



EXISTING PHOTOS

broeske architects
& associates, inc.
4344 latham street, suite 100
riverside, ca 92501-1773
ph: (951) 300 1866
fx: (951) 300 1866

SPLASH AUTO SPA
REMODEL

18651 VAN BUREN BLVD., RIVERSIDE, CA

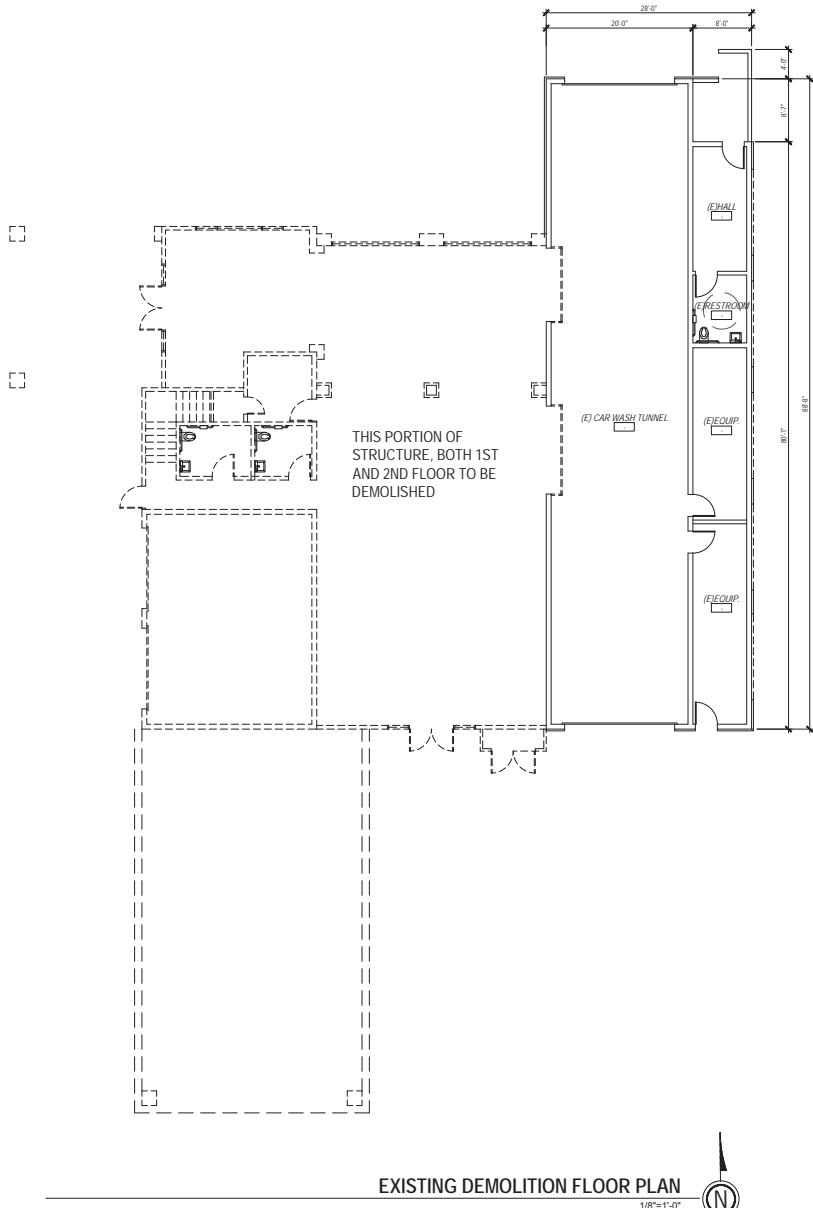
THIS DRAWING AND THE DESIGN, ARRANGEMENTS, DÉTAILS, CÉAS AND
SPECIFICATIONS CONTAINED HEREIN ARE THE PROPERTY OF
BROESKE ARCHITECTS & ASSOCIATES, INC. AND SHALL REMAIN
THE PROPERTY OF BROESKE ARCHITECTS & ASSOCIATES, INC. UNLESS
REPRODUCED, COPIED, DISCLOSED, DISTRIBUTED, SOLD
OR OTHERWISE USED BY THE CONTRACTOR, ARCHITECT, ENGINEER
OR OTHER PERSON TO WHOM IT IS SHOWN. ANYONE WHO
CONTACTS WITH THE ABOVE DRAWINGS, OR ANY PART THEREOF, SHALL
CONTINUE TO HAVE A LICENSE TO COPY OR USE OF SAME ACCORDING
TO THE TERMS AND CONDITIONS OF THIS AGREEMENT.

APN: • 266-040-047
JOB NO. • 19-002
DATE • 3-10-2021
DRAWN BY • M.P.
CHECKED BY • –
SCALE •
REVISIONS ▲

SHEET TITLE
EXISTING PHOTOS

SHEET NO.

A1.2



EXISTING DEMOLITION FLOOR PLAN	
<input type="checkbox"/> (E) WALL ITEMS TO REMAIN - PATCH & REPAIR AS NEEDED <input checked="" type="checkbox"/> (E) STUD WALL ITEMS TO BE COMPLETELY DEMOLISHED UNO	

A2.0

**SPLASH AUTO SPA
REMODEL**

18651 VAN BUREN BLVD., RIVERSIDE, CA

broeske architects
& associates, inc.
4344 latham street, suite 100
riverside, ca 92501-1773
ph. (951) 300 1866
fx. (951) 300 1866

CONSULTANTS

THIS DRAWING AND THE DESIGN, ARRANGEMENTS, DESCRIPTIONS, DATA AND INFORMATION CONTAINED THEREIN ARE THE PROPERTY OF BROESKE ARCHITECTS & ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF BROESKE ARCHITECTS & ASSOCIATES, INC. NO PART OF THIS DRAWING OR INFORMATION CONTAINED THEREIN SHALL BE REPRODUCED, COPIED, DISCLOSED, DISTRIBUTED, SOLD, OR USED FOR ANY PURPOSE OTHER THAN THE INTENDED CONSTRUCTION OF THE PROJECT FOR WHICH THIS DRAWING WAS PREPARED, UNLESS PRIOR WRITTEN CONSENT IS OBTAINED FROM BROESKE ARCHITECTS & ASSOCIATES, INC. OR THE PROJECT OWNER. ANY PART OF THIS DRAWING WHICH IS NOT BEING USED FOR THE PROJECT FOR WHICH THIS DRAWING WAS PREPARED, OR WHICH IS BEING USED FOR ANOTHER PROJECT, SHALL NOT BE REPRODUCED, COPIED, DISCLOSED, DISTRIBUTED, SOLD, OR USED FOR ANY PURPOSE OTHER THAN THE INTENDED CONSTRUCTION OF THE PROJECT FOR WHICH THIS DRAWING WAS PREPARED, UNLESS PRIOR WRITTEN CONSENT IS OBTAINED FROM BROESKE ARCHITECTS & ASSOCIATES, INC. OR THE PROJECT OWNER.

APN:	260-040-047
JOB NO.:	19-002
DATE:	3-15-2021
DRAWN BY:	M.P.
CHECKED BY:	-
SCALE:	AS NOTED
REVISIONS:	△



4344 latham street, suite 100
riverside, ca 92501-1773
ph. (951) 300 1866
fx. (951) 300 1868

SPLASH AUTO SPA REMODEL

18651 VAN BUREN BLVD., RIVERSIDE, CA

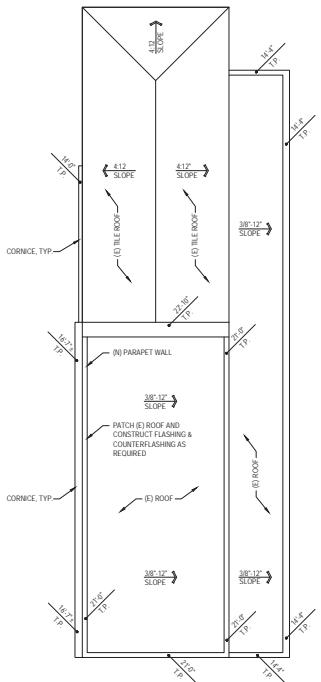
THIS DRAWING AND THE DESIGNS, ARRANGEMENTS, DEPICTIONS, IDEAS AND CONCEPTS CONTAINED THEREIN ARE THE PROPERTY OF BROOKS ARCHITECTS & ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF BROOKS ARCHITECTS & ASSOCIATES, INC. UNLESS OTHERWISE AGREED, COPIED, DISCLOSED, DISTRIBUTED, SOLD OR OTHERWISE MADE AVAILABLE TO OTHERS. THE INFORMATION CONTAINED IN THIS DRAWING IS THE EXCLUSIVE PROPERTY OF BROOKS ARCHITECTS & ASSOCIATES, INC. AND ANY PART THEREOF, SHALL NOT BE COPIED, DISCLOSED, DISTRIBUTED, SOLD OR OTHERWISE MADE AVAILABLE TO OTHERS, EXCEPT WITH THE WRITTEN CONSENT OF BROOKS ARCHITECTS & ASSOCIATES, INC. ANY CONTRACT WITH THE ABOVE DRAWINGS, OR ANY PART THEREOF, SHALL BE DEEMED TO INCLUDE A COPIE OF ACCEPTANCE OF THESE RESTRICTING

IN	● 266-040-047
NO.	● 19-022
TE	● 3-15-2021
AWN BY	● M.P.
CHECKED BY	● —
RELE	● AG NOTED

VISIONS ▲

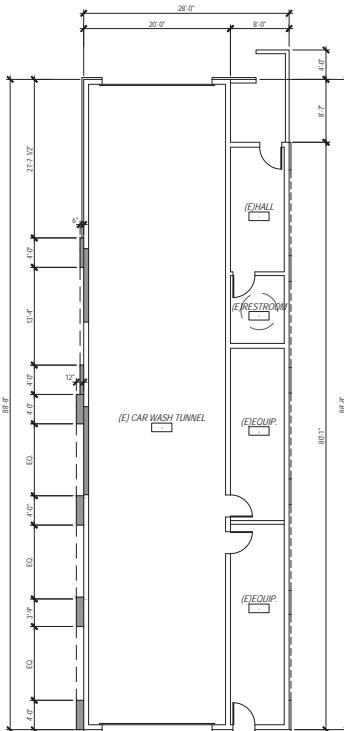
PROPOSED
FLOOR PLAN
ROOF PLAN

A2.1



PROPOSED ROOF PLAN

1/8"=1'-0"

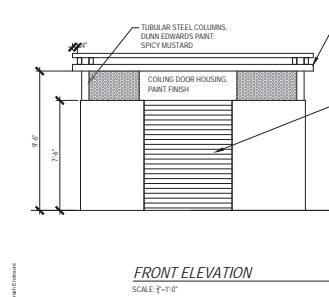


PROPOSED FLOOR PLAN

1/8"=1'-0"

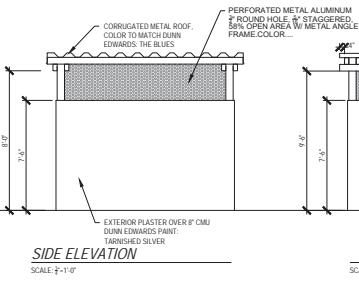
WALL LEGEND

PR-2020-000427 (CUP, DR), Exhibit 6 - Project Plans



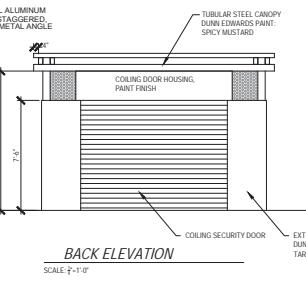
FRONT ELEVATION

SCALE: 1'-0" = 1'-0"



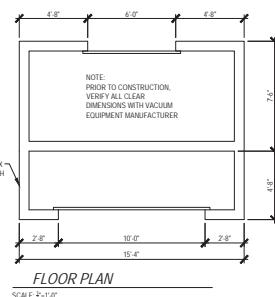
SIDE ELEVATION

SCALE: 1'-0" = 1'-0"



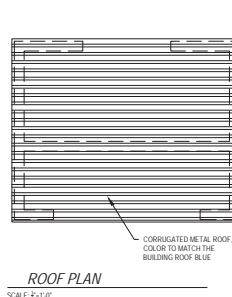
BACK ELEVATION

SCALE: 1'-0" = 1'-0"



FLOOR PLAN

SCALE: 1'-0" = 1'-0"



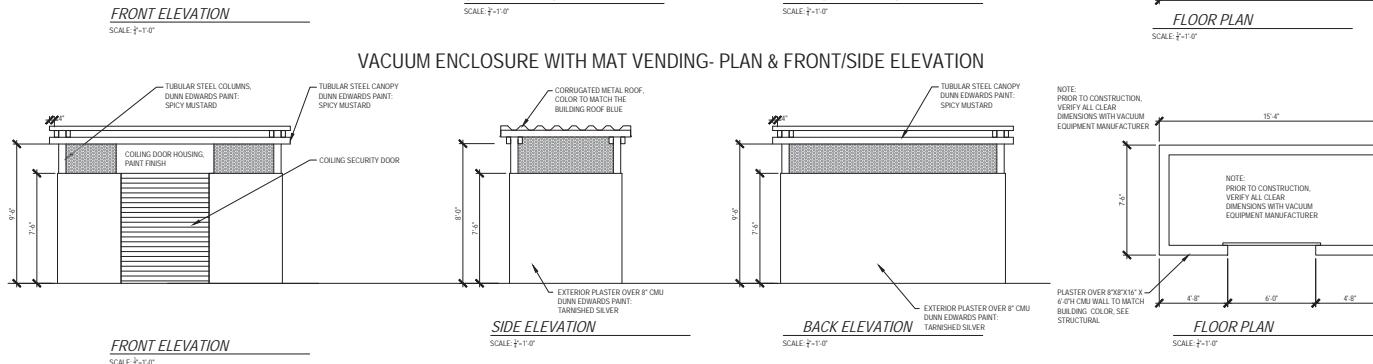
ROOF PLAN

SCALE: 1'-0" = 1'-0"



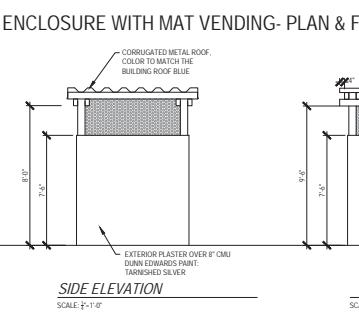
broeske architects
& associates, inc.

4344 latham street, suite 100
riverside, ca 92501-1773
ph: (951) 300 1866
fx: (951) 300 1866



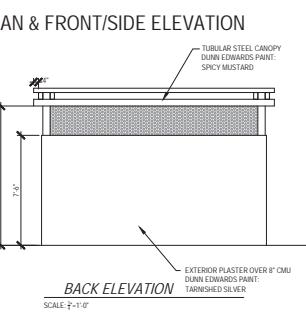
FRONT ELEVATION

SCALE: 1'-0" = 1'-0"



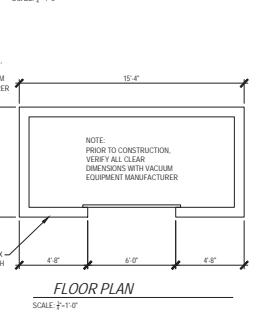
SIDE ELEVATION

SCALE: 1'-0" = 1'-0"



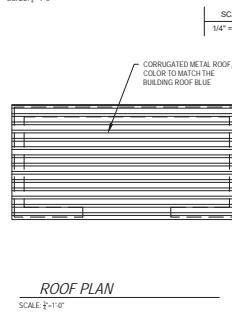
BACK ELEVATION

SCALE: 1'-0" = 1'-0"



FLOOR PLAN

SCALE: 1'-0" = 1'-0"



ROOF PLAN

SCALE: 1'-0" = 1'-0"

VACUUM ENCLOSURE - PLAN & FRONT/SIDE ELEVATION

SPLASH AUTO SPA REMODEL

18651 VAN BUREN BLVD., RIVERSIDE, CA

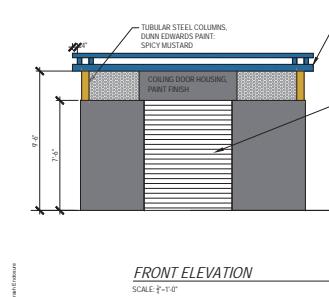
THIS DRAWING AND THE DESIGN, ARRANGEMENTS, DESCRIPTIONS AND OTHER INFORMATION CONTAINED HEREIN ARE THE EXCLUSIVE PROPERTY OF BROESKE ARCHITECTS & ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF BROESKE ARCHITECTS & ASSOCIATES, INC. THIS DRAWING SHALL BE REPRODUCED, COPIED, DISCLOSED, DISTRIBUTED, SOLD, RECORDED, OR OTHERWISE USED OR MADE AVAILABLE TO OTHERS, WITHOUT THE WRITTEN CONSENT OF BROESKE ARCHITECTS & ASSOCIATES, INC. OR THE VACUUM EQUIPMENT MANUFACTURER, OR THE PART THEREOF, SHALL CONSTITUTE A BREACH OF CONTRACT AND A VIOLATION OF THESE AGREEMENTS.

APN:	260-040-047
JOB NO.:	19-002
DATE:	3-15-2021
DRAWN BY:	M.P.
CHEKED BY:	—
SCALE:	AS NOTED
REVISIONS:	△

SHEET TITLE
PROPOSED
VACUUM/VENDING
ENCLOSURES

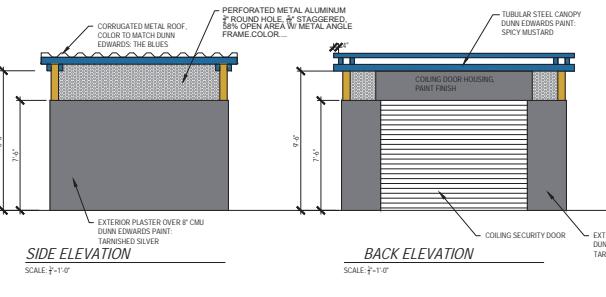
SHEET NO.

A2.2



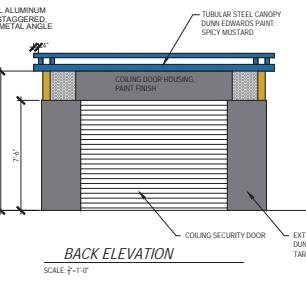
FRONT ELEVATION

SCALE: 1'-0" x 1'-0"



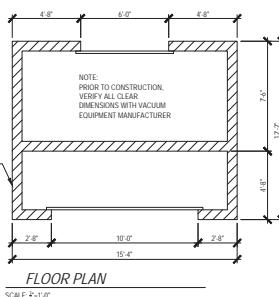
SIDE ELEVATION

SCALE: 1'-0" x 1'-0"



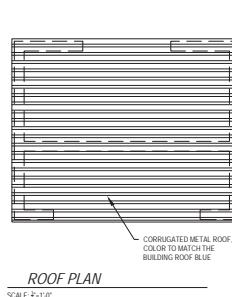
BACK ELEVATION

SCALE: 1'-0" x 1'-0"



FLOOR PLAN

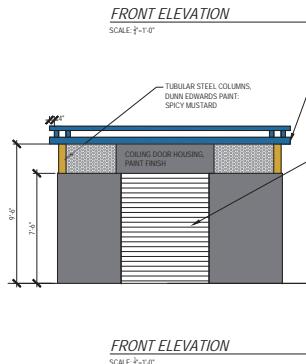
SCALE: 1'-0" x 1'-0"



ROOF PLAN

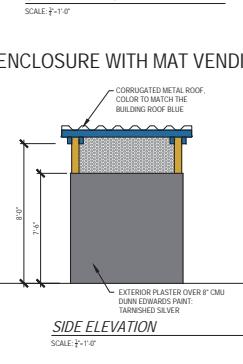
SCALE: 1'-0" x 1'-0"

broeske architects & associates, inc.
4344 latham street, suite 100
riverside, ca 92501-1773
ph: (951) 300 1866
fx: (951) 300 1866



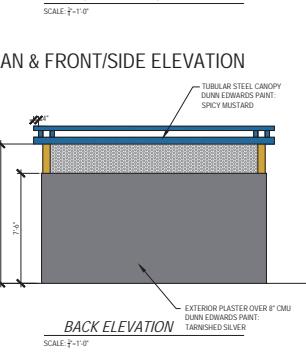
FRONT ELEVATION

SCALE: 1'-0" x 1'-0"



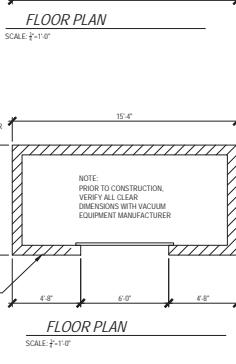
SIDE ELEVATION

SCALE: 1'-0" x 1'-0"



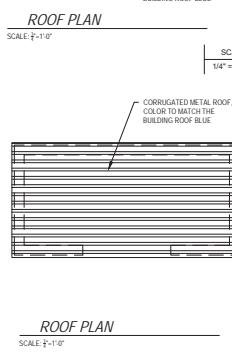
BACK ELEVATION

SCALE: 1'-0" x 1'-0"



FLOOR PLAN

SCALE: 1'-0" x 1'-0"



ROOF PLAN

SCALE: 1'-0" x 1'-0"

SPLASH AUTO SPA REMODEL

18651 VAN BUREN BLVD., RIVERSIDE, CA

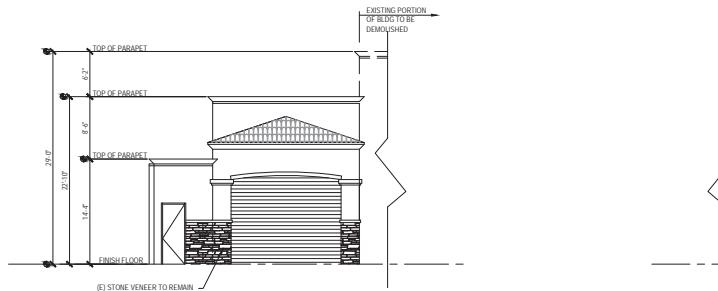
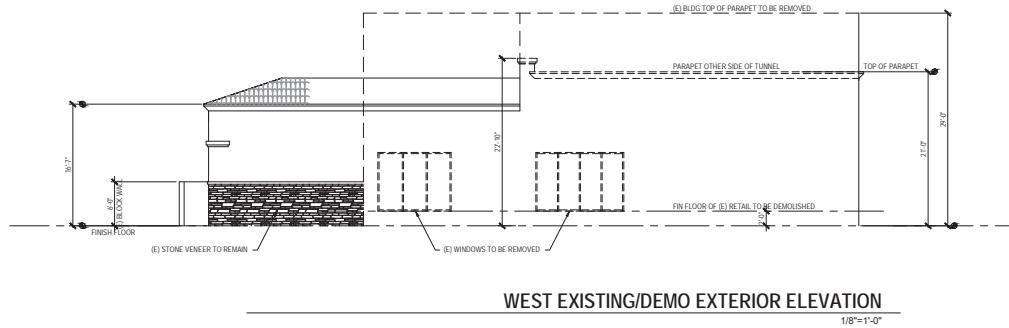
THIS DRAWING AND THE DESIGN, ARRANGEMENTS, DESCRIPTIONS, IDEAS AND CONCEPTS CONTAINED HEREIN ARE THE PROPERTY OF BROESKE ARCHITECTS & ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF BROESKE ARCHITECTS & ASSOCIATES, INC. THIS DRAWING SHALL NOT BE REPRODUCED, COPIED, DISCLOSED, DISTRIBUTED, SOLD, OR OTHERWISE MADE AVAILABLE TO ANYONE EXCEPT THOSE INDIVIDUALS OR FIRMS WITH WHOM THE PROJECT HAS BEEN CONTRACTED. THE ABOVE DRAWINGS, OR ANY PART THEREOF, SHALL NOT BE COPIED, DISCLOSED, DISTRIBUTED, SOLD, OR OTHERWISE MADE AVAILABLE TO ANYONE EXCEPT THOSE INDIVIDUALS OR FIRMS WITH WHOM THE PROJECT HAS BEEN CONTRACTED.

APN: 260-040-047
JOB NO.: 19-002
DATE: 3-15-2021
DRAWN BY: M.P.
CHECKED BY: -
SCALE: AS NOTED
REVISIONS: ▲

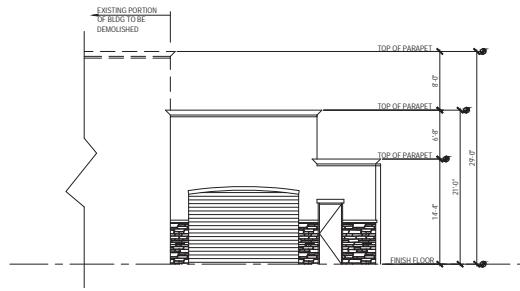
SHEET TITLE: PROPOSED
VACUUM/VENDING
ENCLOSURES
SHEET NO. A2.2



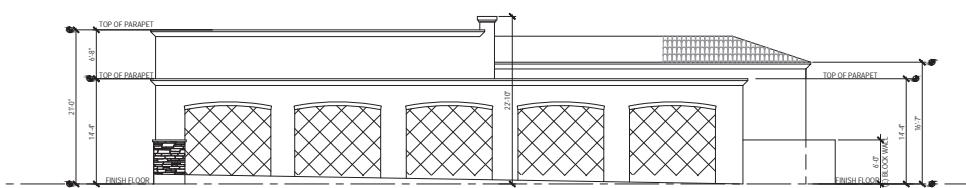
344 latham street, suite 100
verside, ca 92501-1773
h. (951) 300 1866
e. (951) 300 1868



NORTH EXISTING/DEMO EXTERIOR ELEVATION



SOUTH EXISTING/DEMO EXTERIOR ELEVATION



EAST EXISTING/DEMO EXTERIOR ELEVATION

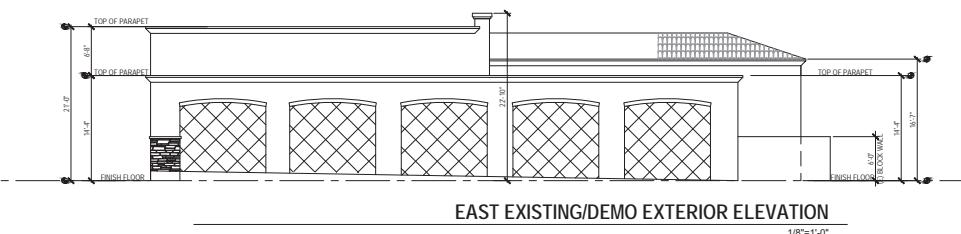
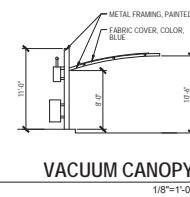
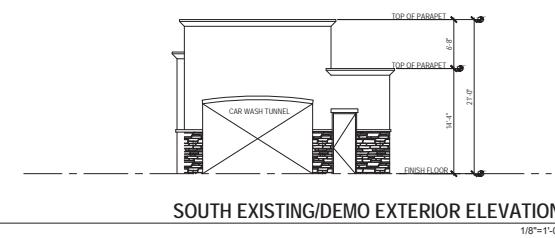
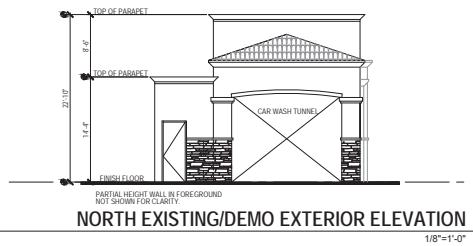
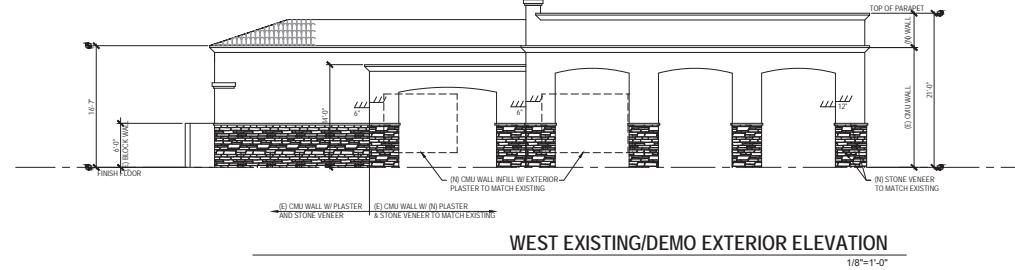
REMODEL

18651 VAN BUREN BLVD., RIVERSIDE, CA

**EXISTING/DEMO
EXTERIOR ELEVATIONS**

A3.0

PR-2020-000427 (CUP, DR), Exhibit 6 - Project Plans



**SPLASH AUTO SPA
REMODEL**

18651 VAN BUREN BLVD., RIVERSIDE, CA

PROPOSED
EXTERIOR ELEVATIONS

SHEET NO.

A3.1

THIS DRAWING AND THE DESIGN, ARRANGEMENTS, DESCRIPTIONS, DRAWINGS AND INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF BROESKE ARCHITECTS & ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF BROESKE ARCHITECTS & ASSOCIATES, INC. THEREFORE SHALL BE REPRODUCED, COPIED, DISCLOSED, DISTRIBUTED, SOLD, RECORDED, OR OTHERWISE USED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF BROESKE ARCHITECTS & ASSOCIATES, INC. OR THE DRAWER, EXCEPT AS PROVIDED IN THE CONTRACTUAL AGREEMENTS OF ACCEPTANCE OF THESE DRAWINGS.

APN:

• 260-040-047

JOB NO.:

• 19-022

DATE:

• 3-15-2021

DRAWN BY:

• M.P.

CHECKED BY:

• -

SCALE:

• AS NOTED

REVISIONS:

COLOR LEGEND

WHITE	STOREFRONT: ARCADIA DARK BRONZE
GRAY	DUNN EDWARDS PAINT: DE6348 - WALRUS
GRAY	DUNN EDWARDS PAINT: DE6355 - TARNISHED SILVER
GRAY	DUNN EDWARDS PAINT: DE589 - THE BLUES
GRAY	WALK DOORS/FRAMES: DUNN EDWARDS PAINT: DE4844 - CAVERNOUS
ORANGE	DUNN EDWARDS PAINT: DE5340 - SPICY MUSTARD
WHITE	STONE VENEER

broeske architects & associates, inc.
4344 latham street, suite 100
riverside, ca 92501-1773
ph. (951) 300 1866
fx. (951) 300 1866

SPLASH AUTO SPA REMODEL

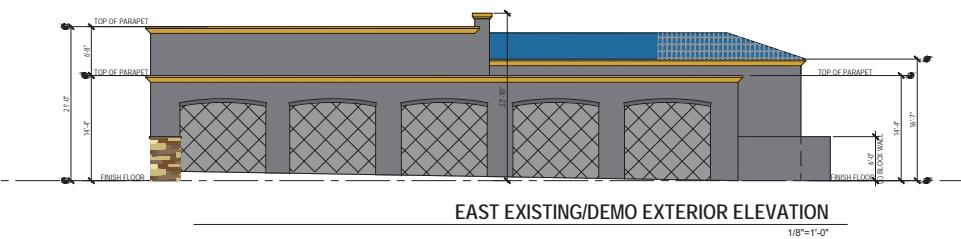
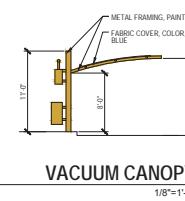
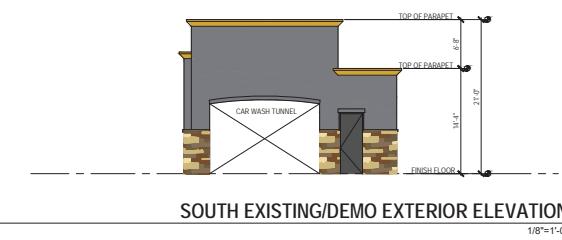
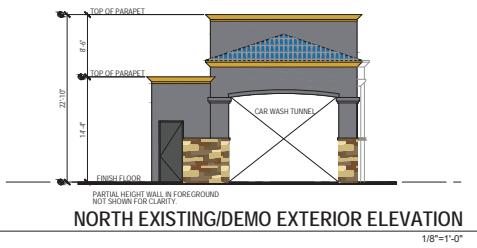
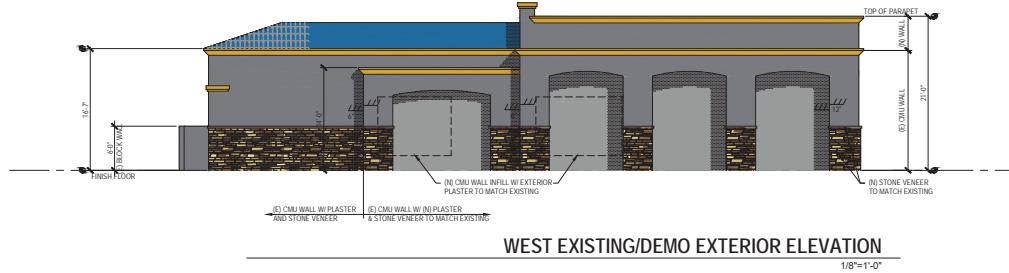
18651 VAN BUREN BLVD., RIVERSIDE, CA

THIS DRAWING AND THE DESIGN, ARRANGEMENTS, DESCRIPTIONS, IDEAS AND CONCEPTS CONTAINED HEREIN ARE THE PROPERTY OF BROESKE ARCHITECTS & ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF BROESKE ARCHITECTS & ASSOCIATES, INC. THIS DRAWING SHALL BE REPRODUCED, COPIED, DISCLOSED, DISTRIBUTED, SOLD, REPRODUCED, COPIED, DISCLOSED, DISTRIBUTED, SOLD, OR OTHERWISE USED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF BROESKE ARCHITECTS & ASSOCIATES, INC. OR OF THE OWNER, CONSTITUTES UNLAWFUL PRACTICE OR ACCEPTANCE OF THESE ADDENDUMS.

APN:	260-040-047
JOB NO.:	18-002
DATE:	3-15-2021
DRAWN BY:	M.P.
CHECKED BY:	-
SCALE:	AS NOTED
REVISIONS:	△

SHEET TITLE
PROPOSED
EXTERIOR ELEVATIONS
SHEET NO.

A3.1





4344 latham street, suite 100
riverside, ca 92501-1773
ph. (951) 300 1866
fx. (951) 300 1866



PAINT COLORS, STONE, AND ROOFING MATERIALS SHALL BE CONSISTENT WITH CAR WASH BUILDING

PROPOSED PREFAB PAY STATION PHOTOS/ELEVATIONS

**SPLASH AUTO SPA
REMODEL**

18651 VAN BUREN BLVD., RIVERSIDE, CA

SHEET TITLE
PROPOSED PREFAB
PAY STATION

SHEET NO.

A3.2

THIS DRAWING AND THE DESIGN, ARRANGEMENTS, DESCRIPTIONS, CLEAR AND
DEFINITE SPECIFICATIONS, AND OTHER INFORMATION CONTAINED THEREIN ARE THE
COPYRIGHT OF BROESEKE ARCHITECTS & ASSOCIATES, INC. AND SHALL REMAIN
THE PROPERTY OF BROESEKE ARCHITECTS & ASSOCIATES, INC. NO PART THEREOF
SHALL BE REPRODUCED, COPIED, DISCLOSED, DISTRIBUTED, SOLD
OR USED IN WHOLE OR IN PART, IN WHOLE OR IN PART, OR FOR ANY OTHER
PURPOSE, WITHOUT THE WRITTEN CONSENT OF BROESEKE ARCHITECTS & ASSOCIATES,
INC. CONTRACTOR OR LICENSEE AGREES TO ACQUITTY OF THESE DRAWINGS
AND THE INFORMATION CONTAINED THEREIN.

APN: • 260-040-047
JOB NO. • 19-022
DATE • 4-05-2021
DRAWN BY • M.P.
CHECKED BY •
SCALE • AS NOTED
REVISIONS ▲

IN THE CITY OF RIVERSIDE, CALIFORNIA
PRELIMINARY GRADING PLAN
 HARB GROUP INC 2
 SPLASH AUTO SPA REMODEL

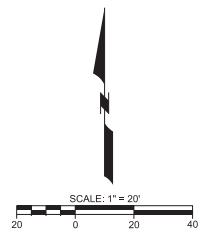
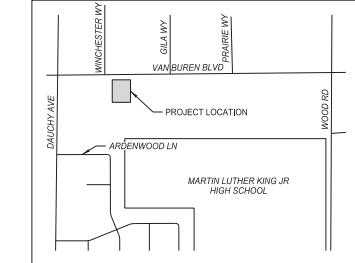
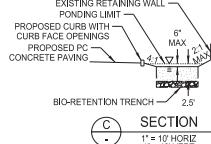
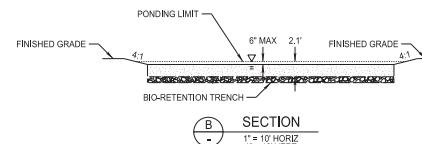
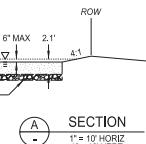
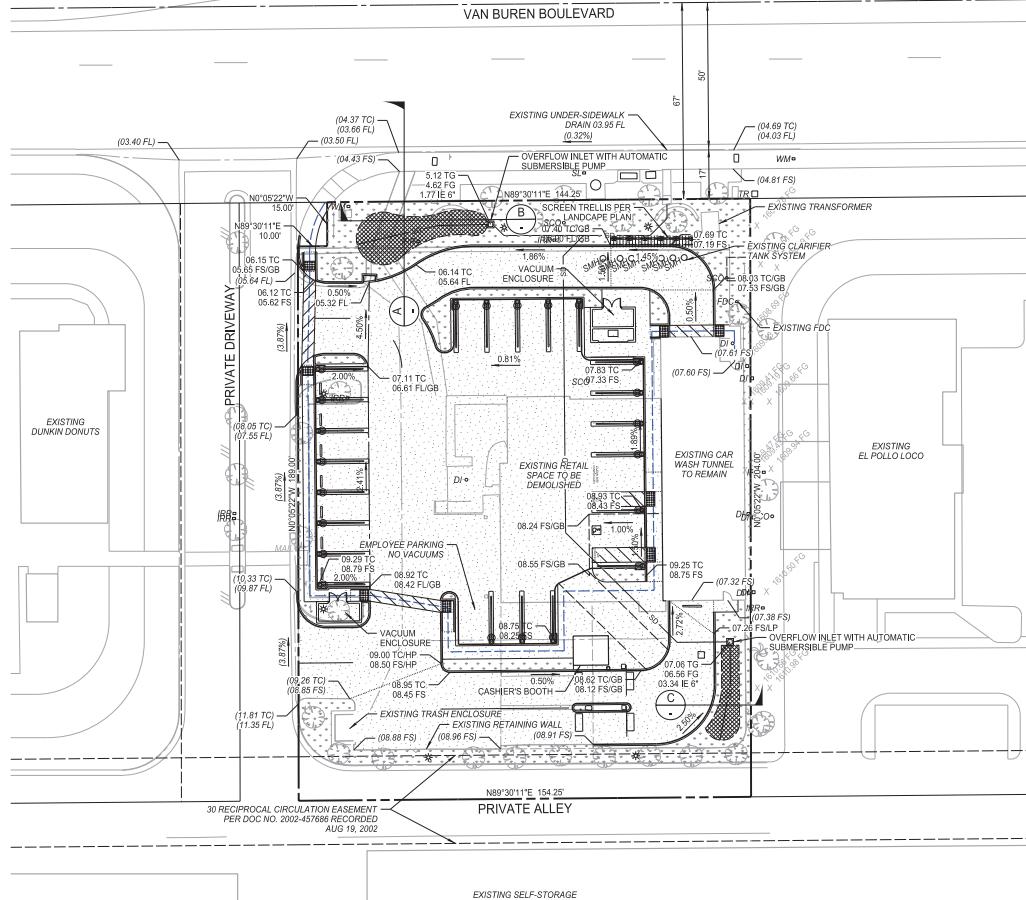
SHEET 1 OF 1

ABBREVIATIONS

FINISHED FLOOR ELEVATION.....	FFE
FINISHED GRADE.....	FG
FLOW LINE.....	FL
FINISHED SURFACE.....	FS
GRADE BREAK.....	GB
TOP OF CURB.....	TC
TYPICAL.....	TYP

LEGEND

EXISTING PROPERTY BOUNDARY.....	—
EXISTING BOUNDARY.....	—
EXISTING RIGHT-OF-WAY LINE.....	—
EXISTING INDEX CONTOUR.....	100
EXISTING INTERMEDIATE CONTOUR.....	99
EXISTING STRUCTURE.....	—
EXISTING CONCRETE.....	E
EXISTING CURB.....	S
EXISTING ELECTRIC.....	SD
EXISTING SEWER.....	SD
EXISTING STORM DRAIN.....	SD
EXISTING WATER.....	V
EXISTING STORM DRAIN VAULT.....	EV
EXISTING SANITARY SEWER CONNECTION.....	FDC
EXISTING FIRE HYDRANT.....	FD
EXISTING IRRIGATION BOX.....	IR
EXISTING LIGHT POLE.....	*
EXISTING POWER POLE.....	PO
EXISTING SEWER CLEANOUT.....	SCO
EXISTING SEWER MANHOLE.....	SMHO
EXISTING SIGN.....	S
EXISTING DUNKIN DONUTS GRADE INLET.....	DI
EXISTING TELEPHONE RISER.....	TR
EXISTING TREE.....	WT
EXISTING WATER METER.....	WM
PROPOSED CURB.....	—
PROPOSED BUILDING.....	—
PROPOSED ADA PATH OF TRAVEL.....	(27.50)
EXISTING ELEVATION.....	(27.50)
EXISTING GRADIENT AND DIRECTION.....	(2.00%)
PROPOSED ELEVATION.....	27.50
PROPOSED GRADIENT AND DIRECTION.....	2.00%
PROPOSED BIO-RETENTION TRENCH.....	—
PROPOSED CONCRETE PAVEMENT.....	—
PROPOSED LANDSCAPE AREA.....	—



OWNER/APPLICANT/DEVELOPER

HARB GROUP INC. 2
 18651 VAN BUREN BOULEVARD
 RIVERSIDE, CA 92508
 Attn: H. Harb
 (951) 850-4333

ENGINEER/CONTACT PERSON

THIS PLAN WAS PREPARED UNDER THE DIRECTION OF MARTEN L. ANDERSON, A REGISTERED CIVIL ENGINEER IN THE STATE OF CALIFORNIA.

MARTEN L. ANDERSON
 639 LAKEWOOD DRIVE
 RIVERSIDE, CA 92506
 (951) 850-2100



05-APR-2021

DATE

PARCEL C PER CITY OF RIVERSIDE CERTIFICATE OF COMPLIANCE LOT LINE ADJUSTMENT NO. L-1031499 RECORDED JULY 2, 1996 AS DOCUMENT NO. 1995-296941 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CA

ASSESSOR'S PARCEL NUMBER

266-040-047

BASIS OF BEARINGS

THE BASIS OF BEARINGS SHOWN IS THE CENTERLINE OF VAN BUREN BLVD SHOWN AS N89°30'11"E PER PARCEL MAP NO. 26543, BOOK 191, PAGES 60 AND 61 OF PARCEL MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.

BENCHMARK

CITY OF RIVERSIDE BENCHMARK B-32
 PK MAIL AND CITY ENGINEER TAG IN THE TOP OF THE SIDEWALK OVER THE EASTERLY WALL OF A CATCH BASIN ALONG THE SOUTHERLY CURB OF VAN BUREN BLVD AND 700 FEET EASTERLY OF WOOD ROAD
 ELEV 184.555 (NAVD 88) MAR, 2000

SITE ADDRESS

18651 VAN BUREN BOULEVARD
 RIVERSIDE, CA 92508

IN THE CITY OF RIVERSIDE, CALIFORNIA
PRELIMINARY DEMOLITION PLAN
HARB GROUP INC 2
SPLASH AUTO SPA REMODEL

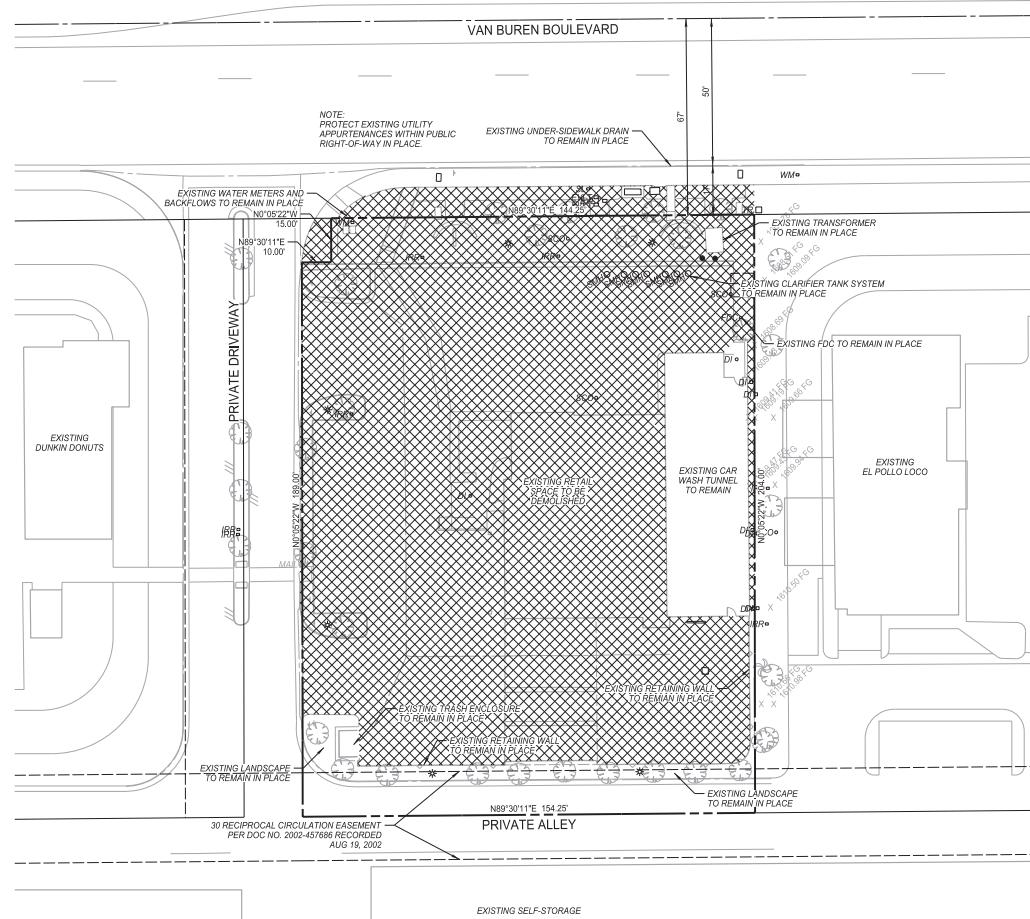
SHEET 1 OF 1

ABBREVIATIONS

FINISHED FLOOR ELEVATION.....	FFE
FINISHED GRADE.....	FG
FLOW LINE.....	FL
FINISHED SURFACE.....	FS
GRADE BREAK.....	GB
TOP OF CURB.....	TC
TYPICAL.....	TYP

LEGEND

EXISTING PROPERTY BOUNDARY	—
EXISTING LINE	—
EXISTING RIGHT-OF-WAY LINE	—
EXISTING INCY CONTOUR	100'—
EXISTING INTERMEDIATE CONTOUR	99'—
EXISTING STRUCTURE	—
EXISTING CONCRETE	—
EXISTING CURB	—
EXISTING ELECTRIC	E
EXISTING SEWER	S
EXISTING STORM DRAIN	SD
EXISTING WATER	V
EXISTING STORM DRAIN GRATE INLET	DI
EXISTING TELEPHONE RISER	TR
EXISTING TREE	—
EXISTING WATER METER	WM
DEMOLITION LIMITS	XXXXXX



OWNER/APPLICANT/DEVELOPER

HARB GROUP INC. 2
18651 VAN BUREN BOULEVARD
RIVERSIDE, CA 92508
ATTN: MARTEN L. ANDERSON
(951) 850-4333

ENGINEER/CONTACT PERSON

THIS PLAN WAS PREPARED UNDER THE DIRECTION OF MARTEN L. ANDERSON, A
REGISTERED CIVIL ENGINEER IN THE STATE OF CALIFORNIA.

MARTEN L. ANDERSON
15-FEB-2021
MARTEN L. ANDERSON
EX-51313
CIVIL
STATE OF CALIFORNIA

PARCEL C PER CITY OF RIVERSIDE CERTIFICATE OF COMPLIANCE LOT LINE
ADJUSTMENT NO. L1-031489 RECORDED JULY 2, 1996 AS DOCUMENT NO. 1995-296941
OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CA

ASSESSOR'S PARCEL NUMBER

266-040-047

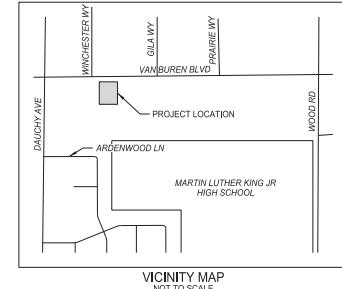
BASIS OF BEARINGS

THE BASIS OF BEARINGS SHOWN IS THE CENTERLINE OF VAN BUREN BLVD SHOWN AS
N89°30'11"E PER PARCEL MAP NO. 28543, BOOK 191, PAGES 60 AND 61 OF PARCEL MAPS
IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.

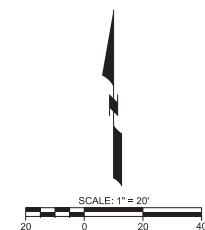
BENCHMARK

CITY OF RIVERSIDE BENCHMARK B3-53
PK MAIL AND CITY ENGINEER TAG IN THE TOP OF THE SIDEWALK OVER THE EASTERLY
WALL OF A CATCH BASIN ALONG THE SOUTHERLY CURB OF VAN BUREN BLVD AND 700
FEET EASTERLY OF WOOD ROAD
ELEV 164.555 (NAVD 88) MAR, 2000

SITE ADDRESS
18651 VAN BUREN BOULEVARD
RIVERSIDE, CA 92508



VICINITY MAP
NOT TO SCALE



JOB 2020_10 PLOTTED:15-FEB-2021

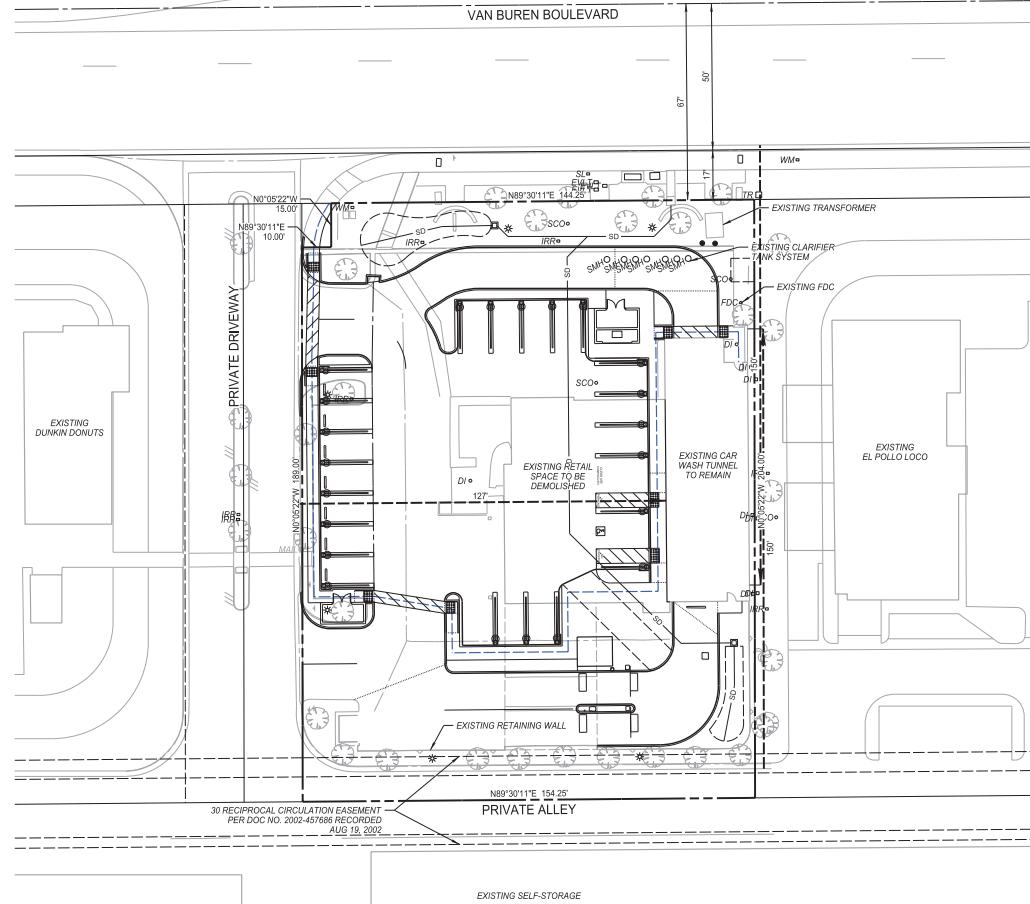
IN THE CITY OF RIVERSIDE, CALIFORNIA
FIRE ACCESS
HARB GROUP INC 2
SPLASH AUTO SPA REMODEL

ABBREVIATIONS

FINISHED FLOOR ELEVATION.....	FFE
FINISHED GRADE.....	FG
FLOW LINE.....	FL
FINISHED SURFACE.....	FS
GRADE BREAK.....	GB
TOP OF CURB.....	TC
TYPICAL.....	TYP

LEGEND

EXISTING PROPERTY BOUNDARY	—
EXISTING BOUNDARY	—
EXISTING RIGHT-OF-WAY LINE	—
EXISTING INDEX CONTOUR	100
EXISTING INTERMEDIATE CONTOUR	99
EXISTING STRUCTURE	—
EXISTING CONCRETE	—
EXISTING CURB	—
EXISTING ELECTRIC	E
EXISTING SEWER	S
EXISTING STORM DRAIN	SD
EXISTING WATER	V
EXISTING STORM DRAIN GRATE INLET	DI
EXISTING POWER POLE	EVL
EXISTING IRRIGATION CONNECTION	FDC
EXISTING FIRE HYDRANT	IRR
EXISTING LIGHT POLE	*
EXISTING POWER POLE	PP
EXISTING SEWER CLEANOUT	SCO
EXISTING SEWER MANHOLE	SMHO
EXISTING SIGN	S
EXISTING DUNKIN DONUTS	DD
EXISTING TELEPHONE RISER	TR
EXISTING TREE	TRE
EXISTING WATER METER	WM



OWNER/APPLICANT/DEVELOPER

HARB GROUP INC. 2
18651 VAN BUREN BOULEVARD
RIVERSIDE, CA 92508
ATTN: MARTEN L. ANDERSON
(951) 850-4333

ENGINEER/CONTACT PERSON

THIS PLAN WAS PREPARED UNDER THE DIRECTION OF MARTEN L. ANDERSON, A
REGISTERED CIVIL ENGINEER IN THE STATE OF CALIFORNIA.

MARTEN L. ANDERSON
RICE 51313, EXPRESS 8-30-22
MTH2 ENGINEERING, INC.
639 LAKEWOOD DRIVE
RIVERSIDE, CA 92506
(951) 850-2190
CITY BUSINESS TAX CERTIFICATE NO. 1239159 EXPIRES FEB 28, 2021



15-FEB-2021

MARTEN L. ANDERSON

Ex. 63-22

LEGAL DESCRIPTION

PARCEL C PER CITY OF RIVERSIDE CERTIFICATE OF COMPLIANCE LOT LINE
ADJUSTMENT NO. L-1031489 RECORDED JULY 2, 1996 AS DOCUMENT NO. 1995-29641
OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CA

ASSESSOR'S PARCEL NUMBER

266-040-047

BASIS OF BEARINGS

THE BASIS OF BEARINGS SHOWN IS THE CENTERLINE OF VAN BUREN BLVD SHOWN AS
N89°30'11"E PER PARCEL MAP NO. 28543, BOOK 191, PAGES 60 AND 61 OF PARCEL MAPS
IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.

BENCHMARK

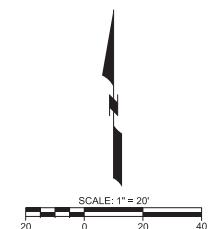
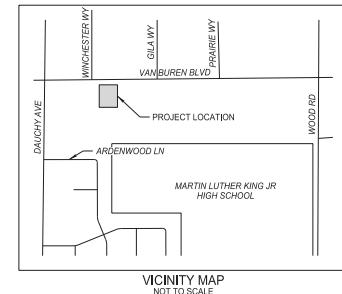
CITY OF RIVERSIDE BENCHMARK B-32
PK MBL AND CITY ENGINEER TAG IN THE TOP OF THE SIDEWALK OVER THE EASTERLY
WALL OF A CATCH BASIN ALONG THE SOUTHERLY CURB OF VAN BUREN BLVD AND 700
FEET EASTERLY OF WOOD ROAD
ELEV 184.555 (NAVD 88) MAR. 2000

SITE ADDRESS

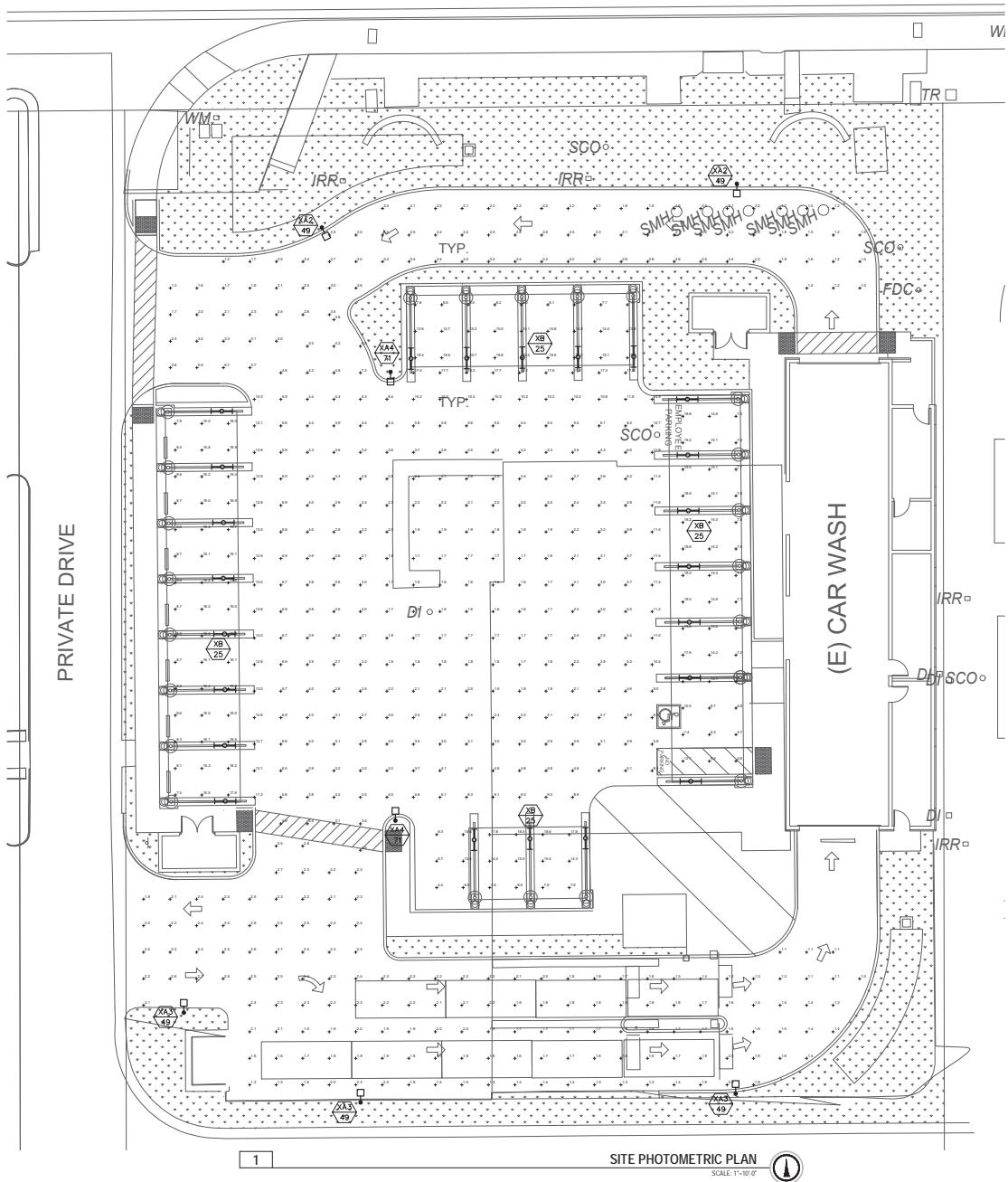
18651 VAN BUREN BOULEVARD
RIVERSIDE, CA 92508

NOTES

1. THE PRIVATE ACCESS DRIVE AND PRIVATE ALLEY ARE CAPABLE OF SUPPORTING A FIRE TRUCK OF 80,000 LBS.
2. THE EXISTING BUILDING AND PROPOSED SITE IMPROVEMENTS ARE WITHIN 150' MAX HOSE PULL FROM VAN BUREN BOULEVARD. THE PRIVATE DRIVEWAY, OR PRIVATE ALLEY AS SHOWN BY THE DIMENSIONS HERE ON.



VAN BUREN BLVD



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Entrance Driveway	+	1.9 fc	3.5 fc	1.0 fc	3.5:1	1.9:1
Exit Driveway	+	2.4 fc	6.7 fc	1.0 fc	6.7:1	2.4:1
Vacuum Entrance	+	5.2 fc	18.3 fc	1.6 fc	11.4:1	3.3:1
Vacuum Parking North	+	14.1 fc	20.7 fc	7.1 fc	2.9:1	2.0:1
Vacuum Parking East	+	12.3 fc	19.2 fc	3.7 fc	5.2:1	3.3:1
Vacuum Parking South	+	12.0 fc	18.6 fc	4.4 fc	4.2:1	2.7:1
Vacuum Parking West	+	14.5 fc	19.8 fc	7.5 fc	2.6:1	1.9:1

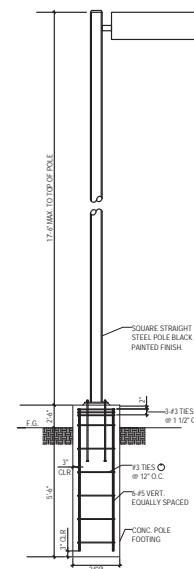


YOWANTO ENGINEERING, INC.
2705 TOWNE AVE., #C
POMONA, CA 91767
909-626-6291

VOLUNTARI

SPLASH AUTO SPA REMODEL

18651 VAN BUREN BLVD., RIVERSIDE, CA



CONCRETE NOTE: (MIN. REQUIREMENT)

1. ALL CONCRETE SHALL CONFORM TO 2019 CBC.

2. CEMENT SHALL CONFORM TO A.S.T.M. (C-150) TYPE II / V

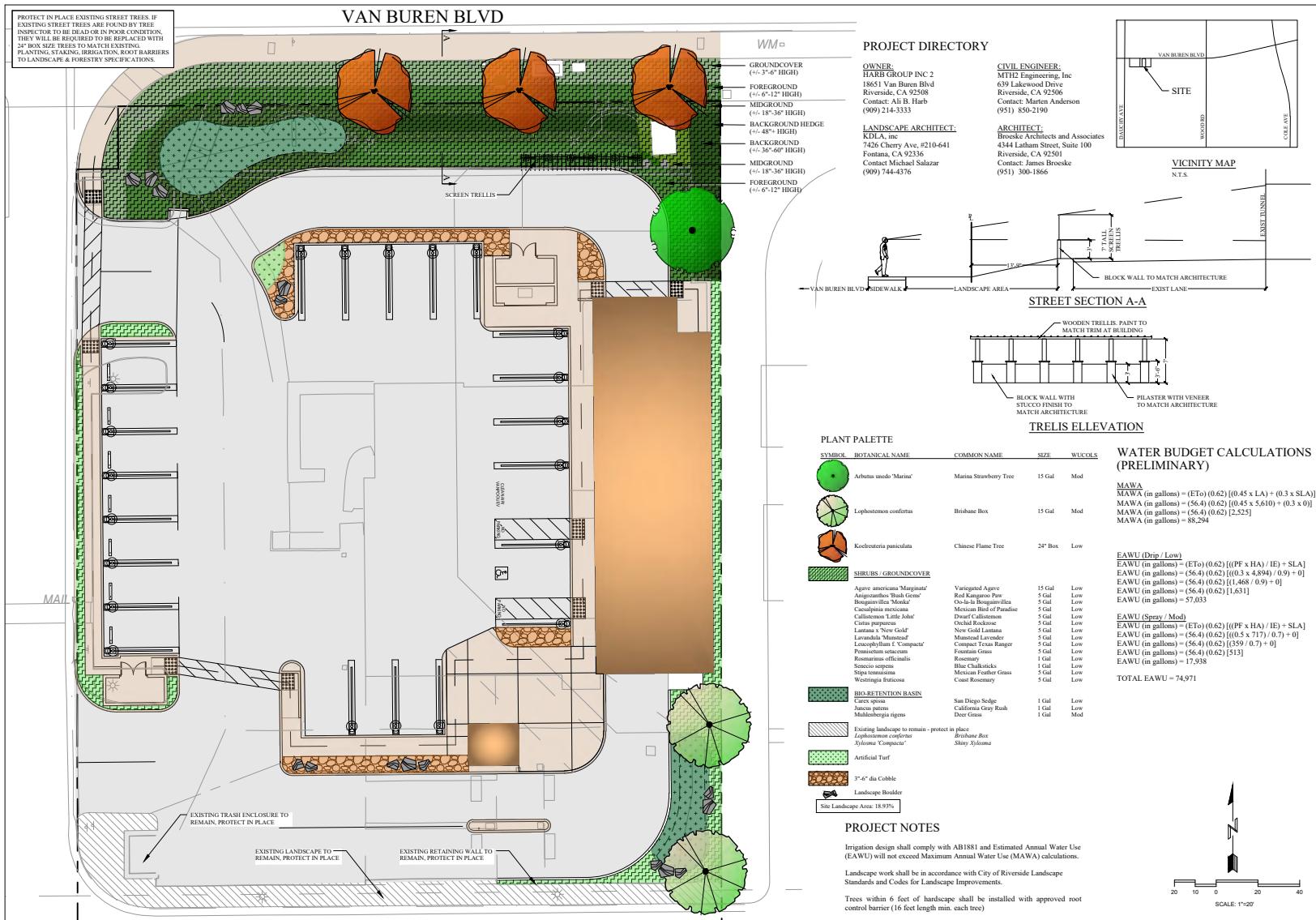
3. MINIMUM CONCRETE COMPRESSIVE STRENGTHS AT 28 DAYS (MAX WATER/CEMENT RATIO = 4.5 & MAX. SLUMP=4")

SHALL BE AS FOLLOWS:

FOUNDATION..... 3000 PSI (NORMAL WEIGHT)

1 LIGHTING POLE DETAIL
SCALE: NTS

PR-2020-000427 (CUP, DR), Exhibit 6 - Project Plans



November 7, 2020

Planning Department
City of Riverside

Re: Proposed Car Wash Renovation
Splash Car Wash
18651 Van Buren Blvd. Riverside CA 92508

Dear Mr / Mrs :

We propose an upgrade to our existing facility located at 18651 Van Buren Blvd. in order to modernize and bring the operation of the business current with similar car wash neighboring improvements. We intend to place new facades on the building, adding covered vacuums on both existing parking stalls and adding new parking / vacuums stalls in place of large section of the building improving the parking to ratio as well as the flow of traffic on the site. We also seek to develop new signage as well as upgrade existing and add water wise landscaping throughout the facility.

We are intending on spending a significant amount of money to modernize and enhance our facilities, adding value to our own as well as to the city's image. Having a single use property (building as is the case with car washes) presents a challenge, so we have taken extra steps and look to absorb additional costs while redesigning the facility to meet all of the city's requirements and achieve our goals.

Our goal is to create a first-class, attractive modern facility to service the existing customers and attract new ones. Patrons will be able to comfortably utilize the new fabric covered vacuums conforming to the new modern concept for express car washes being built across Southern California.

The existing Facility, streetscape, and landscape will be renovated and rejuvenated. The proposed upgrades will include:

- Great contemporary design
- First class materials
- Conformity with the appearance of the current community and commercial designs.

This is an existing car wash in a GC Neighborhood Commercial zone. The proposed changes to the building have no effect on the current use of the property. The current use of the property and its occupants will remain the same with no changes. The current ingress and egress to the

property will remain the same with no changes as well. The new site plan will show, the tunnel direction and traffic flow will remain the same the added parking stalls will improve the circulation on the site in a positive way as well as a positive increase in the width of some of the drive aisles for ease of movement for both the patrons as well as meeting the new requirements by the city and its various departments.

We appreciate the city's business/development friendly position and look forward to renovating and maintaining a healthy business providing services and Jobs to local residents for almost the past 2 decades. We will maintain a 7 days per week operation with hours from 7 am to 9 pm in the summer and adjusted in the winter depending on business needs. We will be adding self-serve vacuums for customers to use in the designated finishing stalls after the wash. The car wash will be upgraded with state of the art new equipment inside the tunnel and in the vacuum stalls described above.

Tunnel Equipment manufacturer is - Motor City Wash Works out of Wixom Michigan –
For additional information please visit their website at: <https://www.motorcitywashworks.com>

The Vacuum equipment manufacturer is – Vacutech out of Sheridan Wyoming-
For additional information please visit their website at: <https://vacutechllc.com>

The renovated design truly embraces the feel of the community through its complementary characteristics.

In conclusion, we hope the city is as eager and excited as we are and supports our project.

Thank you

Ali Harb