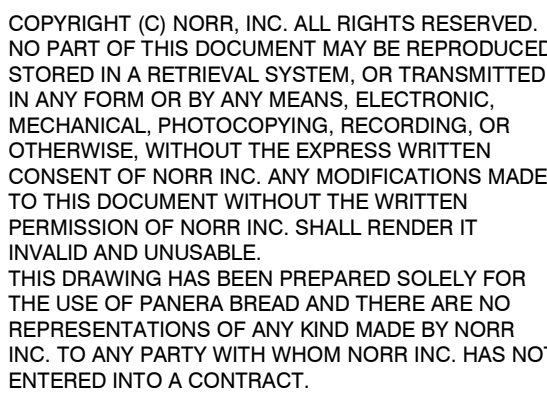


ADDRESS	USE	EXISTING SQ. FT.	PARKING RATIO	PARKING REQUIRED
8845 TRAUTWEIN RD.	COCO'S	5,730	1:100	57
8917 TRAUTWEIN RD.	WALGREENS STORE	14,560	1:250	58
	CANOPY DRIVE THRU	1,623		0
19220 VAN BUREN BLVD.	CHEVRON'S STORE	2,945	1:250	12
	FUEL CANOPY	3,740		
	CAR WASH			
19260 VAN BUREN BLVD.	KOHL'S	89,652	1 STALL/2 EMPLOYEES	1
19360 VAN BUREN BLVD.	CARL'S JR.	3,913	1:250	359
	PANERA BREAD	3,740	1:100	39
			1:100	37
19348 VAN BUREN BLVD.	VARIOUS SUITES			
SUITE 101	MR. YOU CHINESE FOOD	2,244	1:100	22
SUITE 103	BRILLIANT EYEBROWS	1,231	1:250	5
SUITE 104	GOLDEN SPOON YOGURT	1,274	1:100	13
SUITE 109 AND 111	STUDIO 4	3,100	1:250	12
SUITE 113	DANCE STUDIO	1,100	1:250	4
SUITE 115	LOANN'S NAILS	1,201	1:250	5
SUITE 117	DENTIST	1,201	1:180	7
SUITE 119	PROVIDENT BANK	2,505	1:180	14
			TOTAL PARKING REQUIRED	645
			TOTAL PARKING REQUIRED W/ 15 PERCENT CREDIT	548
			TOTAL PARKING PROVIDED	621
			SURPLUS	73

Project Title

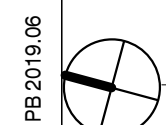
Bakery Cafe #6261
VAN BUREN BLVD. &
TRAUTWEIN RD.
RIVERSIDE, CA 92508



DC	JK	IO	JM
D	K	I	M

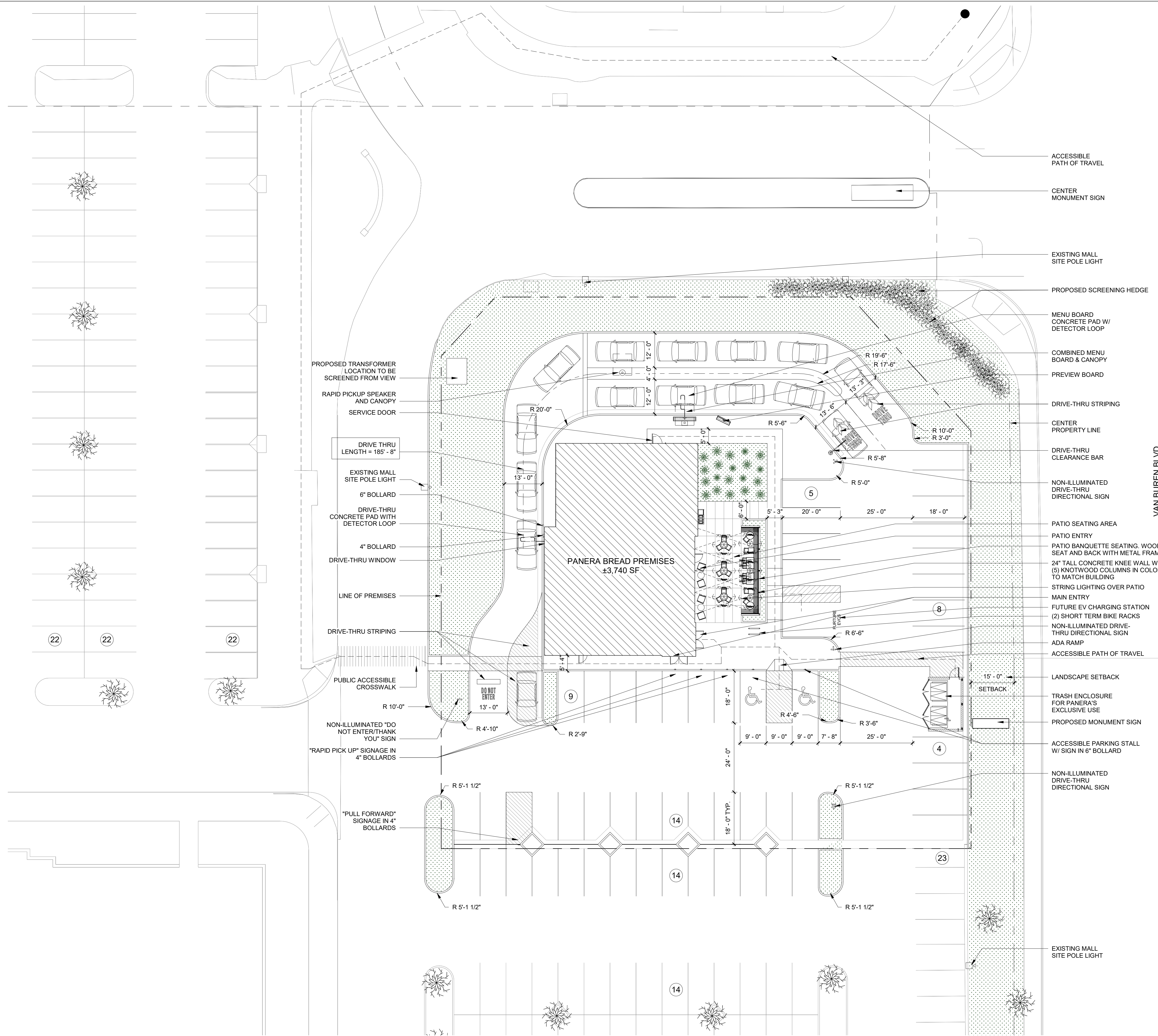
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PG 2016.06



24 ENLARGED SITE PLAN

1/16" = 1'-0"



PARKING COUNT

REGULAR: 39
ACCESSIBLE: 2
TOTAL: 41

FLOOR AREA RATIO

BUILDING AREA: 3,740 SF
LOT AREA: 33,890 SF
F.A.R.: 0.11

ACCESSIBLE
PATH OF TRAVEL

CENTER
MONUMENT SIGN

EXISTING MALL
SITE POLE LIGHT

PROPOSED SCREENING HEDGE

MENU BOARD
CONCRETE PAD W/
DETECTOR LOOP

COMBINED MENU
BOARD & CANOPY

PREVIEW BOARD

DRIVE-THRU STRIPING

CENTER
PROPERTY LINE

DRIVE-THRU
CLEARANCE BAR

NON-ILLUMINATED
DRIVE-THRU
DIRECTIONAL SIGN

PATIO SEATING AREA

PATIO ENTRY

PATIO BANQUETTE SEATING, WOOD
SEAT AND BACK WITH METAL FRAME

24" TALL CONCRETE KNEE WALL WITH
(5) KNOTWOOD COLUMNS IN COLOR
TO MATCH BUILDING

STRING LIGHTING OVER PATIO

MAIN ENTRY

FUTURE EV CHARGING STATION

(2) SHORT TERM BIKE RACKS

NON-ILLUMINATED DRIVE-
THRU DIRECTIONAL SIGN

ADA RAMP

ACCESSIBLE PATH OF TRAVEL

LANDSCAPE SETBACK

TRASH ENCLOSURE
FOR PANERA'S
EXCLUSIVE USE

PROPOSED MONUMENT SIGN

ACCESSIBLE PARKING STALL
W/ SIGN IN 6" BOLLARD

NON-ILLUMINATED
DRIVE-THRU
DIRECTIONAL SIGN

EXISTING MALL
SITE POLE LIGHT

Bakery-Cafe:

#6261

SYSTEM: HCM

Project Team:

NORR

An Ingenium International Company

325 N. La Salle Street, Suite 500
Chicago, IL 60654 U.S.A.
nor.com

ENGINEER: MECH. & PLBQ.
ALVEMEYER & ASSOC., LLC.
353 MARSHALL AVENUE #100
ST. LOUIS, MISSOURI 63119
PHONE: 314.772.1782

ENGINEER: ELECTRICAL
YASHAVANT V. KULKARNI, P.E.
Y. V. KULKARNI
CONSULTING ENGINEER
39871 SPANISH BAY PLACE
DAVIS, CA 95616
PHONE: 602.432.8788
FAX: 408.445.9855
YASHAKEO@GMAIL.COM

Professional Seal:



02.01.2022

Project Title:

ENTITLEMENT SUBMITTAL

Bakery Cafe #6261
VAN BUREN BLVD. &
TRAUTWEIN RD.
RIVERSIDE, CA 92508



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3	REV. ENTITLEMENTS DOCS.	02/01/22

ENLARGED SITE
PLAN

Project Number:

NICH21.0310

Drawn By:

NORR

Issue Date:

10.08.2021

PM:

DC

Sheet Number:

A2

DPM:

JK

DM:

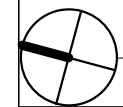
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CPM:

JM

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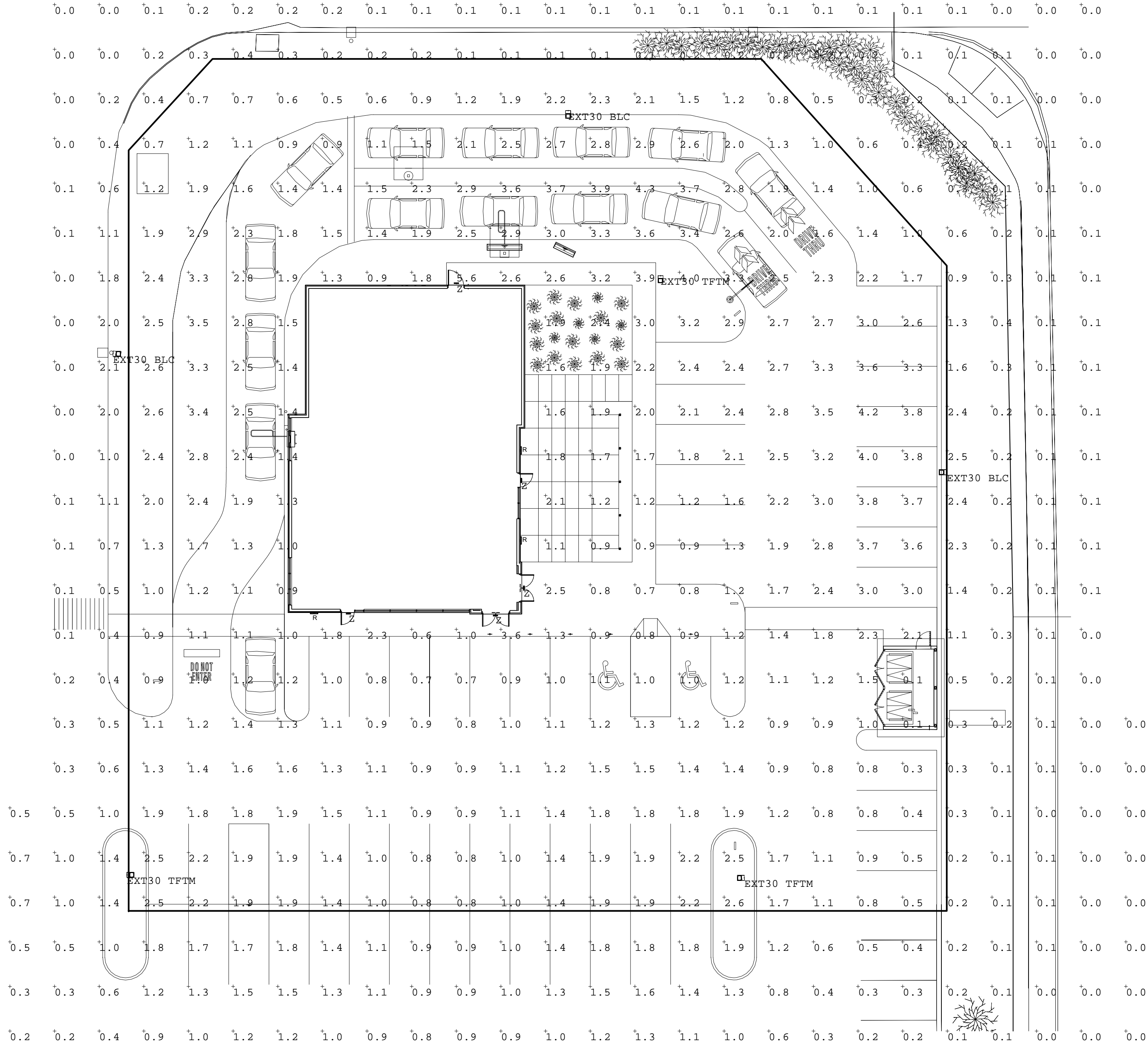
PS 2019.06



1/16" = 1'-0"

Standard Electric Luminaire Schedule									
Symbol	Qty	Label	Arrangement	(MANUFAC)	Description	L/F	Luminaire Lumens	Total Watts	Luminaire Watts
	3	EX130 BLC	Single	Lithonia	DSX1 LED P4 40K BLC MVOLT SPA	0.980	11877	375	125
	3	EX130 TFTM	Single	Lithonia	DSX1 LED P4 30K TFTM MVOLT	0.980	13448	375	125
	5	2	Single	MULE LIGHTING, INC.	EUR-BB-10-A-W-SD	1.000	494	53.5	10.7

Calculation Summary					
Label	CalcType	Max	Min	Avg	Units
Entire Site	Illuminance	5.6	0.0	1.20	Fc



Bakery-Cafe:

#6261

SYSTEM: HCM

Project Team:

NORR

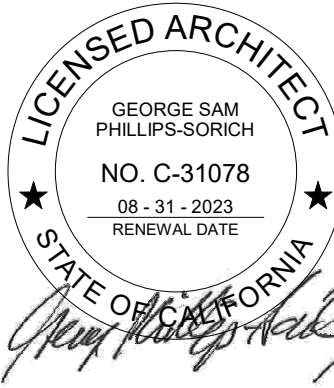
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Professional Seal:



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PHOTOMETRIC
PLAN

Project Number: NICH21.0310 Sheet Number:

Drawn By:

NORR

Issue Date:

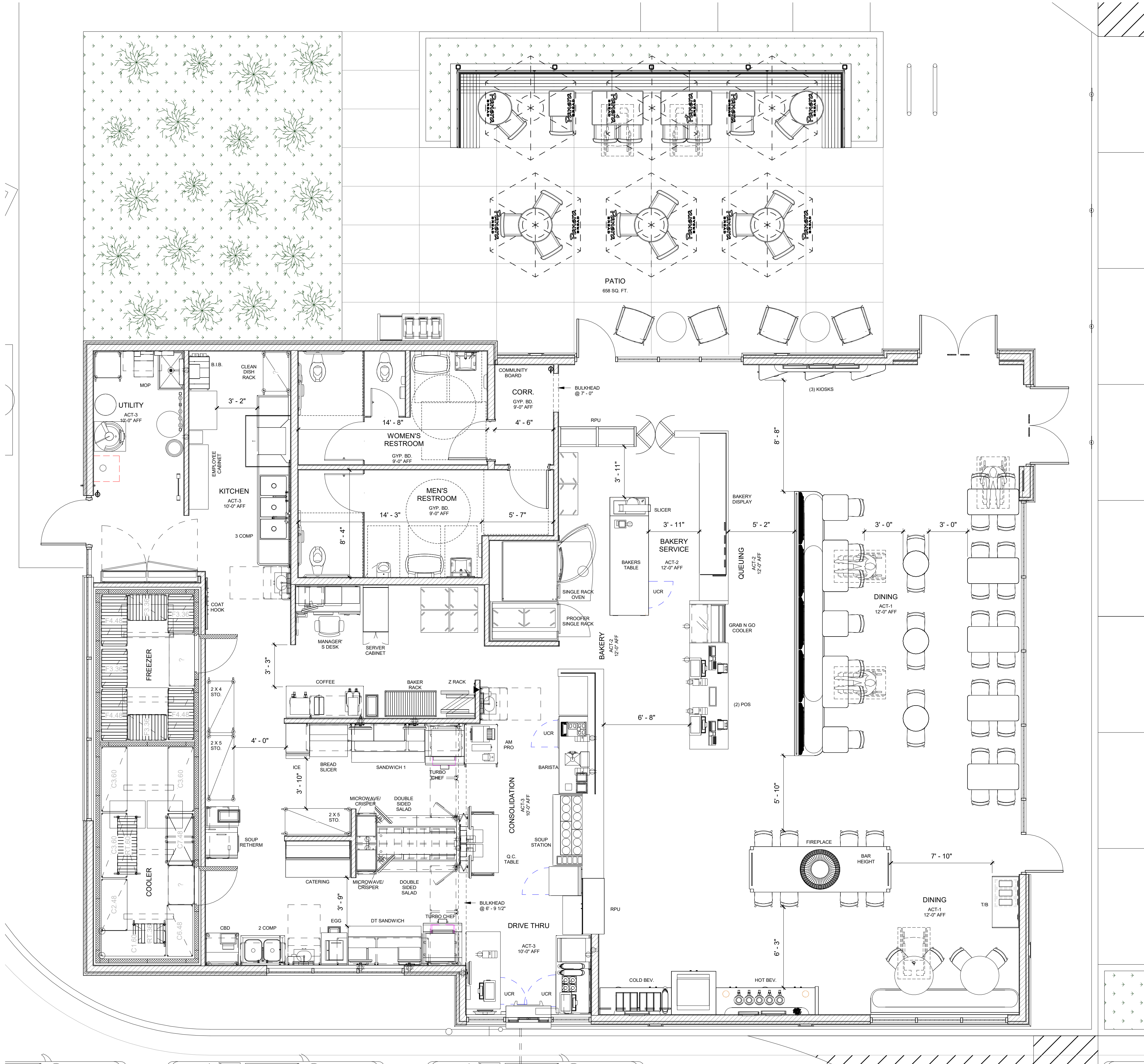
10.08.2021

PM	DPM:	DM:	CPM:
DC	JK	IO	JM

A3

2/2/2022 3:53:29 PM

PG 2015.05



APPLICABLE CODES & REGULATIONS:	
BUILDING CODE:	2019 CALIFORNIA BUILDING CODE
PLUMBING CODE:	2019 CALIFORNIA PLUMBING CODE
ELECTRICAL CODE:	2019 CALIFORNIA ELECTRICAL CODE
MECHANICAL CODE:	2019 CALIFORNIA MECHANICAL CODE
FIRE PROTECTION:	2019 CALIFORNIA FIRE CODE
ENERGY CODE:	2019 CALIFORNIA ENERGY CODE
ACCESSIBILITY CODE:	2019 CALIFORNIA BUILDING CODE
OTHER:	2019 CALIFORNIA GREEN BUILDING CODE CITY OF RIVERSIDE CODE OF ORDINANCES
PROJECT DESCRIPTION:	
PROJECT LOCATION:	VAN BUREN BLVD. & TRAUTWEIN RD. RIVERSIDE, CA 92508
ZONING:	'C-2' RESTRICTED COMMERCIAL
ALLOWABLE BUILDING HEIGHT:	30'-0"
OCCUPANCY GROUP:	A-2
CONSTRUCTION CLASSIFICATION:	TYPE VB
AUTOMATIC FIRE SUPPRESSION SYSTEM INSTALLED:	YES
SCOPE OF PROJECT:	
NEW FREESTANDING BUILDING CONSTRUCTION NEW DRIVE-THRU LANE WITH MENU BOARDS NEW TRASH ENCLOSURE MODIFICATION OF EXISTING PARKING LOT MODIFICATION OF SITE GRADING LANDSCAPING	
AREA BREAKDOWN:	
FRONT OF HOUSE:	1,884 SQFT
BACK OF HOUSE:	1,856 SQFT
TOTAL PANERA SUITE:	3,740 SQFT
SEATING ANALYSIS:	
INTERIOR SEAT COUNT:	76 (4 ADA REQUIRED)
EXTERIOR SEAT COUNT:	29
TABLE ANALYSIS:	
INTERIOR TABLE COUNT:	22
EXTERIOR TABLE COUNT:	11
TOTAL TABLES:	33
2 TOPS:	09 (41%)
3 TOPS:	00 (00%)
4+ TOPS:	13 (59%)

Bakery-Cafe:

#6261

SYSTEM: HCM

Project Team:

NORR

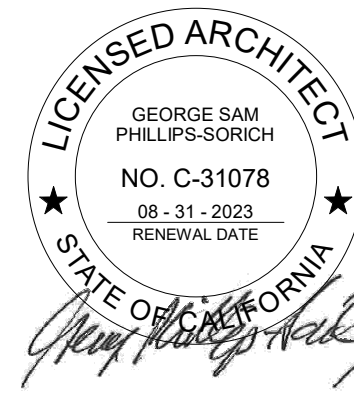
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Chicago, IL 60654 U.S.A.
nor.com

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DAVIS, CA 95619
PHONE: 602.432.8788
FAX: 408.445.9835
YASHAKEO@GMAIL.COM

Professional Seal:



Project Title:

ENTITLEMENT SUBMITTAL
Bakery Cafe #6261
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SCHEMATIC FLOOR PLAN

Project Number: Sheet Number:

NICH21.0310

Drawn By:

NORR

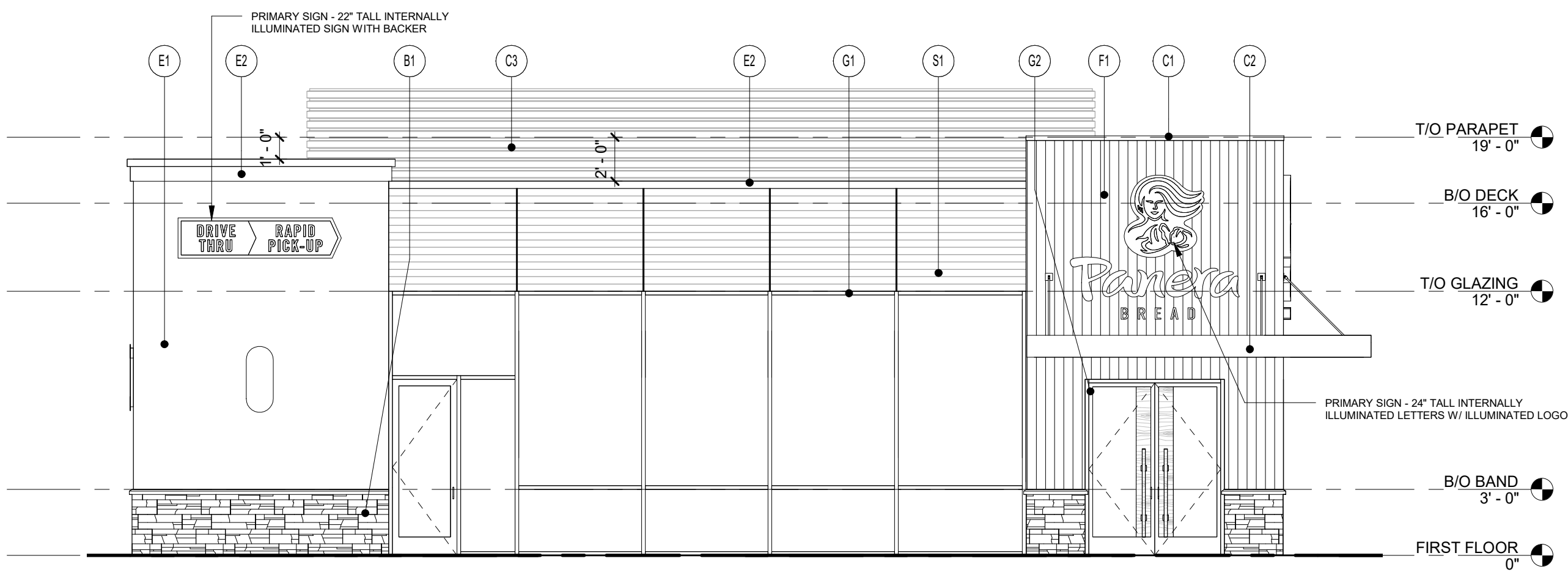
Issue Date:

10.08.2021

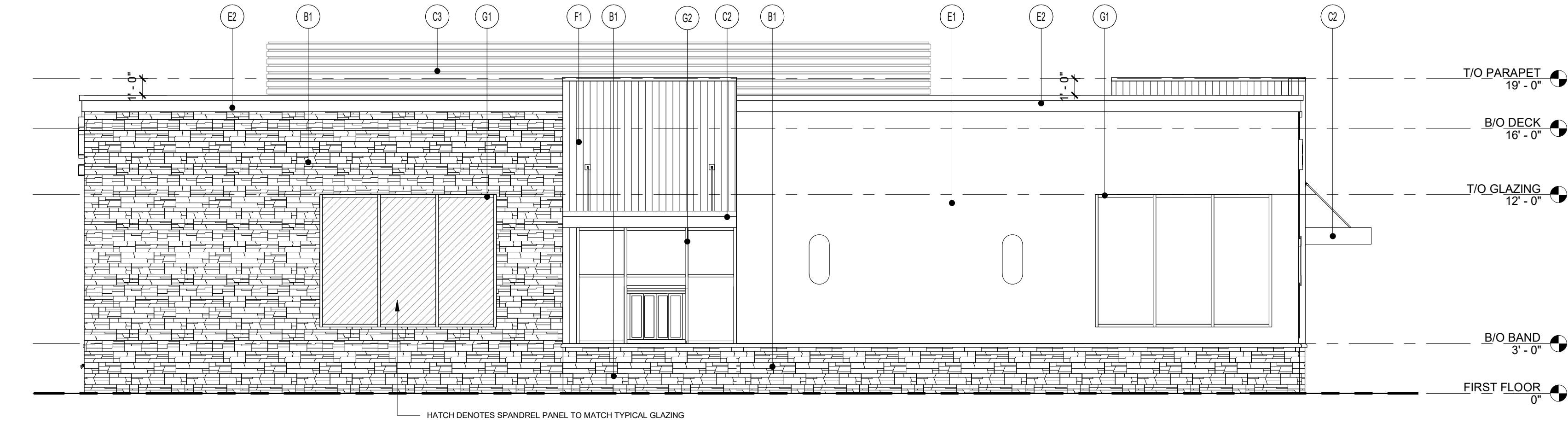
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DC JK IO JM

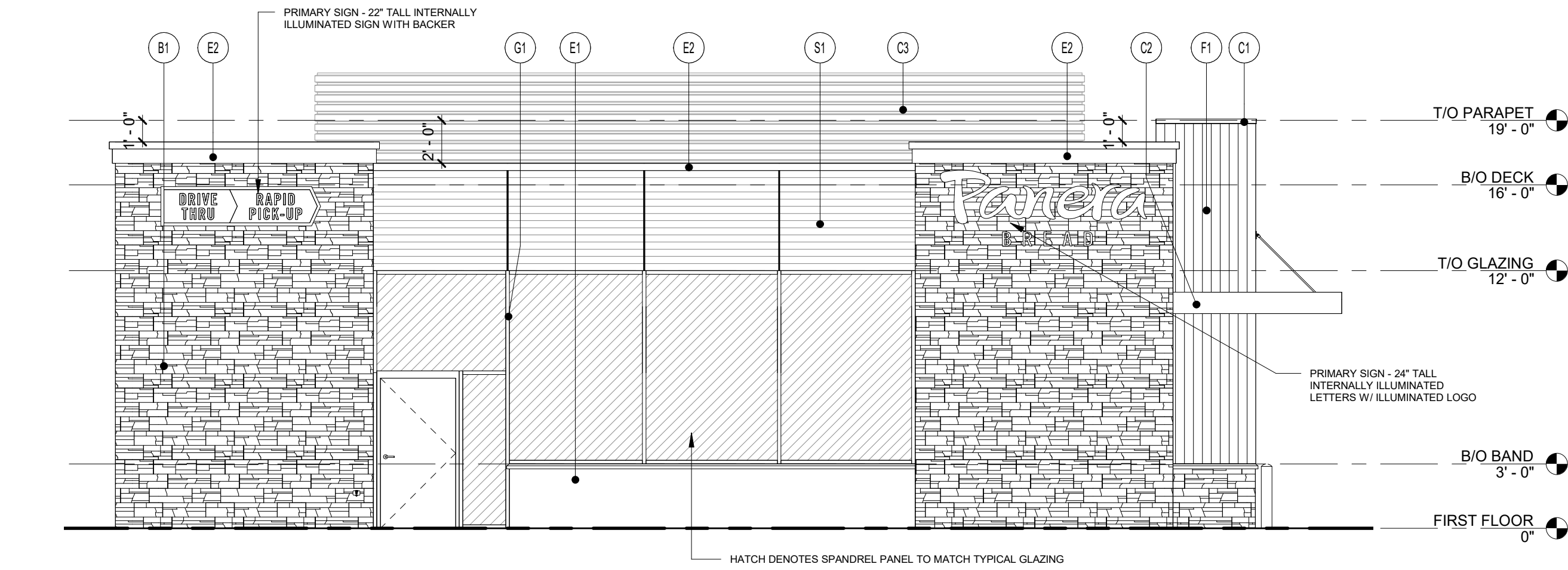
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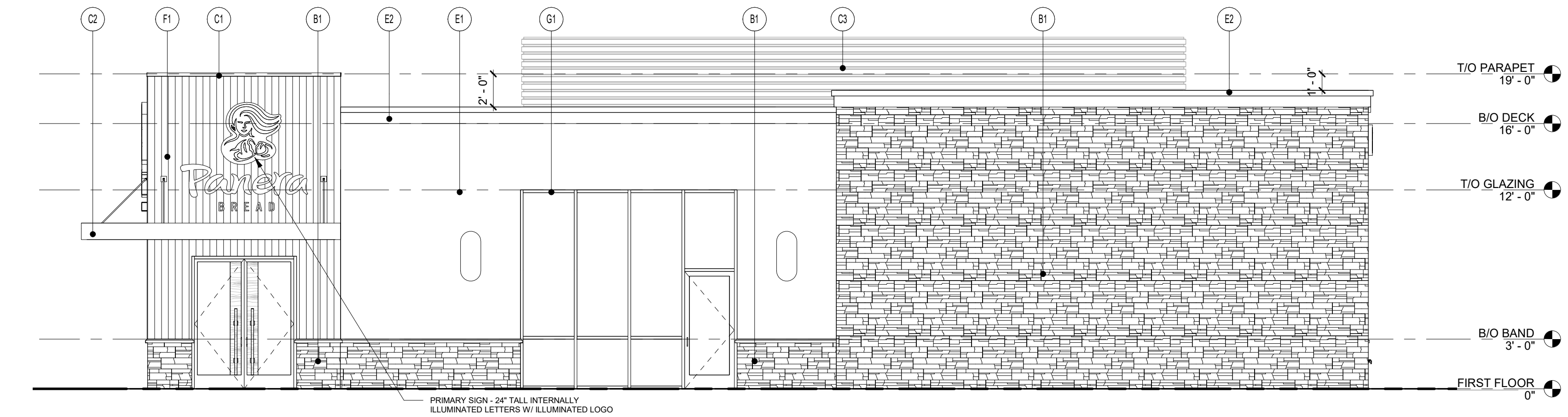
21 WEST ELEVATION
3/16" = 1'-0"



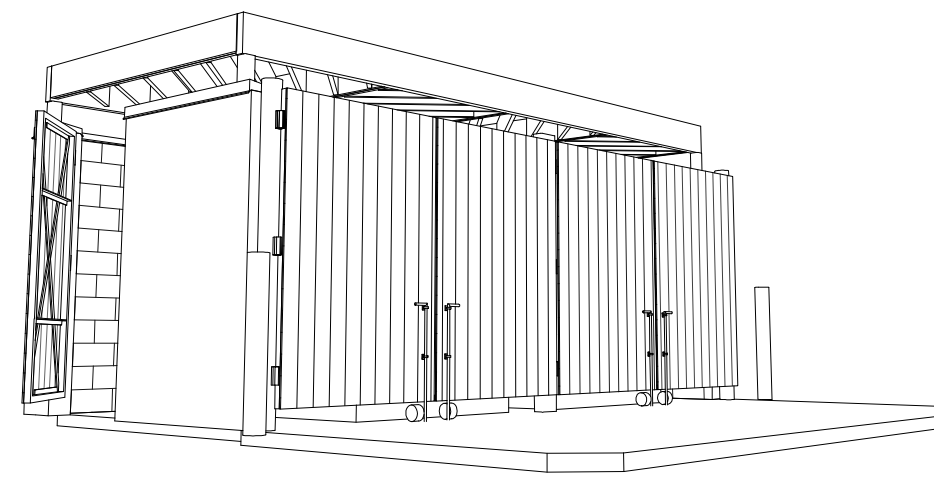
22 NORTH ELEVATION
3/16" = 1'-0"



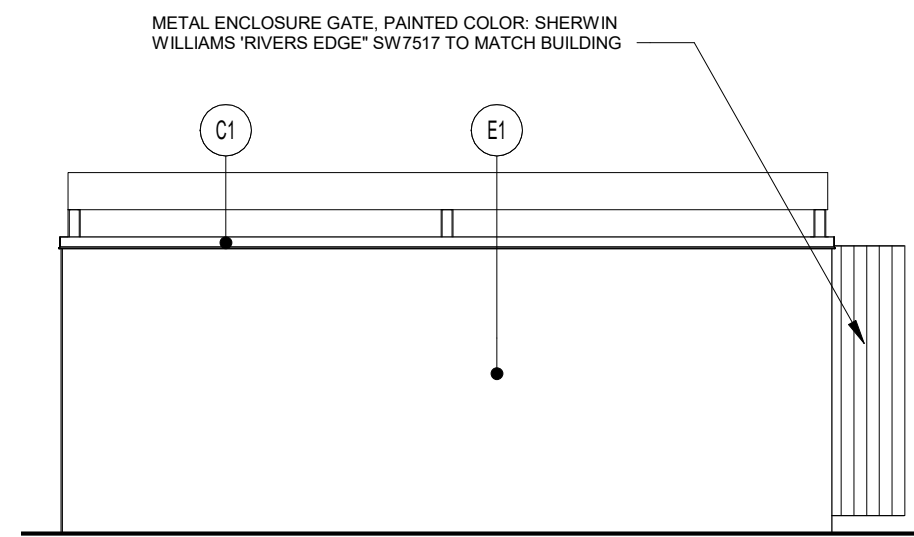
23 EAST ELEVATION
3/16" = 1'-0"



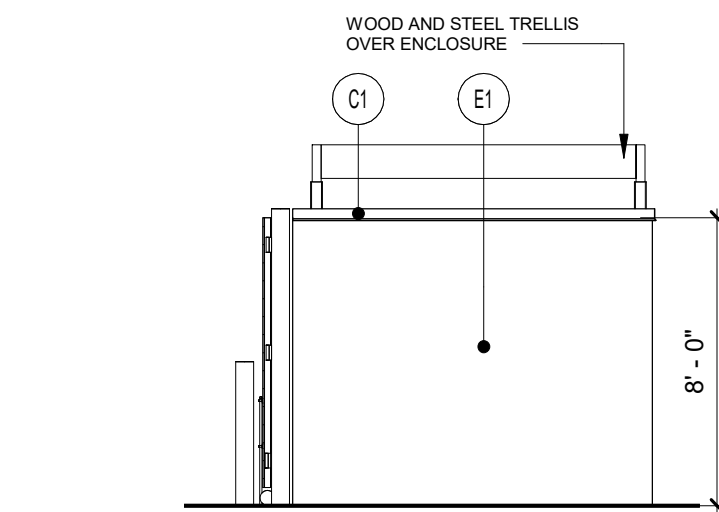
24 SOUTH ELEVATION
3/16" = 1'-0"



6 TRASH ENCLOSURE PERSPECTIVE



7 TRASH ENCLOSURE REAR
3/16" = 1'-0"

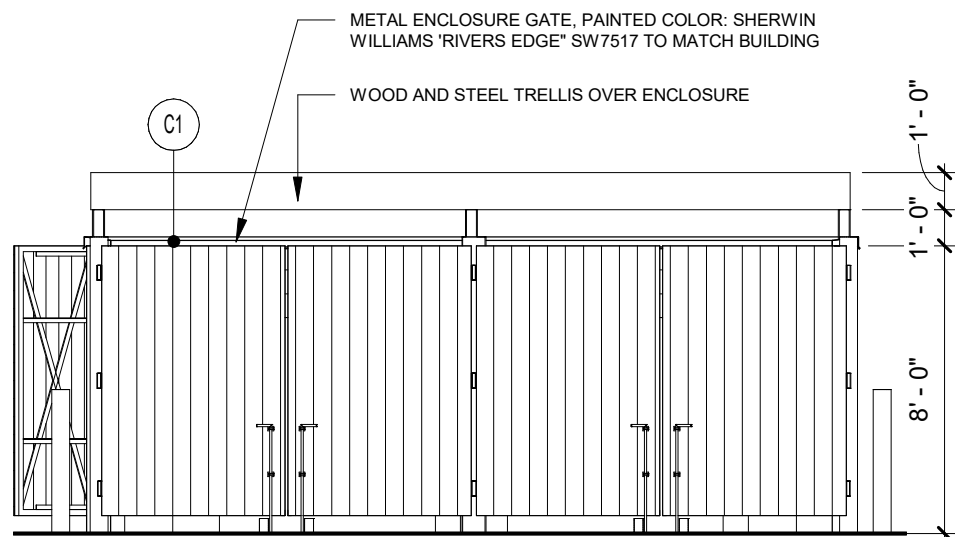


8 TRASH ENCLOSURE SIDE
3/16" = 1'-0"

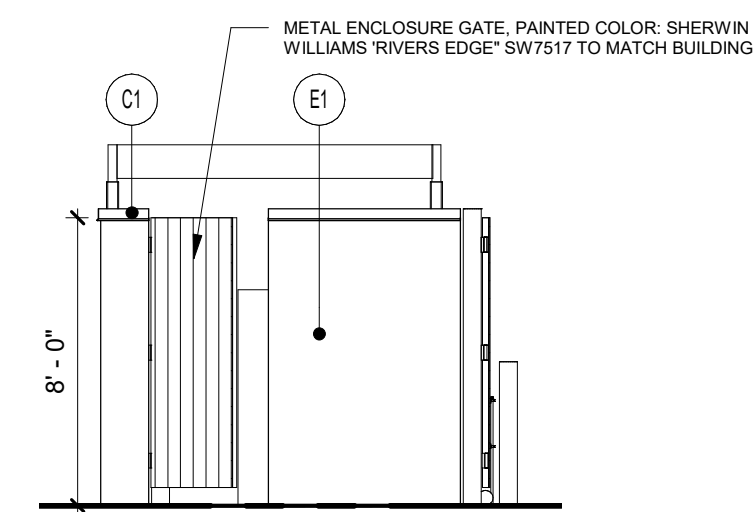
EXTERIOR MATERIALS:

- B1 LEDGESTONE VENEER: CORONADO STONE
1 1/2" THICK, EASTERN MOUNTAIN LEDGE
COLOR: CHESTNUT
- C1 PRE-FINISHED METAL COPING
COLOR: MATCH RAL 7043
- C2 PRE-FINISHED ALUMINUM CANOPY
COLOR: MATCH PMS 2411C
- C3 PRE-FINISHED ALUMINUM SCREENING
COLOR: MATCH RAL 7043
- E1 3-LAYER STUCCO SYSTEM
TEXTURE TO MATCH DRYVIT LIMESTONE
PAINT: SHERWIN WILLIAMS SW 7517 'RIVER'S EDGE'
- E2 STUCCO CORNICE TRIM
TEXTURE TO MATCH DRYVIT LIMESTONE
PAINT: MATCH RAL 7043
- F1 FIBERGLASS REINFORCED PANEL
MFR: FORMGLAS, FORMGLAS FRP
FINISH: BASF UNO, COLOR: MATCH PMS 2307C
- G1 ALUMINUM STOREFRONT
KAWNEER, 2" X 4-1/2" PROFILE (OR APPROVED EQUAL)
FINISH: POWDERCOAT, COLOR: COLONIAL WHITE
GLAZING: 1" INSULATED CLEAR GLASS
- G2 ALUMINUM STOREFRONT
KAWNEER, 2" X 4-1/2" PROFILE (OR APPROVED EQUAL)
COLOR: MATCH PMS 2411C
GLAZING: 1" INSULATED CLEAR GLASS
- S1 ALUMINUM WOOD LOOK
KNOTWOOD, CLADDING SYSTEM
COLOR: WHITE ASH
- S2 ALUMINUM WOOD LOOK
KNOTWOOD, SELF MATING CLADDING SYSTEM
COLOR: WHITE ASH

SPANDREL GLAZING SPECIFICATION:
MFR: 100 HIGH PERFORMANCE COATINGS
COLOR: OPACI-COAT-300, #0-0186 LIGHT WHITE
COATING TO BE FACTORY APPLIED



3 TRASH ENCLOSURE FRONT
3/16" = 1'-0"



4 TRASH ENCLOSURE SIDE
3/16" = 1'-0"

Bakery-Cafe:

#6261

SYSTEM: HCM

Project Team:

NORR

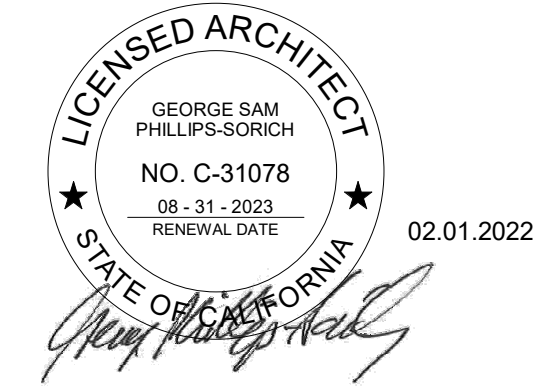
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nor.com

ENGINEER: MECH. & PLBQ.
ALVENMEYER & ASSOC., LLC
353 MARSHALL AVENUE #100
ST. LOUIS, MISSOURI 63119
PHONE: 314.772.1782

ENGINEER: ELECTRICAL
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DAVIS, CA 95616
PHONE: 602.432.8788
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YASHAKEO@GMAIL.COM

Professional Seal:



Project Title:

Bakery Cafe #6261
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TRAUTWEIN RD.
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3	REV. ENTITLEMENTS DOCS.	02/01/22

EXTERIOR ELEVATIONS

Project Number:

Sheet Number:

NICH21.0310

Drawn By:

NORR

Issue Date:

10.08.2021

PM:

DPM:

DM:

CPM:

DC

JK

IO

JM

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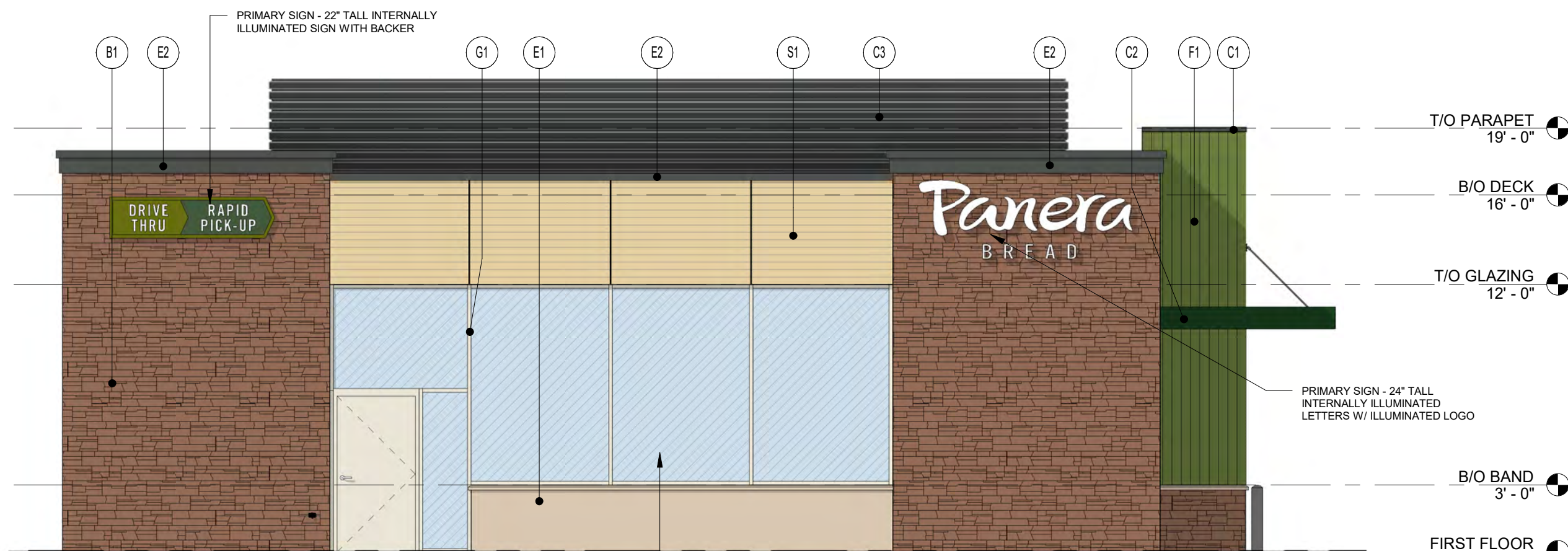
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21 WEST ELEVATION
3/16" = 1'-0"



22 NORTH ELEVATION
3/16" = 1'-0"

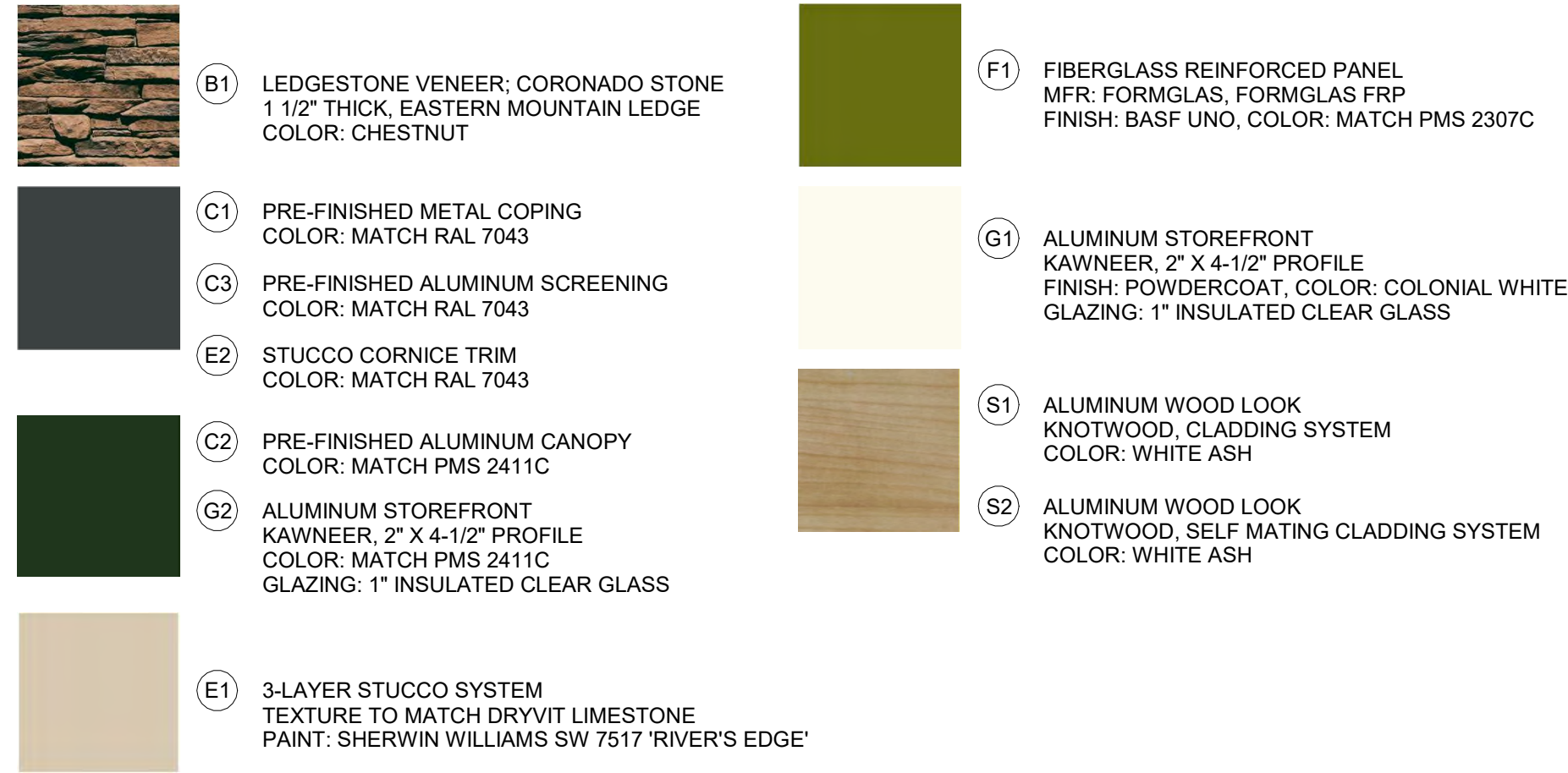


23 EAST ELEVATION
3/16" = 1'-0"



24 SOUTH ELEVATION
3/16" = 1'-0"

MATERIAL SAMPLE BOARD:



EXTERIOR MATERIALS:

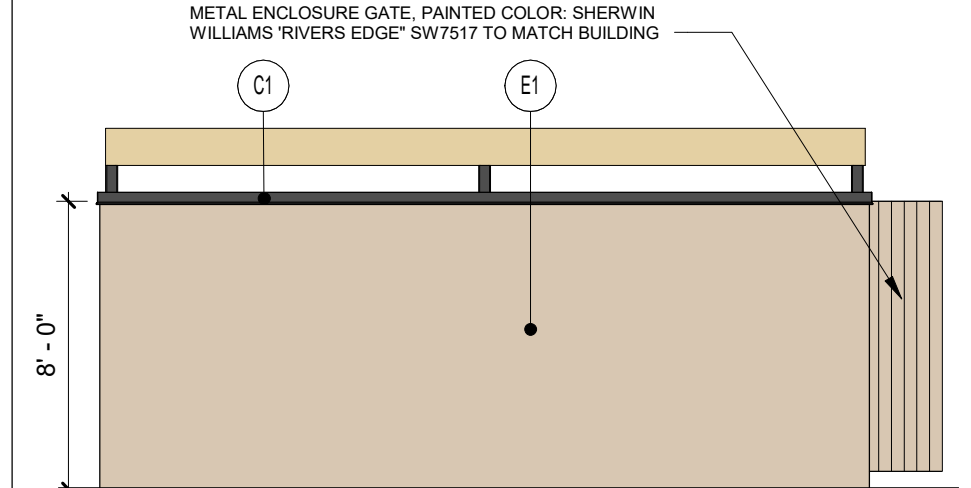
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1 1/2" THICK, EASTERN MOUNTAIN LEDGE
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KNOTWOOD, CLADDING SYSTEM
COLOR: WHITE ASH
- S2 ALUMINUM WOOD LOOK
KNOTWOOD, SELF MATING CLADDING SYSTEM
COLOR: WHITE ASH

SPANDREL GLAZING SPEC:

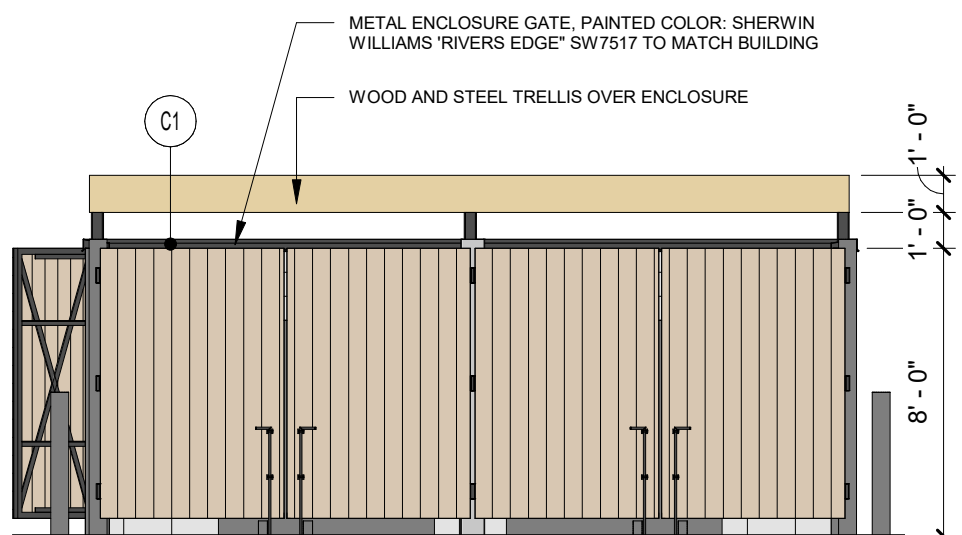
MFR: ICD HIGH PERFORMANCE COATINGS
COLOR: OPACI-COAT-300, #0-0186 LIGHT WHITE
COATING TO BE FACTORY APPLIED



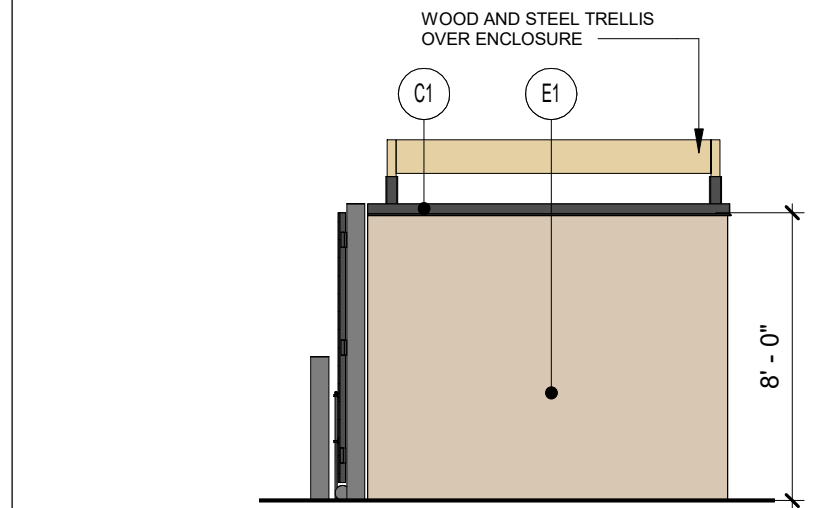
6 TRASH ENCLOSURE PERSPECTIVE



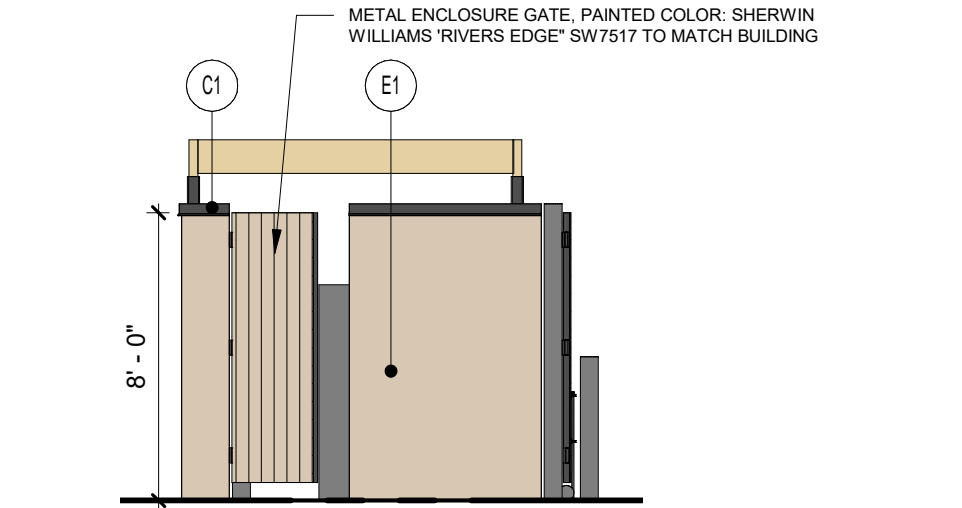
7 TRASH ENCLOSURE REAR
3/16" = 1'-0"



3 TRASH ENCLOSURE FRONT
3/16" = 1'-0"



8 TRASH ENCLOSURE SIDE
3/16" = 1'-0"



4 TRASH ENCLOSURE SIDE
3/16" = 1'-0"

Bakery-Cafe:

#6261

SYSTEM: HCM

Project Team:

NORR

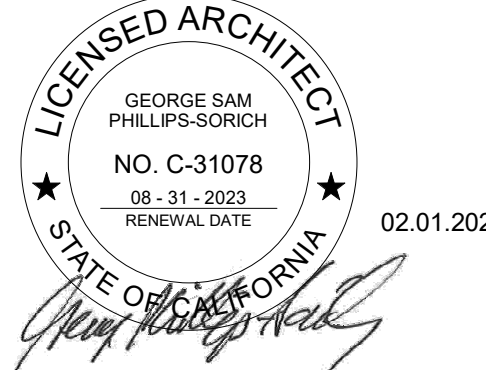
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PHONE: 650.432.8788
FAX: 480.465.9855
YASHAVECO@GMAIL.COM

Professional Seal:



Project Title:

Bakery Cafe #6261
VAN BUREN BLVD. &
TRAUTWEIN RD.
RIVERSIDE, CA 92508



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No.	Description	Date
1	ENTITLEMENT DOCS.	10/08/21
2	REV. ENTITLEMENTS DOCS.	01/12/22
3	REV. ENTITLEMENTS DOCS.	02/01/22

EXTERIOR COLOR ELEVATIONS

Project Number:

NICH21.0310

Drawn By:

NORR

Issue Date:

10.08.2021

PM

DC

Sheet Number:

A8

Drawn By:

NORR

Issue Date:

10.08.2021

PM

DC

CPM:

JM

IO

JK

DM:

IO

2/2/2022 3:54:41 PM



22 VIEW FROM NORTHWEST



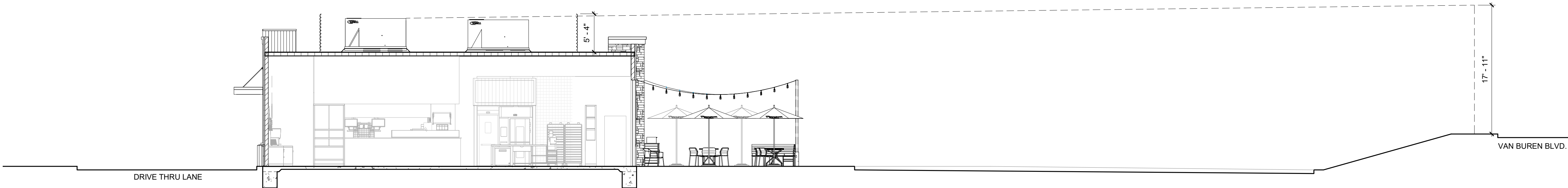
10 VIEW FROM SOUTHWEST



23 VIEW FROM NORTHEAST



11 VIEW FROM SOUTHEAST 1



24 LINE OF SIGHT DIAGRAM
1/8" = 1'-0"

PG 2015.05

Bakery-Cafe:

#6261

SYSTEM: HCM

Project Team:

NORR

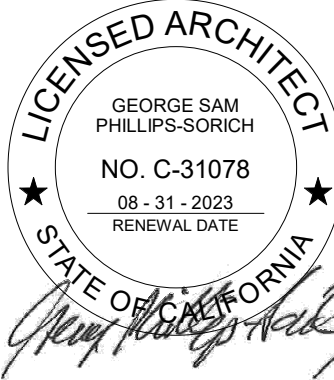
An Ingenium International Company

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Chicago, IL 60654 U.S.A.
nor.com

ENGINEER: MECH. & PLBQ.
ALVEMEYER & ASSOC., LLC.
353 MARSHALL AVENUE #100
ST. LOUIS, MISSOURI 63119
PHONE: 314.772.1782

ENGINEER: ELECTRICAL
YASHAVANT V KULKARNI, P.E.
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Professional Seal:



Project Title:

ENTITLEMENT SUBMITTAL

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3D VIEW / LINE OF
SIGHT

Project Number:

Sheet Number:

NICH21.0310

Drawn By:

NORR

Issue Date:

10.08.2021

PM:

DC

DPM:

JK

DM:

IO

CPM:

JM

A9

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VIEW FROM WEST



VIEW FROM NORTHWEST



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

PG 2019.06

Bakery-Cafe:

#6261

SYSTEM: HCM

Project Team:

NORR

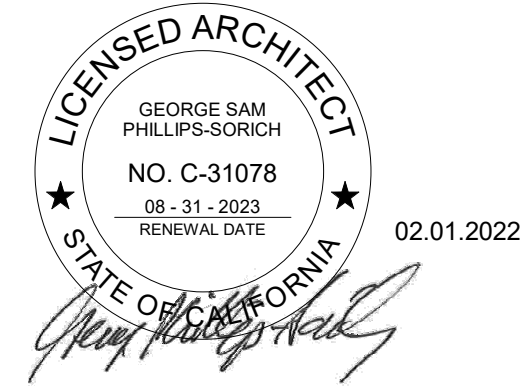
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ALVAREZ & ASSOC., LLC
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ENGINEER: ELECTRICAL
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Y. V. KULKARNI
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Professional Seal:



Project Title:

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REV. ENTITLEMENTS DOCS.		02/01/22

RENDERINGS

Project Number:

NICH21.0310

Drawn By:

NORR

Issue Date:

10.08.2021

PM:

DC

Sheet Number:

A10

DPM:

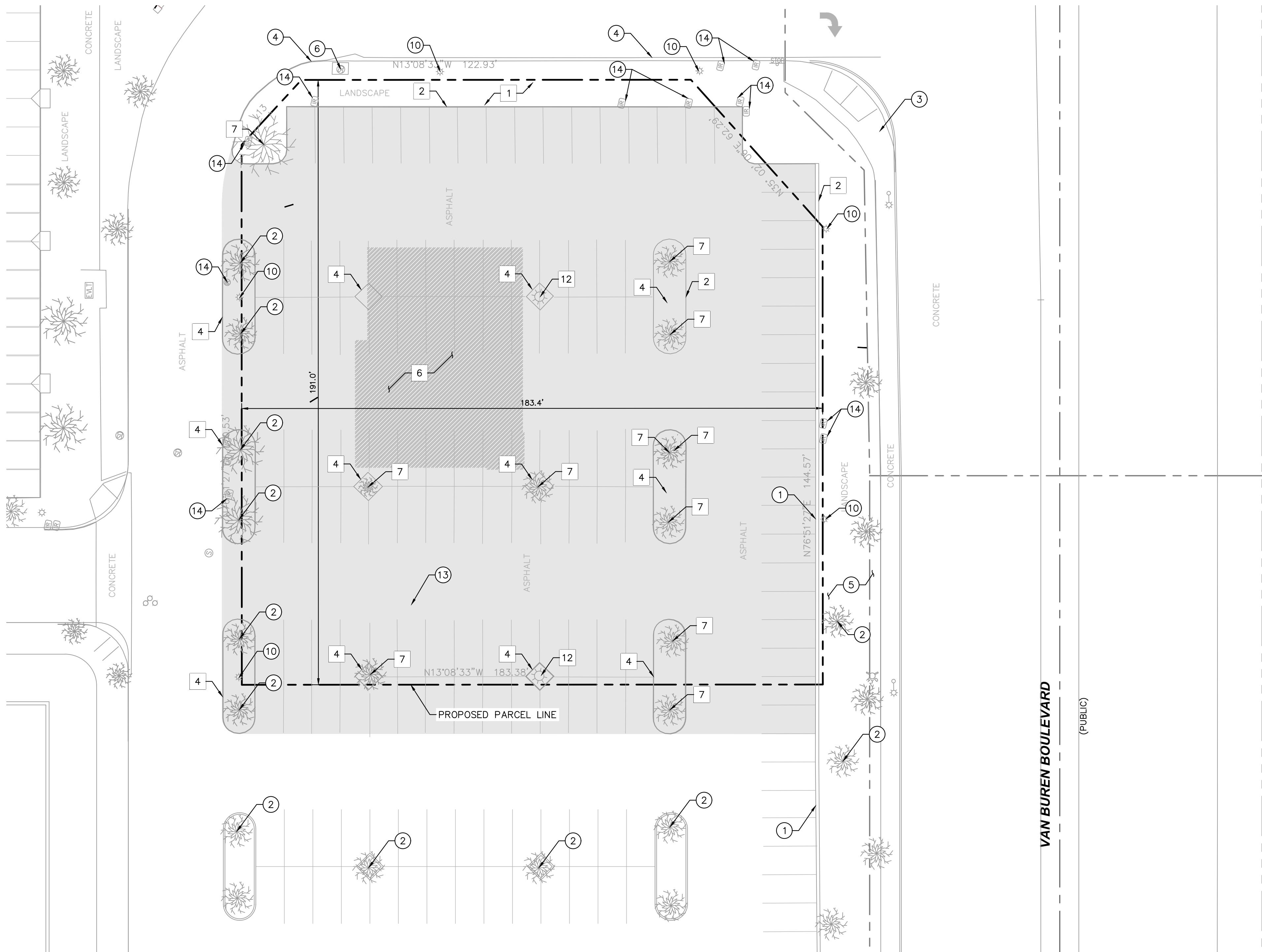
JK

DM:

IO

CPM:

JM



GENERAL DEMOLITION NOTES

- THE CONTRACTOR SHALL CLEAR THE PROJECT SITE AREA WITHIN THE CONFINES OF THE DEMOLITION LIMIT LINE. THE CONTRACTOR SHALL CAP IN PLACE ALL EXISTING UTILITIES AT THE DEMOLITION LIMIT LINE, UNLESS NOTED ON THE PLAN. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL EXISTING UTILITY STRUCTURES, PLANTERS, TREES, AND ALL OTHER SITE FEATURES, UNLESS OTHERWISE NOTED ON THE PLAN.
- DEMOLITION AND REMOVAL OF PAVEMENT INCLUDES PAVEMENT THICKNESS AS WELL AS BASE COURSE THICKNESS.
- REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION, AND DISPOSAL OF SOIL MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF DEMOLITION WORK.
- THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING ABOVE AND UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SHOWN FOR GENERAL INFORMATION ONLY.
- DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
- EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT DEBRIS AND UNSUITABLE MATERIALS FROM ENTERING STORM DRAINS, SANITARY SEWERS AND STREETS.
- DUST CONTROL MEASURES SHALL BE IMPLEMENTED DURING DEMOLITION.
- DEMOLITION IS LIMITED TO WITHIN THE DEMOLITION LIMIT LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REMOVE DEMOLISHED MATERIALS FROM THE SITE AS WORK PROGRESSES.
- ALL DEMOLITION SHALL COMPLY WITH CHAPTER 24 AND ARTICLE 87 OF THE CALIFORNIA FIRE CODE.
- CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
- SEE SHEET C3.0 - EROSION CONTROL PLAN FOR REMAINING INLET PROTECTION AND EROSION PREVENTION.
- CONTRACTOR TO INSTALL CHAIN LINK FENCE WITH MESH SCREEN TO PROTECT PUBLIC FROM ENTERING CONSTRUCTION AREA.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF EXISTING FACILITIES.
- MONITORING WELLS TO BE REMOVED PRIOR TO BEGINNING OF CONSTRUCTION.
- ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
- REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. REFER TO THIS PLAN FOR THE LIMITS OF ASPHALT REMOVAL. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
- THE CONTRACTOR SHALL REFER TO THIS PLAN AND LANDSCAPE PLAN FOR DEMOLITION/PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED AS NECESSARY PRIOR TO ANY DEMOLITION.
- CONTRACTOR SHALL ADJUST GRADE OF ANY RIMS/COVERS TO THE FINISHED ELEVATIONS OF EXISTING UTILITIES TO REMAIN.

LEGEND

- PROPOSED PARCEL LINE
- CENTER LINE
- DEMOLITION LIMIT LINE ON-SITE
- SAWCUT AND JOIN
- CONSTRUCTION FENCE WITH GREEN SCREEN
- EXISTING STORM DRAIN LINE
- LIMITS OF EARTHWORK PREPARATION FOR PROPOSED BUILDING. REFER TO SITE PREPARATION SECTION ON GEOTECHNICAL REPORT FOR MORE INFORMATION
- EXISTING ASPHALT PAVEMENT TO BE REMOVED

DEMOLITION NOTES

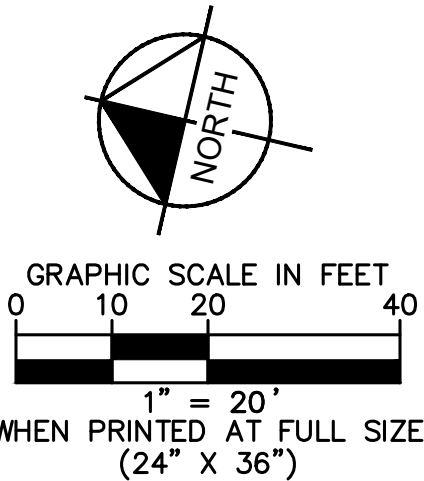
- REMOVE EXISTING LANDSCAPE.
- REMOVE EXISTING CURB / CURB & GUTTER.
- REMOVE EXISTING SIDEWALK.
- REMOVE EXISTING ISLAND PLANTER.
- PROPOSED TRASH ENCLOSURE FOOTPRINT (INCLUDES CONCRETE APPROACH).
- PROPOSED BUILDING.
- REMOVE EXISTING TREE.
- REMOVE PUBLIC EXISTING SIDEWALK/CURB RAMP.
- REMOVE PUBLIC EXISTING CURB / CURB & GUTTER.
- INSTALL TEMPORARY PEDESTRIAN BARRIERS DURING WORK IN PUBLIC R/W.
- REMOVE EXISTING STOP SIGN AND POST. SAVE FOR REINSTALLATION
- REMOVE EXISTING LIGHT POLE
- REMOVE EXISTING CURB INLET. INSTALL TEMPORARY CAP ON STORM DRAIN LINE FOR FUTURE CONNECTION.

PROTECTION NOTES

- PROTECT-IN-PLACE EXISTING CURB / CURB & GUTTER.
- PROTECT-IN-PLACE EXISTING TREE.
- PROTECT-IN-PLACE EXISTING PUBLIC SIDEWALK.
- PROTECT-IN-PLACE EXISTING PUBLIC CURB & GUTTER.
- PROTECT-IN-PLACE EXISTING LANDSCAPE.
- PROTECT-IN-PLACE EXISTING STORM DRAIN INLET.
- EXISTING TRANSFORMER TO BE REUSED.
- PROTECT-IN-PLACE EXISTING MONUMENT SIGN.
- PROTECT-IN-PLACE EXISTING COLUMN.
- PROTECT-IN-PLACE EXISTING LIGHT POLE.
- PROTECT-IN-PLACE EXISTING TRAFFIC SIGNAL.
- PROTECT-IN-PLACE EXISTING ELECTRICAL HANDHOLE.
- PROTECT-IN-PLACE EXISTING 6" WATER LINE.
- PROTECT-IN-PLACE OR RELOCATE EXISTING IRRIGATION VALVE

EXISTING UTILITY NOTE

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Bakery-Cafe:

#6134

SYSTEM: G4

Project Team:

NORR

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Professional Seal:



12/16/2021

Project Title:

Bakery Cafe #6134
VAN BUREN BLVD &
TRAUTWEIN RD
RIVERSIDE, CA 92508

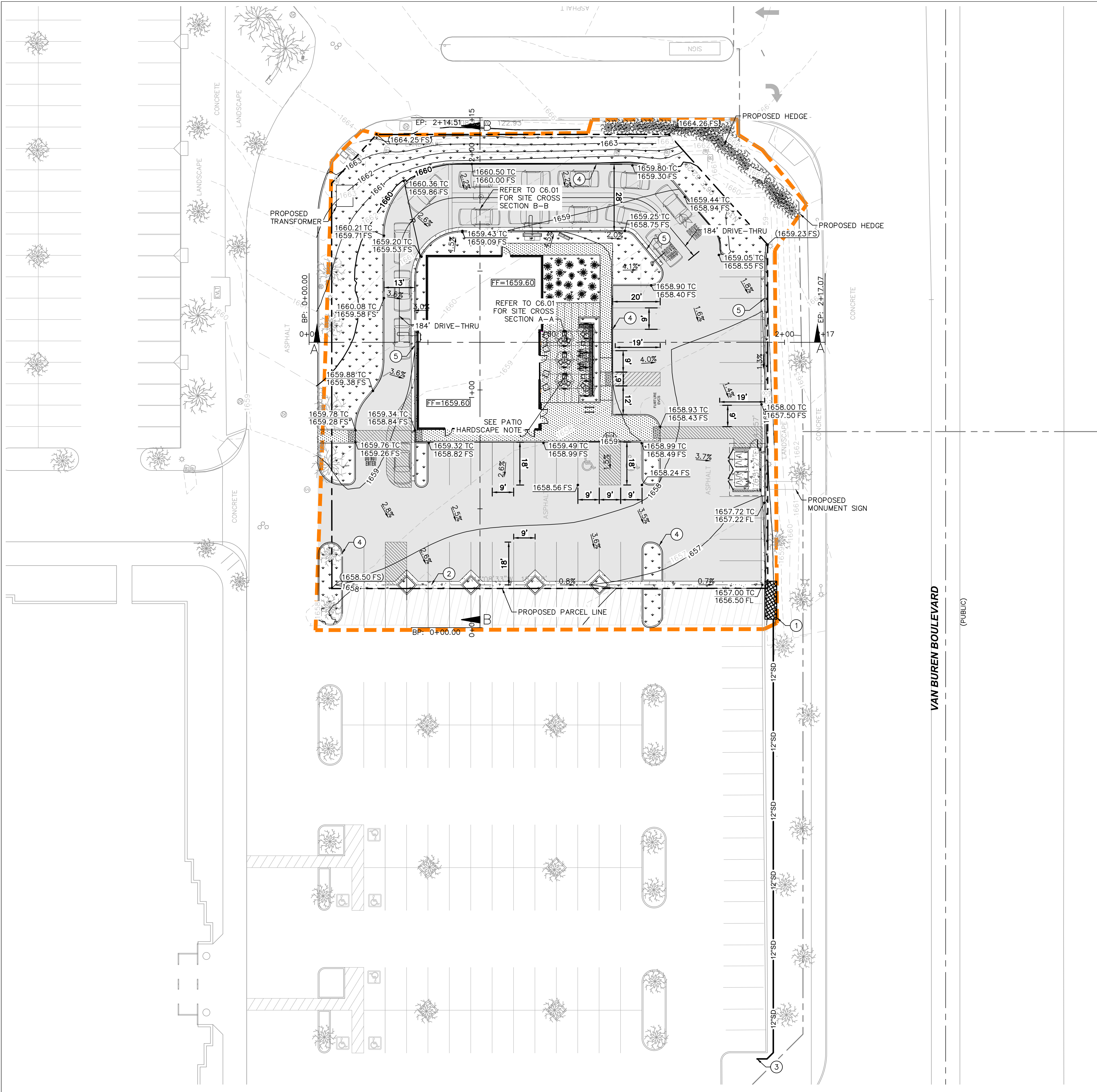


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No.	Description	Date
	ENTITLEMENT REVIEW	12/14/18

DEMOLITION PLAN

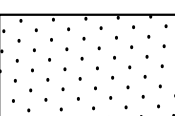
Project Number: NICH18.0268.00
Drawn By:
Author:
Issue Date: 12/14/18
DPM: JK DC ME
Sheet Number: C4.0



LEGEND

- PROPOSED PARCEL LINE
- EASEMENT LINE
- CENTER LINE
- APPROXIMATE CIVIL LIMIT OF WORK LINE
- GRADE BREAK LINE
- GB
- R
- SD
- PROPOSED STORM DRAIN LINE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED FLOW (DIRECTION AND SLOPE)

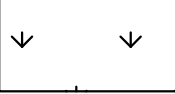
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STANDARD DUTY SIDEWALK CONCRETE



HEAVY DUTY CONCRETE PAVEMENT



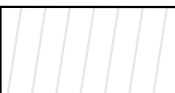
LANDSCAPE/PLANTER AREA



STANDARD DUTY ASPHALT CONCRETE PAVEMENT



DETECTABLE WARNING



MILL AND OVERLAY EXISTING ASPHALT PAVEMENT

PATIO HARDSCAPE NOTE

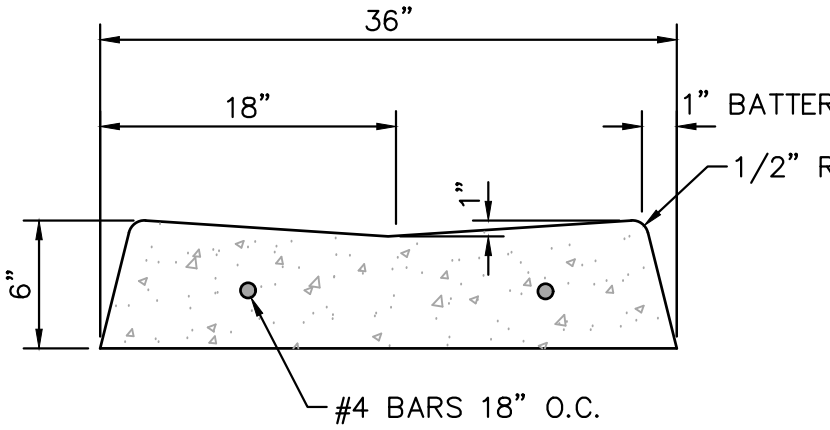
REFER TO LANDSCAPE PLANS FOR PATIO MATERIAL. MATERIAL TO BE NATURAL COLORED CONCRETE WITH DOUBLE BLADED SAW CUT JOINTS. FINISH: TOPCAST @ #05

RETAINING WALL NOTE

NO RETAINING WALLS ARE ANTICIPATED FOR THIS PROJECT

CONSTRUCTION NOTES

- INSTALL MODULAR WETLAND SYSTEM PER DETAIL (C6.3)
- INSTALL VALLEY GUTTER PER DETAIL ON THIS SHEET
- CONNECT TO EXISTING CATCH BASIN
- INSTALL CURB
- INSTALL CURB AND GUTTER



NOTE:

CONCRETE SHALL BE 3000 PSI.

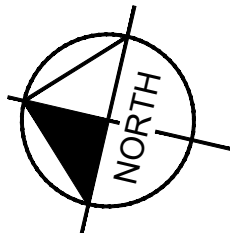
VALLEY GUTTER

N.T.S.

REV. DATE: 05.05.2016

EXISTING UTILITY NOTE

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GRAPHIC SCALE IN FEET
0 10 20 40
1" = 20'
WHEN PRINTED AT FULL SIZE
(24" X 36")

Bakery-Cafe:

#6134

SYSTEM: G4

Project Team:

NORR

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Professional Seal:



12/16/2021

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No.	Description	Date
	ENTITLEMENT REVIEW	12/14/18

GRADING AND DRAINAGE PLAN

Project Number:

NICH18.0268.00

Drawn By:

Author:

Issue Date:

12/14/18

DPM:

JK

Sheet Number:

C6.0

DM:

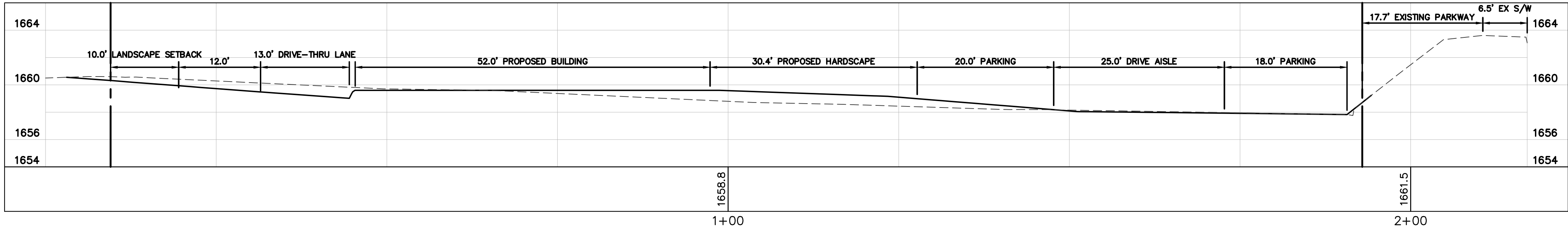
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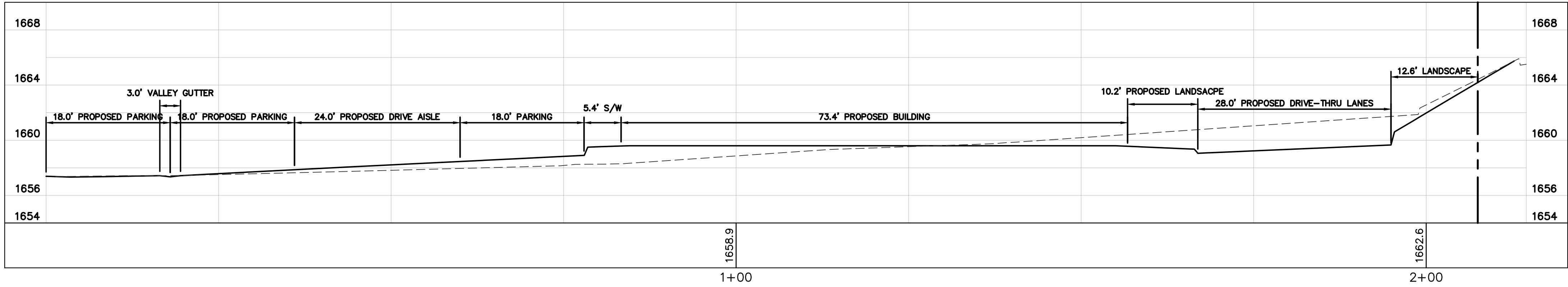
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SECTION A-A

HORIZONTAL SCALE 1"=10"

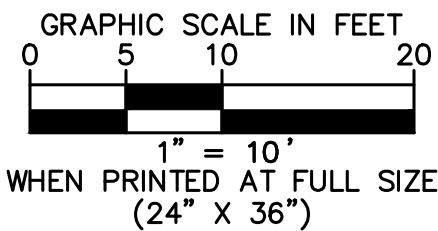
VERTICAL SCALE 1"=2'



SECTION B-B

HORIZONTAL SCALE 1"=10"

VERTICAL SCALE 1"=2'



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#6134

SYSTEM: G4

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ENTITLEMENT REVIEW

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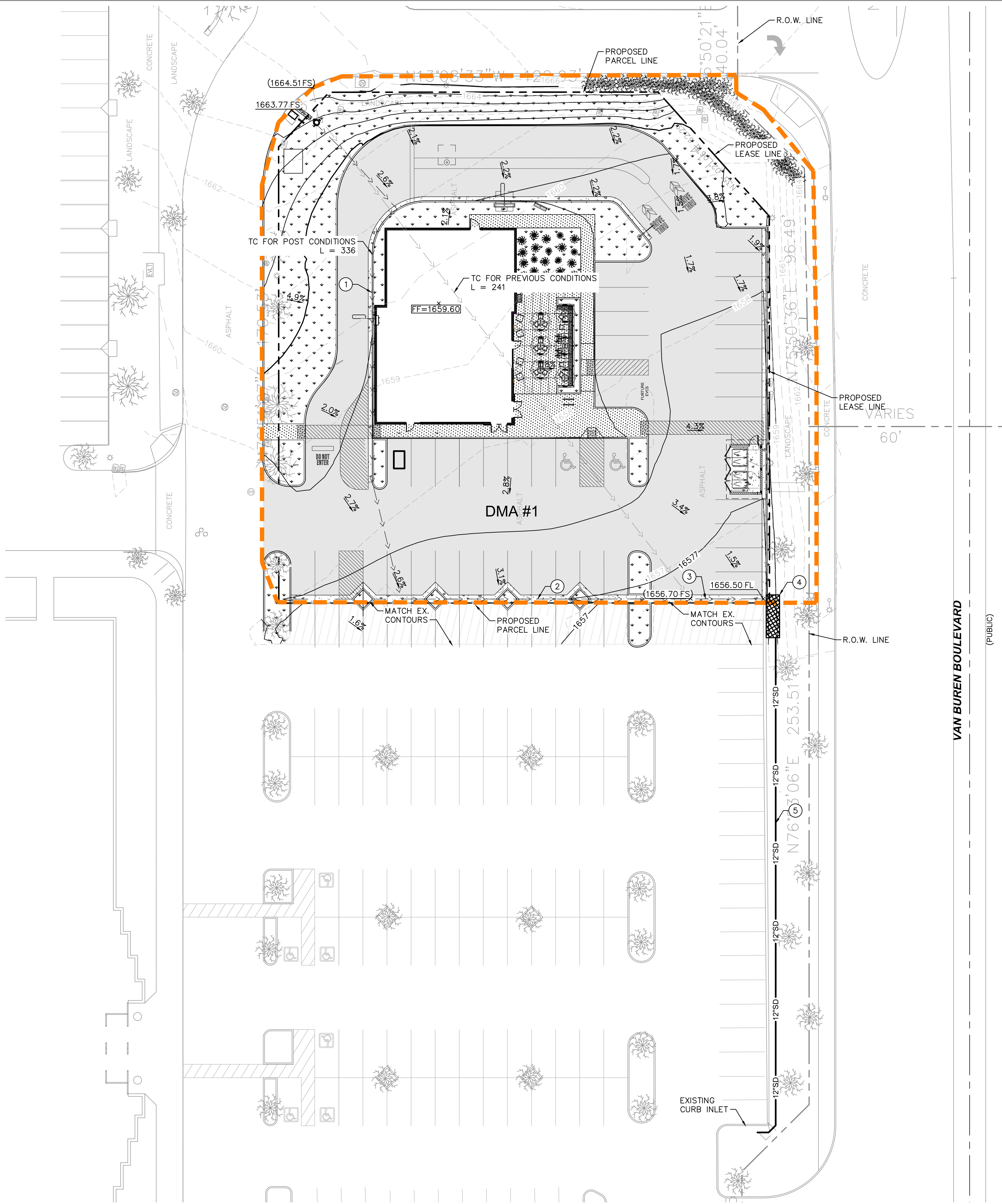
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GRADING PROFILES

Project Number:	Sheet Number:
NICH18.0268.00	
Drawn By:	
Author:	
Issue Date:	
12/14/18	
DPM:	DM: CPM:
JK	DC ME

C6.1



LEGEND

---	PROPERTY LINE
- - - -	STREET CENTER LINE
- . - .	LEASE LINE
- - - -	EASEMENT LINE
-SD-	PROPOSED STORM DRAIN LINE
[Pattern]	STANDARD DUTY SIDEWALK PAVEMENT
[Pattern]	HEAVY DUTY CONCRETE PAVEMENT
-R-	RIDGE LINE
715.50 TC 715.00 FS	PROPOSED SPOT ELEVATION
(715.50 TC) (715.00 FS)	EXISTING SPOT ELEVATION
[Pattern]	STANDARD DUTY ASPHALT CONCRETE PAVEMENT
[Pattern]	MILL AND OVERLAY EXISTING ASPHALT PAVEMENT
[Pattern]	LANDSCAPE AREA
- - - - -	DENOTES DRAINAGE AREA

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DMA #	BMP ID#	TOTAL DRAINAGE AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	BMP PROVIDED	EFFECTIVE IMPERVIOUS FRACTION (I)	COMPOSITE RUNOFF FACTOR (C)	DCV (CF)	PROPOSED VOLUME (CF)
1	BMP-1A	39800	28195	0	MODULAR WETLAND	1.0	0.89	1250	3812
1	BMP-1B		0	11605		0.30	0.2250		

DRAINAGE NOTES

1. INSTALL CURB AND GUTTER PER DETAIL ON SHEET C6.0
2. INSTALL VALLEY GUTTER PER DETAIL ON SHEET C6.0
3. INSTALL GRATE INLET WITH AQUA-GUARDIAN TRASH GUARD OR APPROVED EQUAL PER DETAIL (C6.3)
4. INSTALL MODULAR WETLAND PER DETAIL (C6.3)
5. INSTALL 12" PVC STORM DRAIN LINE

Bakery-Cafe:

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SYSTEM: G4

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TRAUTWEIN RD
RIVERSIDE, CA 92508



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No.	Description	Date
	ENTITLEMENT REVIEW	12/14/18

WQMP SITE PLAN

Project Number:

NICH18.0268.00

Drawn By:

Author:

Issue Date:

12/14/18

DPM:

JK

Sheet Number:

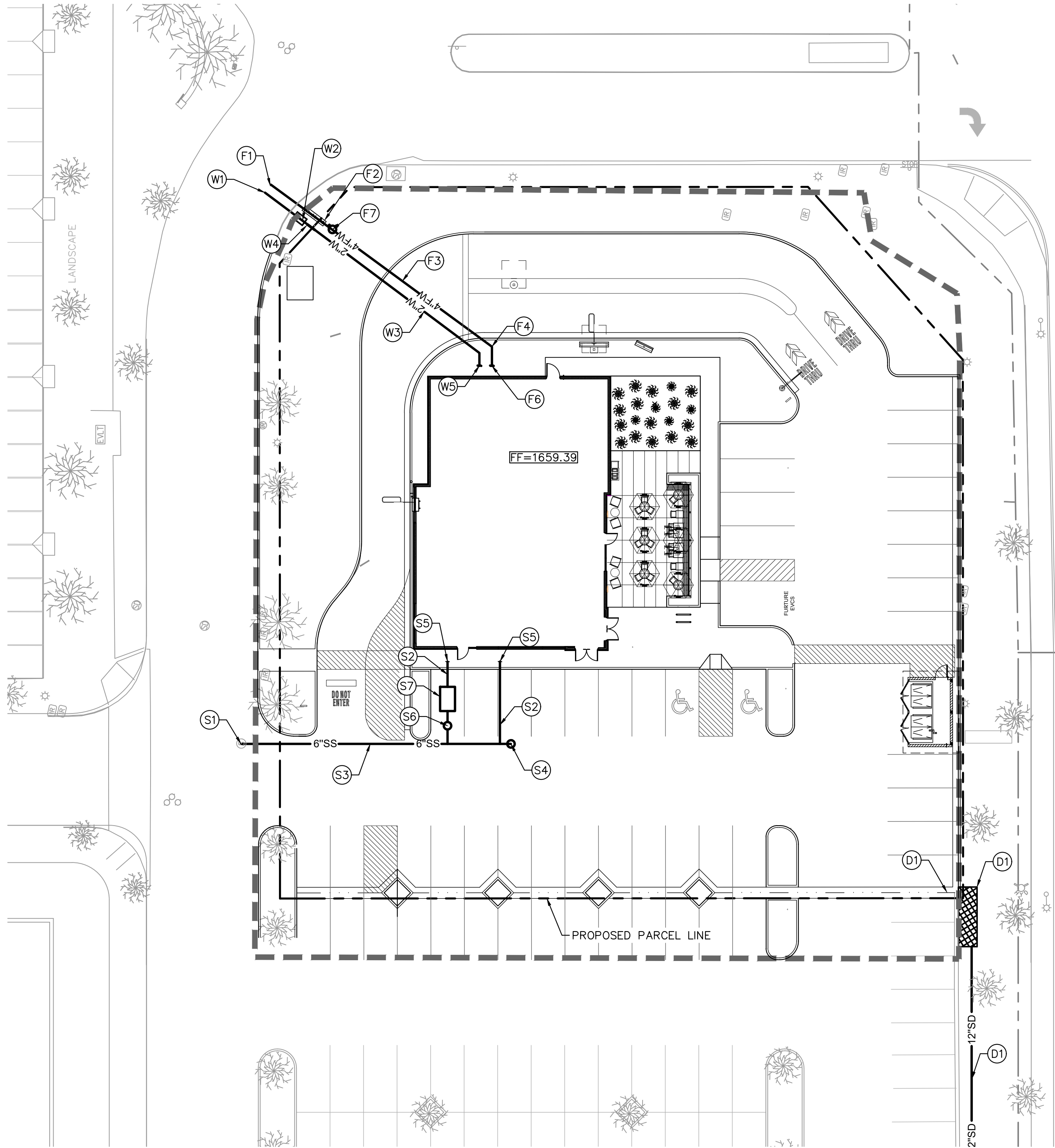
C6.2

CPM:

ME

12/6/2018 9:25:09 AM

PS 2015.01



DOMESTIC WATER

- (W1) TAP INTO EXISTING WATER MAIN. TAP AND METER TO BE INSTALLED BY SEPARATE PERMIT.
- (W2) INSTALL 2" WATER METER BY SEPARATE PERMIT.
- (W3) INSTALL 2" PVC SCH. 80 DOMESTIC WATER PIPE.
- (W4) INSTALL 2" BACKFLOW PREVENTER.
- (W5) BUILDING POINT OF CONNECTION (5'-FT FROM BUILDING FACE). REFER TO PLUMBING PLANS FOR CONTINUATION.

FIRE WATER

- (F1) HOT TAP TO EXISTING WATER MAIN. LATERAL TO BE INSTALLED PER SEPARATE PERMIT.
- (F2) INSTALL 4" BACKFLOW PREVENTER
- (F3) INSTALL 4" PVC C-900, CLASS 150, FIRE WATER LINE.
- (F4) INSTALL LINE SIZE PVC-900, CLASS 150, 45° BEND WITH THRUST BLOCK
- (F5) INSTALL POST INDICATOR VALVE
- (F6) BUILDING POINT OF CONNECTION
- (F7) INSTALL FIRE DEPARTMENT CONNECTION (FDC)

STORM DRAIN

- (D1) PROPOSED STORM DRAIN PIPING AND APPURTENANCES. REFER TO GRADING AND DRAINAGE PLAN FOR DESIGN INFORMATION.

SEWER

- (S1) CONNECT TO EXISTING MANHOLE. CONTRACTOR TO VERIFY EXISTING MANHOLE INVERT ELEVATIONS PRIOR TO INSTALLATION. IF DISCREPANCIES ARE FOUND, NOTIFY ENGINEER FOR FURTHER DIRECTION.
- (S2) INSTALL 4" SDR-35 PVC SEWER AT MINIMUM 2% SLOPE.
- (S3) INSTALL 6" SDR-35 PVC SEWER AT MINIMUM 2% SLOPE.
- (S4) INSTALL SEWER CLEANOUT PER DETAIL 10, SHEET C8.1.
- (S5) BUILDING POINT OF CONNECTION. INSTALL 2-WAY CLEANOUT. REFER TO PLUMBING PLANS FOR CONTINUATION.
- (S6) INSTALL JENSEN PRECAST SAMPLE BOX.
- (S7) INSTALL JENSEN PRECAST 1500 GAL. GREASE INTERCEPTOR. REFER TO MEP PLANS FOR MORE INFORMATION.

LEGEND

- PROPERTY LINE / RIGHT OF WAY
- LEASE LINE
- CENTER LINE
- EASEMENT OR SETBACK LINE
- CIVIL LIMIT OF WORK LINE
- SS PROPOSED SANITARY SEWER PIPE
- GW PROPOSED GREASE WASTE PIPE
- SD PROPOSED STORM DRAIN PIPE
- W PROPOSED WATER PIPE
- FW PROPOSED FIRE WATER PIPE
- G PROPOSED GAS PIPE
- E E E PROPOSED PRIMARY ELECTRICAL CONDUIT
- PROPOSED POINT OF CONNECTION (© BLDG)
- PROPOSED POINT OF CONNECTION (TO EXISTING)
- PROPOSED REDUCED PRESSURE DETECTOR BACKFLOW ASSEMBLY
- PROPOSED POST INDICATOR VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED FIRE DEPARTMENT CONNECTION
- PROPOSED 45° BEND WITH THRUST BLOCK

EXISTING UTILITY NOTE

THE EXISTING UTILITIES SHOWN ON THE PLAN ARE BASED ON AVAILABLE RECORDS. THE CONTRACTOR MUST FIELD DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED UTILITIES TO ENGINEER PRIOR TO INSTALLATION OF ANY PIPING.

UTILITY SCREENING NOTE

REFER TO LANDSCAPE ARCHITECT'S PLAN FOR VEGETATIVE SCREENING OF ALL DOMESTIC WATER METERS, BACKFLOW PREVENTERS AND UTILITY CABINETS. BACKFLOW PREVENTERS WILL NOT BE PAINTED SINCE THEY ARE SCREENED BY LANDSCAPING. WATER METERS WILL BE INSTALLED IN THE NEW PUBLIC SIDEWALK AND ARE UNDER A SEPARATE PERMIT. COLOR SHALL BE STANDARD PER CITY OF RIVERSIDE PUBLIC UTILITIES.

Bakery-Cafe:

#6134

SYSTEM: G4

Project Team:

NORR

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Kimley»Horn

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Professional Seal:



12/16/2021

Project Title:

ENTITLEMENT REVIEW

Bakery Cafe #6134
VAN BUREN BLVD &
TRAUTWEIN RD
RIVERSIDE, CA 92508



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No.	Description	Date
	ENTITLEMENT REVIEW	12/14/18

UTILITY PLAN

Project Number:

NICH18.0268.00

Drawn By:

Author:

Issue Date:

12/14/18

DPM:

JK

Sheet Number:

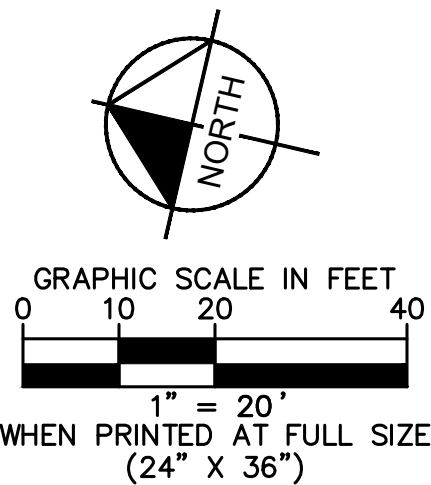
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DM:

DC

CPM:

ME





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Ventura, CA 93001
(p) 805.947.0730
Jack@kieseldesign.com
CL# 5206

Van Buren Blvd. & Trautwein Rd.
Riverside , CA 92508

#	DATE	NAME
01.14.22		Entitlement Resubmitta



Drawn By:

#	NAME	DATE
	T. Slininger	01/2022

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Preliminary Landscape Plan

LO.1



Symbols Botanical Name

Material

--	--

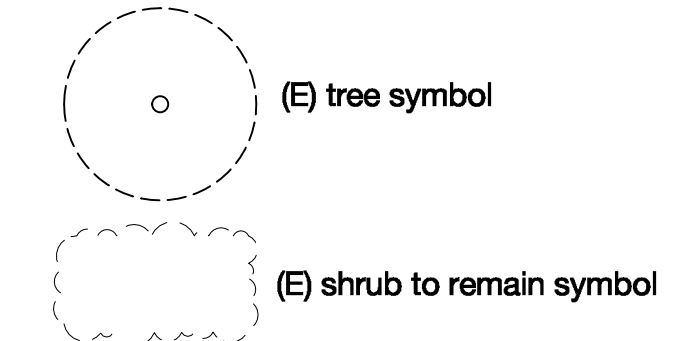
***All planters shall have 3" chocolate brown bark mulch supplied from Agriscape**

- ① (P) pre order board per architect
- ② (P) bike rack
- ③ (P) garbage enclosure
- ④ (P) transformer
- ⑤ (P) order board per architect

- A. (E) Liquidambar styraciflua
- B. (E) ROW landscape to remain
- C. (E) Agonus flexosa to remain
- D. (E) Ginkgo tree to remain
- E. (E) Row of Dwarf Lagerstroemia to remain
- F. (E) light fixture to remain
- G. (E) landscape and shrubs to remain

of (P) trees required = 14
of (P) trees provided = 16

All existing plant material to remain and be protected unless otherwise noted.





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Trees



Chitapla 'Pink Dawn' Jacaranda mimosifolia

Succulents



Agave weberi 'Arizona Star' Dasylirion wheeleri Hesperaloe parviflora

Shrubs



Caesalpinia pulcherrima Grevillea lanigera 'Prostrate' Lantana camara 'Dallas Red' Leucophyllum 'Thunder Cloud' Ligustrum japonicum texanum

Grasses



Muhlenbergia emersleyi 'El Toro'

Materials



Bark Mulch

Bakery Cafe # 6134
Van Buren Blvd. & Trautwein Rd.
Riverside , CA 92508

Revisions:

#	DATE	NAME
01.14.22		Entitlement Resubmittal



Type: Entitlement Resubmittal

Submittal Date:
Dec. 19, 2018

Drawn By:

#	NAME	DATE
	T. Slininger	01/2022

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Title:

**Preliminary Planting
Images**

Sheet Number:

L0.2



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Bakery Cafe # 6134

Van Buren Blvd. & Trautwein Rd.
Riverside , CA 92508

Revisions:

#	DATE	NAME
01.14.22		Entitlement Resubmittal



Type: Entitlement Resubmittal

Submittal Date:
Dec. 19, 2018

Drawn By:
NAME DATE
T. Slininger 01/2022

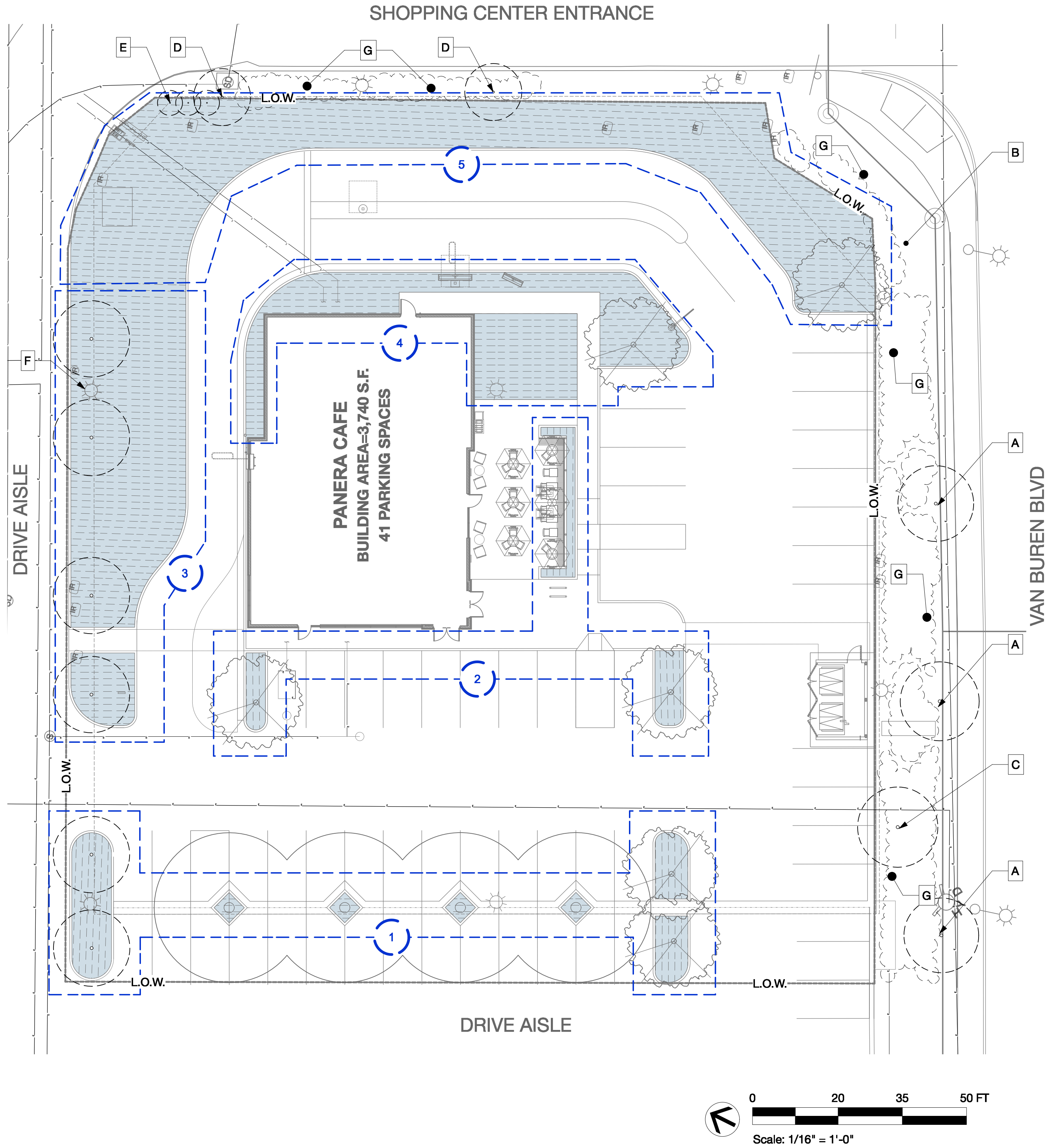
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Title:

Preliminary Irrigation
Zone Plan

Sheet Number:

L0.3



Existing Notes

- A. (E) Liquidambar styraciflua
- B. (E) ROW landscape to remain
- C. (E) Agonus flexosa to remain
- D. (E) Ginkgo tree to remain
- E. (E) Row of Dwarf Lagerstroemia to remain
- F. (E) light fixture to remain
- G. (E) landscape and shrubs to remain

Existing Tree Protection
& Removal Notes

All existing plant material to remain and be protected unless otherwise noted.

- (E) tree symbol
- (E) shrub to remain symbol

Irrigation Hydrozone Legend

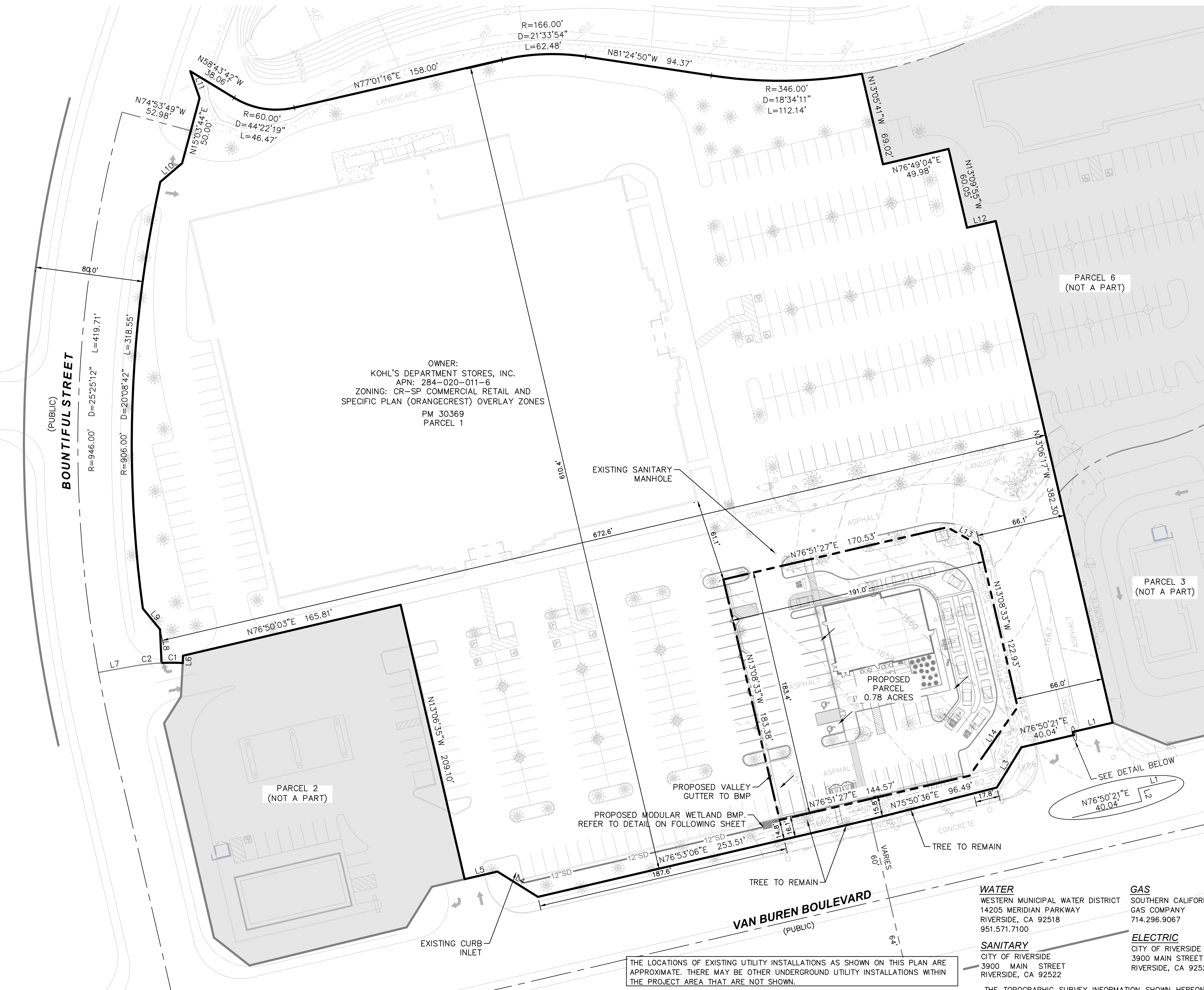
Low water hydrozone
Plant Factor = 0.1-0.3
Landscape Area = 8,114 SF

Irrigation Zone

IRRIGATION NOTES





- The design of the irrigation system shall conform to the hydrozones of the landscape design plan.
- In mulched planting areas, the use of low volume water irrigation is required to maximize water infiltration into the roots.
- Sprinkler heads and other emission devices shall have matched precipitation rates, unless otherwise directed by the manufacturer specifications.
- Head to head coverage is recommended. However, sprinkler spacing shall be set to achieve distribution uniformity using the manufacturer's specifications.
- Areas less than ten (10) feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray.
- A dedicated water meter shall be provided for common landscape area.
- A weather base "smart controller": shall be utilized.
- Controller shall be programmed to water in early morning or night.
- A rain sensor shall be installed at each controller
- Water use calculation shall certify conformance with the current requirements.
- Contractor shall obtain soils agronomy test after grading is complete. Landscape architect shall review soils test prior to planting.
- Trees are to be irrigated by bubbler.

Case No. 1:04-cv-00001-UNA Document 1-1 Filed 04/11/04 Page 1 of 1



THE TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON WAS
CONDUCTED BY LG LAND SURVEYING IN NOVEMBER OF 2017.

BASIS OF ELEVATIONS
THE BASIS OF ELEVATIONS FOR THIS SURVEY IS THE CITY OF RIVERSIDE BENCHMARK "E8-C3", P.K. NAIL AND TAG IN THE NORTHERLY WALL OF A CATCH BASIN 2 FEET EASTERLY OF THE EASTERLY CURB OF TRAUTWEIN ROAD, 100 FEET NORTHERLY OF VAN BUREN BLVD.

				SCALE (H): 1"=40' SCALE (V): NONE DESIGNED BY: HS DRAWN BY: CA CHECKED BY: HS DATE: 03/01/2022	Engineering, Planning, and Environmental Consultants 1100 Town and Country Road, Suite 700 Orange, California 92868 (714) 939-1030				NO. _____ REVISION _____ BY _____ DATE _____ APPR. _____
PROJECT NO.	DRAWING NAME TPM-194020003				1 OF 2				