE PER 4 PANELS
EXTERIOR USE:WEATHER PROOF, NEAR ZERO UV DEGRADATION
INTERIOR USE:HIGHLY DURABLE, INCREASES R-VALUE



CABINET SPECIFICATIONS.
DOOR: BIRCH
DOOR STYLE: RAISED OR REVERSE RAISED PANEL
FINISH: GLAZED ON COG & AM; PAINT ON INS, MM, CC, HS, MC, BE
FACE FRAME: BIRCH
DRAWER FRONT: BIRCH
BOX MATERIAL: 1/2" CABINET GRADE PLYWOOD
SHELVES: LAMINATE PLYWOOD
DRAWER BOX: FULL EXTENSION UNDERMOUNT SOFT-CLOSE
HINGES: SOFT CLOSING ADJUSTABLE CONCEALED HINGES

QUARTZ OR GRANITE HARD SURFACE COUNTERTOP
VARIATION OF COLOR EARTH-TONE CHOICES



APR 19/2020

VERTICAL/HORIZONTAL CONTROL

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11/11/2022

SCALE:

SHEET NO.:

SCN

ENGINEER

DESIGNED BY

DRAWN BY

CHECKED BY

APPROVED BY

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