



Bakery Cafe #6261

VAN BUREN BLVD. &
TRAUTWEIN RD.
RIVERSIDE, CA 92508



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No.	Description	Date
	ENTITLEMENT DOCS.	10/08/21
	REV. ENTITLEMENTS DOCS.	01/12/22
	REV. ENTITLEMENTS DOCS.	02/01/22

OVERALL SITE PLAN

Project Number:

NICH21.0310

Drawn By:

NORR

Issue Date:

10/08/21

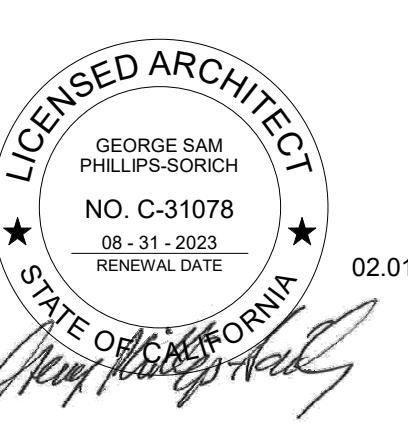
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DC JK IO JM

A1

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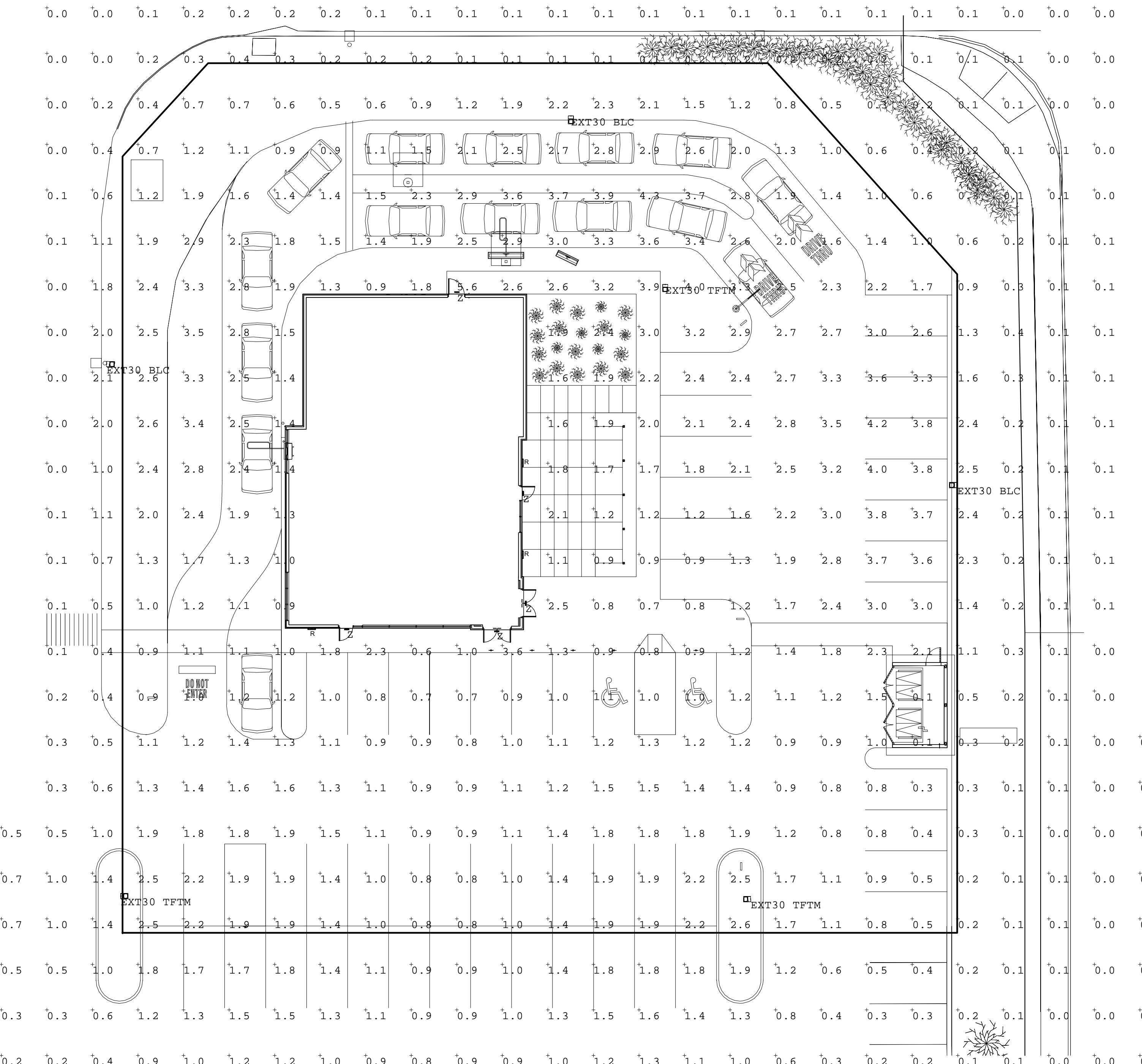
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PHOTOMETRIC PLAN

A3

Standard Electric Luminaires Schedule						
Symbol	Qty	Label	Arrangement	[MANUFAC]	Description	LLF
□	3	EXT30 BLC	Single	Lithonia	DSXI LED P4 40K BLC MVOLT SPA	0.980
□	3	EXT30 TFTM	Single	Lithonia	DSXI LED P4 30K TFTM MVOLT	0.980
■	5	2	Single	Lithonia	DSXI LED P4 30K TFTM MVOLT	1.000
				MULE LIGHTING, INC	EUE-BB-10-A-W-SD	494
						53.5
						10.7
						B1-U0-G0
						9

Calculation Summary					
Label	CalcType	Max	Min	Avg	Units
Entire Site	Illuminance	5.6	0.0	1.20	Fc



0.2 0.2 0.4 0.9 1.0 1.2 1.2 1.0 1.0 0.9 0.8 0.9 0.9 1.0 1.0 1.2 1.3 1.1 1.0 0.6 0.3 0.2 0.2



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LIGHTING DETAILS

Project Number: NICH21_0310 Sheet Number:

Drawn By: NORR

Issue Date: 10.08.2021

PM: DC DPM: JK DM: IO CPM: JM

A4

D-Series Size 1 LED Area Luminaire

EXT30 - SITE POLE LIGHT

External Glare Shield

Drilling

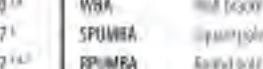
Photometric Diagrams

Ordering Information

Specifications

Accessories

#10 GND UP TO FIXTURE(S)



#6 BARE COPPER GROUND WIRE IN 1/2" PVC CONDUIT

LIGHT POLE

GROUND LUG INSIDE POLE



1" CHAMFER

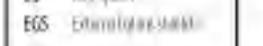
GRADE

DO NOT GROUT.



GAP BETWEEN CONCRETE AND BASE PLATE SHALL BE GREATER THAN 1/2" AND LESS THAN OR EQUAL TO 1"

#4 ANCHOR BOLTS (4 REQUIRED) WITH TWO NUTS, TWO WASHERS, AND A LOCK-WASHER EACH



#3 TIES AT 16" O.C.

CONDUIT (PVC) WITH LONG SWEEP ELBOWS

#4 REBARS (4 REQUIRED) SPACE EVENLY

CADWELD CONNECTION



10" X 0.04"

COPPER CLAD GROUND ROD

LITHONIA LIGHTING

One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.279.8041 • www.lithonia.com

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Page 1 of 1

DOD1-LED

Rev B7/16

Page 1 of 1

DOD1-LED

Rev B7/16

Page 2 of 1

6 | LIGHT POLE FOUNDATION DETAIL

1" = 1'-0"

SSS Square Straight Steel Poles

Ordering Information

Notes

FEATURES & SPECIFICATIONS

Dimensions

Anchors & Bolts

Finish

Options

Finishes

Special Features

Notes

Dimensions

Anchors & Bolts

Finish

Options

Finishes

Special Features

Notes

Dimensions

Anchors & Bolts

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Dimensions

Anchors & Bolts

Finish

Options

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ITEM#: EXTIO EXTERIOR STRING LIGHT

Revision Date: 04.18.19

APPROVED MANUFACTURER: Dolan Hospitality
 VENDOR MODEL #: Dolan #31664; (Original Manuf. Jasco #616937)
 DIMENSIONS: 48'-0" W x 9"-0" H; Linkable up to 350 ft (6 strings max.); 24 LED heads per 48ft; heads 2'-0" O.C.
 ELECTRICAL: 23.4 Max. Fixture Wattage; 120 Voltage Input.
 BULB TYPE: 2700K; LED Integrated Bulbs (included)
 BEAM SPREAD: N/A
 FINISHES & FIXTURE NOTES: Impact resistant clear acrylic non-removable LED Lamp; Black finish
 ACCESSORIES: AV Poles & Lighting: #AVPL-RSS-3" Pole
 LISTING: Wet Location
 ENERGY STAR: No
 TITLE 24: No



Dolan Hospitality
 26 South Hanford St.
 Seattle, WA 98134, USA
 Toll Free Ph: 888-506-7383
 Toll Free Fax: 866-268-1967
 info@dolanhospitality.com

MFR#:	616937
DESCRIPTION:	LED String Light-24 Lamps, 48 feet in length
DIMENSIONS:	48 feet long and hang down 9' - 24 LED heads, 2ft O.C.
CERTIFICATION:	UL
WET RATED:	YES
TITLE 24:	NO
DARK SKY:	NO
FIXTURE COLOR:	BLACK
SHADE MATERIAL:	Impact Resistant Clear Acrylic-Non removable
CORD:	48'
FASTERNERS USED:	May hang at each lamp's location
WARRANTY:	3 YEARS
COUNTRY OF ORIGIN:	CHINA
BOX SIZE:	L9" x W9" x H18" / 1228mm x W228mm x H457mm
QTY PER CARTON:	1
QTY PER MASTER PACK:	1
ITEM WEIGHT(GROSS):	11.8 Lbs
ITEM WEIGHT(NET):	11 Lbs
COMMENTS:	Plug on end, Linkable up to 350 feet, 6 strings max lamps are non removable or replaceable
BULB:	Integrated LED .96 Watt each, 23 Watt total string
SOCKET TYPE:	LED Non Removable module
WATTAGE:	N/A
MAX WATTAGE:	N/A
STICKER:	N/A
VOLTAGE:	120V
HERTZ:	N/A
KELVIN TEMP:	2700 Kelvin
BULBS INCLUDED:	Yes

Found on www.dolanhospitality.com

EMLED SERIES EUE
 Mullion Mount Outdoor Emergency Egress Lighting

PRODUCT
Fixture Type: EUE
Location: Mullion Mount
Contact/Phone:

10W **20W**

CONSTRUCTION

- Extruded aluminum lamp housing 2" diameter, with gasketed mount bracket only
- 2 1/2" Ht that includes a waterproof compression seal for universal wall or top mount
- Available models include:
- BB and AC: Single fixtures powered from a Remote Power Supply AC: 120/277 VAC input, with or without battery
- Wet location listed, UL924 and certified IP66
- Gasketed, molded end caps and Sealed acrylic lens
- Stainless steel hardware

SPECIAL FEATURES

- Very low profile extruded aluminum housing and mount bracket blend seamlessly with structural metal frames
- Remote power supply for 10W and 20W BB and AC model single fixtures
- Option for 20 watt models to operate for 2 hours in emergency mode
- Options for mount bracket height, from 2" to 5"
- Standard finishes include Aluminum, Satin White, Bronze or Black. Custom colors available on request
- Custom satin finishes for extended outdoor use are available to match any surface
- IP66 housing sealing against heavy water spray and fine dust
- Universal side or top mount
- Wide lighting distribution designed for entrance walkways
- 10W or 20W emergency power models
- Optional manual-on switch allows timed control of night lighting
- Self-Test Diagnostics is optional for integral battery models
- Certified for water resistance withstands multi-direction water spray and fine dust ingress
- Wall mount version available (see Series EAE)
- Standard CRI 90/90K, with optional color correction filters for 2900K, 3200K and 3800K.

PRODUCT DESCRIPTION

Linear LED outdoor egress with both emergency lighting and night lighting function. The EUE series is designed to mount directly on mullion frames used in typical glass panel entrance structures, with vertical mounting surface as small as 2". High efficiency LEDs and full 90° cut-off provide uniform emergency and night lighting on the extended egress pathway. All models are outdoor rated, UL wet location, ADA compliant, and exceed requirements of UL Standard 924 and NFPA 101. Designed and manufactured in the USA, complies with ARRA (American Recovery and Reinvestment Act) and Buy American requirements.

ORDERING INFORMATION

Model	Operation	Power	Housing Color	Mount	Options
EUE	BB = Battery Backup	10 = 10 Watts Emergency	BL = Black	I = Top	DG = Self-test Diagnostic (BB models only)
(includes RPS)	and normal on power	W = Satin White	W = Wall		SO = Night lighting control switch for models with DG option (120-277VAC)
AC - No Battery	20 = 20 Watts Emergency	A = Aluminum			
(includes RPS)	and normal on power	B = Dark Bronze			58120 = Night lighting control switch for standard BB models (120VAC)
		X = Custom			58277 = Night lighting control switch for standard with BB models (277VAC)
					REC = 20W RPS panel recessed mount
					2EM = 2 hr emergency operation for BB models
					CW1 = Color temp. - 3800K
					CW2 = Color temp. - 3200K
					CW3 = Color temp. - 2900K
					DAC = Dual AC input
					2HT = 2" Mount Bracket height
					SHT = 5" Mount bracket height

EXAMPLE: EUEBB10AW-DG

Mule Lighting , Inc. 46 Baker Street Providence, RI 02905 800 556-7690 P 401 941-2929 F www.mulelighting.com

EMLED SERIES EUE
 Mullion Mount Outdoor Emergency Egress Lighting

PRODUCT
Fixture Type: EUE
Location: Mullion Mount
Contact/Phone:

CONSTRUCTION

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CODES

- Manufactured and tested to UL Standard 924, NFPA Life Safety Code 101, and certified to IP66.

WARRANTY

- 10 year total customer satisfaction warranty.

CONSTRUCTION

EMBEDDED SERIES EUE
 Mullion Mount Outdoor Emergency Egress Lighting

PRODUCT
Fixture Type: EUE
Location: Mullion Mount
Contact/Phone:

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CONSTRUCTION

EMBEDDED SERIES EUE
 Mullion Mount Outdoor Emergency Egress Lighting

PRODUCT
Fixture Type



Bakery Cafe #6261

VAN BUREN BLVD. & TRAUTWEIN RD. RIVERSIDE, CA 92508



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SCHEMATIC FLOOR PLAN

Project Number: NICH21_0310 Sheet Number:

Drawn By:

NORR

Issue Date:

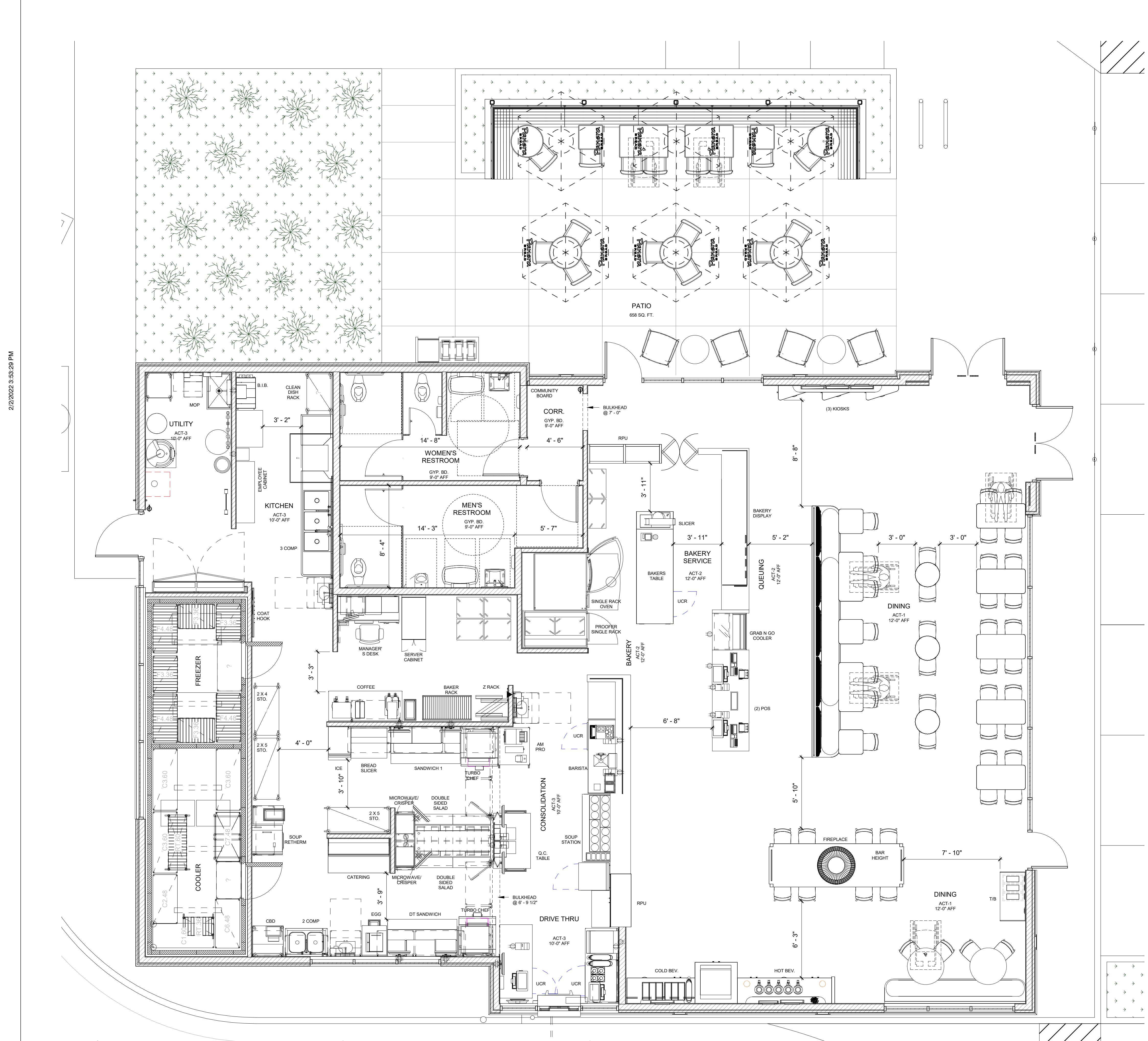
10.08.2021

PM: DC DPM: JK DM: IO CPM: JM

APPLICABLE CODES & REGULATIONS:

BUILDING CODE: 2019 CALIFORNIA BUILDING CODE
PLUMBING CODE: 2019 CALIFORNIA PLUMBING CODE
ELECTRICAL CODE: 2019 CALIFORNIA ELECTRICAL CODE
MECHANICAL CODE: 2019 CALIFORNIA MECHANICAL CODE
FIRE PROTECTION: 2019 CALIFORNIA FIRE CODE
ENERGY CODE: 2019 CALIFORNIA ENERGY CODE
ACCESSIBILITY CODE: 2019 CALIFORNIA BUILDING CODE
OTHER: 2019 CALIFORNIA GREEN BUILDING CODE
CITY OF RIVERSIDE CODE OF ORDINANCES

PROJECT DESCRIPTION:

PROJECT LOCATION: VAN BUREN BLVD. & TRAUTWEIN RD.
RIVERSIDE, CA 92508ZONING: 'C-2' RESTRICTED COMMERCIAL
ALLOWABLE BUILDING HEIGHT: 30'-0"OCCUPANCY GROUP: A-2
CONSTRUCTION CLASSIFICATION: TYPE VB
AUTOMATIC FIRE SUPPRESSION SYSTEM INSTALLED: YESSCOPE OF PROJECT: NEW FREESTANDING BUILDING CONSTRUCTION
NEW DRIVE-THRU LANE WITH MENU BOARDS
NEW TRASH ENCLOSURE
MODIFICATION OF EXISTING PARKING LOT
MODIFICATION OF SITE GRADING
LANDSCAPINGAREA BREAKDOWN:
FRONT OF HOUSE: 1,884 SQFT
BACK OF HOUSE: 1,856 SQFT
TOTAL PANERA SUITE 3,740 SQFTSEATING ANALYSIS:
INTERIOR SEAT COUNT: 76 (4 ADA REQUIRED)
EXTERIOR SEAT COUNT: 29TABLE ANALYSIS:
INTERIOR TABLE COUNT: 22
EXTERIOR TABLE COUNT: 11
TOTAL TABLES: 33
2 TOPS: 09 (41%)
3 TOPS: 00 (00%)
4+ TOPS: 13 (59%)



Bakery Cafe #6261

VAN BUREN BLVD. & TRAUTWEIN RD.

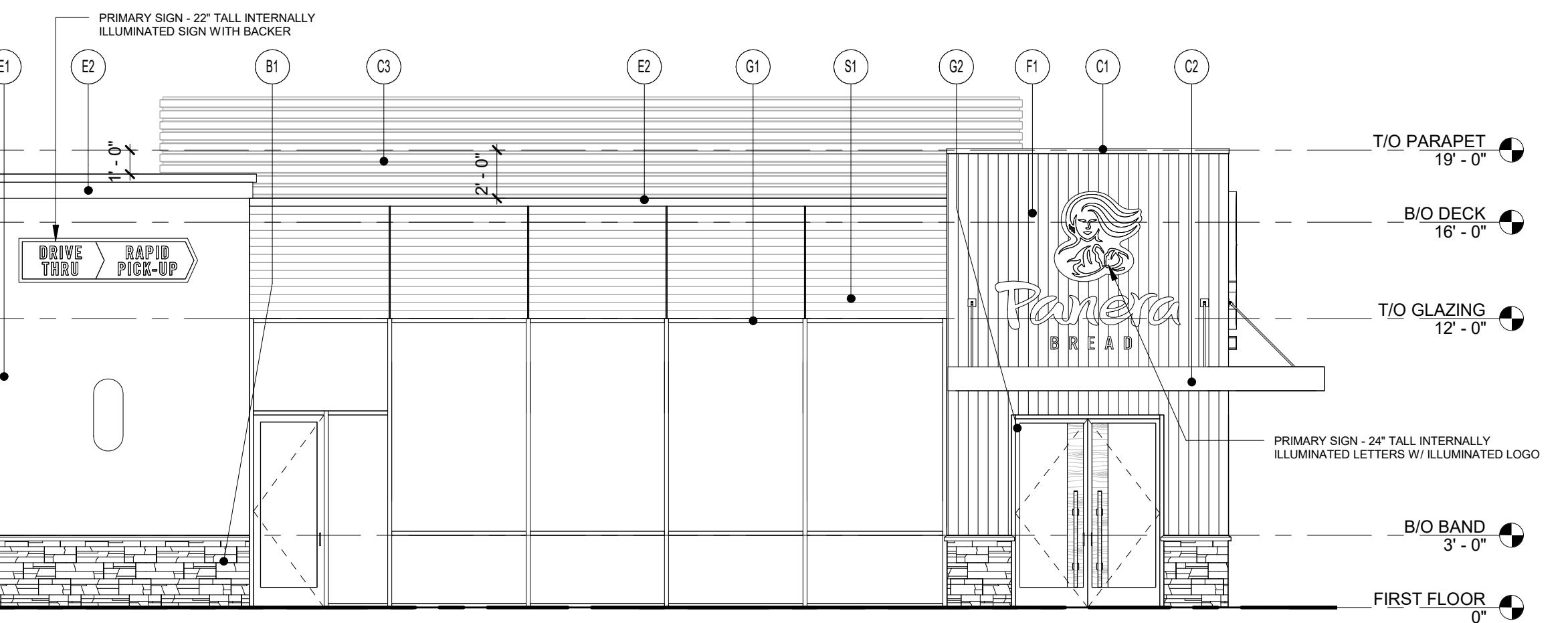
RIVERSIDE, CA 92508



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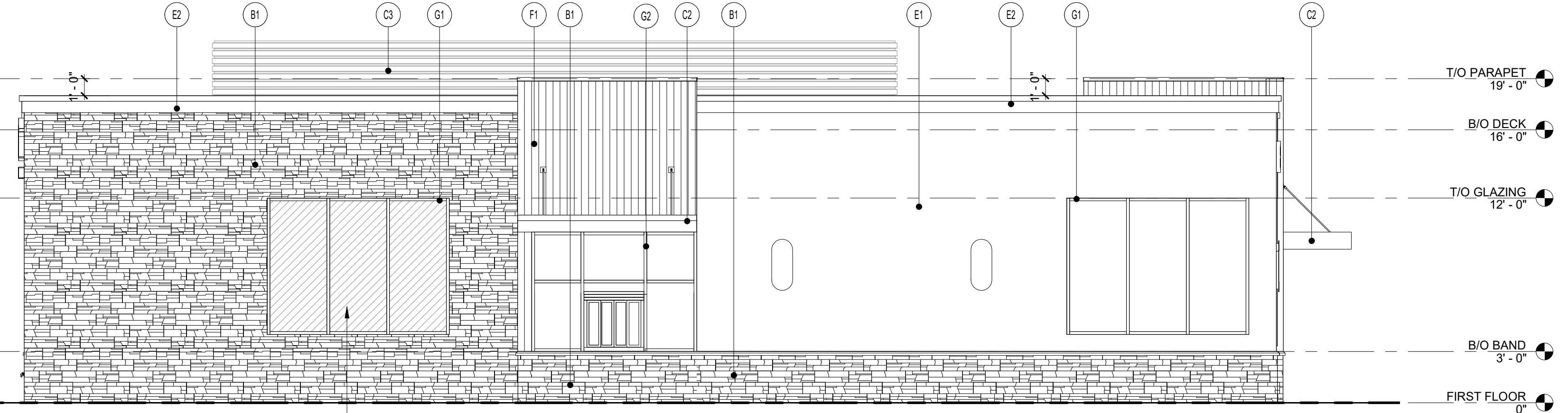
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	REV. ENTITLEMENTS DOCS.	01/12/22
	REV. ENTITLEMENTS DOCS.	02/01/22



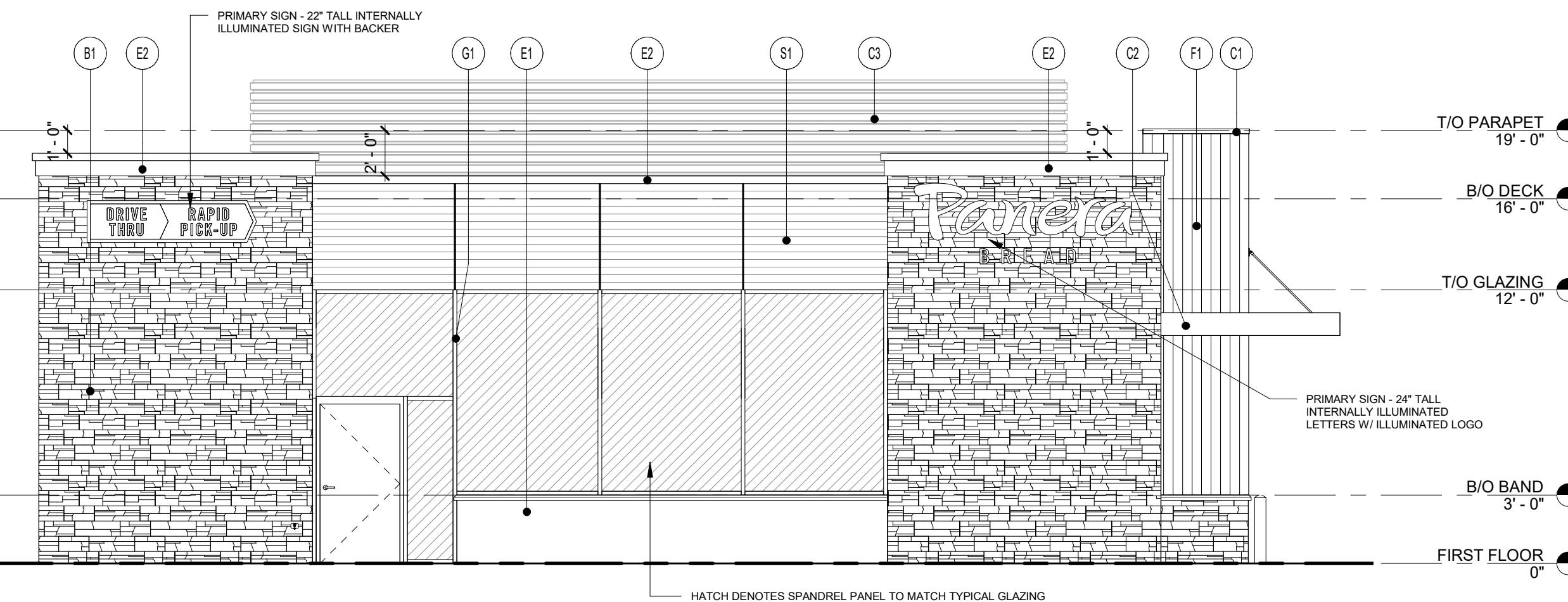
21 WEST ELEVATION

3/16" = 1'-0"



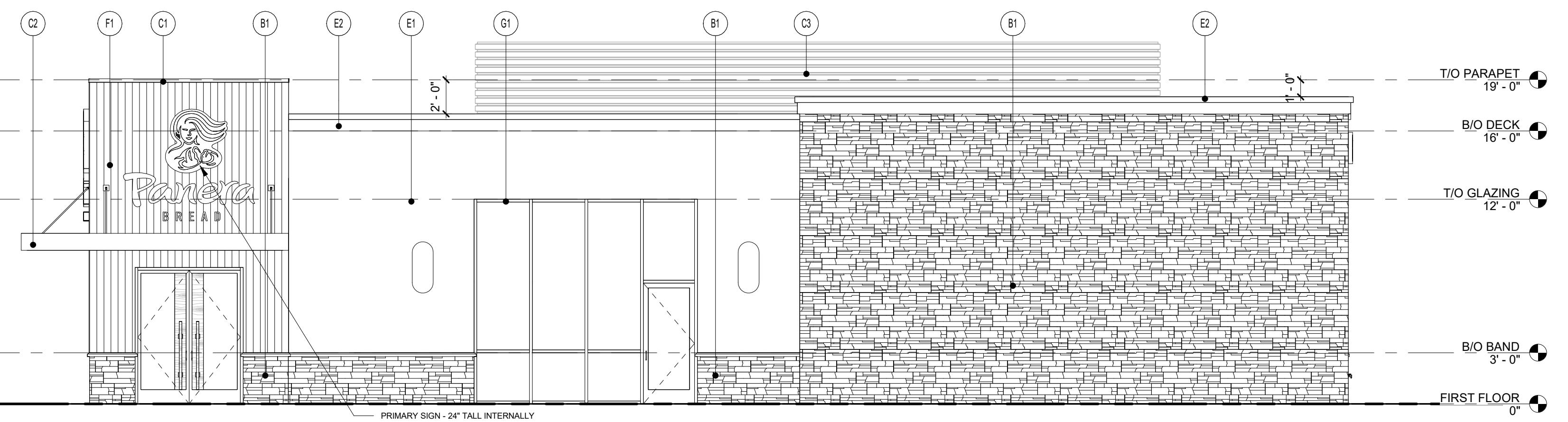
22 NORTH ELEVATION

3/16" = 1'-0"



23 EAST ELEVATION

3/16" = 1'-0"



24 SOUTH ELEVATION

3/16" = 1'-0"

EXTERIOR MATERIALS:

B1 LEDGESTONE VENEER, CORONADO STONE
1 1/2" THICK, EASTERN MOUNTAIN LEDGE
COLOR: CHESTNUT

C1 PRE-FINISHED METAL COPING
COLOR: MATCH RAL 7043

C2 PRE-FINISHED ALUMINUM CANOPY
COLOR: MATCH PMS 2411C

C3 PRE-FINISHED ALUMINUM SCREENING
COLOR: MATCH RAL 7043

E1 3-LAYER STUCCO SYSTEM
TEXTURE TO MATCH DRYVIT LIMESTONE
PAINT: SHERWIN WILLIAMS SW 7517 'RIVER'S EDGE'

E2 STUCCO CORNICE TRIM
TEXTURE TO MATCH DRYVIT LIMESTONE
PAINT: MATCH RAL 7043

F1 FIBERGLASS REINFORCED PANEL
MFR: FORMGLAS, FORMGLAS FRP
Y. V. KULKARNI, P.E.
CONSULTING ENGINEER
3037 1/2 10TH STREET PLACE
DAVIS, CA 95816
PHONE: 408.445.9626
FAX: 408.445.9788
YASHKAEKAR@GMAIL.COM

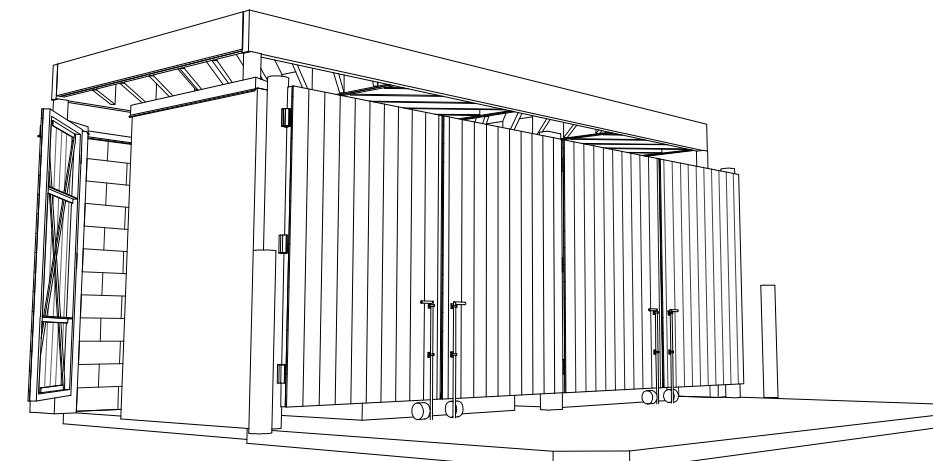
G1 ALUMINUM STOREFRONT
KAWNEER, 2" X 4-1/2" PROFILE (OR APPROVED EQUAL)
COLOR: MATCH PMS 2411C
GLAZING: 1" INSULATED CLEAR GLASS

G2 ALUMINUM STOREFRONT
KAWNEER, 2" X 4-1/2" PROFILE (OR APPROVED EQUAL)
COLOR: MATCH PMS 2411C
GLAZING: 1" INSULATED CLEAR GLASS

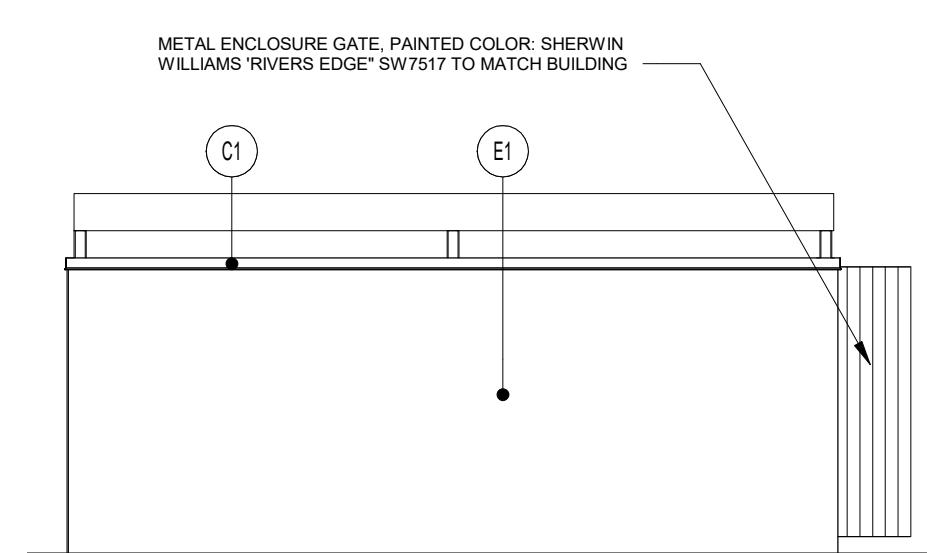
S1 ALUMINUM WOOD LOOK
KNOTWOOD CLADDING SYSTEM
COLOR: WHITE ASH

S2 ALUMINUM WOOD LOOK
KNOTWOOD SELF MATING CLADDING SYSTEM
COLOR: WHITE ASH

SPANDREL GLAZING SPECIFICATION:
MFR: ICD HIGH PERFORMANCE COATINGS
COLOR: OPACI-COAT-300, #0-0186 LIGHT WHITE
COATING TO BE FACTORY APPLIED

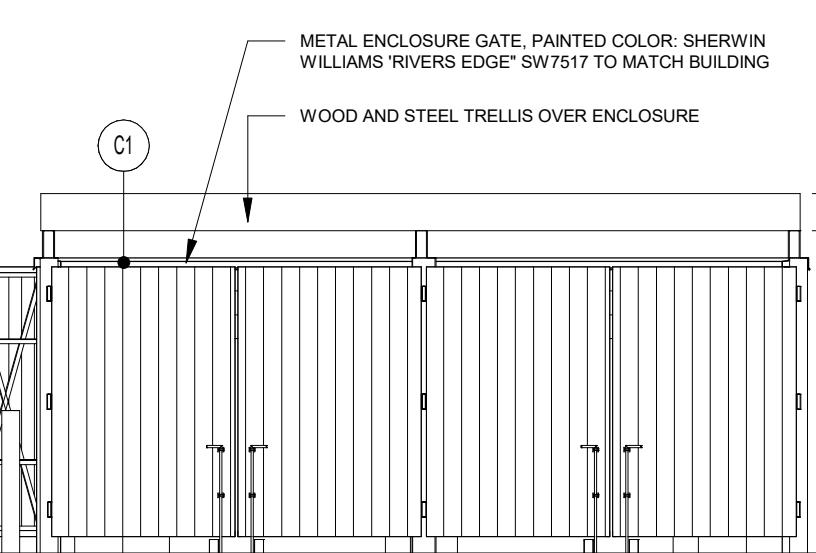


6 TRASH ENCLOSURE PERSPECTIVE



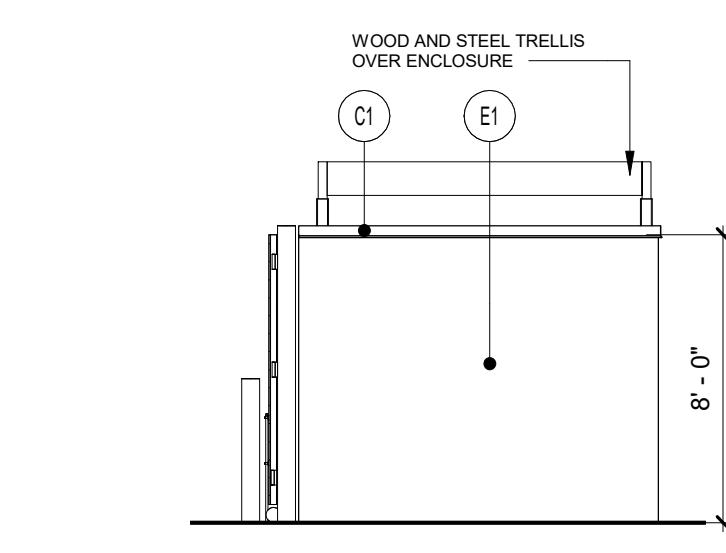
7 TRASH ENCLOSURE REAR

3/16" = 1'-0"



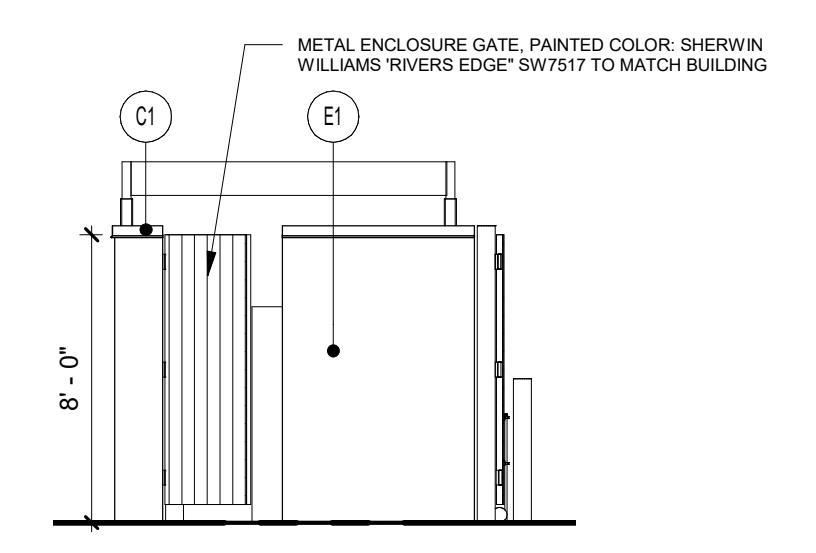
3 TRASH ENCLOSURE FRONT

3/16" = 1'-0"



8 TRASH ENCLOSURE SIDE

3/16" = 1'-0"



4 TRASH ENCLOSURE SIDE

3/16" = 1'-0"

EXTERIOR ELEVATIONS

Project Number: NICH21_0310 Sheet Number:

Drawn By: NORR

Issue Date: 10.08.2021

PM: DC JK

DPM: IO

DM: JM

CPM:

A7



Bakery Cafe #6261

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RIVERSIDE, CA 92508



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	REV. ENTITLEMENTS DOCS.	02/01/22

EXTERIOR COLOR ELEVATIONS

Project Number: NICH21_0310
Sheet Number:

Drawn By: NORR
Issue Date: 10.08.2021

PM: DC
DPM: JK
DM: IO
CPM: JM

A8



MATERIAL SAMPLE BOARD:



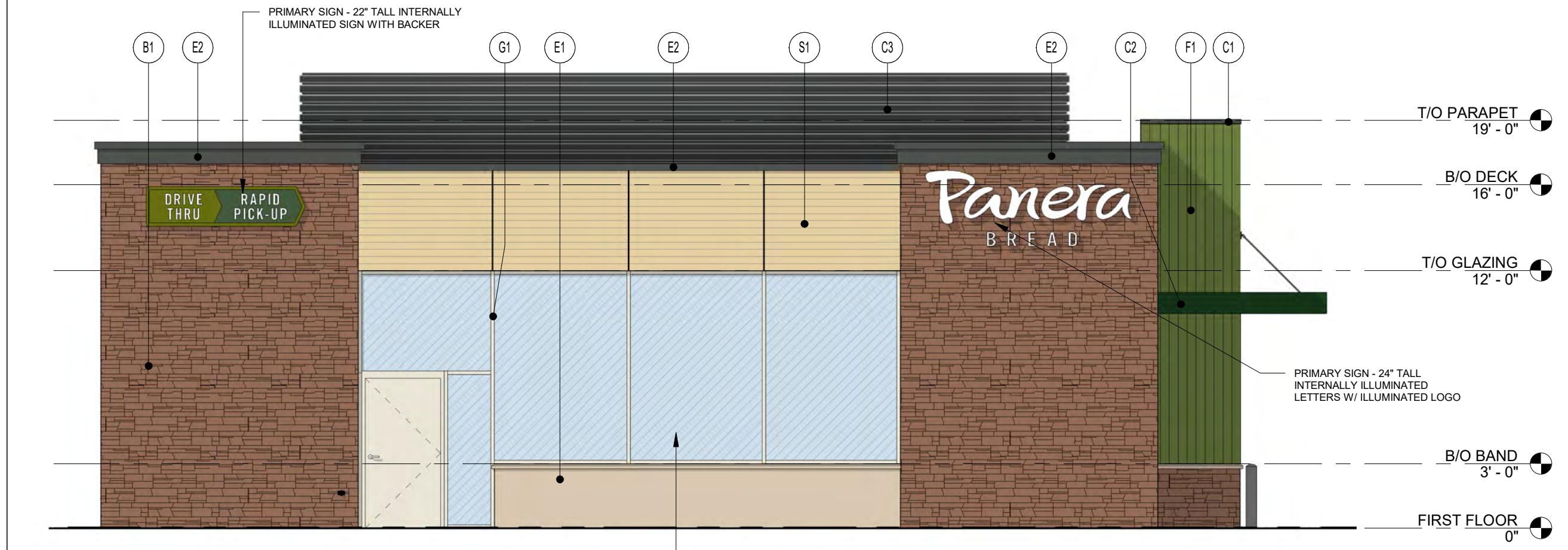
21 WEST ELEVATION

3/16" = 1'-0"



22 NORTH ELEVATION

3/16" = 1'-0"



23 EAST ELEVATION

3/16" = 1'-0"



24 SOUTH ELEVATION

3/16" = 1'-0"

EXTERIOR MATERIALS:

- B1 LEDGESTONE VENEER: CORONADO STONE 1 1/2" THICK, EASTERN MOUNTAIN LEDGE COLOR: CHESTNUT
- C1 PRE-FINISHED METAL COPING COLOR: MATCH RAL 7043
- C2 PRE-FINISHED ALUMINUM CANOPY COLOR: MATCH PMS 2411C
- C3 PRE-FINISHED ALUMINUM SCREENING COLOR: MATCH RAL 7043
- E1 3-LAYER STUCCO SYSTEM TEXTURE TO MATCH DRYVIT LIMESTONE PAINT: SHERWIN WILLIAMS SW 7517 'RIVER'S EDGE'
- E2 STUCCO CORNICE TRIM TEXTURE TO MATCH DRYVIT LIMESTONE PAINT: MATCH RAL 7043
- F1 FIBERGLASS REINFORCED PANEL MFR: FORMGLAS, FORMGLAS FRP FINISH: BASF UNO, COLOR: MATCH PMS 2307C
- G1 ALUMINUM STOREFRONT KAWNEER, 2" X 4-1/2" PROFILE FINISH: POWDERCOAT, COLOR: COLONIAL WHITE GLAZING: 1" INSULATED CLEAR GLASS
- G2 ALUMINUM STOREFRONT KAWNEER, 2" X 4-1/2" PROFILE COLOR: MATCH PMS 2411C GLAZING: 1" INSULATED CLEAR GLASS
- S1 ALUMINUM WOOD LOOK KNOTWOOD, CLADDING SYSTEM COLOR: WHITE ASH
- S2 ALUMINUM WOOD LOOK KNOTWOOD, SELF MATING CLADDING SYSTEM COLOR: WHITE ASH

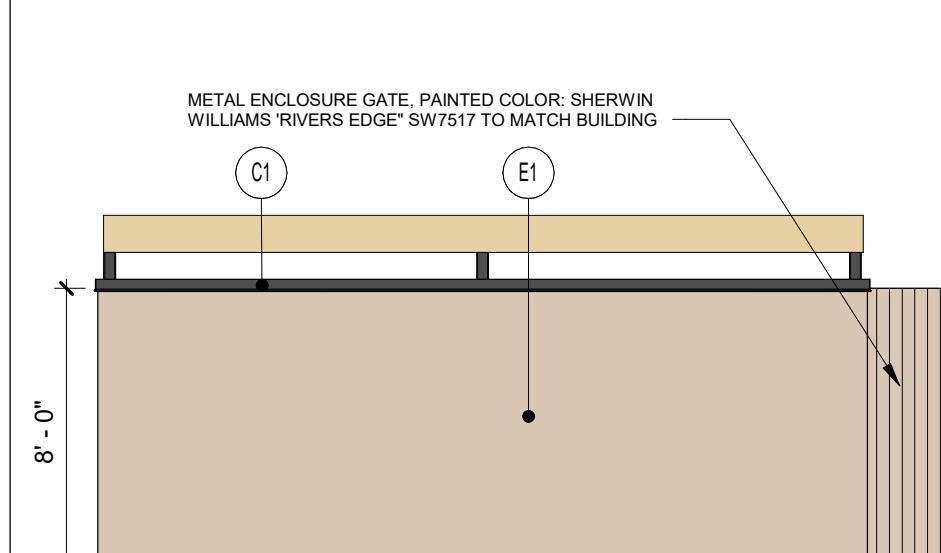
21 WEST ELEVATION

3/16" = 1'-0"



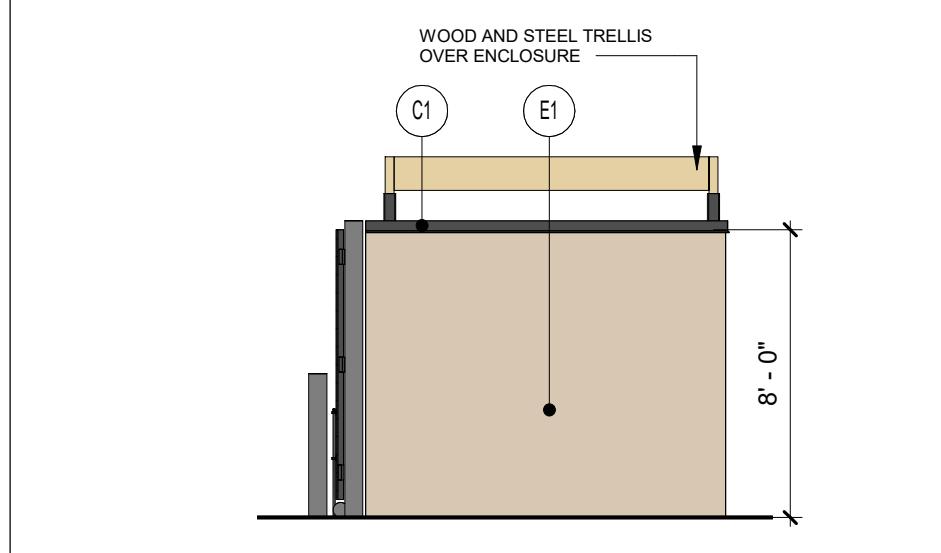
6 TRASH ENCLOSURE PERSPECTIVE

3/16" = 1'-0"



7 TRASH ENCLOSURE REAR

3/16" = 1'-0"



8 TRASH ENCLOSURE SIDE

3/16" = 1'-0"

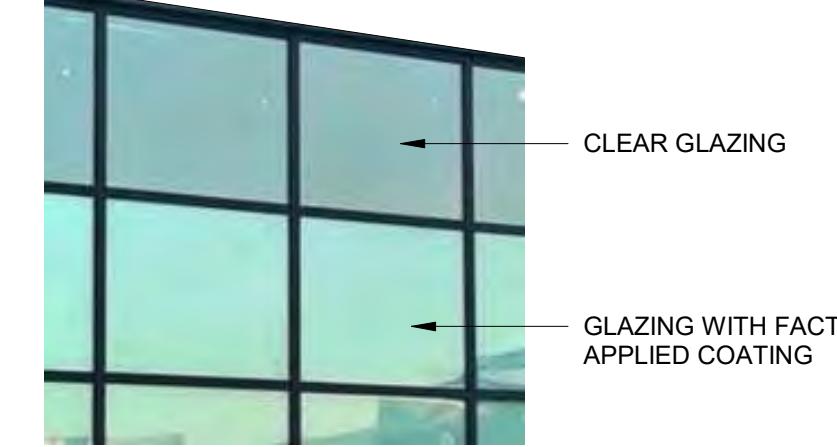
EXTERIOR MATERIALS:

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- G2 ALUMINUM STOREFRONT KAWNEER, 2" X 4-1/2" PROFILE (OR APPROVED EQUAL) COLOR: MATCH PMS 2411C GLAZING: 1" INSULATED CLEAR GLASS
- S1 ALUMINUM WOOD LOOK KNOTWOOD, CLADDING SYSTEM COLOR: WHITE ASH
- S2 ALUMINUM WOOD LOOK KNOTWOOD, SELF MATING CLADDING SYSTEM COLOR: WHITE ASH

SPANDREL GLAZING SPEC:

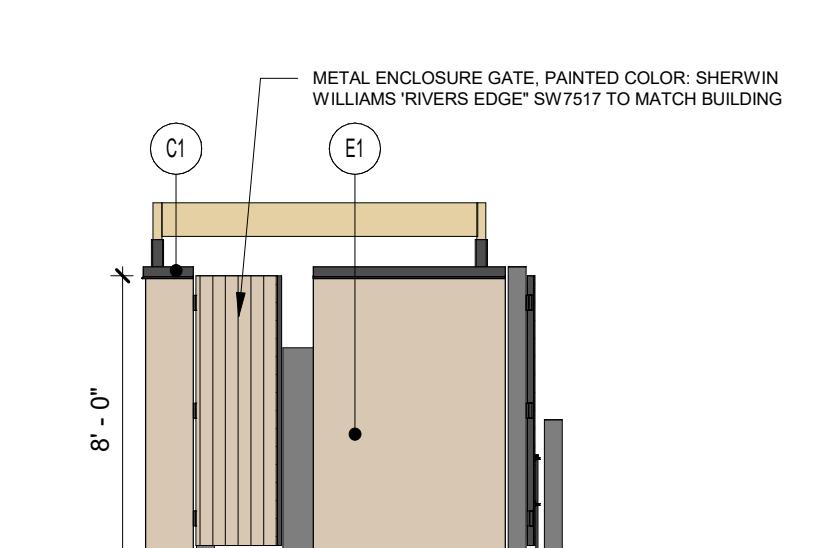
MFR: ICD HIGH PERFORMANCE COATINGS
COLOR: OPACI-COAT-300, #0-0186 LIGHT WHITE

COATING TO BE FACTORY APPLIED



3 TRASH ENCLOSURE FRONT

3/16" = 1'-0"



4 TRASH ENCLOSURE SIDE

3/16" = 1'-0"



Bakery Cafe #6261

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REV. ENTITLEMENTS DOCS.	02/01/22	

3D VIEW / LINE OF SIGHT

Project Number: NICH21_0310 Sheet Number:

Drawn By:

NORR

Issue Date:

10.08.2021

PM: DC DPM: JK DM: IO CPM: JM

A9

22 | VIEW FROM NORTHWEST



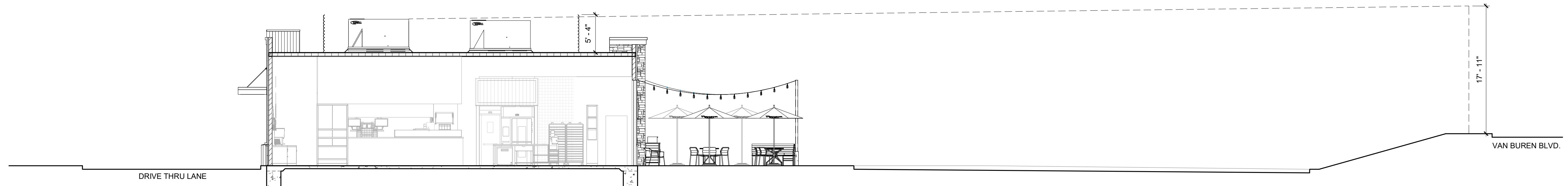
10 | VIEW FROM SOUTHWEST



23 | VIEW FROM NORTHEAST

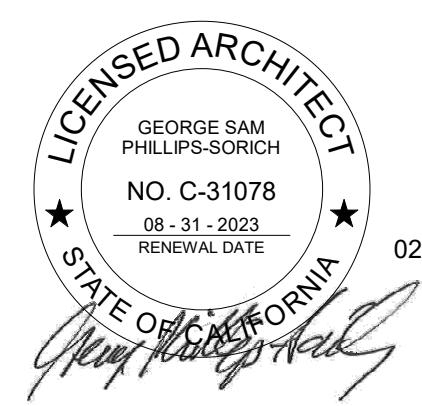


11 | VIEW FROM SOUTHEAST 1



24 | LINE OF SIGHT DIAGRAM

1/8" = 1'-0"



Bakery Cafe #6261

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	REV. ENTITLEMENTS DOCS.	02/01/22

RENDERS

Project Number:	Sheet Number:
NICH21_0310	
Drawn By:	
NORR	
Issue Date:	
10.08.2021	
PM:	DPM:
DC	JK
DM:	IO
CPM:	JM

A10



2/2/2022 5:54:42 PM



VIEW FROM NORTHWEST

P22019.06



VIEW FROM WEST



VIEW FROM SOUTHEAST

P22019.06



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

P22019.06



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

P22019.06



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

P22019.06



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

P22019.06



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

P22019.06



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

P22019.06



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

P22019.06



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

P22019.06



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

P22019.06



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

P22019.06



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

P22019.06



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

P22019.06



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

P22019.06



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

P22019.06



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

P22019.06



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

P22019.06



VIEW FROM SOUTHWEST



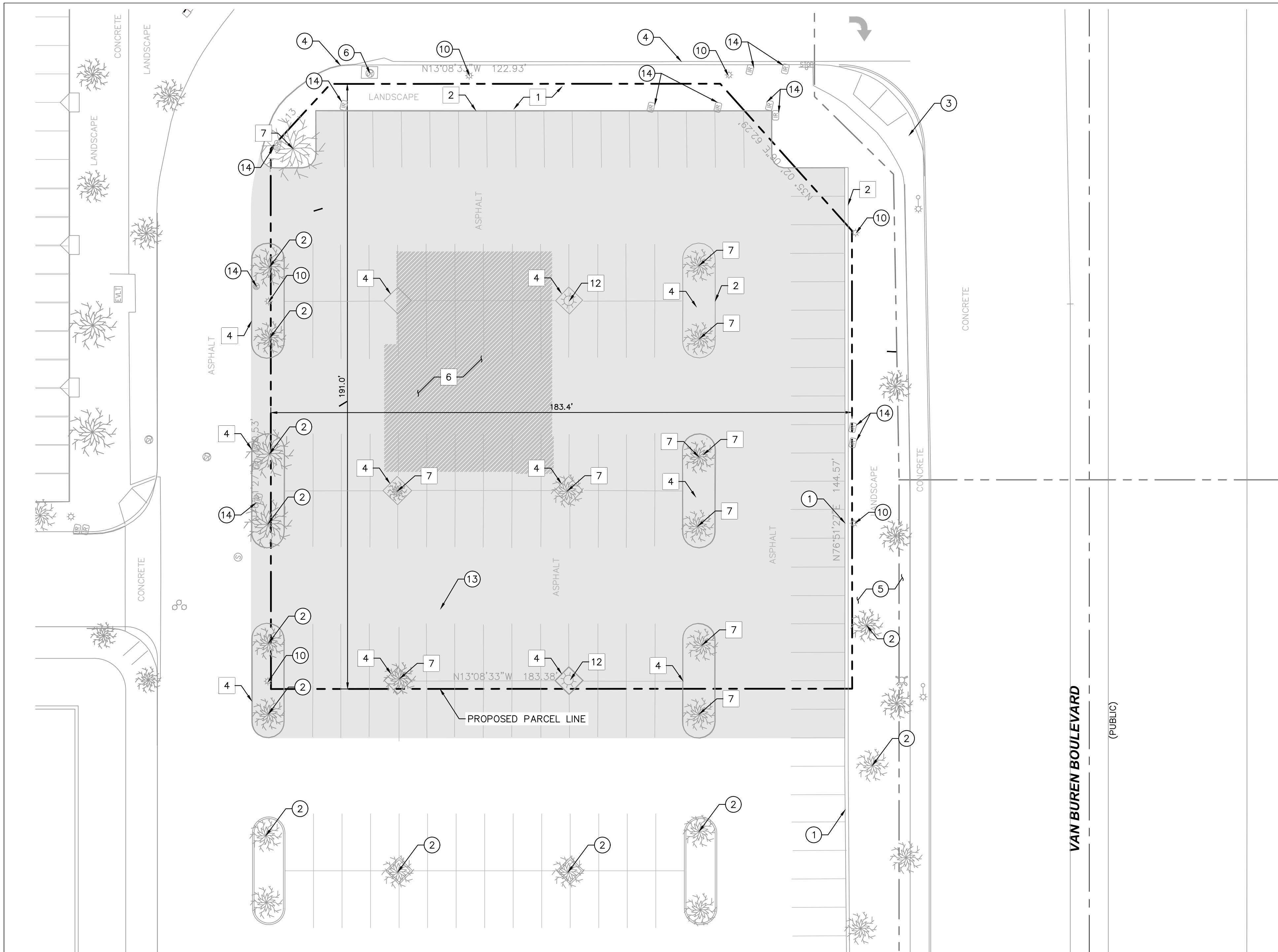
VIEW FROM SOUTHEAST

P22019.06



VIEW FROM SOUTHWEST





GENERAL DEMOLITION NOTES

1. THE CONTRACTOR SHALL CLEAR THE PROJECT SITE AREA WITHIN THE CONFINES OF THE DEMOLITION LIMIT LINE. THE CONTRACTOR SHALL CAP IN PLACE ALL EXISTING UTILITIES AT THE DEMOLITION LIMIT LINE, UNLESS NOTED ON THE PLAN. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL EXISTING UTILITY STRUCTURES, PLANTERS, TREES, AND ALL OTHER SITE FEATURES, UNLESS OTHERWISE NOTED ON THE PLAN.
2. DEMOLITION AND REMOVAL OF PAVEMENT INCLUDES PAVEMENT THICKNESS AS WELL AS BASE COURSE THICKNESS.
3. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIAL.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION, AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF DEMOLITION WORK.
6. THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING ABOVE AND UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SHOWN FOR GENERAL INFORMATION ONLY.
7. DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
8. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT DEBRIS AND UNSUITABLE MATERIALS FROM ENTERING STORM DRAINS, SANITARY SEWERS AND STREETS.
9. DUST CONTROL MEASURES SHALL BE IMPLEMENTED DURING DEMOLITION.
10. DEMOLITION IS LIMITED TO WITHIN THE DEMOLITION LIMIT LINE UNLESS OTHERWISE NOTED.
11. CONTRACTOR SHALL REMOVE DEMOLISHED MATERIALS FROM THE SITE AS WORK PROGRESSES.
12. ALL DEMOLITION SHALL COMPLY WITH CHAPTER 24 AND ARTICLE 87 OF THE CALIFORNIA FIRE CODE.
13. CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
14. SEE SHEET C3.0 – EROSION CONTROL PLAN FOR REMAINING INLET PROTECTION AND EROSION PREVENTION.
15. CONTRACTOR TO INSTALL CHAIN LINK FENCE WITH MESH SCREEN TO PROTECT PUBLIC FROM ENTERING CONSTRUCTION AREA.
16. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF EXISTING FACILITIES.
17. REF
18. MON
19. ALL
20. REF
21. THE
22. CON

MONITORING WELLS TO BE REMOVED PRIOR TO BEGINNING OF CONSTRUCTION.

ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.

REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTEINANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. REFER TO THIS PLAN FOR THE LIMITS OF ASPHALT REMOVAL. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.

THE CONTRACTOR SHALL REFER TO THIS PLAN AND LANDSCAPE PLAN FOR DEMOLITION/PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED AS NECESSARY PRIOR TO ANY DEMOLITION.

CONTRACTOR SHALL ADJUST GRADE OF ANY RIMS/COVERS TO THE FINISHED ELEVATIONS OF EXISTING UTILITIES TO REMAIN.

THE EXISTING UTILITIES SHOWN ON THE PLAN ARE BASED ON AVAILABLE RECORDS. THE CONTRACTOR MUST FIELD DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED UTILITIES TO ENGINEER PRIOR TO INSTALLATION OF ANY PIPING.

PROTECTION NOTES

- 1) PROTECT-IN-PLACE EXISTING CURB / CURB & GUTTER.
- 2) PROTECT-IN-PLACE EXISTING TREE.
- 3) PROTECT-IN-PLACE EXISTING PUBLIC SIDEWALK.
- 4) PROTECT-IN-PLACE EXISTING PUBLIC CURB & GUTTER.
- 5) PROTECT-IN-PLACE EXISTING LANDSCAPE.
- 6) PROTECT-IN-PLACE EXISTING STORM DRAIN INLET.
- 7) EXISTING TRANSFORMER TO BE REUSED.
- 8) PROTECT-IN-PLACE EXISTING MONUMENT SIGN.
- 9) PROTECT-IN-PLACE EXISTING COLUMN.
- 0) PROTECT-IN-PLACE EXISTING LIGHT POLE.
- 1) PROTECT-IN-PLACE EXISTING TRAFFIC SIGNAL.
- 2) PROTECT-IN-PLACE EXISTING ELECTRICAL HANDHOLE.
- 3) PROTECT-IN-PLACE EXISTING 6" WATER LINE.
- 4) PROTECT-IN-PLACE OR RELOCATE EXISTING IRRIGATION VALVE

EXISTING UTILITY NOTE

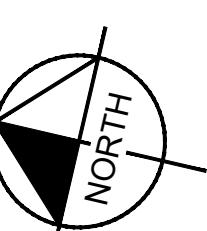
THE EXISTING UTILITIES SHOWN ON THE PLAN ARE BASED ON AVAILABLE RECORDS. THE CONTRACTOR MUST FIELD DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED UTILITIES TO ENGINEER PRIOR TO INSTALLATION OF ANY PIPING.

DEMOLITION NOTES

- 1 REMOVE EXISTING LANDSCAPE.
- 2 REMOVE EXISTING CURB / CURB & GUTTER.
- 3 REMOVE EXISTING SIDEWALK.
- 4 REMOVE EXISTING ISLAND PLANTER.
- 5 PROPOSED TRASH ENCLOSURE FOOTPRINT (INCLUDES CONCRETE APPROACH).
- 6 PROPOSED BUILDING.
- 7 REMOVE EXISTING TREE.
- 8 REMOVE PUBLIC EXISTING SIDEWALK/CURB RAMP.
- 9 REMOVE PUBLIC EXISTING CURB / CURB & GUTTER.
- 0 INSTALL TEMPORARY PEDESTRIAN BARRIERS DURING WORK IN PUBLIC R/W.
- 11 REMOVE EXISTING STOP SIGN AND POST. SAVE FOR REINSTALLATION
- 2 REMOVE EXISTING LIGHT POLE
- 3 REMOVE EXISTING CURB INLET. INSTALL TEMPORARY CAP ON STORM DRAIN LINE FOR FUTURE CONNECTION.

PROTECTION NOTES

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DEMOLITION PLAN

Project Number: Sheet Number:
NICH18.0268.00 _____

Drawn By: _____

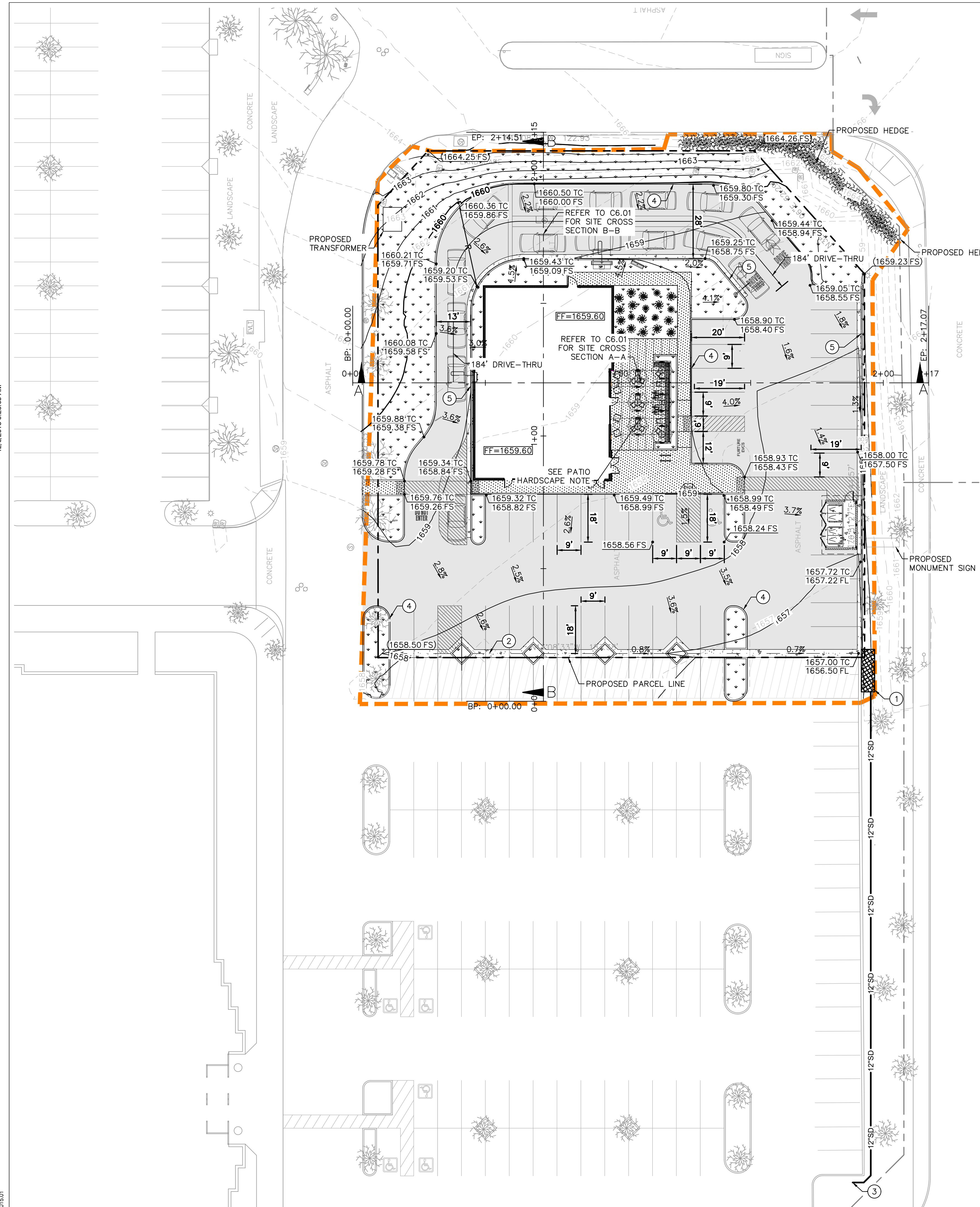
Author _____

Issue Date: _____

12/14/18

DPM: DM: CPM: _____

C4.0



LEGEND

	PROPOSED PARCEL LINE
	EASEMENT LINE
	CENTER LINE
	APPROXIMATE CIVIL LIMIT OF WORK LINE
	GRADE BREAK LINE
	RIDGE LINE
	FLOW LINE
	EXISTING STORM DRAIN LINE
	PROPOSED STORM DRAIN LINE
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	PROPOSED FLOW (DIRECTION AND SLOPE)
	STANDARD DUTY SIDEWALK CONCRETE
	HEAVY DUTY CONCRETE PAVEMENT
	LANDSCAPE/PLANTER AREA
	STANDARD DUTY ASPHALT CONCRETE PAVEMENT
	DETECTABLE WARNING
	MILL AND OVERLAY EXISTING ASPHALT PAVEMENT

PATIO HARDSCAPE NOTE

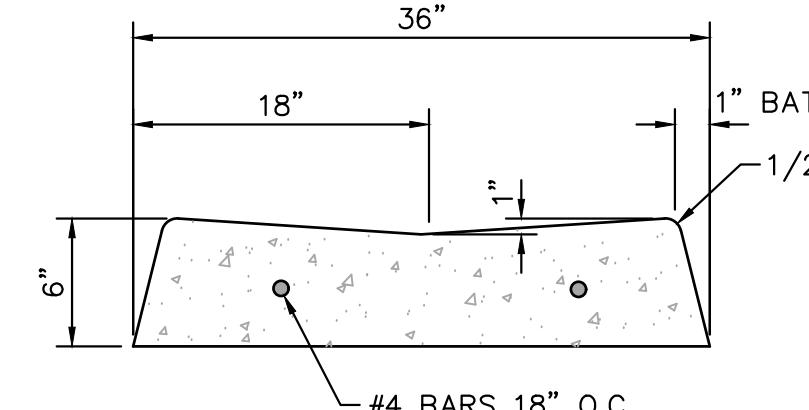
REFER TO LANDSCAPE PLANS FOR PATIO MATERIAL. MATERIAL TO BE
NATURAL COLORED CONCRETE WITH DOUBLE BLADED SAW CUT JOINTS.
FINISH: TOPCAST ® #05

RETAINING WALL NOTE

NO RETAINING WALLS ARE ANTICIPATED FOR THIS PROJECT

CONSTRUCTION NOTES

- 1) INSTALL MODULAR WETLAND SYSTEM PER DETAIL (C6.3)
- 2) INSTALL VALLEY GUTTER PER DETAIL ON THIS SHEET
- 3) CONNECT TO EXISTING CATCH BASIN
- 4) INSTALL CURB
- 5) INSTALL CURB AND GUTTER



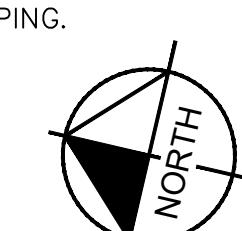
NOTE:

VALLEY GUTTER

N.T.S. REV. DATE: 05.05.2016

EXISTING UTILITY NOTE

THE EXISTING UTILITIES SHOWN ON THE PLAN ARE BASED ON AVAILABLE RECORDS. THE CONTRACTOR MUST FIELD DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED UTILITIES TO ENGINEER PRIOR TO INSTALLATION OF ANY PIPING.



GRADING AND DRAINAGE PLAN

Project Number:	Sheet Number:	
<u>NICH18.0268.00</u>		
Drawn By:		
Author _____	C6.	
Issue Date:		
12/14/18		
DPM:	DM:	CPM:
IK	DC	ME



Bakery Cafe #6134
VAN BUREN BLVD &
TRAUTWEIN RD
RIVERSIDE, CA 92508

ENTITLEMENT REVIEW

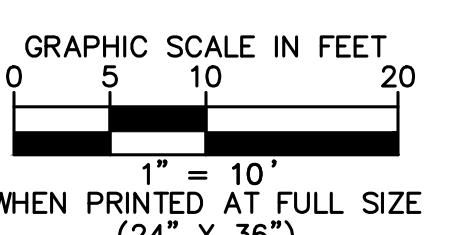


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Project Number:	Sheet Number:
NICH18.0268.00	
Drawn By:	
Author:	
Issue Date:	
12/14/18	
DFM:	DM:
JK	CPM:
DC	ME

C6.1





Bakery Cafe #6134

VAN BUREN BLVD & TRAUTWEIN RD

RIVERSIDE, CA 92508

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WQMP DETAILS

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NICH18.0268.00	
Drawn By:	
Author:	
Issue Date:	
12/14/18	
DFM:	DM:
JK	DC
	CPM:
	ME

C6.3

12/6/2018 9:25:00 AM

SITE SPECIFIC DATA	
PROJECT NAME	Panera Bread Riverside
PROJECT LOCATION	19260 Van Buren Blvd
STRUCTURE ID	
TREATMENT REQUIRED	
VOLUME BASED (CF)	FLOW BASED (CFS)
1250	
TREATMENT HGL AVAILABLE (FT)	
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE	
PIPE DATA	I.E. MATERIAL DIAMETER
INLET PIPE 1	56.50 - 3" OPENING
OUTLET PIPE 2	53.00 PVC 12"
RIM ELEVATION	PRETREATMENT BIOFILTRATION DISCHARGE
SURFACE LOAD	PARKWAY OPEN PLANTER PARKWAY
FRAME & COVER	#30" N/A #24"
WETLANDMEDIA VOLUME (CF)	4.30
WETLANDMEDIA DELIVERY METHOD	TBD
ORIFICE SIZE (IN. INCHES)	#1.89"
MAXIMUM PICK WEIGHT (LBS)	31000
NOTES:	

12/6/2018 9:25:00 AM

INSTALLATION NOTES

1. CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND APPURTENANCES REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURER'S CONSTRUCTION DRAWINGS.
2. UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE TO VERIFY PROJECT ENGINEERS RECOMMENDED BASE SPECIFICATIONS.
3. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE. (PIPE CANNOT INTRIDE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL GAPS AND JOINTS SHOULD BE TIGHTLY SEATED WITH A NON-SHRINK GROUT PER MANUFACTURER'S STANDARD CONNECTION DATA AND SHALL MEET OR EXCEED REGIONAL PIPE CONNECTION STANDARDS.
4. CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES.
5. CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL RISERS, MANHOLES, AND HATCHES. CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES TO MATCH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.
6. DRIP OR SPRAY IRRIGATION REQUIRED ON ALL UNITS WITH VEGETATION.

GENERAL NOTES

1. MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT MANUFACTURER.

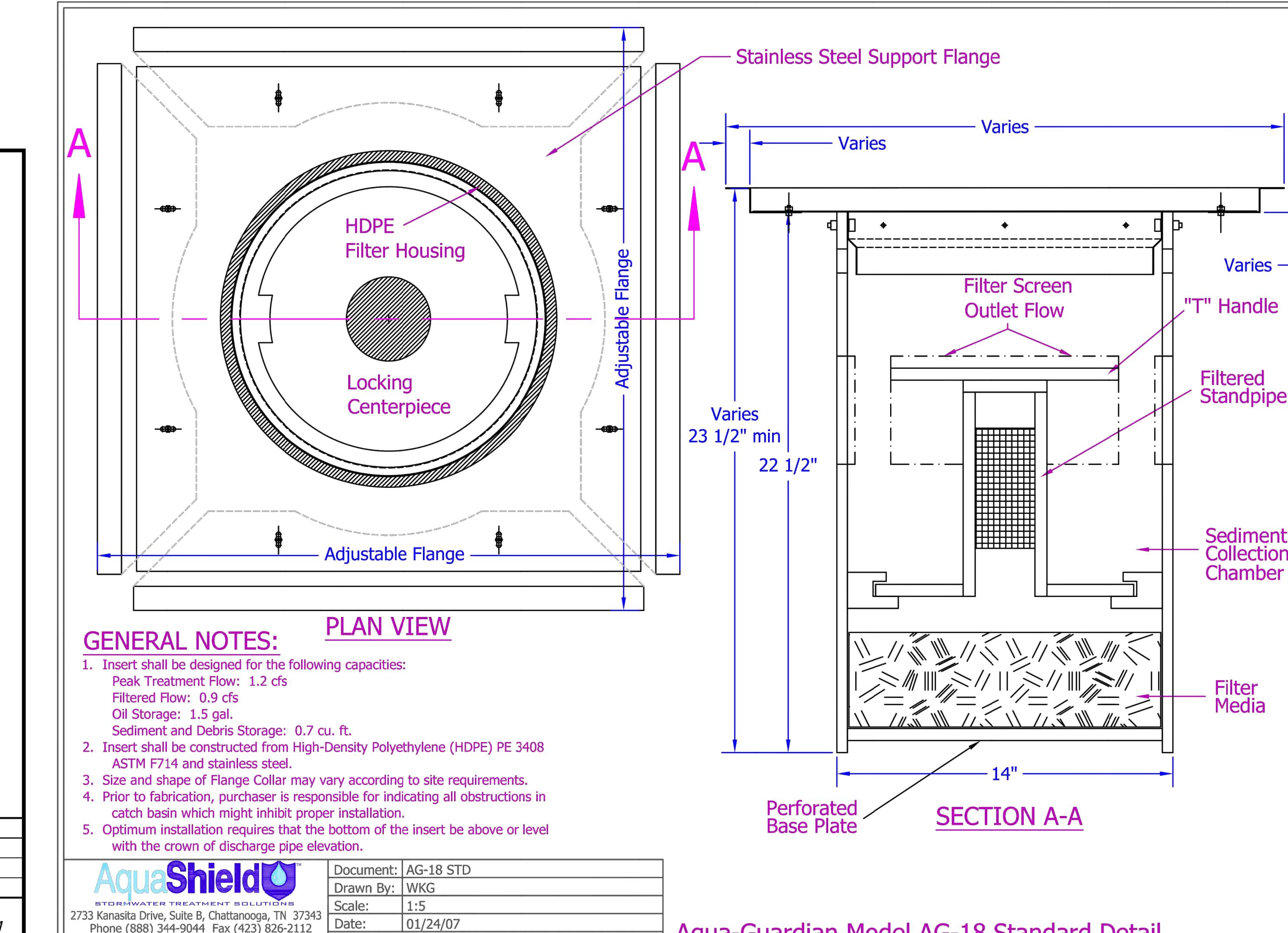
THE PRODUCT DESCRIBED MAY BE
PROTECTED BY ONE OR MORE OF
THE FOLLOWING U.S. PATENTS:
7,425,282; 7,470,362; 7,674,376;
8,303,816; RELATED FOREIGN
PATENTS OR OTHER PATENTS PENDING.

PROPRIETARY AND CONFIDENTIAL:

THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE
PROPERTY OF MODULAR WETLANDS SYSTEMS. ANY
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MWS-L-4-15-C
STORMWATER BIOFILTRATION SYSTEM
STANDARD DETAIL

MODULAR WETLANDS STANDARD DETAIL (FOR REFERENCE ONLY)
N.T.S. - SITE SPECIFIC DETAIL TO BE INCLUDED WITH FINAL DESIGN



Aqua-Guardian Model AG-18 Standard Detail

AQUA-GUARDIAN STANDARD DETAIL (FOR REFERENCE ONLY)
N.T.S. - SITE SPECIFIC DETAIL TO BE INCLUDED WITH FINAL DESIGN



Bakery Cafe #6134

VAN BUREN BLVD & TRAUTWEIN RD

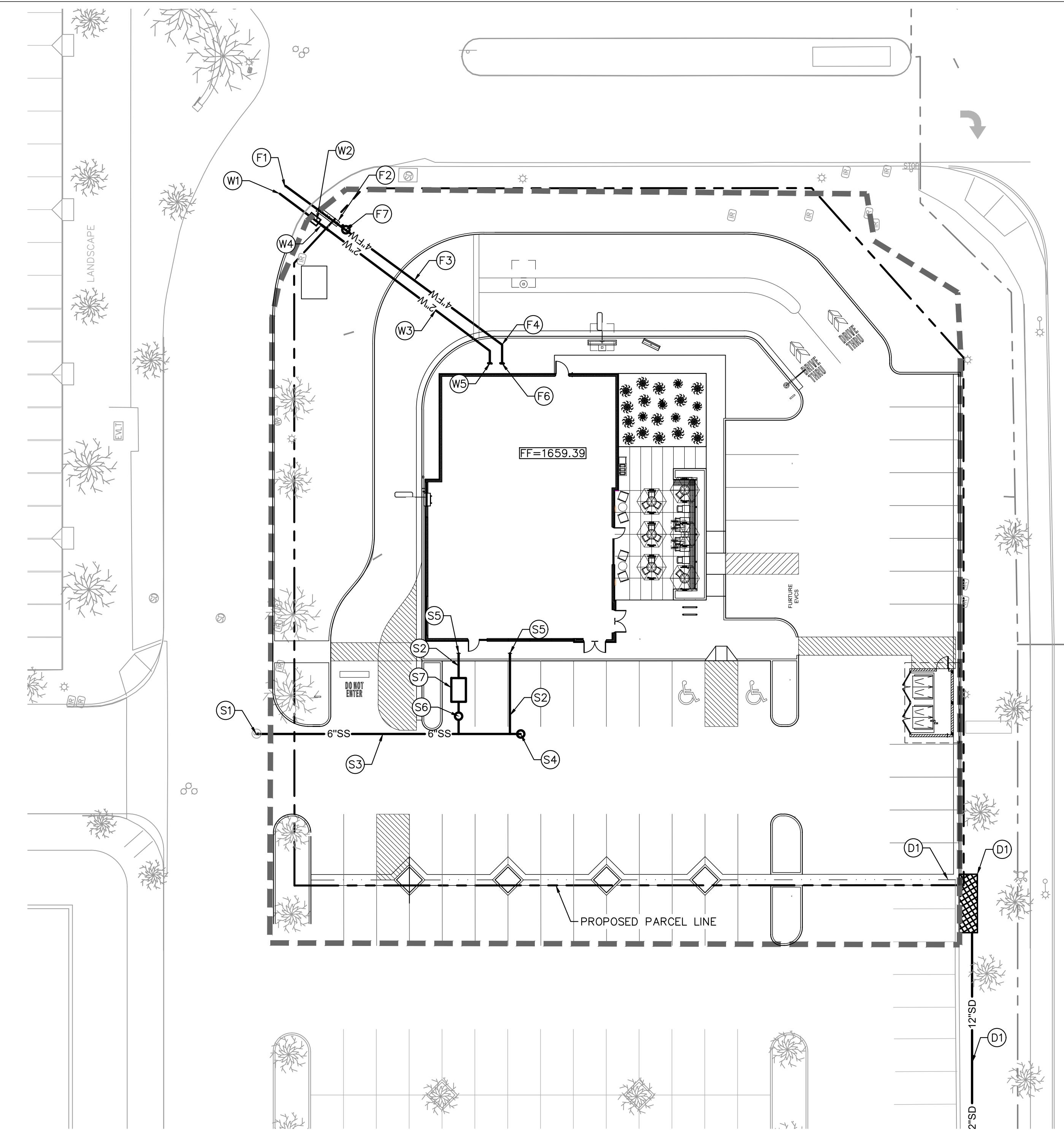
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DOMESTIC WATER

- (W1) TAP INTO EXISTING WATER MAIN. TAP AND METER TO BE INSTALLED BY SEPARATE PERMIT.
- (W2) INSTALL 2" WATER METER BY SEPARATE PERMIT.
- (W3) INSTALL 2" PVC SCH. 80 DOMESTIC WATER PIPE.
- (W4) INSTALL 2" BACKFLOW PREVENTER.
- (W5) BUILDING POINT OF CONNECTION (5'-FT FROM BUILDING FACE). REFER TO PLUMBING PLANS FOR CONTINUATION.

FIRE WATER

- (F1) HOT TAP TO EXISTING WATER MAIN. LATERAL TO BE INSTALLED PER SEPARATE PERMIT.
- (F2) INSTALL 4" BACKFLOW PREVENTER.
- (F3) INSTALL 4" PVC C-900, CLASS 150, FIRE WATER LINE.
- (F4) INSTALL LINE SIZE PVC-900, CLASS 150, 45° BEND WITH THRUST BLOCK
- (F5) INSTALL POST INDICATOR VALVE
- (F6) BUILDING POINT OF CONNECTION
- (F7) INSTALL FIRE DEPARTMENT CONNECTION (FDC)

STORM DRAIN

- (D1) PROPOSED STORM DRAIN PIPING AND APPURTENANCES. REFER TO GRADING AND DRAINAGE PLAN FOR DESIGN INFORMATION.

LEGEND

PROPERTY LINE / RIGHT OF WAY
LEASE LINE
CENTER LINE
EASEMENT OR SETBACK LINE
CIVIL LIMIT OF WORK LINE
PROPOSED SANITARY SEWER PIPE
PROPOSED GREASE WASTE PIPE
PROPOSED STORM DRAIN PIPE
PROPOSED WATER PIPE
PROPOSED FIRE WATER PIPE
PROPOSED GAS PIPE
PROPOSED PRIMARY ELECTRICAL CONDUIT
PROPOSED POINT OF CONNECTION (@ BLDG)
PROPOSED POINT OF CONNECTION (TO EXISTING)
PROPOSED REDUCED PRESSURE DETECTOR BACKFLOW ASSEMBLY
PROPOSED POST INDICATOR VALVE
PROPOSED FIRE HYDRANT
PROPOSED FIRE DEPARTMENT CONNECTION
PROPOSED 45° BEND WITH THRUST BLOCK

EXISTING UTILITY NOTE

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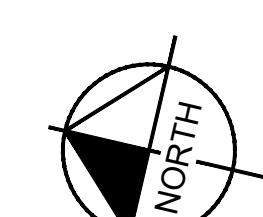
UTILITY SCREENING NOTE

REFER TO LANDSCAPE ARCHITECT'S PLAN FOR VEGETATIVE SCREENING OF ALL DOMESTIC WATER METERS, BACKFLOW PREVENTERS, AND UTILITY CABINETS. BACKFLOW PREVENTERS WILL NOT BE PAINTED SINCE THEY ARE SCREENED BY LANDSCAPING. WATER METERS WILL BE INSTALLED IN THE NEW PUBLIC SIDEWALK AND ARE UNDER A SEPARATE PERMIT. COLOR SHALL BE STANDARD PER CITY OF RIVERSIDE PUBLIC UTILITIES.

VAN BUREN BOULEVARD (PUBLIC)

SEWER

- (S1) CONNECT TO EXISTING MANHOLE. CONTRACTOR TO VERIFY EXISTING MANHOLE INVERT ELEVATIONS PRIOR TO INSTALLATION. IF DISCREPANCIES ARE FOUND, NOTIFY ENGINEER FOR FURTHER DIRECTION.
- (S2) INSTALL 4" SDR-35 PVC SEWER AT MINIMUM 2% SLOPE.
- (S3) INSTALL 6" SDR-35 PVC SEWER AT MINIMUM 2% SLOPE.
- (S4) INSTALL SEWER CLEANOUT PER DETAIL 10, SHEET C8.1.
- (S5) BUILDING POINT OF CONNECTION. INSTALL 2-WAY CLEANOUT. REFER TO PLUMBING PLANS FOR CONTINUATION.
- (S6) INSTALL JENSEN PRECAST SAMPLE BOX.
- (S7) INSTALL JENSEN PRECAST 1500 GAL. GREASE INTERCEPTOR. REFER TO MEP PLANS FOR MORE INFORMATION.



GRAPHIC SCALE IN FEET
0 10 20 40
1" = 20'
WHEN PRINTED AT FULL SIZE (24" X 36")

Project Number: NICH18.0268.00
Sheet Number:

Drawn By:

Author:

Issue Date:

12/14/18

DPM: JK

DM: DC

CPM: ME

C7.0



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Bakery Cafe # 6134
Van Buren Blvd. & Trautwein Rd.
Riverside, CA 92508



Plant Legend	Common Name	Size	Qty	Mature Height	Size Width	WUCOLS
Trees						
Chitalpa 'Pink Dawn' (standard)	Chitalpa	24" box	6	15 - 20 ft	20 - 30 ft	Low
Jacaranda mimosifolia (standard)	Jacaranda	36" box	4	15 - 35 ft	20 - 35 ft	Med
Shrubs						
Caesalpinia pulcherrima	Red Bird of Paradise	15 gal	4	8 to 10 ft	8 to 10 ft	Med
Grevillea lanigera 'Prostrate'	Prostrate Woolly Grevillea	5 gal	66	12 - 18 in	3 - 4 ft	Low
Lantana camara 'Dallas Red'	Lantana 'Dallas Red'	5 gal	44	2 - 4 ft	2 - 4 ft	Low
Leucophyllum candidum	Violet Silverleaf	15 gal	16	3 ft	3 ft	Low
Ligustrum japonicum 'texanum'	Texas privet	5 gal	79	8 - 12 ft	6 - 8 ft	Low
Succulents						
Agave weberi 'Arizona Star'	Variegated Weber Agave	15 gal	18	4 - 5 ft.	6 - 8 ft.	Low
Dasytilion wheeleri	Spoon Yucca	5 gal	9	4 - 6 ft.	3 - 4 ft.	Low
Hesperaloe parviflora	Red Yucca	15 gal	88	3 - 4 ft	4 - 5 ft	Low
Muhlenbergia emersleyi 'El Toro'	El Toro Muhly	5 gal	38	2 - 3 ft	2 - 3 ft	Low
Total					372	

Materials Legend

Material	Size	Area
Natural colored concrete W/ double bladed saw cut joints. Finish: TOPCAST ® #05	N/A	2,430 SF

*Integral Colored Concrete Supplier: Direct Colors <https://www.directcolors.com/>

*All planters shall have 3" chocolate brown bark mulch supplied from Agriscape

Proposed Notes

- ① (P) pre order board per architect
- ② (P) bike rack
- ③ (P) garbage enclosure
- ④ (P) transformer
- ⑤ (P) order board per architect

Tree Requirement Calculations per Predevelopment Findings

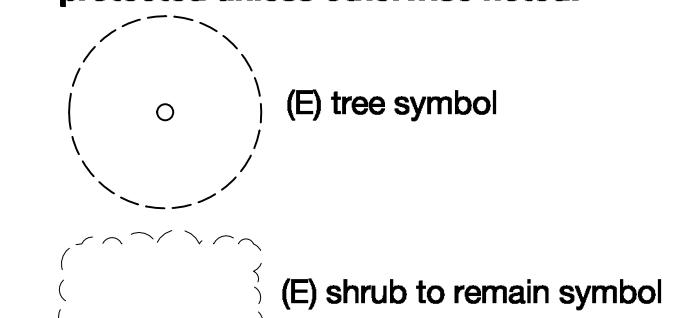
- 1. In parking areas (1) tree for every (4) parking spaces
- # of (P) trees required = 14
- # of (P) trees provided = 16

Existing Notes

- A. (E) Liquidambar styraciflua
- B. (E) ROW landscape to remain
- C. (E) Agonus flexosa to remain
- D. (E) Ginkgo tree to remain
- E. (E) Row of Dwarf Lagerstroemia to remain
- F. (E) light fixture to remain
- G. (E) landscape and shrubs to remain

Existing Tree Protection & Removal Notes

All existing plant material to remain and be protected unless otherwise noted.



Type: Entitlement Resubmittal
Submittal Date: Dec. 19, 2018

Drawn By: # NAME DATE
T. Slininger 01/2022

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Title: Preliminary Landscape Plan
Sheet Number:

L0.1

Trees

Chitalpa 'Pink Dawn'



Jacaranda mimosifolia

Succulents

Agave weberi 'Arizona Star'



Dasylirion wheeleri



Hesperaloe parviflora

Shrubs

Caesalpinia pulcherrima



Grevillea lanigera 'Prostrate'



Lantana camara 'Dallas Red'



Leucophyllum 'Thunder Cloud'



Ligustrum japonicum texanum

Revisions:
 # DATE NAME
 01.14.22 Entitlement Resubmittal



Type: Entitlement Resubmittal

Submittal Date:
Dec. 19, 2018

Drawn By:
 # NAME DATE
 T. Slininger 01/2022

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Title:

**Preliminary Planting
Images**

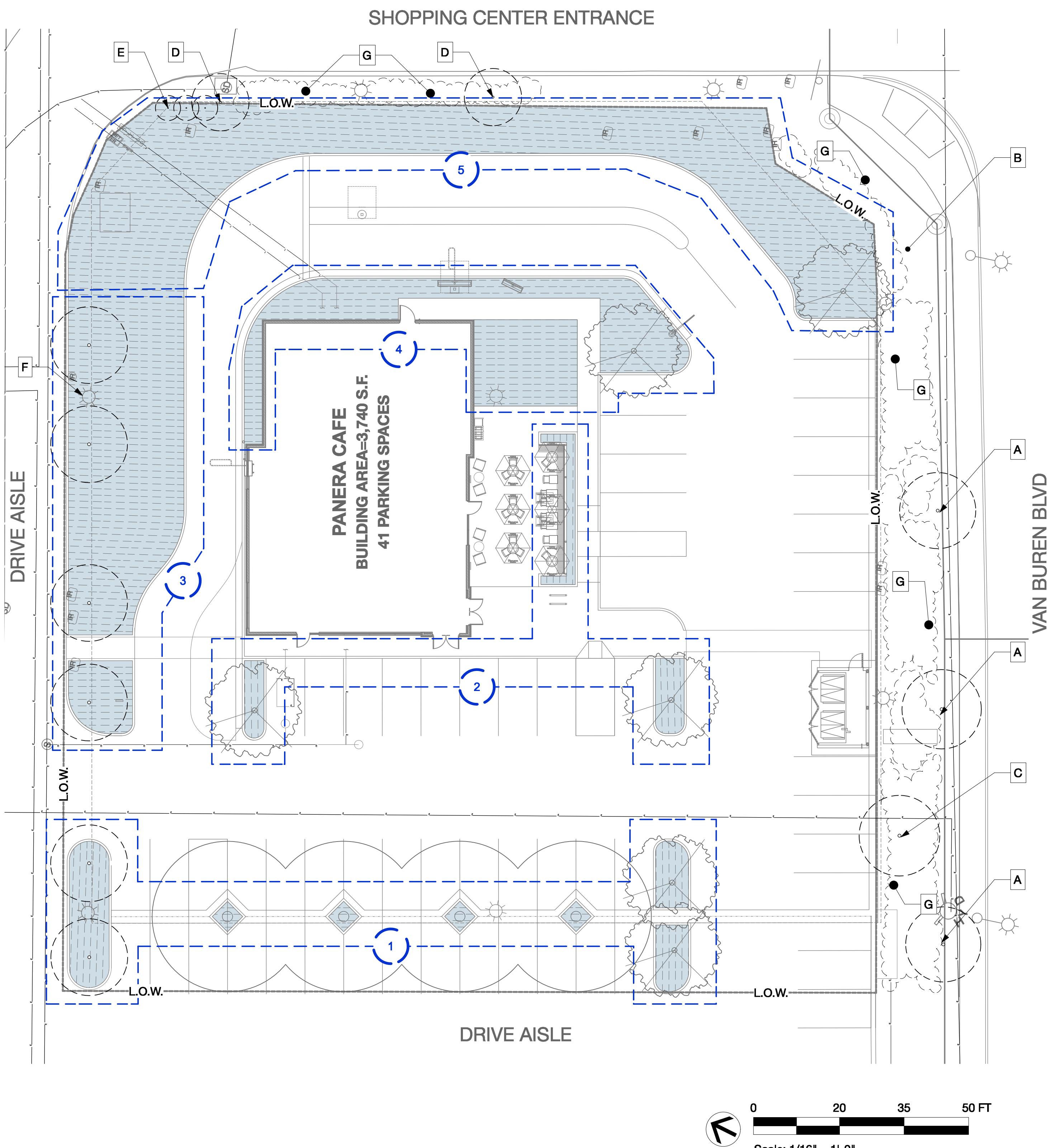
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L0.2



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CL # 5206

Bakery Cafe # 6134
Van Buren Blvd. & Trautwein Rd.
Riverside, CA 92508



Existing Notes

- A. (E) Liquidambar styraciflua
- B. (E) ROW landscape to remain
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- D. (E) Ginkgo tree to remain
- E. (E) Row of Dwarf Lagerstroemia to remain
- F. (E) light fixture to remain
- G. (E) landscape and shrubs to remain

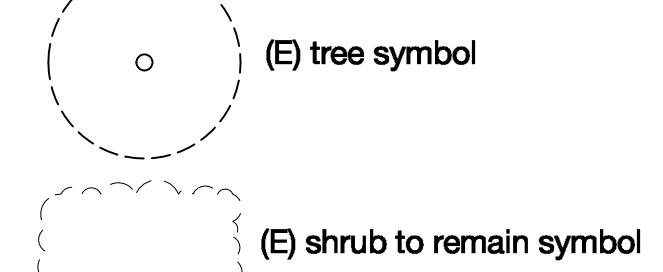
Irrigation Hydrozone Legend

Low water hydrozone
Plant Factor = 0.1-0.3
Landscape Area = 8,114 SF

Irrigation Zone

Existing Tree Protection & Removal Notes

All existing plant material to remain and be protected unless otherwise noted.



IRRIGATION NOTES

1. The design of the irrigation system shall conform to the hydrozones of the landscape design plan.
2. In mulched planting areas, the use of low volume water irrigation is required to maximize water infiltration into the roots.
3. Sprinkler heads and other emission devices shall have matched precipitation rates, unless otherwise directed by the manufacturer specifications.
4. Head to head coverage is recommended. However, sprinkler spacing shall be set to achieve distribution uniformity using the manufacturer's specifications.
5. Areas less than ten (10) feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray.
6. A dedicated water meter shall be provided for common landscape area.
7. A weather base "smart controller": shall be utilized.
8. Controller shall be programmed to water in early morning or night.
9. A rain sensor shall be installed at each controller
10. Water use calculation shall certify conformance with the current requirements.
11. Contractor shall obtain soils agronomy test after grading is complete. Landscape architect shall review soils test prior to planting.
12. Trees are to be irrigated by bubbler.

Revisions:
DATE NAME
01.14.22 Entitlement Resubmittal



Type: Entitlement Resubmittal

Submittal Date:
Dec. 19, 2018

Drawn By:
NAME DATE
T. Slininger 01/2022

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Title:

Preliminary Irrigation Zone Plan

Sheet Number:

L0.3

