

GENERAL NOTES

- 1. Information contained in these sheets is for the use of the contractor and shall be verified by the contractor as to its accuracy. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary information from the City of Riverside and the Riverside Public Works Department. The contractor shall be responsible for obtaining all necessary information from the City of Riverside and the Riverside Public Works Department. The contractor shall be responsible for obtaining all necessary information from the City of Riverside and the Riverside Public Works Department.
- 2. The contractor is to have the necessary permits and to have the necessary information from the City of Riverside and the Riverside Public Works Department. The contractor shall be responsible for obtaining all necessary information from the City of Riverside and the Riverside Public Works Department.
- 3. All work shall be completed in accordance with the City of Riverside and the Riverside Public Works Department. The contractor shall be responsible for obtaining all necessary information from the City of Riverside and the Riverside Public Works Department.
- 4. Dimensions are to finished surfaces unless otherwise noted.
- 5. Dimensions are to be taken from the center line of the work unless otherwise noted.
- 6. All work shall be completed in accordance with the City of Riverside and the Riverside Public Works Department. The contractor shall be responsible for obtaining all necessary information from the City of Riverside and the Riverside Public Works Department.
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DRAWING INDEX

Sheet List	
A0-00	Cover Sheet
A0-02	Site Photos and Material Board
A0-10	Survey Notes
A0-11	Survey
A0-12	Survey
A1-00	Plot Plan - Phase 1
A1-01	Site Plan - Phase 1
A1-02	Roof Plan - Phase 1
A1-03	Fence and Wall Plan - Phase 1
A2-00	Floor Plan - St. Michael's Community Housing Plans
A3-00	Site Sections
A4-00	Elevations - Site Elevations
A4-01	Elevations - Building Elevations
A4-02	Elevations - Enlarged
A5-01	Summer Winter Entrance Plaza Rendering
A5-02	Community Housing Exterior Renderings
A6-00	Landscape Plan
A6-01	Landscape Plant List and Legend
B1-01	Building Code Analysis
C-1,0	Civil - Conceptual Grading and Preliminary Utility Plan
C-2,0	Civil - Conceptual Grading and Preliminary Utility Plan
C-3,0	Civil - Conceptual Grading and Preliminary Utility Plan
C-3-1	Civil - Conceptual Grading and Preliminary Utility Plan
C-3-2	Civil - Conceptual Grading and Preliminary Utility Plan
C-4,0	Civil - Conceptual Grading and Preliminary Utility Plan

PROJECT INFORMATION

PROJECT ADDRESS:
4070 Jackson Street, Riverside, CA 92503

LEGAL DESCRIPTION:
Assessor Parcel No. (APN): 19130212
Recorded Book/Page: PM 7632
Subdivision Name: PM 15068
Lot/Parcel: 2

ZONE:
R-1-7000

ZONING SETBACKS:
Front Yard: 20'
Side Yard: 25'

BUILDING HEIGHT:
Max. Envelope Height Limit: 35 FT

PROPOSED BUILDING HEIGHTS:
Community Housing: 28 FT
Parish Hall Addition: 17 FT
Friary and Chapel: 32 FT
Green House: 17.5 FT

BUILDING AREAS:
Gross Area: St. Michael's Church (existing): 6,303 SF
Parish Hall (existing): 3,268 SF
Community Housing (new): 35,068 SF

COMMON SPACE AREA: 31,031 SF

PRIVATE SPACE AREA: 1,766 SF

PARKING:
Required: 81
Provided: 56

LOT AREA: 155,944 SF

LOT COVERAGE (% Max): 155,944 SF
Max Allowable: 21,226 SF
Building Footprint: 21,226 SF
Therefore, lot coverage = 13.6%

EARTHWORK SUMMARY:
General Cut: 590 CY
General Fill: 4,670 CY
Net Fill: 4,080 CY

CONSTRUCTION TYPE:
Community Housing: Type V-A, Fully Sprinklered
Parish Hall Addition and Existing Church: Type V-A, existing Non-Sprinklered, see recommendations
Friary and Chapel: Type V-B, Fully Sprinklered
Green House: Type V-B, Non-sprinklered

OCCUPANCY:
Community Housing: R-2
Parish Hall Addition and Existing Church: A-3 and B
Friary and Chapel: R-3
Green House: Misc. U

FIRE ZONE:
Not in a High Fire Area

HARDSHAPE COMPUTATIONS: 55,190 SF

SCOPE OF WORK DESCRIPTION:
Two New Residential Buildings, One Greenhouse, One Chapel, One Addition/Remodel & New Landscaping with Parking Lot.

PROJECT DIRECTORY

OWNER INFORMATION:
Bishop John H. Taylor,
Episcopal Diocese of Los Angeles
Cathedral Center of St. Paul
840 Echols Park Avenue
Los Angeles, California 90026
Tel: 213.482.2040

ARCHITECT:
Escher Gunewardena Architecture
815 Silver Lake Boulevard
Los Angeles, California 90026
Tel: 323.665.9100, Fax: 323.665.9103

GEOTECHNICAL ENGINEER:
ENGO Inc.
6 Morgan, Suite 162
Irvine, CA 92618
Tel: 949.529.3479

MEP ENGINEER:
BTU ENGINEER
1230 Rosecrans Ave, Suite 300
Manhattan Beach, California 90266
Tel: 310.684.3503

TRAFFIC ENGINEER:
Coco Traffic Planners
10835 Santa Monica Blvd, Suite 202
Los Angeles, California 90025
Tel: 310.470.4870

CIVIL ENGINEER:
Ware Malcomb
915 Wilshire Blvd, Suite 2150
Los Angeles, California 90017
Tel: 310.903.4000

CODE CONSULTANT:
VCA Consultants
1645 W Orangewood Ave, Ste. 210
Orange, California 92668
Tel: 714.363.4700

SURVEYOR:
Partner Engineering and Science, Inc.
1761 E Garry Avenue
Santa Ana, CA 92705
Tel: 714.763.4656

LANDSCAPE DESIGNER:
Inette Solar Gardens
4703 Townsend Avenue
Los Angeles, CA 90041
Tel: 323.547.6335

ABBREVIATIONS

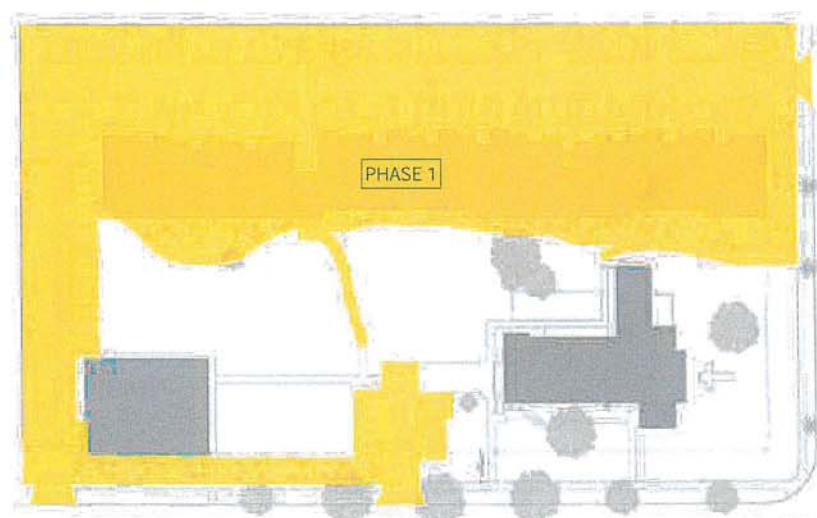
A.F.F.	ABOVE FINISH FLOOR
@	AT
C.H.	CEILING HEIGHT
C.H.B.O.B.	CEILING HEIGHT BOTTOM OF BEAM
C.H.T.O.B.	CEILING HEIGHT TOP OF BEAM
C	CENTER LINE
CONC.	CONCRETE
EQ.	EQUAL
(E)	EXISTING
HT	HEIGHT
INT.	INTERIOR
(N)	NEW
NR	NON-RATED
T.R.D.	TO BE DETERMINED
TYP.	TYPICAL
SF	SQUARE FEET
U.N.O.	UNLESS NOTED OTHERWISE
W/	WITH
F.S.	FINISHED SURFACE
T.W.	TOP OF WALL
VIF	VERIFY IN FIELD

SYMBOL LEGEND



PHASE 1 DESCRIPTION OF NEW WORK:

Includes the new Community Housing, three trash enclosures, and a transformer pad. Landscape work includes the bioswales directly adjacent to the community housing, the entry plaza at Jackson St, the parking lot running along the north and west sides of the property, path extensions linking the existing parish hall and church to the new housing, plantings in the yard along Hawthorne Ave, and a temporary parking lot between the existing Church and Parish Hall. Both the existing Parish Hall and Church are to remain during Phase 1.



A0-00

GENERAL NOTES

1. Refer to the contract and these documents which describe or describe existing site and building conditions as shown on drawings. All utility, survey, etc. data supplied by the owner and/or its consultants, and limited site observations. The contractor shall verify the dimensions and location of all structures and utilities shown on drawings.
2. The contractor shall verify the accuracy of all data and information provided by the owner and/or its consultants, and limited site observations. The contractor shall verify the dimensions and location of all structures and utilities shown on drawings.
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4. Dimensions shall be given in feet and inches.
5. Materials shall be as shown on drawings unless otherwise noted.
6. Details not shown shall be similar to those shown on drawings unless otherwise noted.
7. All work shall be completed within the time specified.
8. The contractor shall be responsible for obtaining all necessary permits and fees.
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47. All new developments shall be designed to comply with the best management practices (BMPs) for stormwater runoff control.
48. All new developments shall be designed to comply with the best management practices (BMPs) for stormwater runoff control.
49. All new developments shall be designed to comply with the best management practices (BMPs) for stormwater runoff control.
50. All new developments shall be designed to comply with the best management practices (BMPs) for stormwater runoff control.

SECURITY NOTES

1. All perimeter fences shall be constructed to meet the minimum requirements for security fencing.
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50. All perimeter fences shall be constructed to meet the minimum requirements for security fencing.

DRAWING INDEX

Sheet	Description
A0-00	Cover Sheet
A0-02	Site Photos and Material Board
A0-10	Survey Notes
A0-11	Survey
A0-12	Survey
A1-00	Plot Plan - Phase 2
A1-01	Site Plan - Phase 2
A1-02	Roof Plan - Phase 2
A1-03	Fence and Wall Plan - Phase 2
A2-00	Floor Plan - St. Michael's Community Housing Plans
A2-01	Floor Plan - Parish Hall, Church, Friary, Chapel, and Greenhouse
A3-00	Site Sections
A4-00	Elevations - Site Elevations
A4-01	Elevations - Building Elevations
A4-02	Elevations - Enlarged
A4-03	Elevations - Enlarged
A5-00	Exterior Renderings
A5-01	Summer Winter Entrance Plaza Rendering
A5-02	Community Housing Exterior Renderings
A5-03	Campus Interior Renderings
A5-04	Chapel Interior Renderings
A6-00	Landscape Plan
A6-01	Landscape Plant List and Legend
B1-01	Building Code Analysis
C-1-0	Civil - Conceptual Grading and Preliminary Utility Plan
C-2-0	Civil - Conceptual Grading and Preliminary Utility Plan
C-3-0	Civil - Conceptual Grading and Preliminary Utility Plan
C-3-1	Civil - Conceptual Grading and Preliminary Utility Plan
C-3-2	Civil - Conceptual Grading and Preliminary Utility Plan
C-4-0	Civil - Conceptual Grading and Preliminary Utility Plan
E-3	Electrical
E-4	Electrical
E-5	Electrical

PROJECT INFORMATION

PROJECT ADDRESS: 4070 Jackson Street, Riverside, CA 92503	
LEGAL DESCRIPTION: Assessor Parcel No. (APN): 191302012 Recorded Book/Page: PM 7632 Subdivision Name: PM 1506B Lot/Parcel: Z	
ZONE: R-1-7000	
ZONING SETBACKS: Front Yard: 20' Rear Yard: 25'	
BUILDING HEIGHT: Max. Envelope Height Limit: 35 FT	
Proposed Building Heights: Community Housing: 28 FT Parish Hall Addition: 17 FT Friary and Chapel: 32 FT Green House: 17.5 FT	
BUILDING AREAS: Gross Area: St. Michael's Church (existing): 6,303 SF Community Housing (new): 35,008 SF Parish Hall Addition (new): 4,214 SF Friary and Chapel (new): 2,950 SF Green House (new): 1,281 SF	
COMMON SPACE AREA: 29,100 SF	
PRIVATE SPACE AREA: 6,176 SF	
PARKING: Required: 81 Provided: 100	
LOT AREA: 165,944 SF	
LOT COVERAGE (40% Max): Max Allowable: 62,378 SF Building footprints: St. Michael's Church (existing): 6,799 SF Community Housing (new): 21,753 SF Parish Hall Addition (new): 5,935 SF Friary and Chapel (new): 4,720 SF Green House (new): 1,300 SF Trash Enclosures (new): 589 SF	
TOTAL coverage: Therefore, lot coverage is 26.4%	
EARTHWORK SUMMARY: General Cut: 560 CY General Fill: 4,265 CY Net (Import): 3,705 CY	
CONSTRUCTION TYPE: Community Housing: Type V-A, Fully Sprinklered Parish Hall Addition and Existing Church: Type V-A, existing Non Sprinklered, see recommendations Friary and Chapel: Type V-B, Fully Sprinklered Green House: Type V-B, Non-sprinklered	
OCCUPANCY: Community Housing: R-2 Parish Hall Addition and Existing Church: A-3 and B Friary and Chapel: R-3 Green House: Misc. U	
FIRE ZONE: Not in a High Fire Area	
HARDSCAPE COMPUTATIONS: TOTAL: 55,190 SF	

PROJECT DIRECTORY

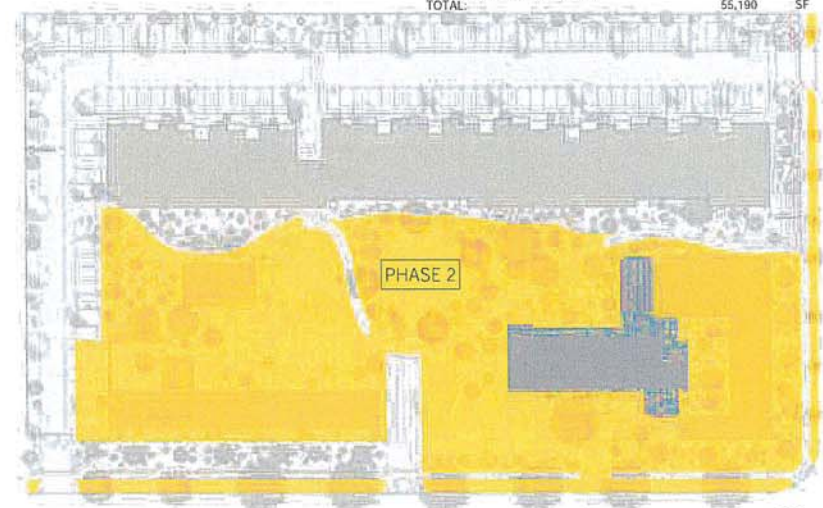
OWNER INFORMATION: Bishop John H. Taylor Episcopal Diocese of Los Angeles Cathedral Center of St. Paul 840 Echo Park Avenue Los Angeles, California 90026 Tel: 213.482.2040
ARCHITECT: Escher GuneWardena Architecture 815 Silver Lake Boulevard Los Angeles, California 90026 Tel: 323.665.9100, Fax: 323.665.9103
GEOTECHNICAL ENGINEER: ENGELO Inc. 6 Morgan, Suite 162 Irvine, CA 92618 Tel: 949.520.3479
M/E/P ENGINEER: BTU Engineers 1220 Rosecrans Ave. Suite 300 Manhattan Beach, California 90266 Tel: 310.684.3503
TRAFFIC ENGINEER: Ware Malcolm 915 Wilshire Blvd. Suite 2150 Los Angeles, California 90017 Tel: 310.903.4000
CODE CONSULTANT: VCA Consultants 1845 W Orangewood Ave. Ste. 210 Orange, California 92668 Tel: 714.363.4700
SURVEYOR: Partner Engineering and Science, Inc. 1761 E Garry Avenue Santa Ana, CA 92705 Tel: 714.763.4656
LANDSCAPE DESIGNER: Ivette Soler Gardens 4703 Townsend Avenue Los Angeles, CA 90041 Tel: 323.547.6335



Vicinity Map
1 : 1250

PHASE 2 DESCRIPTION OF NEW WORK:

Includes the new Friary, Greenhouse, and the addition of the new Parish Hall to the existing Church. Landscape work includes the completion of the central garden area, a new parking lot next to the existing Church, bioswales along Hawthorne Ave, a transformer pad, and additional plantings in the yards along Jackson St and Hawthorne Ave. Only the existing Church to remain after Phase 2.



Phase 2 Diagram
N.T.S.

ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR
AT	AT
C.H.	CEILING HEIGHT
C.H.B.O.B.	CEILING HEIGHT BOTTOM OF BEAM
C.H.T.O.B.	CEILING HEIGHT TOP OF BEAM
C	CENTER LINE
CONC.	CONCRETE
EQ.	EQUAL
(E)	EXISTING
HGT	HEIGHT
INT.	INTERIOR
(N)	NEW
NR	NON-RATED
T.B.D.	TO BE DETERMINED
TYP.	TYPICAL
SF	SQUARE FEET
U.N.O.	UNLESS NOTED OTHERWISE
W	WITH
F.S.	FINISHED SURFACE
T.W.	TOP OF WALL
VF	VERIFY IN FIELD

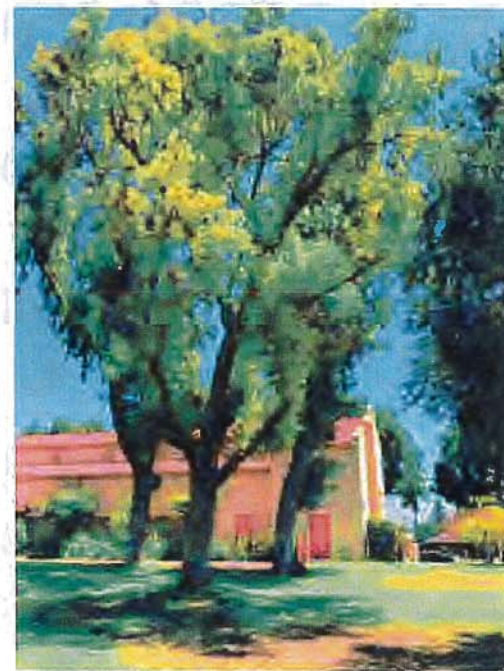
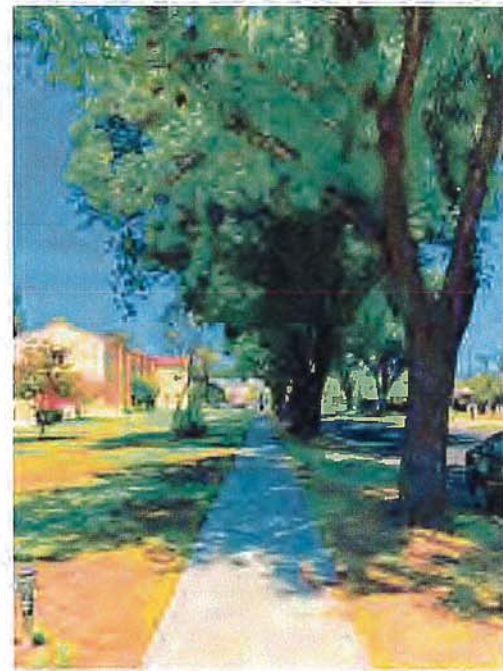
SYMBOL LEGEND

Symbol	Description
Symbol	VAULT SECTORS REFERENCE
Symbol	2 REFERENCE ELEVATION REFERENCE
Symbol	FINISH FLOORING
Symbol	CEILING REFERENCE
Symbol	SEWER/STORM
Symbol	BOUNDARY MARK
Symbol	DOOR THRESHOLD
Symbol	CONTAINMENT WALL PANEL NUMBER

drawn by: Author
scale: As indicated
issue date: 07/21/18
plot date: 12/26/2019
2:19 26 PM

A0-00

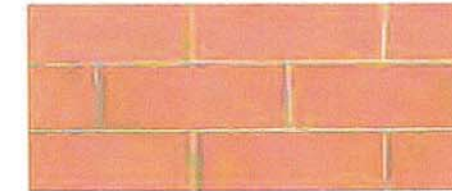
SITE PHOTOS



MATERIAL BOARD



Roofing - Sand Color Bitumen Membrane



Columns and Patio Walls - Gray Brown CMU



Exterior Wood Doors - Oak Finish Wood



Window Frames and Railings - Matte Bronze



Exterior Wood Means and Rifiers - Medium Stain CLT



Exterior Walls - Heavy Dash Plaster Finish

Revision/ Date/ By

Escher GuneWardena Architecture
 815 Silver Lake Boulevard, Los Angeles, California 90026
 tel: 323 665 9100 fax: 323 665 9103

St. Michael's - Riverside
 4070 Jackson St.
 Riverside, CA 92503

Site Photos and Material Board

drawn by: Author
 checked by: Checker
 scale:
 issue date: 06/28/19
 plot date: 12/26/2019
 2:18:41 PM



VICINITY MAP



- MONUMENT NOTES**
- (A) IRON PIPE & WOOD STAKE (CONCRETE CITY MARKING)
 - (B) IRON 1" IRON PIPE AND SUGGESTIVE NAIL
 - (C) IRON 1" IRON PIPE AND TWO STAKES TO BUMP
 - (D) IRON LEAD TACK & TWO STAKES TO BUMP
 - (E) IRON 1" IRON PIPE AND NAIL
 - (F) IRON LEAD TACK & TAG
 - (G) IRON LEAD TACK & TAG SET IN WALL STAKE TO BUMP

- SURVEYOR'S NOTES**
1. (●) - INDICATES FOUND MONUMENT AS NOTED ABOVE.
 2. SURVEYOR MARKS NOT DISCLOSED FOR ANY NON-VISIBLE RIGHTS-OF-WAY OR EASEMENTS NOT DISCLOSED IN THE BEARING REFERENCED TITLE RECORD.
 3. BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD (CALCULATED) FOR PLAT NO. 75, PAGE 30 OF PLAT MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAN COUNTY.
 4. (S) - SEARCHED FOR MONUMENT, FOUND MISSING, SET MISSING.
 5. P.L.R. - PRELIMINARY FILE REPORT.
 6. () - INDICATES RECORD DATA FOR TRACT NOT RELEASED.
 7. () - INDICATES SURVEYING COMMENT.

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 7 OF PLAT MAP NO. 150498 IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 75, PAGE 30 OF PLAT MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAN COUNTY.

ASSISTANT PLAT NUMBER: 191-207-012.1

FLOOD ZONE

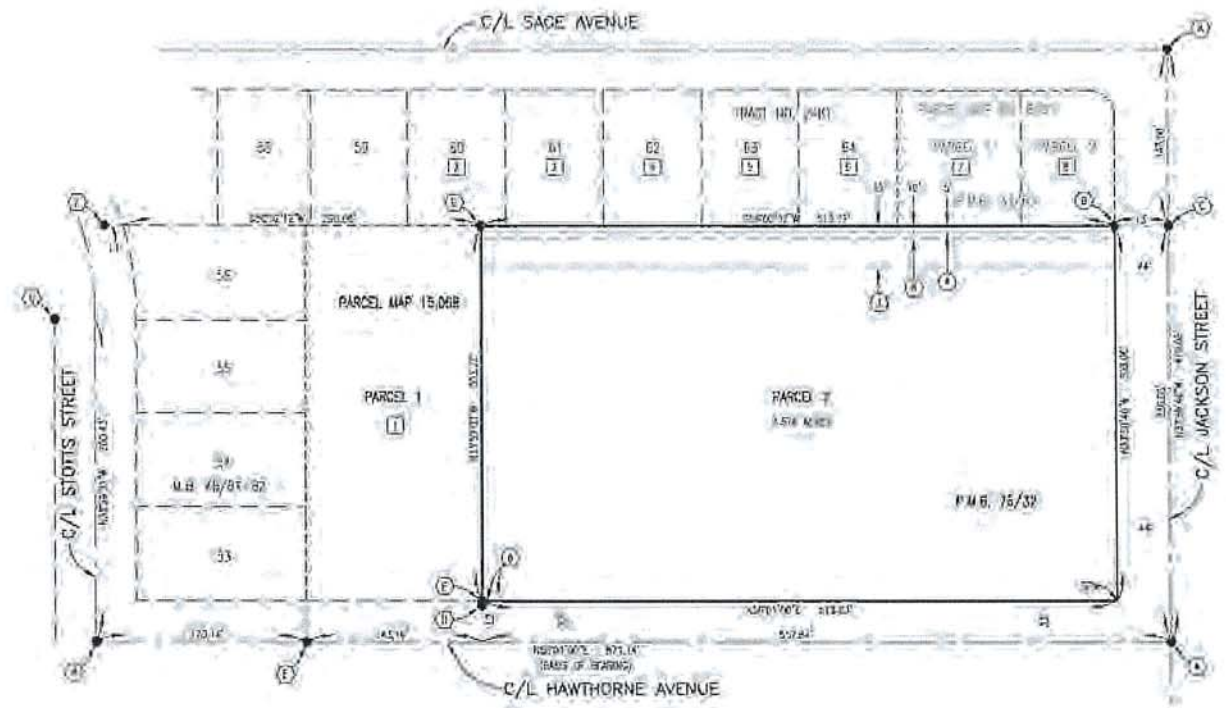
ON SCALED MAP LOCATION AND TYPICAL ELEVATIONS ONLY, THE SUBJECT PROPERTY DOES NOT APPEAR TO BE IN A FLOOD ZONE. ACCORDING TO FEMA FLOOD MAP NO. 150498 FOR THE CITY OF RIVERSIDE (COMMUNITY NO. 05003) WITH AN EFFECTIVE DATE OF AUGUST 28, 2008 AND IS NOT IN A FLOOD ZONE AREA.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS BASED ON THE COORDINATE SYSTEM MAINTAINED AND BEING HELD AS NORTH 2011.000 EAST AS SHOWN ON PLAT MAP NO. 150498 AS PER MAP RECORDED IN BOOK 75, PAGE 30 OF PLAT MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAN COUNTY.

- EXCEPTIONS TO COVERAGE IN TITLE COMMITMENT**
- EXCEPTION CODES A, B, C, D, E, F AND G INDICATE THAT INCLUDING ARE NOT SURVEY METERS AND ARE NOT SHOWN HEREON:
- (1) - EASEMENTS FILED RECORD.
 - (2) - EASEMENT FOR RIGHT OF WAY UNDER AND RIGHT OF WAY UNDER SAN LIND FOR ALL WATER PIPES, OTHER CONDUITS THAT MAY BE REQUIRED BY THE RIVERSIDE WATER COMPANY AND OTHER UTILITIES THEREON.
 - (3) - EASEMENT FOR PROBATION PURPOSES AND RIGHTS INCIDENTAL HERETO AS RESOLVED IN A JUDICIAL DECREE DATED FEBRUARY 1, 1954 IN CASE NO. 150498, SAN OF JUDICIAL RECORDS.
 - (4) - EASEMENT FOR PUBLIC UTILITIES AND RIGHTS INCIDENTAL HERETO GRANTED TO CITY OF RIVERSIDE, A MUNICIPAL CORPORATION, AS GRANTED IN A JUDICIAL DECREE DATED MARCH 29, 1951 AS INSTRUMENT NO. 2008 BY JUDICIAL RECORDS.
 - (5) - EASEMENT FOR UTILITY PURPOSES AND RIGHTS INCIDENTAL HERETO AS GRANTED IN A JUDICIAL DECREE DATED MARCH 13, 1950 AS INSTRUMENT NO. 1007 BY JUDICIAL RECORDS.
 - (6) - EASEMENT FOR UTILITY PURPOSES AND RIGHTS INCIDENTAL HERETO AS GRANTED IN A JUDICIAL DECREE DATED MARCH 14, 1951 AS INSTRUMENT NO. 1008 BY JUDICIAL RECORDS.

- MISCELLANEOUS NOTES**
- (M1) THERE IS DIRECT ACCESS TO THE SUBJECT PROPERTY ON JACKSON STREET AND HAWTHORNE AVENUE, BOTH BEING DESIGNATED PUBLIC RIGHT-OF-WAYS.
 - (M2) THE VESTED RIGHTS ON THE SITE IS AUTO JACKSON STREET, CITY OF RIVERSIDE, CALIFORNIA.
 - (M3) AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE SURFACE EVIDENCE OF GATED MOUND WITH BEARING CONSTRUCTION OR BEARING ADDITIONAL MOUND BEING NOTED.
 - (M4) AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF THE SUBJECT PROPERTY BEING USED AS A ROAD, WASH CAMP, SAND OR SANDPIT LAKEFILL.
 - (M5) AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF ANY RECORD CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION OR EVIDENCE OF ANY RECORD CHANGES OR RECORD CONSTRUCTION RECORDS.
 - (M6) THE PROPERTY SHOWN AND SHOWN HEREON IS THE SAME LAND DESCRIBED IN COMMERCIAL LAND TITLE COMPANY PRELIMINARY REPORT NUMBER NO. 191-207-012-1-100-100, DATED ALL OF NOVEMBER 15, 2014 AT 7:30 AM.
 - (M7) NO CONDUITS, PUBLIC UTILITIES, OR PUBLIC DRAINAGE ARE LOCATED ON THE PROPERTY.
 - (M8) THE FACILITY IS LOCATED AT THE EASTERN CORNER OF THE INTERSECTION OF HAWTHORNE AVENUE AND JACKSON STREET.
 - (M9) PROFESSIONAL LIABILITY INSURANCE POLICY OBTAINED BY THE SURVEYOR IN THE MATTER OF PARSIFAL TO BE IN FULL FORCE AND EFFECT THROUGHOUT THE CONTRACT TERM, CERTIFICATE OF INSURANCE TO BE FURNISHED UPON REQUEST.
 - (M10) THE PROPERTY AREA IS 155,000 SQ. FT. AREA BASED.
 - (M11) FUTURE COURT ORDER BY DESIGNATED CREDIT SERVICE ONLY.
- | PARKING | | |
|---------|----------|-------|
| REGULAR | HANDICAP | TOTAL |
| 75 | 1 | 76 |
- (M12) A ZONING REPORT OR LETTER HAS NOT BEEN PROVIDED AT THE TIME.
 - (M13) ON THE DATE OF OUR FIELD SURVEY, THERE WERE NO MONUMENTS OBSERVED INDICATING THE LOCATION OF A VESTED CONSTRUCTION.



ADJACENT OWNERSHIP TABLE

PROPERTY NO.	ASSISTANT'S PARCEL NO.	ADDRESS	OWNER
1	191-207-011	NOT DISCLOSED	DEEPT MEHRA
2	191-207-026	1924 SAGE AVE	JAMES BERENSON, JAMARA MARY ALEXANDER
3	191-207-025	1924 SAGE AVE	JOSE A. MORA, SILVIA MORA
4	191-207-024	1924 SAGE AVE	SARAH W. A. BULL, SCOTT TULLOH
5	191-207-023	1924 SAGE AVE	DUSTIN L. & SHELBY L. SHANLEY
6	191-207-022	1924 SAGE AVE	DEBORA & CHRISTOPHER L. SPICER
7	191-207-021	1924 SAGE AVE	JUDITH T. COOPER & NEWMAN ENTERPRISE INC.
8	191-207-018	1914 SAGE AVE	DAVID WONG & SHI AN CHAI

BENCHMARK

TYPE OF BENCHMARK: BENCH

AGY IN 14-11

ORIGIN: MARCH

ELEVATION: 100.071 (1987)

DESCRIPTION: WALL AND CITY ENGINEER NO. IN THE WEST NEAREST CORNER BUSH WING BY THE EASTERN CORNER OF JACKSON STREET AND DANFELD STREET.

UTILITY NOTE

THE LOCATION OF UTILITIES ARE SHOWN HEREON BY OBSERVED EVIDENCE TOGETHER WITH LOCATIONS FROM PLANS OBTAINED FROM THE CITY OF RIVERSIDE. UTILITY COMPANIES INCLUDE: CREDIT AND SURFACE SERVICES INDICATING THE LOCATION OF UNAPPROVED UTILITY LINES, IF ANY.

ALTA/NSPS LAND TITLE SURVEY

4070 JACKSON STREET, RIVERSIDE, CALIFORNIA

PROJECT NUMBER: 191-207-012

CERTIFICATION

I, CHRISTOPHER W. DANIELS, LICENSED SURVEYOR, ENGINEER AND SCIENTIST, INC.

DO HEREBY CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MANDATORY TECHNICAL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES TITLES 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19 AND 20 OF TITLE 4, CHAPTER 1, FURNISHED AND COMPLETED ON APRIL 23, 2015.

DATE OF PLAN OR MAP: APRIL 23, 2015

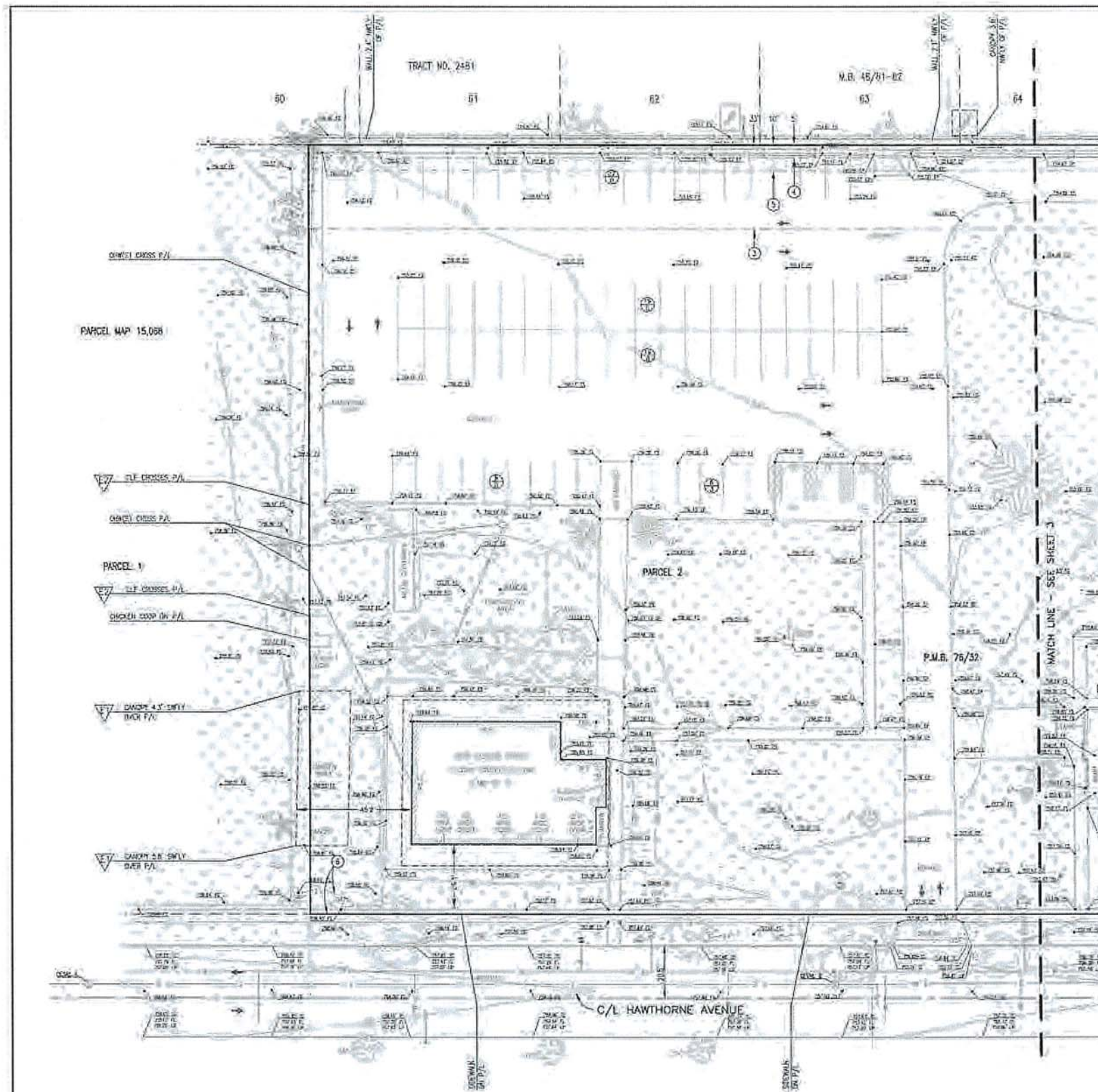
DATE OF LAST REVISION: N/A

CHRISTOPHER W. DANIELS
Survey Manager
ETS Survey, Inc.
1000 JENSEN DRIVE, SUITE 100
RIVERSIDE, CA 92507
Tel: 951-514-1111

REGISTERED PROFESSIONAL ENGINEER AND SURVEYOR
License # 15-14425

PARTNER
Engineering and Science, Inc.

1785 E. GARRY AVENUE
SANTA ANA, CA 92705
(714) 753-4556
TMCDougall@partneres.com



LEGEND

	PROPERTY LINE		SPOT ELEVATION
	OUTER LINE		PARKING COURT
	WATER LINE		TRAFFIC DIRECTION
	SEWER LINE		HANDICAP PARKING SPACE
	GAS LINE		POWER POLE
	ELECTRICAL LINE		CITY WELL
	COMMUNICATION LINE		STORM MANHOLE
	STORM DRAIN LINE		STORM DRAIN MANHOLE
	VERTICAL CURVES		COMMUNICATION MANHOLE
	CONTOUR LINE		WATER MANHOLE
	CHAIN LINK FENCE		BACKFLOW PREVENTOR
	WOOD FENCE		GLASS PANEL
	BLOCK/CONCRETE WALL		CHAIN LINK FENCE
	BUILDING FOOTPRINT		COLUMN
	CONCRETE		IRON INLET
	GRASS/LANDSCAPING		EDGE OF PAVEMENT
	BACKFLOW PREVENTOR		ELECTRICAL WHARF
	WATER VALVE		FINISHED FLOOR
	STREET LIGHT		FLAGGED GRADE
	FLAG POLE		FLOW LINE
	FIRE HYDRANT		JUNE POLE
	ELEVATION		FINISHED SURFACE
	SIGN		GAS METER
	DECIDUOUS TREE		HANDICAP
	CONIFEROUS TREE		ROAD
	PALM TREE		EDGE OF BUFFER
	UTILITY		BUILDING OVERHANG
			SAND CLEANER
			STORM DRAIN MANHOLE
			SEWER MANHOLE
			TOP OF EARTH
			TOP OF WALL
			WATER METER
			UTILITY CONTACT

STATEMENT OF POTENTIAL ENCROACHMENTS

BURDEN CANOPY CROSSES SOUTHWESTERLY OVER THE SOUTHWESTERLY PROPERTY LINE. DISTANCE OVER PROPERTY LINE ARE NOTED HEREIN.

CHAIN LINK FENCE CROSSES SOUTHWESTERLY OVER THE SOUTHWESTERLY PROPERTY LINE.



ALTA/NSPS LAND TITLE SURVEY

4070 JACKSON STREET,
RIVERSIDE, CALIFORNIA

PARTNER PROJECT NUMBER 19-247241

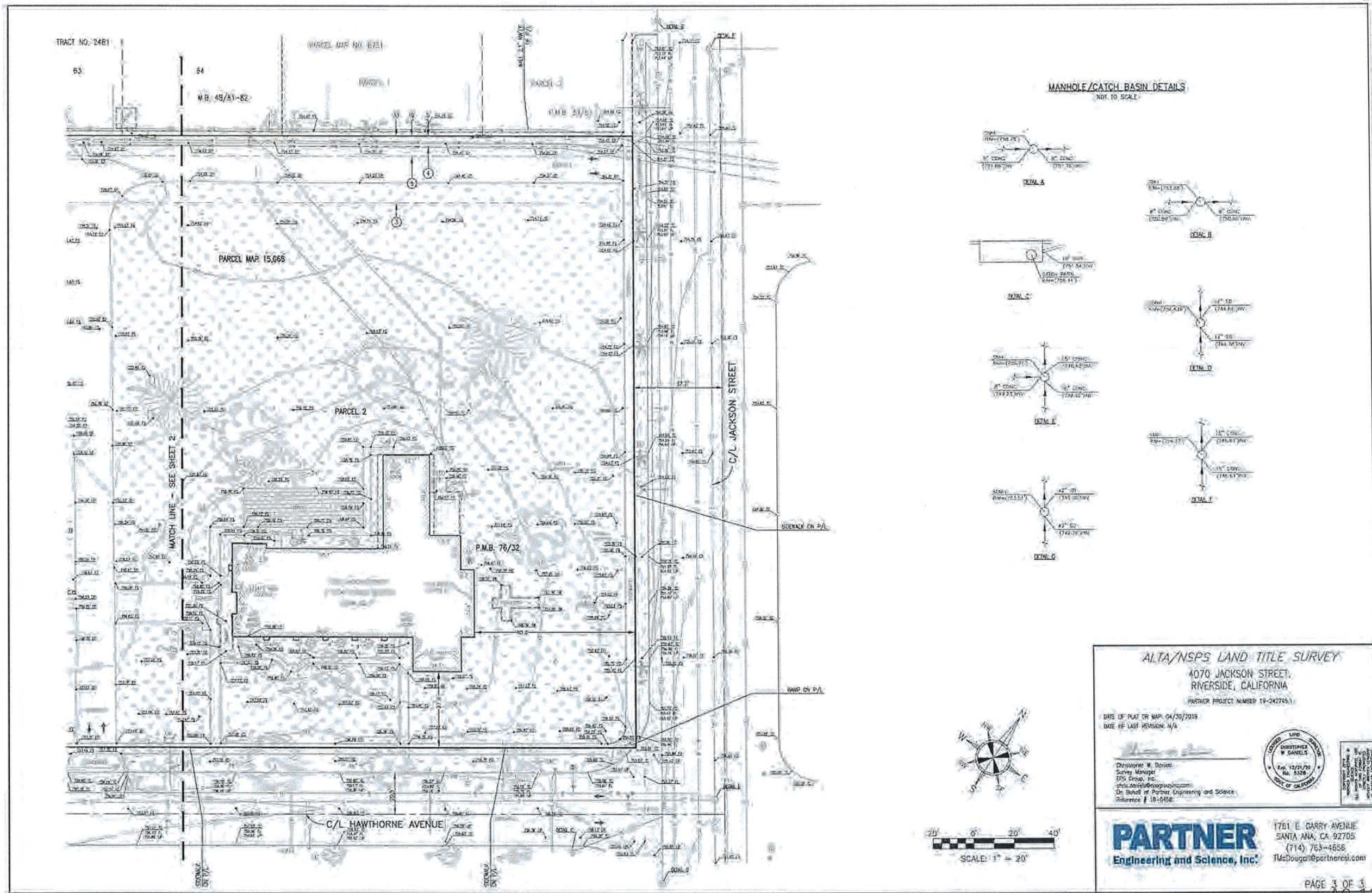
DATE OF PLAN OR MAP: 04/30/2018
DATE OF LAST REVISION: N/A

Christopher W. Daniels
Survey Manager
EPS Group, Inc.
18000 Via Arroyo, Suite 100
San Diego, CA 92128
Tel: 619-594-1555
Fax: 619-594-1556

PARTNER
Engineering and Science, Inc.

1761 E. GARRY AVENUE
SANTA ANA, CA 92705
(714) 763-1656
TM@Douglas@partneresi.com

P19-0507 (CUP) & P19-0508 (DR), Exhibit 7 - Project Plans



ALTA/NSPS LAND TITLE SURVEY
 4070 JACKSON STREET,
 RIVERSIDE, CALIFORNIA
 PARTNER PROJECT NUMBER 19-24745.1

DATE OF PLAN OR MAP: 04/20/2018
 DATE OF LAST REVISION: N/A

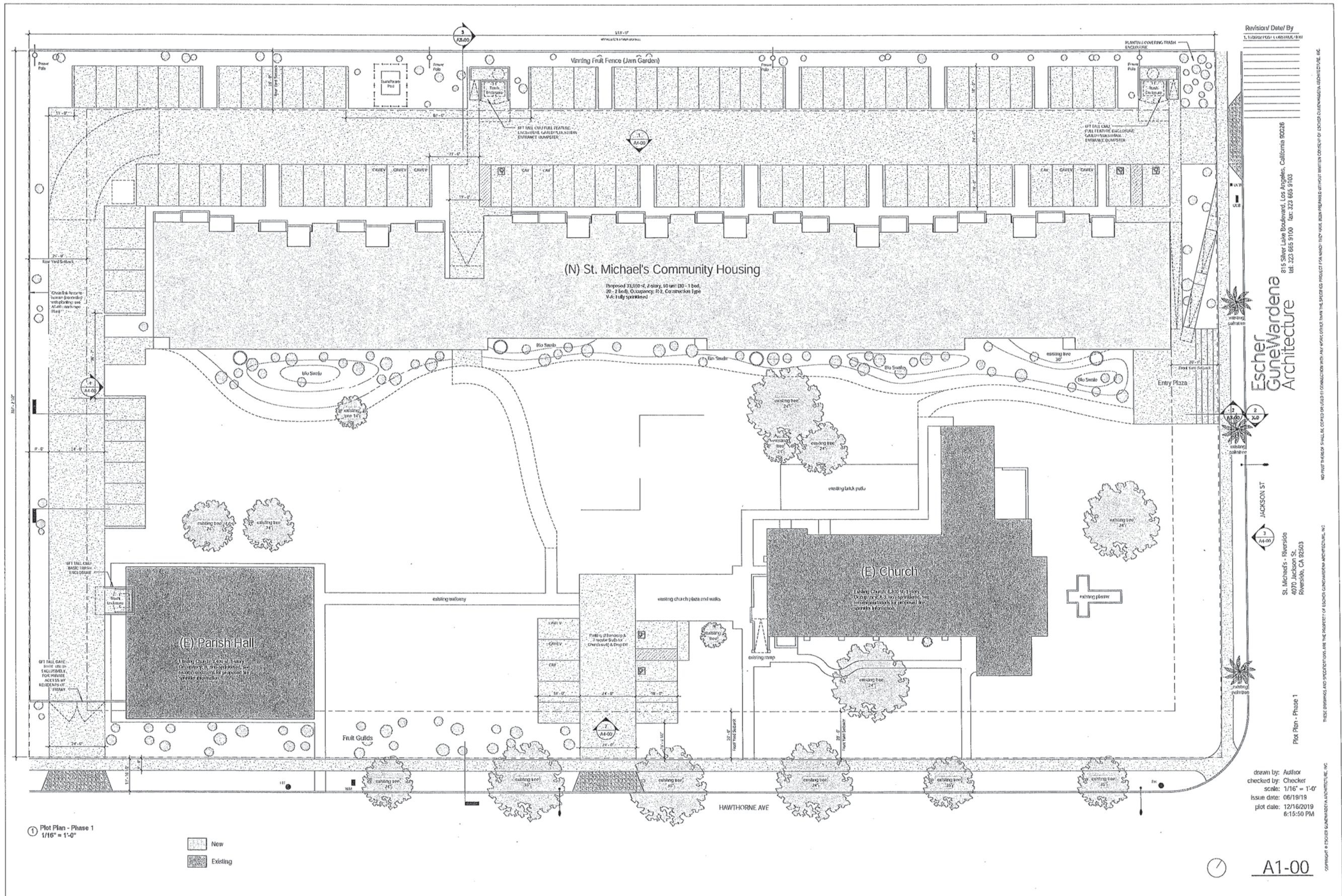
Christopher W. Daniels
 Survey Manager
 PPS Group, Inc.
 A Division of Partner Engineering and Science
 Reference # 18-0456

CHRYSTOPHER W. DANIELS
 No. 5328
 STATE OF CALIFORNIA

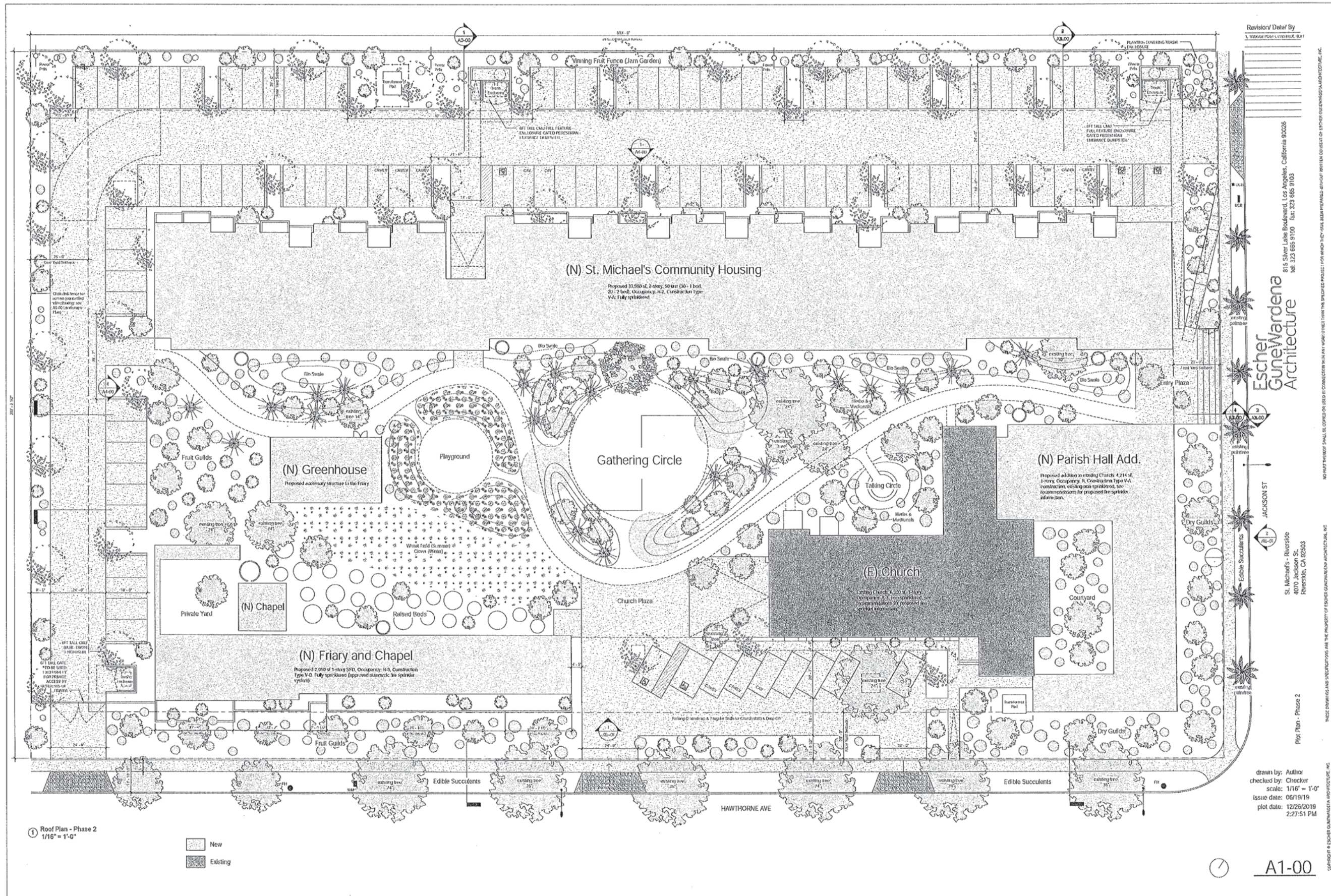
PARTNER
 Engineering and Science, Inc.

1761 E. GARRY AVENUE
 SANTA ANA, CA 92705
 (714) 763-4656
 TM@Douglas@partneresi.com

P19-0507 (CUP) & P19-0508 (DR), Exhibit 7 - Project Plans



P19-0507 (CUP) & P19-0508 (DR), Exhibit 7 - Project Plans



1 Roof Plan - Phase 2
1/16" = 1'-0"

- New
- Existing

Revision/ Date/ By

Revision	Date	By

EscherWardena
GuneWardena
Architecture

815 Silver Lake Boulevard, Los Angeles, California 90026
Tel: 323 655 9100 Fax: 323 655 9103

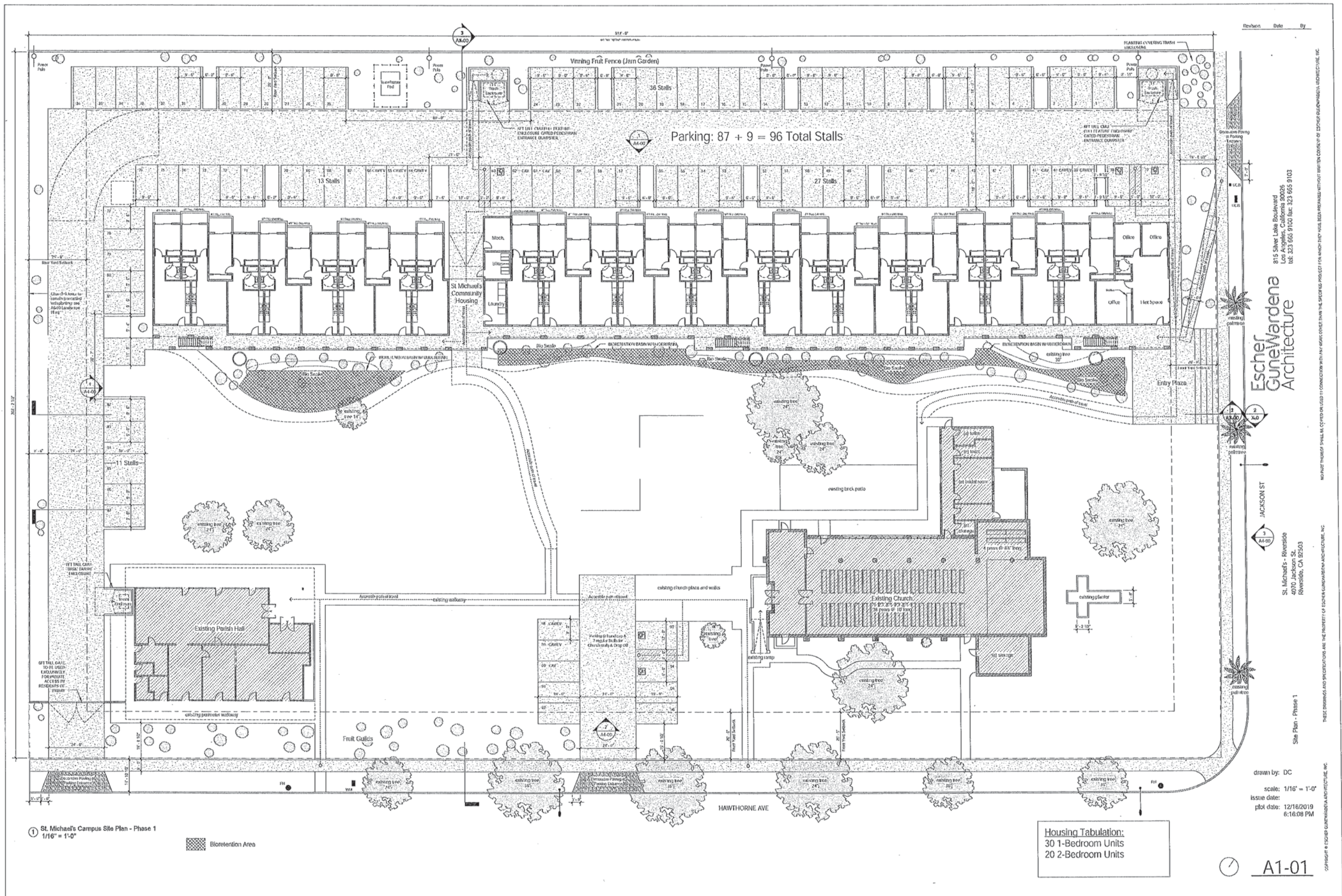
St. Michael's - Riverside
4070 Jackson St.
Riverside, CA 92503

Plot Plan - Phase 2

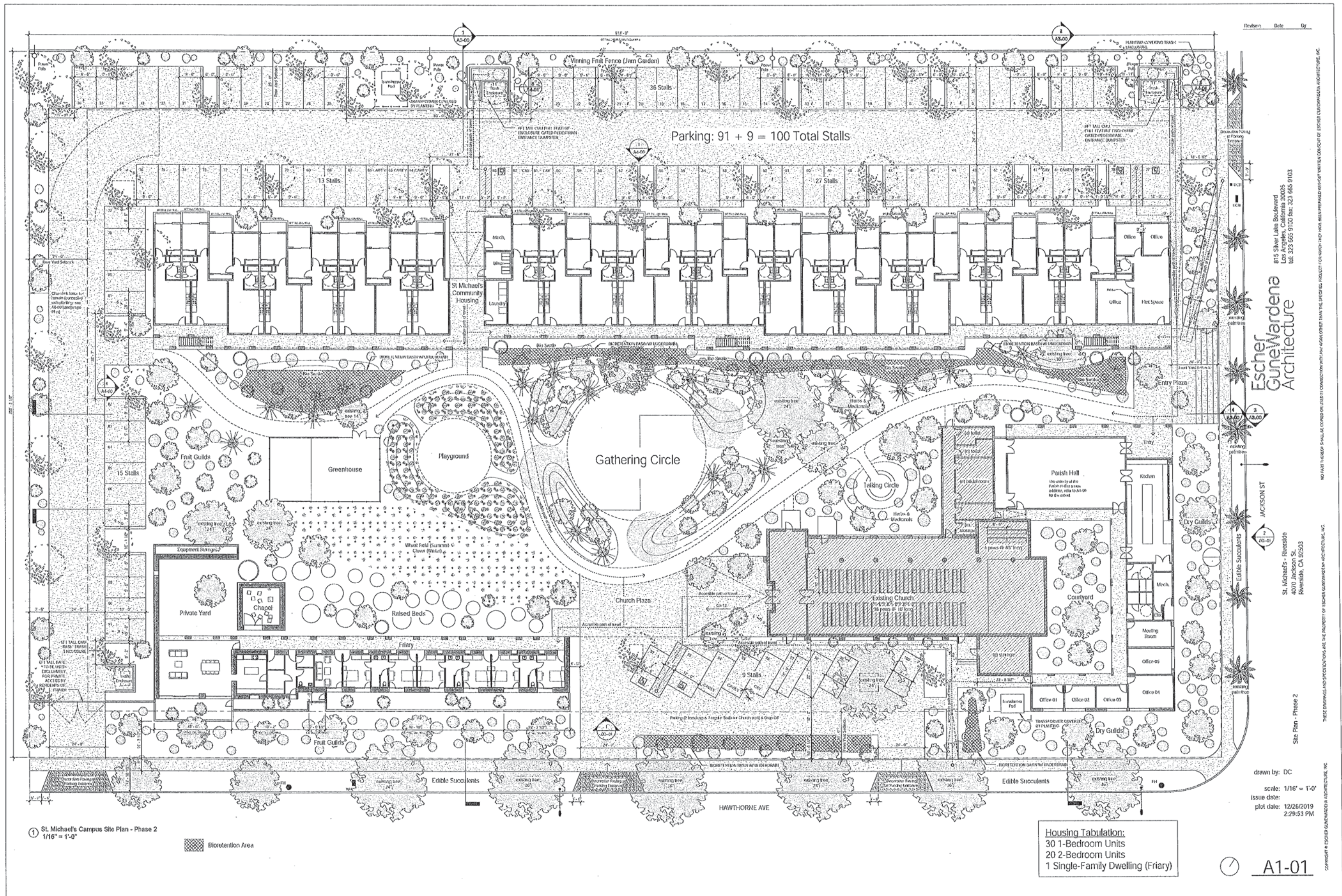
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plot date: 12/26/2019
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A1-00

P19-0507 (CUP) & P19-0508 (DR), Exhibit 7 - Project Plans



P19-0507 (CUP) & P19-0508 (DR), Exhibit 7 - Project Plans



1 St. Michael's Campus Site Plan - Phase 2
1/16" = 1'-0"

Bioretention Area

Housing Tabulation:
30 1-Bedroom Units
20 2-Bedroom Units
1 Single-Family Dwelling (Friary)

A1-01

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plot date: 2:28:53 PM

815 Silver Lake Boulevard
Los Angeles, California 90026
Tel: 323 965 9100 Fax: 323 965 9103

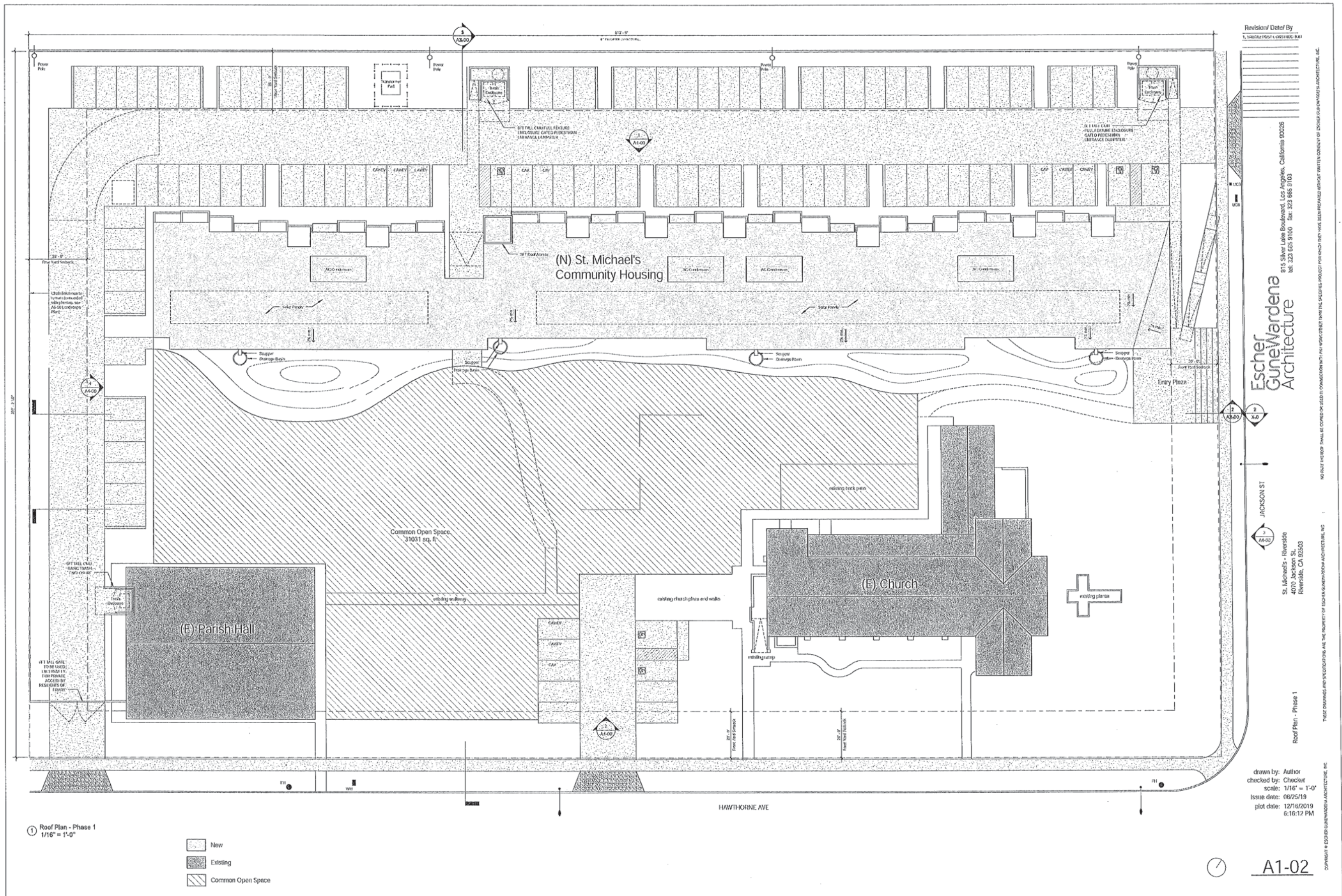
**Escher
GureWardena
Architecture**

St. Michael's - Riverside
4070 Jackson St.
Riverside, CA 92503

Site Plan - Phase 2

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P19-0507 (CUP) & P19-0508 (DR), Exhibit 7 - Project Plans



Revision/ Date/ By
 1. 12/16/2019 L. GARDENA

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St. Michael's - Riverside
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Roof Plan - Phase 1

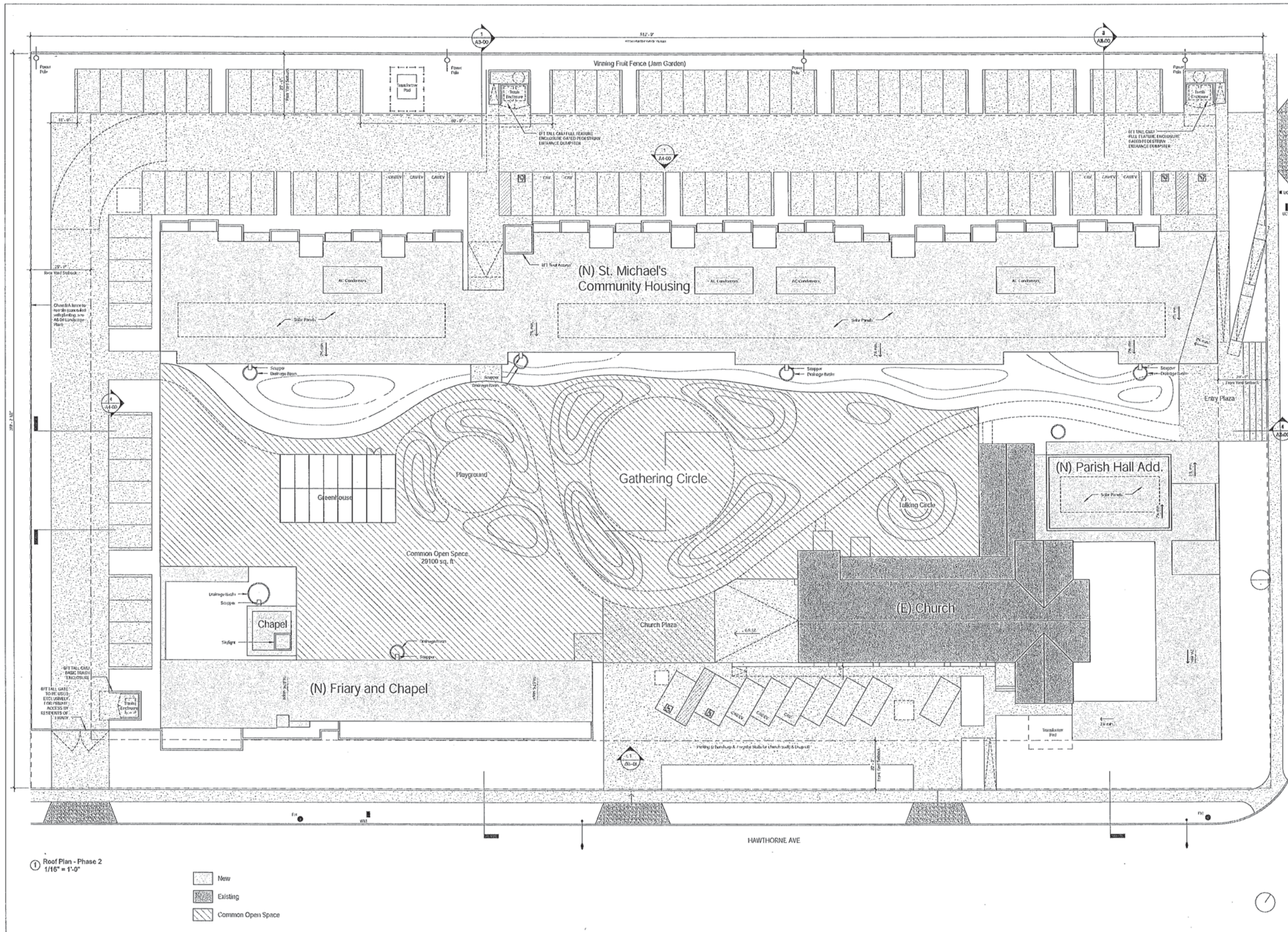
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Roof Plan - Phase 1
 1/16" = 1'-0"

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A1-02

P19-0507 (CUP) & P19-0508 (DR), Exhibit 7 - Project Plans



Revised/ Date/ By
 1/20/2019/ J. WARDENA

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Roof Plan - Phase 2
 JACKSON ST

St. Michael's - Riverside
 4070 Jackson St.
 Riverside, CA 92503

Roof Plan - Phase 2

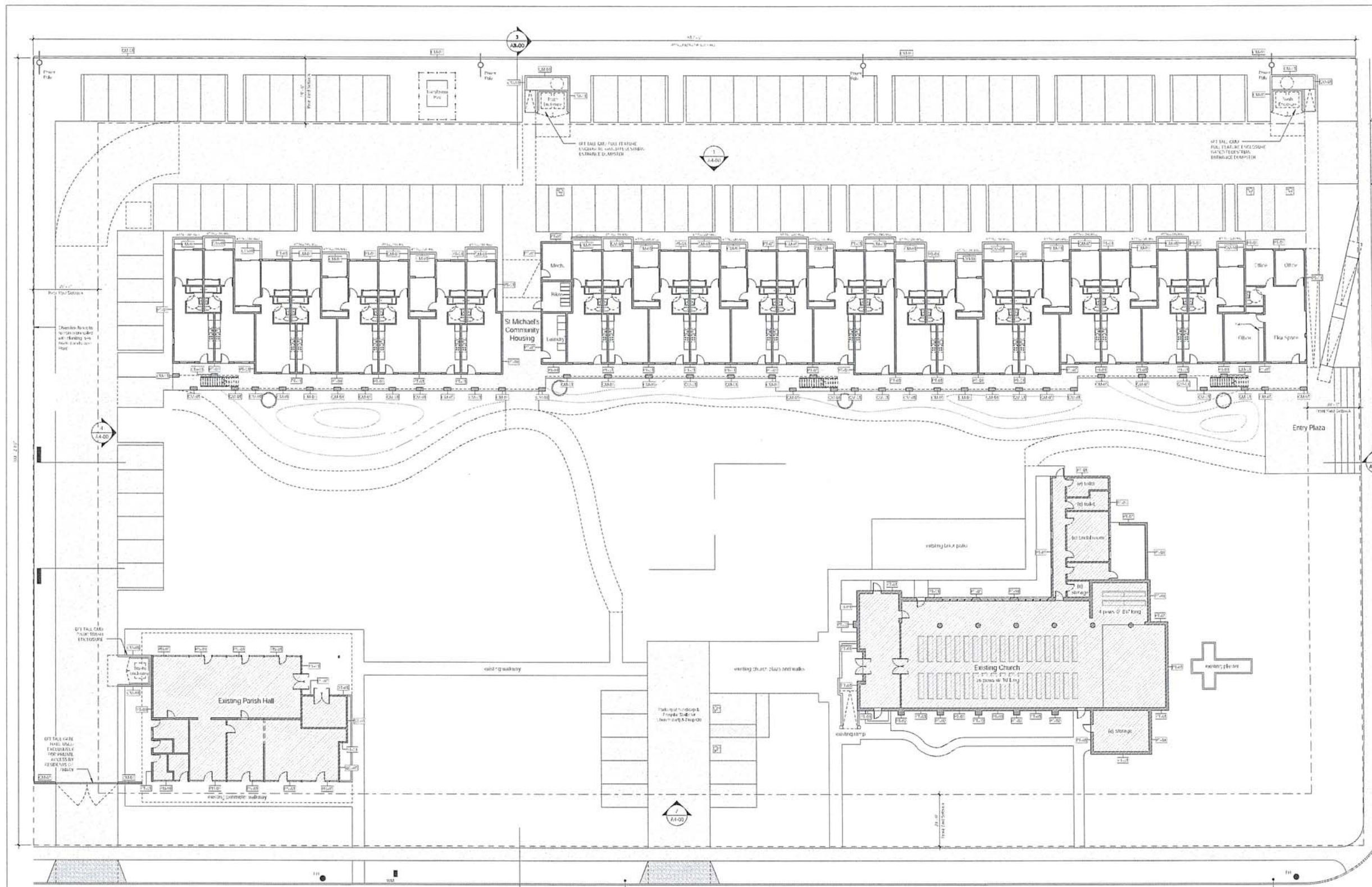
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1 Roof Plan - Phase 2
 1/16" = 1'-0"

- New
- Existing
- Common Open Space

A1-02

P19-0507 (CUP) & P19-0508 (DR), Exhibit 7 - Project Plans



Revised/ Date/ By
 1/15/2019/ JLD/ JLD

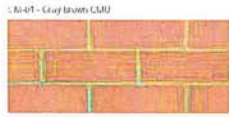
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St. Michael's - Riverside
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 Riverside, CA 92503

Fence and Wall Plan - Phase 1

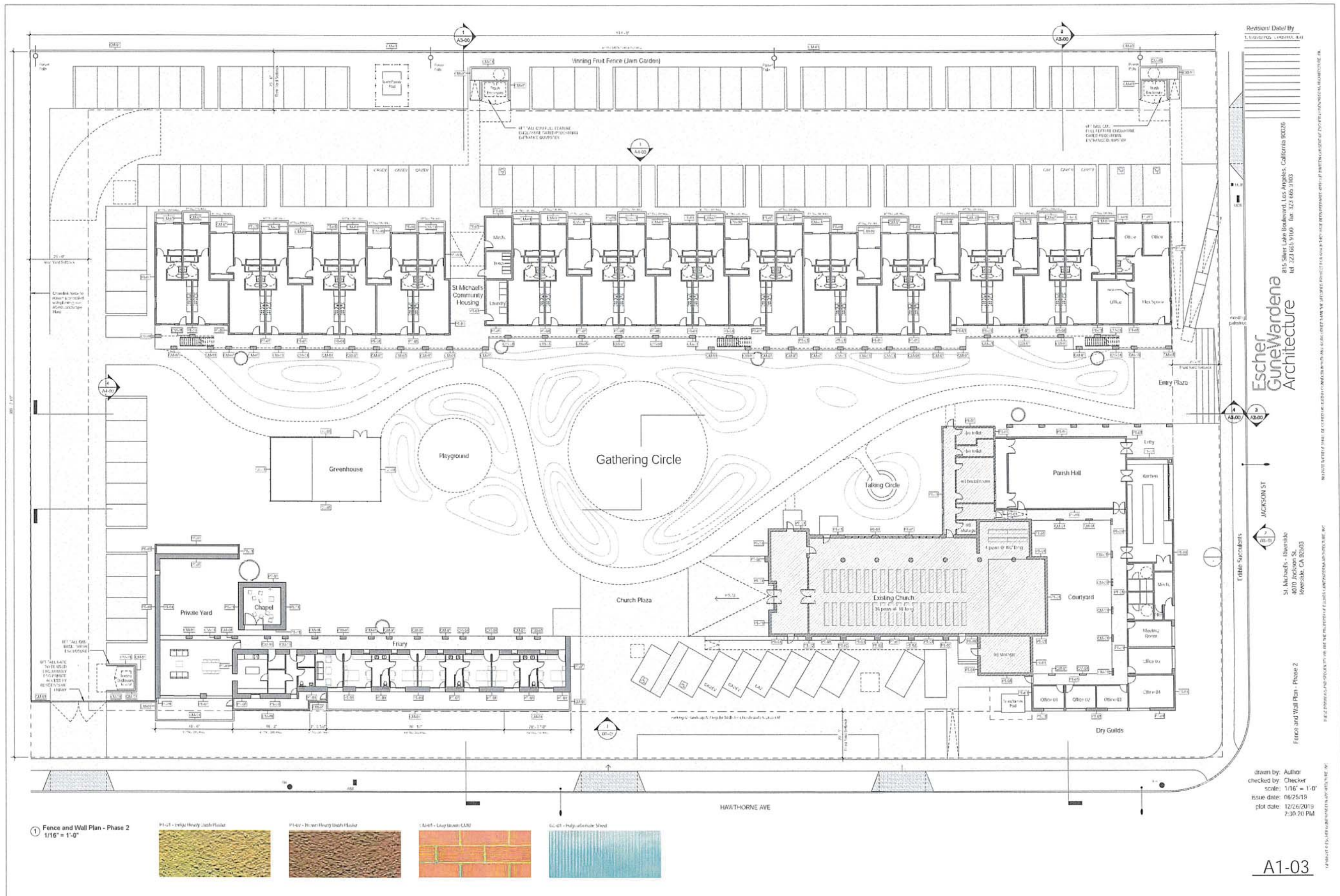
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 Plot date: 12/16/2019
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1 Fence and Wall Plan - Phase 1
 1/16" = 1'-0"



A1-03

P19-0507 (CUP) & P19-0508 (DR), Exhibit 7 - Project Plans



P19-0507 (CUP) & P19-0508 (DR), Exhibit 7 - Project Plans

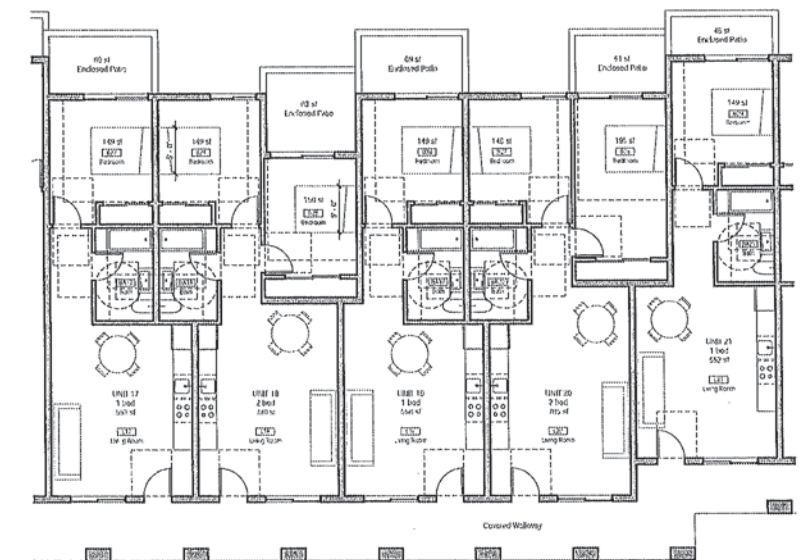
Unit Schedule - St. Michael's Community Housing

Unit #	Total Area	Bedrooms	Outdoor Area
1	552 sf	1	41 sf
2	550 sf	2	46 sf
3	765 sf	2	83 sf
4	565 sf	1	46 sf
5	720 sf	2	83 sf
6	560 sf	1	46 sf
7	725 sf	2	83 sf
8	561 sf	1	46 sf
9	553 sf	1	41 sf
10	565 sf	1	46 sf
11	719 sf	2	83 sf
12	561 sf	1	46 sf
13	728 sf	2	83 sf
14	554 sf	1	46 sf
15	730 sf	2	83 sf
16	610 sf	1	46 sf
17	553 sf	1	41 sf
18	730 sf	2	83 sf
19	554 sf	1	46 sf
20	784 sf	2	83 sf
21	552 sf	1	46 sf
22	719 sf	2	83 sf
23	565 sf	1	46 sf
24	733 sf	2	83 sf
25	552 sf	1	41 sf

Unit #	Total Area	Bedrooms	Outdoor Area
26	550 sf	1	41 sf
27	765 sf	2	83 sf
28	566 sf	1	46 sf
29	723 sf	2	83 sf
30	565 sf	1	46 sf
31	723 sf	2	83 sf
32	566 sf	1	46 sf
33	553 sf	1	41 sf
34	569 sf	1	46 sf
35	717 sf	2	83 sf
36	564 sf	1	46 sf
37	723 sf	2	83 sf
38	551 sf	1	46 sf
39	733 sf	2	83 sf
40	612 sf	1	46 sf
41	553 sf	1	41 sf
42	733 sf	2	83 sf
43	555 sf	1	46 sf
44	781 sf	2	83 sf
45	552 sf	1	46 sf
46	717 sf	2	83 sf
47	565 sf	1	46 sf
48	731 sf	2	83 sf
49	563 sf	1	46 sf
50	551 sf	1	41 sf

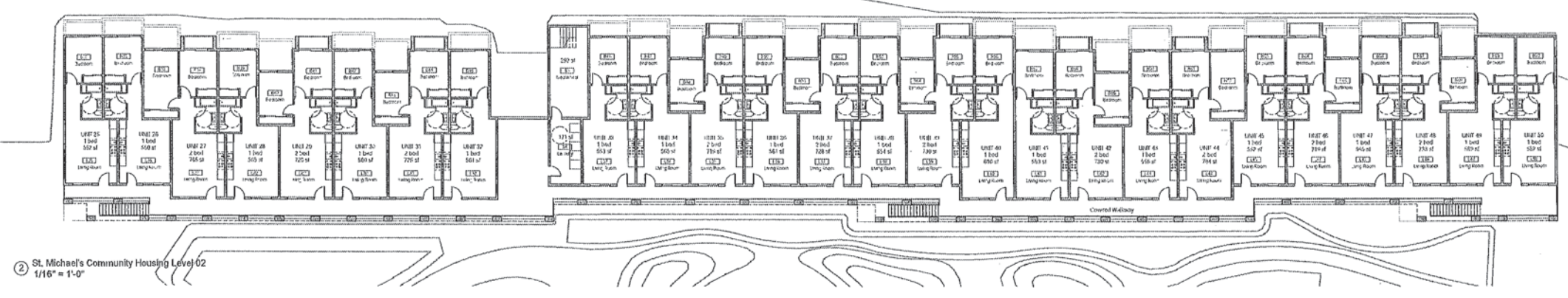
Avg Area of 1-Bed Units: 561 sf
Avg Area of 2-Bed Units: 735 sf

Total Private Space Area (Outdoor Area): 1,766 sq. ft.

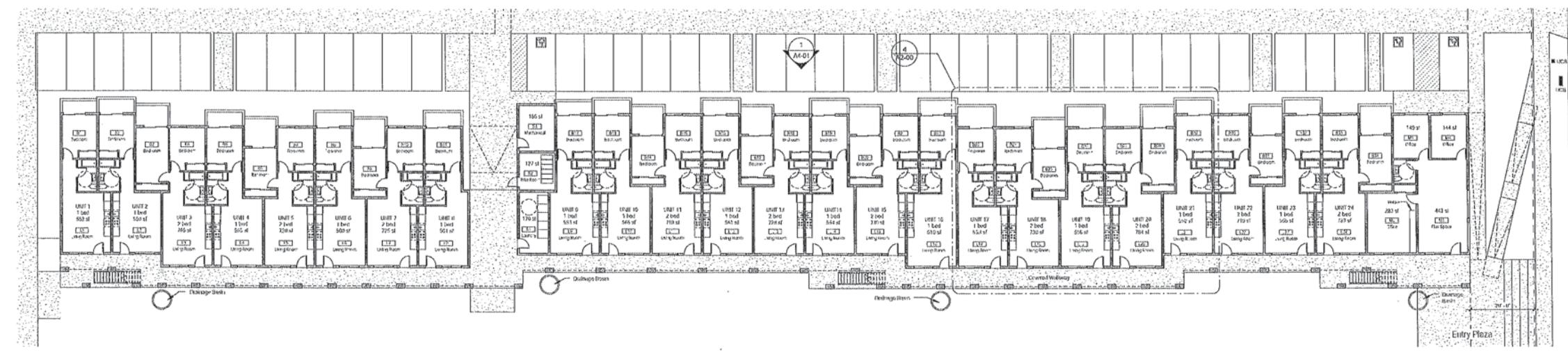


1-bed A = 553 sqft (min = 450 sqft) 2-bed A = 730 sqft (min = 700 sqft) 1-bed B = 550 sqft (min = 450 sqft) 2-bed B = 785 sqft (min = 700 sqft) 1-bed C = 552 sqft (min = 450 sqft)

④ Enlarged Plan - Community Housing Units
1/8" = 1'-0"



② St. Michael's Community Housing Level 02
1/16" = 1'-0"



① St. Michael's Community Housing Level 01
1/16" = 1'-0"

Escher GuneWardena Architecture
815 Silver Lake Boulevard
Los Angeles, California 90065
Tel: 323 965 9100 Fax: 323 965 9103

St. Michael's - Riverside
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Floor Plan - St. Michael's Community Housing Plans

drawn by: Author
scale: As indicated
issue date: 07/21/16
plot date: 12/26/2019
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A2-00

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