



CERTIFICATE OF APPROPRIATENESS

The Cultural Heritage Certificate of Appropriateness process applies to historic and potentially significant historic properties and is intended to assure that the historic integrity of these properties is maintained whenever exterior improvements are made. Municipal Code Title 20 provides the authority and standards of this process.

- All projects should demonstrate compliance with Title 20 and the Historic District Design Guidelines (copies of both documents are available upon request or online at <https://riversideca.gov/cedd/planning/historic-preservation/modifying-historic-properties-and-mills-act-program>).
- Title 20 outlines when an Administrative or Board Case is required, see Chapter 20.25.
- Please make sure someone with authority regarding property ownership and ability to make decisions is present at the Cultural Heritage Board Meeting (if applicable).
- We will mail our report regarding your application twelve days preceding the scheduled hearing (if applicable).
- Please make sure your application is complete per the following checklist.

PROCEDURES

Administrative Review: City staff reviews an application to ensure that all of the required information is provided and evaluates the project including a preliminary review of the project's impact to the associated cultural resources. At the end of this 30-day review period, staff provides written comments identifying deficiencies that need to be address or deeming the project "complete" to move onto the next phase of review. If the application is complete, your application will be reviewed for historic compatibility and compliance with Title 20 of the Riverside Municipal and the Citywide Historic Preservation Design Guidelines. Within 30 days staff will provide a written determination for the project.

Cultural Heritage Board Review: This review mirrors that of the Administrative Review, but the final determination on the project will be by the Cultural Heritage Board rather than staff. Once the application deemed is "complete," staff schedules the application for a Public Meeting before the Cultural Heritage. This process usually takes 6-8 weeks. The Cultural Heritage Board meets on the third Wednesday of the month. All legal noticing is prepared as required by state law and the meeting is scheduled. There are very minor or no plan changes during this phase. Staff prepares the staff report and a copy of the staff report is sent to you twelve days prior to the public meeting.

FILING FEES

See current Fee Schedule (filing fees are generally non-refundable). Additional fees may be required to be submitted PRIOR to scheduling a project for hearing. Check with the Planning Division for current fees.

SUBMITTAL REQUIREMENTS

Plans must be legible and drawn to scale to clearly illustrate the components of the project. Remember that Staff, Cultural Heritage Board, or City Council are not familiar with the property and need this information to evaluate your project. If the plans are not legible, or do not contain the information listed below, **your application will not be accepted for processing.**

DRAWING ASSEMBLY: Staple prints in sets along the left margin, plot plan on top and elevations below. Plans must be folded to approximately 8.5" x 14" so the bottom right corner shows. We cannot accept drawings or materials that are not folded down to approximately 8.5" x 14".

- One (1) digital copy all Plans and Submittal items listed below.
- One (1) copy of the completed Application Form (attached)
- One (1) copy of a detailed description of your proposal (attach additional sheet as necessary)
- One (1) copy of the most recent Grant Deed. *Please note: for certain projects, a Preliminary Title Report may be required in lieu of a Grant Deed.*
- One (1) full-size and one reduced (11" x 17") sets of Project Plans (to be in color), to include the following:
 - Exterior Building Elevations
 - Floor Plan
 - Plot (Site) Plan
 - Preliminary Grading Plan when grading is required
 - Materials sample sheet displaying samples of all proposed exterior paint colors, finishes and materials.
- One (1) set of color photographs, including: the main structure, accessory structures, and project location on the site.

SIGN PLANS (ONLY IF SIGNAGE IS PROPOSED)

- Sign elevation blueprints (one set colored);
- Color and material specifications (attach samples to a file size illustration board – large samples will not be accepted);
- Illumination type, intensity, dimension, and design;
- Building elevation blueprints (one set colored) showing proposed signs and existing signs to remain;
- Plot plan blueprints indicating sign locations.

LANDSCAPE AND IRRIGATION PLANS (ONLY IF LANDSCAPE IS PROPOSED)

- Existing landscape specifying those to remain or be removed;
- Proposed shrubs, trees, and ground cover with each species differentiated on the plan by a distinct plant symbol, letter, or number;
- A plant list keyed to the landscape plan, indicating the botanic and common Name;
- Container sizes of each proposed plant;
- Proposed street trees and public parkway ground covers. For specific tree species and spacing, please contact the Parks, Recreation, and Community Services Department at (951) 826-2000.
- Irrigation blueprints, which would include the following:
 - Irrigation pipe locations, diameters, materials, and thickness;
 - Sprinkler head locations, including a key indicating company brand, type, and Model;
 - Specifications for automatic controllers, valves, valve boxes, anti-siphon devices;
 - Specifications for swing join riser protection;
 - Water budget calculations (does not apply to single-family homes and other small projects).

ADDITIONAL REQUIREMENTS

During the course of its initial review of the application, the Planning Division may determine that additional technical studies are required, such as biological, traffic, noise, parking, cultural or archeological resources, etc. The Planning Division may require the submittal of supplemental materials as necessary.

- If your project is not exempt from the California Environmental Quality Act (CEQA) pursuant to any Statutory or Categorical Exemption (Articles 18 and 19 of the CEQA Guidelines), an Environmental Initial Study will be required. An Initial Study must be prepared, submitted for review and approved by the Planning Division before your project can be deemed complete. An additional fee for the Initial Study Review will apply (see the current Fee Schedule).
- Technical Studies
 - Biological Resources Report
 - Cultural Resources Report
 - Traffic Impact Analysis
 - Noise Impact Analysis
 - Air Quality Analysis
 - Green House Gas Emissions Analysis
 - A Traffic Lane and Striping Plan
 - Soils Report
 - Health Risk Assessment
- FAA Part 77 - Please refer to the "Federal Aviation Regulations (FAR) Part 77 Review" handout for more information.

City of Riverside – Certificate of Appropriateness

OTHER (ADDITIONAL CONTACT)

Firm/Company Name: Iron Lofts LLC
Contact Name: Todd Cadwell
Address: 1201 Dove Street, Suite 520 City: Newport Beach State: CA Zip: 92660
Daytime Phone: 949.975.1122 Mobile:
Email: tcadwell@realmre.com

If any other person should be notified regarding this processing of this request, attach the name, address, and telephone number on an additional sheet and check this box.

INDEMNIFICATION AGREEMENT (PROPERTY OWNER & APPLICANT)

Applicant and legal owner of the property, hereby agree to defend, indemnify and hold harmless the City and its agents, officers, attorneys and employees from any claim, action, or proceeding (collectively referred to as "proceeding") brought against the City or its agents, officers, attorneys or employees to attack, set aside, void, or annul the City's decision to approve any tentative map (tract or parcel) development, land use permit, license, master plans, precise plans, preliminary plans, design review, variances, use permits, general and specific plan amendments, zoning amendments, and approvals and certifications under CEQA. This indemnification shall include, but not limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by applicant, the City, and/or the parties initiating or bringing such proceeding.

Property Owner Signature: Darrin Olson, Iron Lofts LLC Date: 12/22/22
Applicant Signature Date: 12/22/22

PROPERTY OWNER CERTIFICATION

I hereby certify that I am (we are) the record owner(s) [for property tax assessment purposes] of the property encompassed by this application. I further acknowledge and understand on behalf of myself and my representatives and agents that if the project is subject to an Environmental Impact Report, ALUC Review and approval, Military Consultation or Tribal Consultation, the timelines prescribed in the Riverside Municipal Code are stayed until such time as said review and/or consultation is complete. I also understand and agree that the submittal date of my application will be the filing deadline following receipt of my request.

Property Owner Signature Date: 12/22/22

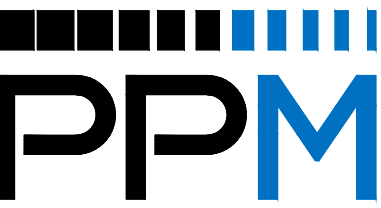
Property Owner of Record (PRINT NAME): Iron Lofts LLC
Mailing Address: 1201 Dove St., Suite 520 City: Newport Beach State: CA Zip: 92660
Daytime Phone: 949.975.1122 Mobile:
Email: dolson@realmre.com

- I have provided one of the following items*:
Notarized Property Owner Certification.
Grant Deed indicating that I am the property owner.
* Please note: for certain projects, a Preliminary Title Report may be required in lieu of a Grant Deed.
Title Report indicating that I am the property owner.

2993 MISSION INN AVE

LEGEND

- LOW CASEWORK
 UPPER CASEWORK
 FULL HEIGHT CASEWORK
- [WD] = WASHER/DRYER COMBO
 - [W] = WASHER
 - [D] = DRYER
 - [R] = RANGE
 - [REFR] = REFRIGERATOR
 - [OVEN] = OVEN
 - [DW] = DISH WASHER
 - [TC] = TRASH COMPACTOR
 - [FURN] = FURNACE
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 - [GM] = GAS METER
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 - [PV] = SOLAR COMPONENTS
 - [EP] = ELECTRICAL PANEL
 - [TWH] = TANKLESS WATER HEATER
 - [WH] = WATER HEATER
 - [WS] = WATER SOFTNER
 - [FD] = FLOOR DRAIN
 - CLG = CEILING HEIGHT
 - HH = HEADER HEIGHT



PRECISION PROPERTY MEASUREMENTS

3626 E. PACIFIC COAST
 HIGHWAY | 2ND FLOOR
 LONG BEACH CA | 90804
 T 562.621.9100
 F 888.698.2966
 WWW.PPMCO.NET



PREPARED FOR

IRON LOFTS LLC

PLAN TYPE

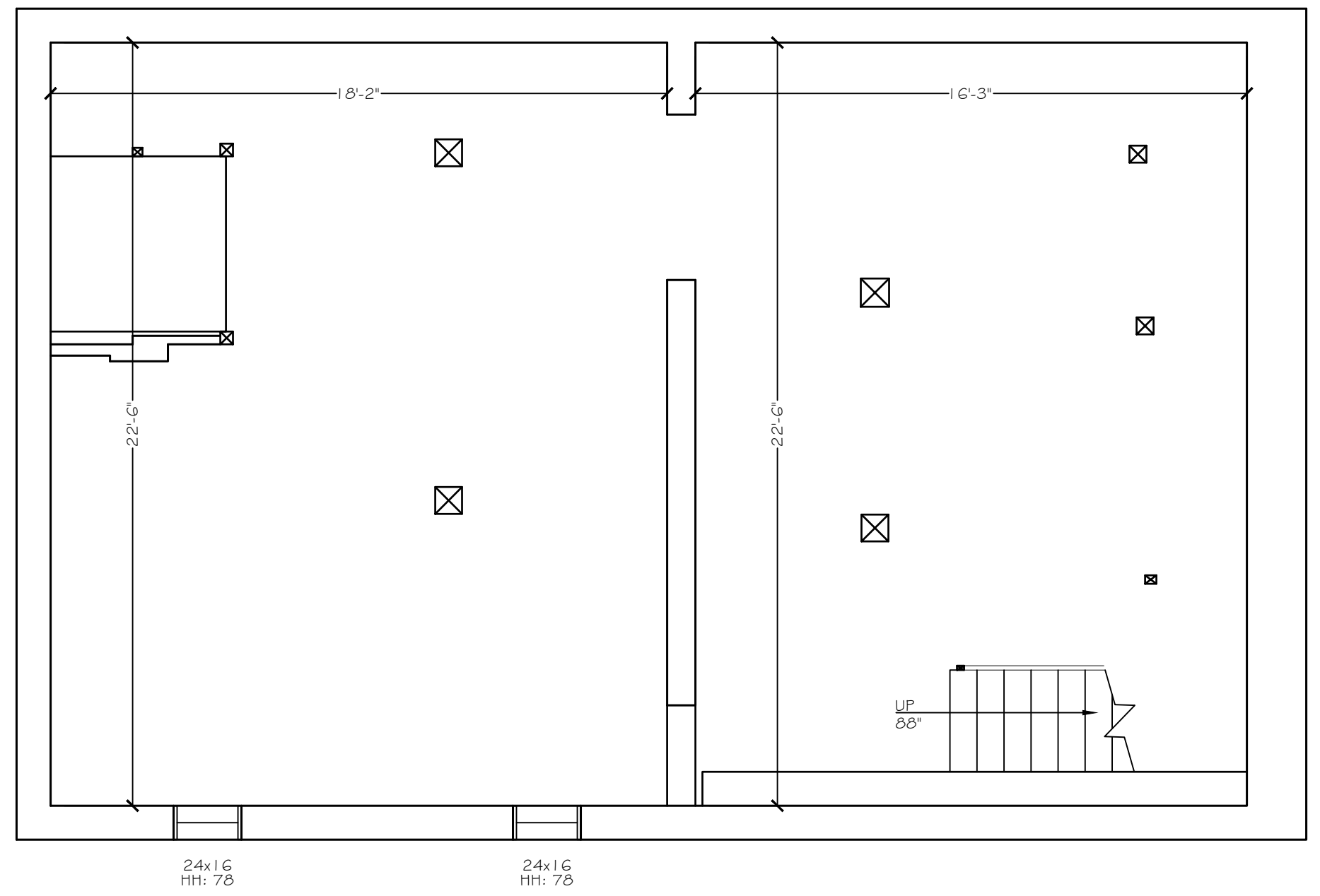
FLOOR PLAN

PROJECT NAME

2993 MISSION
 INN AVENUE #
 359G
 COMMERCE
 STREET
 RESIDENCE

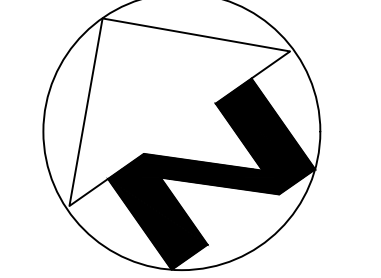
PROJECT ADDRESS

2993 MISSION INN
 AVENUE # 359G
 COMMERCE STREET
 RIVERSIDE, CA 92507



BASEMENT

All plans created by Precision Property Measurements use PPM's own field accuracy for landscaping purposes (i.e. this is not a full scale site plan). All data points created by PPM do not include the determination of any property line, and as such, are not considered legal documents. (i.e. this is not a full scale site plan). In addition, PPM services and plans do not constitute an engineering (i.e. this is not a full scale site plan) and this should not be used for any activity or activities defined as an engineering (i.e. this is not a full scale site plan). All floor plans created by PPM are intended to be used as a reference for design and construction and should not be considered a substitute for the services of a licensed structural engineer or licensed architect. PPM makes every reasonable effort to ensure the accuracy of its data based on the best of its ability. However, some field drawings may contain errors to some degree. It is the duty of the architect, contractor, designer or other licensed professional, as a consultant to the property owner, to determine the suitability of the As-Built plans prior to construction. Measurements should be field confirmed before commencing construction, in the event that an error is found on a plan, PPM's liability is limited to the amount of the fee paid to PPM.



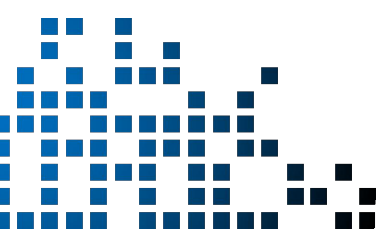
SCALE
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PROJECT
 4843_SC

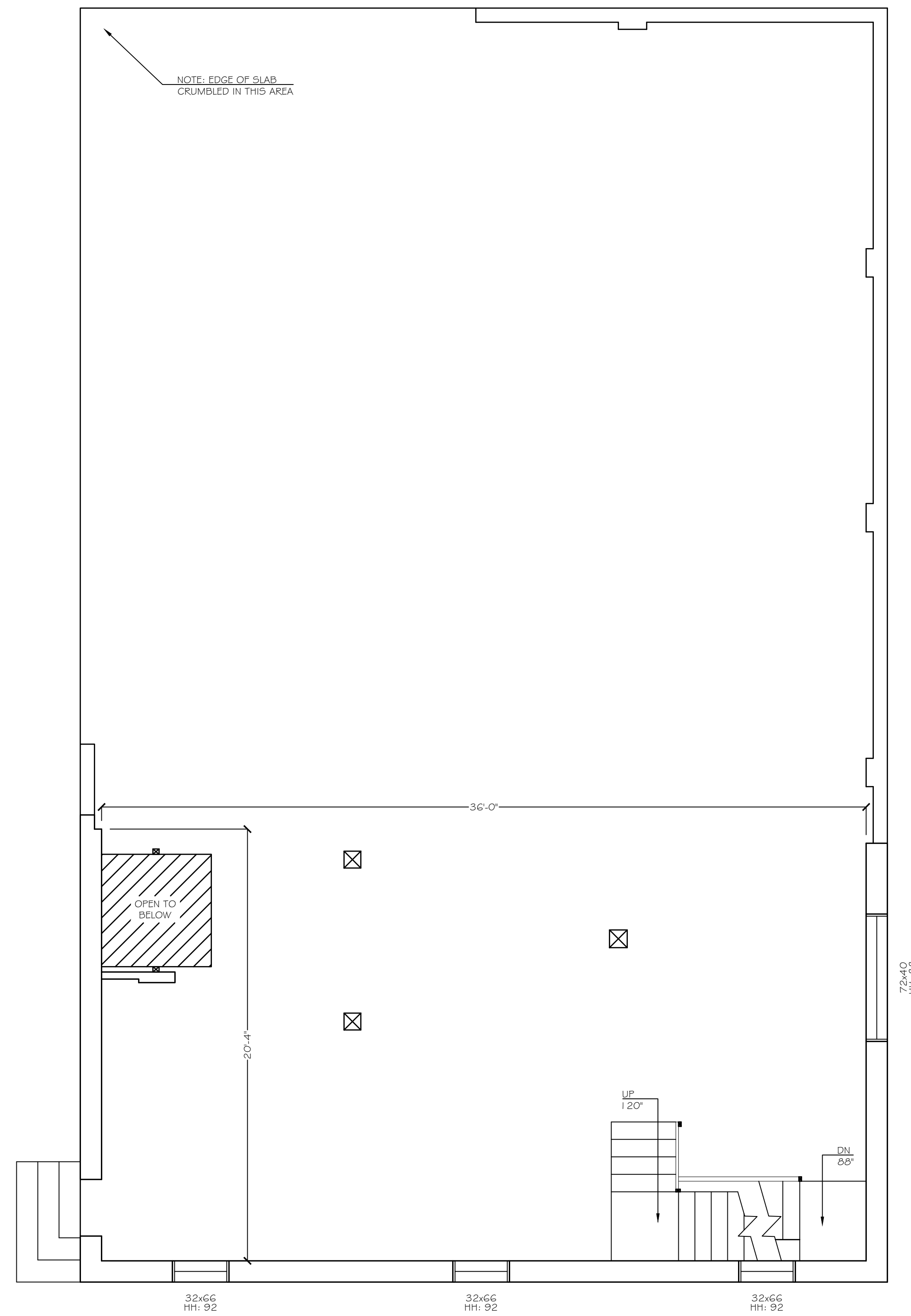
APPROVED BY
 PP

DATE
 07/05/22

SHEET
 1 of 13



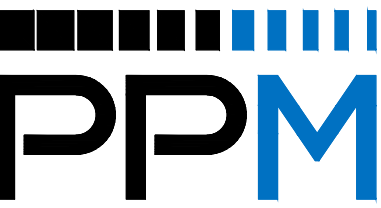
2993 MISSION INN AVE



1ST LEVEL

LEGEND

- LOW CASEWORK
- - - - - UPPER CASEWORK
- _____ FULL HEIGHT CASEWORK
- [WD] = WASHER/DRYER COMBO
- [W] = WASHER
- [D] = DRYER
- [R] = RANGE
- [REFR] = REFRIGERATOR
- [OVEN] = OVEN
- [DW] = DISH WASHER
- [TC] = TRASH COMPACTOR
- [FURN] = FURNACE
- [3] = WALL HEATER
- [GM] = GAS METER
- [EM] = ELECTRIC METER
- [PV] = SOLAR COMPONENTS
- [EP] = ELECTRICAL PANEL
- [TWH] = TANKLESS WATER HEATER
- [WH] = WATER HEATER
- [WS] = WATER SOFTNER
- [FD] = FLOOR DRAIN
- CLG = CEILING HEIGHT
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PRECISION PROPERTY MEASUREMENTS

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HIGHWAY | 2ND FLOOR
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PREPARED FOR

IRON LOFTS LLC

PLAN TYPE

FLOOR PLAN

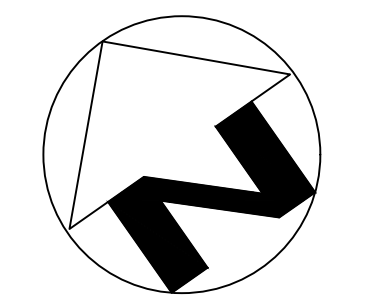
PROJECT NAME

2993 MISSION
INN AVENUE #
3596
COMMERCE
STREET
RESIDENCE

PROJECT ADDRESS

2993 MISSION INN
AVENUE # 3596
COMMERCE STREET
RIVERSIDE, CA 92507

All plans created by Precision Property Measurements Use PPM any trade specialty for landscaping purposes (CA, Bus, # Prof Code 80727). All area plans created by PPM do not make the determination of any property line, and as such do not constitute (800) 420-9979. CA Lic. # Prof. Code 80727-20729. In addition, PPM services and plans do not constitute our engineering (CA, Bus, # Prof. Code 80727-20729), and this would not be used for any studies or activities defined as our engineering (CA, Bus, # Prof. Code 80727). All floor plans created by PPM are intended to be used as a reference for design and construction and should not be considered a substitute for the services of a licensed structural engineer or licensed architect. PPM makes every reasonable effort to ensure the accuracy of its calculations based on data provided. Some As-Built drawings may contain errors to some degree. It is the duty of the architect, contractor, designer or other licensed professional, as a consultant to the property owner, to determine the suitability of the As-Built plans prior to construction. Measurements should be field confirmed before commencing construction, in the event that an error is found on a plan, PPM's liability is limited to the amount of the fee paid to PPM.



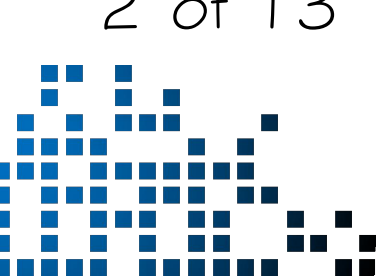
SCALE
1/4" = 1'-0"

PROJECT
4843_SC

APPROVED BY
PP

DATE
07/05/22

SHEET
2 of 13



2993 MISSION INN AVE

LEGEND

- LOW CASEWORK
 UPPER CASEWORK
 FULL HEIGHT CASEWORK
- = WASHER/DRYER COMBO
 - = WASHER
 - = DRYER
 - = RANGE
 - = REFRIGERATOR
 - = OVEN
 - = DISH WASHER
 - = TRASH COMPACTOR
 - = FURNACE
 - = WALL HEATER
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PREPARED FOR

IRON LOFTS LLC

PLAN TYPE

FLOOR PLAN

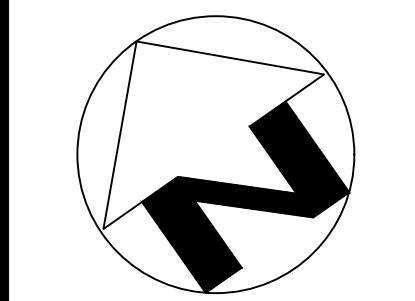
PROJECT NAME

2993 MISSION
 INN AVENUE #
 359G
 COMMERCE
 STREET
 RESIDENCE

PROJECT ADDRESS

2993 MISSION INN
 AVENUE # 359G
 COMMERCE STREET
 RIVERSIDE, CA 92507

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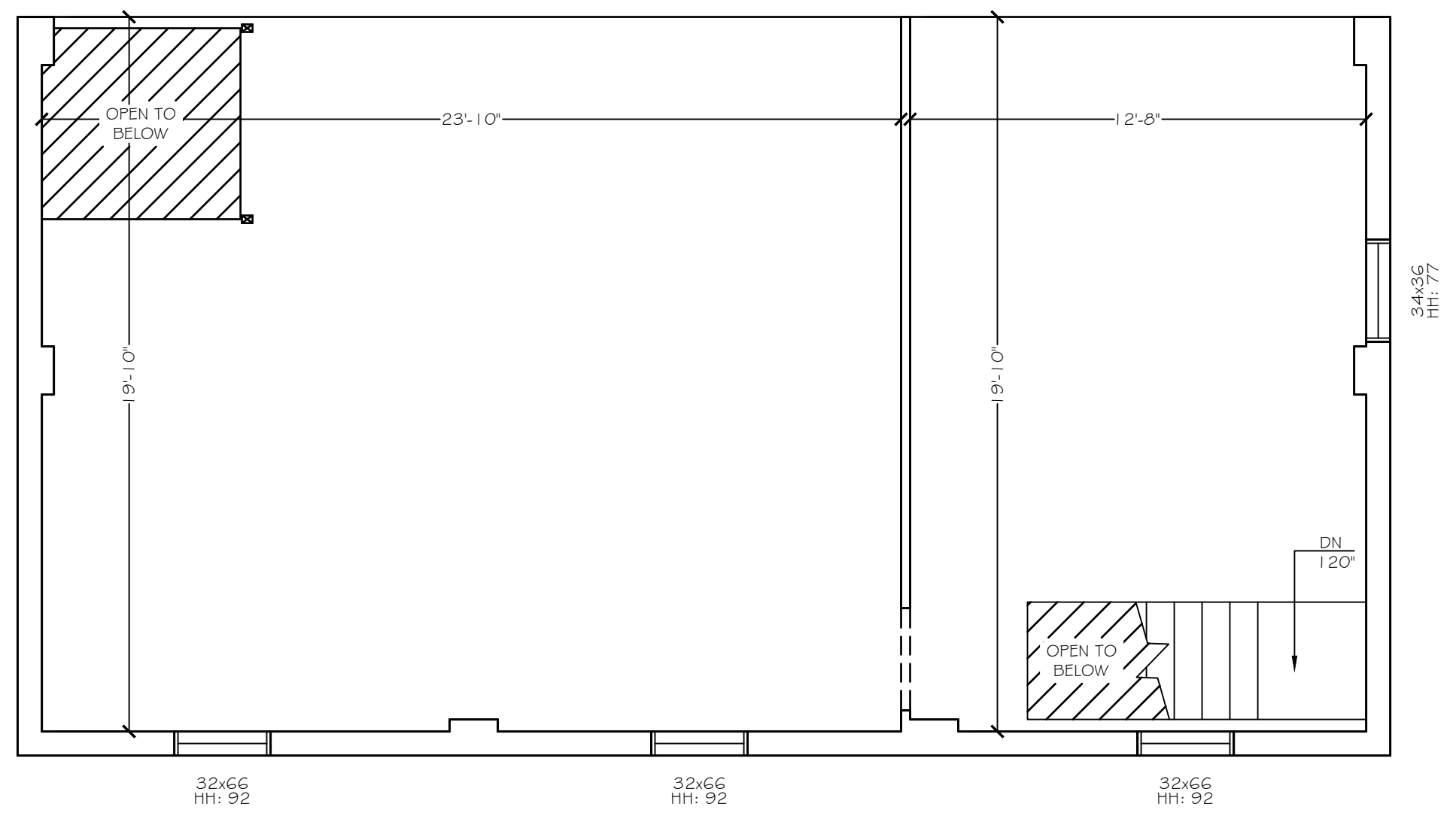
SCALE
 1/4" = 1'-0"

PROJECT
 4843_SC

APPROVED BY
 PP

DATE
 07/05/22

SHEET
 3 of 13



2ND LEVEL

- LOW CASEWORK
 UPPER CASEWORK
 FULL HEIGHT CASEWORK
- [WD] = WASHER/DRYER COMBO
 - [W] = WASHER
 - [D] = DRYER
 - [R] = RANGE
 - [REFR] = REFRIGERATOR
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 HIGHWAY | 2ND FLOOR
 LONG BEACH CA | 90804
 T 562.621.9100
 F 888.698.2966
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WORRY FREE RENOVATIONS

PREPARED FOR

IRON LOFTS LLC

PLAN TYPE

FLOOR PLAN

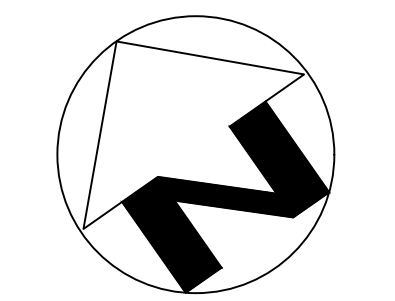
PROJECT NAME

2993 MISSION
 INN AVENUE #
 359G
 COMMERCE
 STREET
 RESIDENCE

PROJECT ADDRESS

2993 MISSION INN
 AVENUE # 359G
 COMMERCE STREET
 RIVERSIDE, CA 92507

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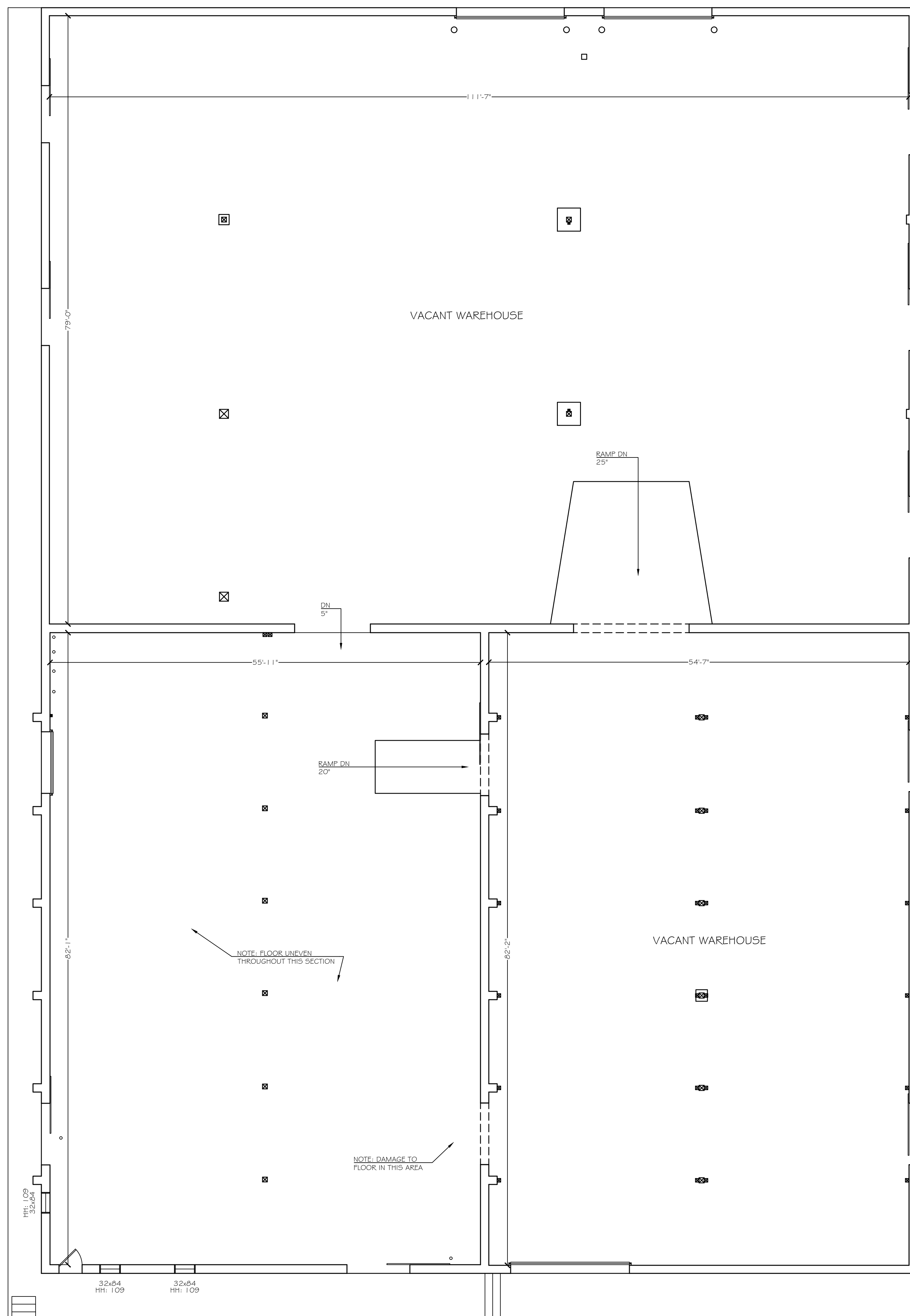
SCALE
 1/8" = 1'-0"

PROJECT
 4843_SC

APPROVED BY
 PP

DATE
 07/05/22

SHEET
 4 of 13



2993 MISSION INN AVE

LEGEND

- SOFFIT LINE
 BEAM LINE
- = CEILING DUPLEX
 - = CEILING QUADRAPLEX
 - = ROUND SPEAKER
 - = SQUARE SPEAKER
 - = EXHAUST FAN w/o LIGHT
 - = EXHAUST FAN w/ LIGHT
 - = CEILING FAN w/o LIGHT
 - = CEILING FAN w/ LIGHT
 - = FLUORESCENT LIGHT
 - = TRACK LIGHTING
 - = CEILING MOUNTED FIXTURE
 - = RECESSED FIXTURE
 - = HANGING FIXTURE
 - = WALL MOUNTED FIXTURE
 - = CEILING J-BOX
 - = MOTION DETECTOR
 - = MISC. EQUIPMENT
 - = DOME SECURITY CAMERA
 - = WIFI BOOSTER
 - = CEILING MOUNTED CAMERA
 - = COVER PLATE
 - = GARAGE DOOR OPENER
 - = HVAC SUPPLY VENT
 - = HVAC RETURN VENT
 - = ROUND SUPPLY VENT
 - = CEILING HATCH
 - = SMOKE ALARM
 - = STROBE LIGHT
 - = EXIT SIGN
 - = EMERGENCY LIGHT w/o EXIT
 - = EMERGENCY LIGHT w/ EXIT
 - = SPRINKLER
 - = HEAT DETECTOR

PPM
 PRECISION PROPERTY MEASUREMENTS

3626 E. PACIFIC COAST HIGHWAY | 2ND FLOOR
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 T 562.621.9100
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WORRY FREE RENOVATIONS

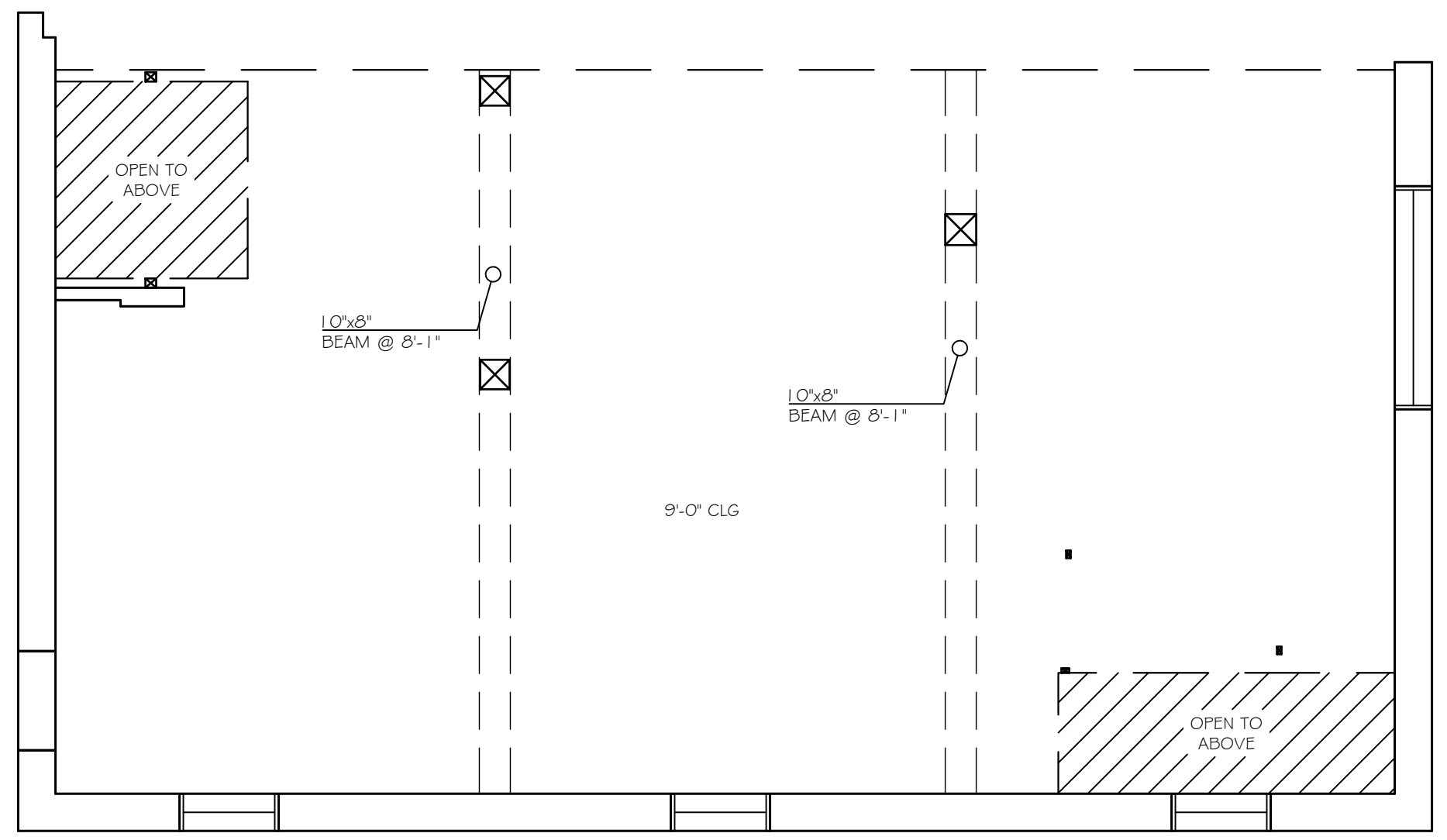
PREPARED FOR
 IRON LOFTS LLC

PLAN TYPE
 REFLECTED CEILING PLAN

PROJECT NAME
 2993 MISSION INN AVENUE # 359G
 COMMERCE STREET RESIDENCE

PROJECT ADDRESS
 2993 MISSION INN AVENUE # 359G
 COMMERCE STREET
 RIVERSIDE, CA 92507

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1ST LEVEL

SCALE
 1/4" = 1'-0"

PROJECT
 4843_SC

APPROVED BY
 PP

DATE
 07/05/22

SHEET
 6 of 13

2993 MISSION INN AVE

LEGEND

- SOFFIT LINE
- BEAM LINE
- = CEILING DUPLEX
- = CEILING QUADRAPLEX
- = ROUND SPEAKER
- = SQUARE SPEAKER
- = EXHAUST FAN w/o LIGHT
- = EXHAUST FAN w/ LIGHT
- = CEILING FAN w/o LIGHT
- = CEILING FAN w/ LIGHT
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PREPARED FOR

IRON LOFTS LLC

PLAN TYPE

REFLECTED CEILING PLAN

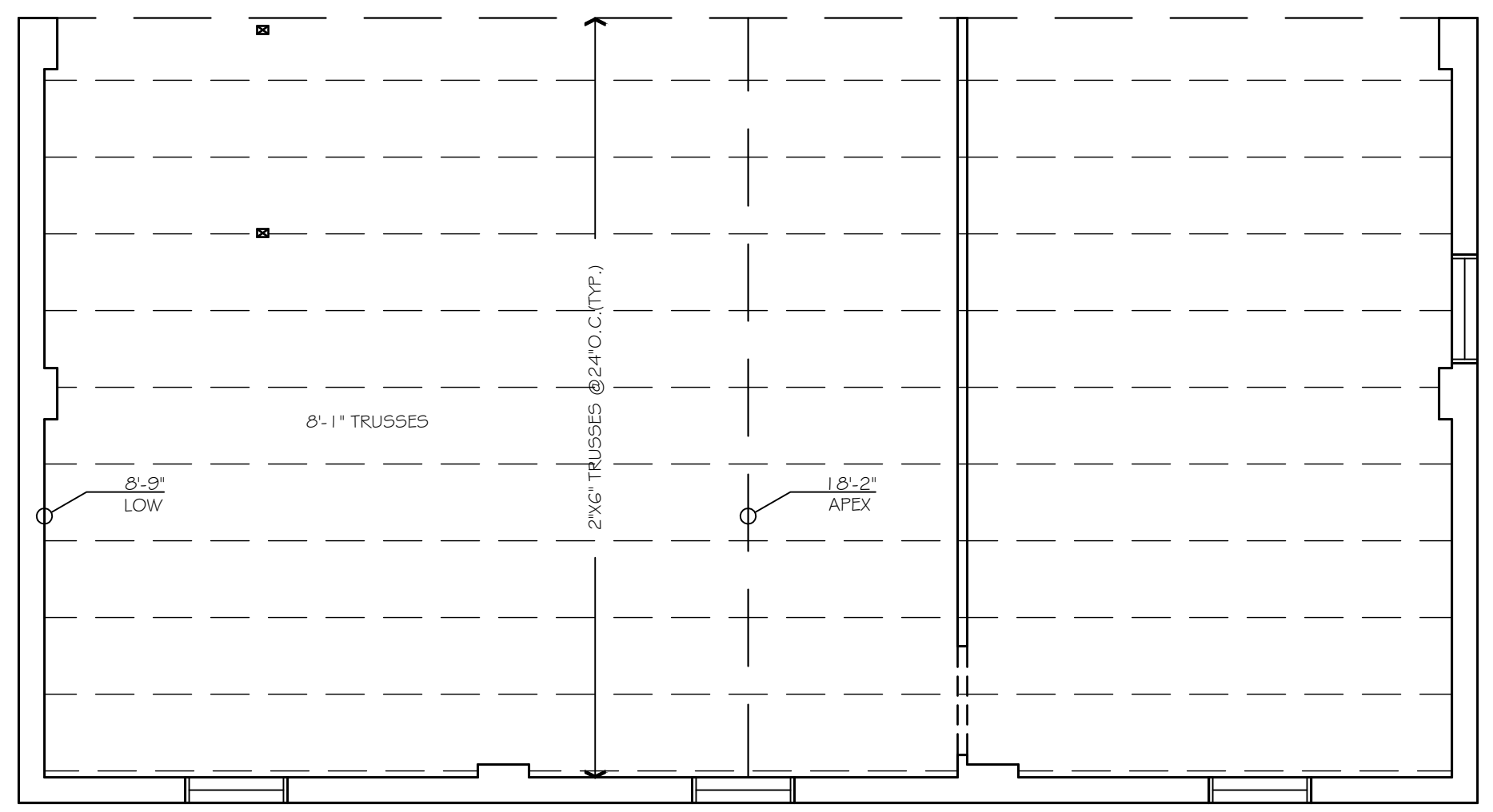
PROJECT NAME

2993 MISSION INN AVENUE # 3596 COMMERCE STREET RESIDENCE

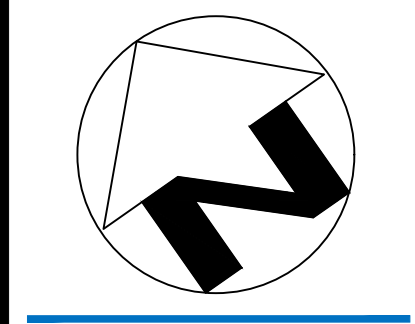
PROJECT ADDRESS

 2993 MISSION INN AVENUE # 3596 COMMERCE STREET RIVERSIDE, CA 92507

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2ND LEVEL



SCALE
 1/4" = 1'-0"

PROJECT
 4843_SC

APPROVED BY
 PP

DATE
 07/05/22

SHEET
 7 of 13



2993 MISSION INN AVE

LEGEND

- CHIMNEY OUTLINE
- BUILDING FOOTPRINT
- ☉ = ROOF DRAIN
- ⊠ = DOWNSPOUT
- ⊗ = AIR CONDITIONER
- ☐ = UTILITY BOX
- ⊠ = ROOF VENT
- RTU = ROOF TOP UNIT
- ☐ = ROOF TOP HATCH

PPM
PRECISION PROPERTY MEASUREMENTS

3626 E. PACIFIC COAST HIGHWAY | 2ND FLOOR
LONG BEACH CA | 90804
T 562.621.9100
F 888.698.2966
WWW.PPMCO.NET

WORRY FREE RENOVATIONS

PREPARED FOR

IRON LOFTS LLC

PLAN TYPE

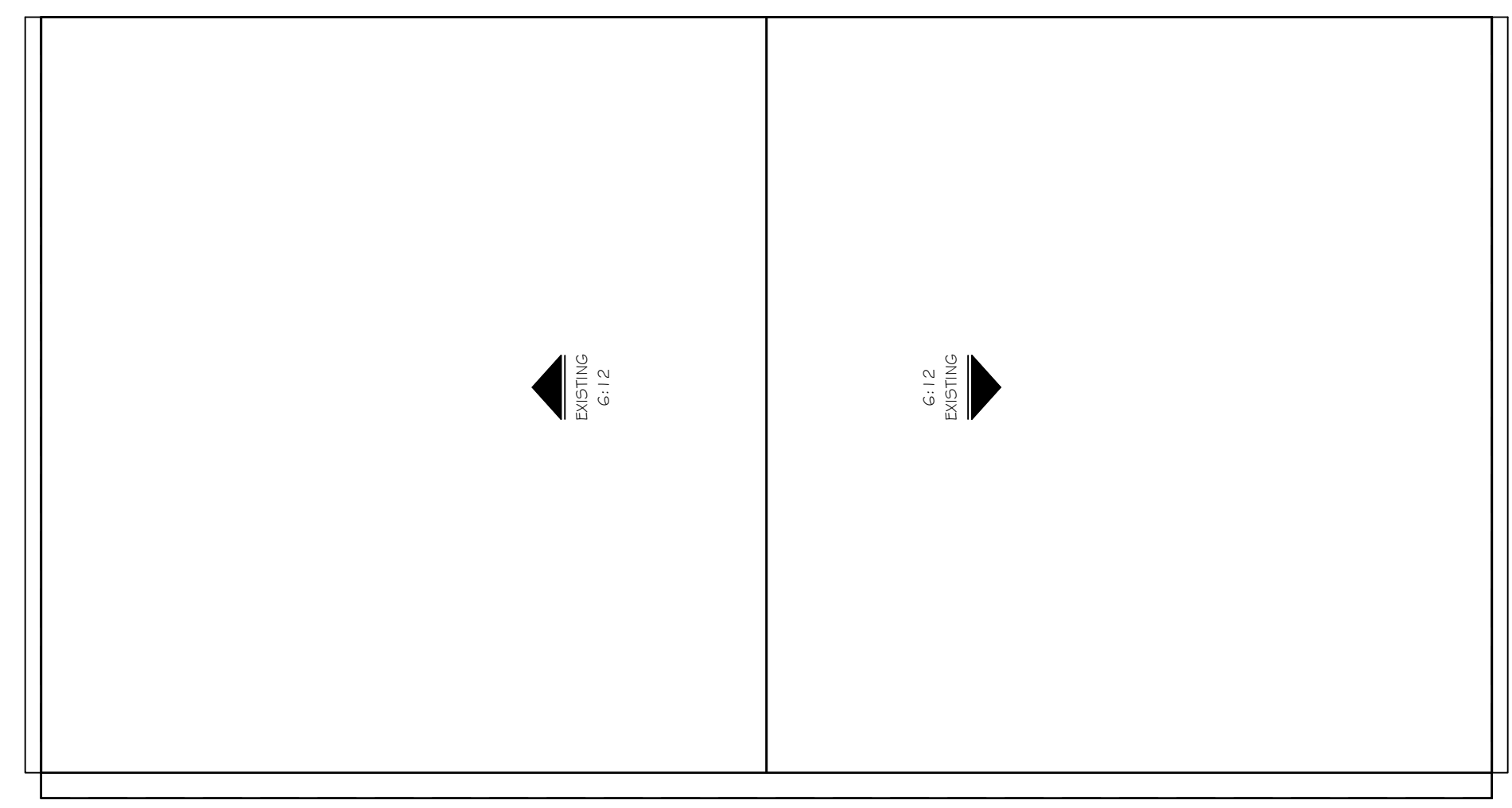
ROOF PLAN

PROJECT NAME

2993 MISSION INN AVENUE # 359G
COMMERCE STREET RESIDENCE

PROJECT ADDRESS

2993 MISSION INN AVENUE # 359G
COMMERCE STREET
RIVERSIDE, CA 92507



All plans created by Precision Property Measurements Use PPM's are made exclusively for landscaping purposes (CA, Title, & Prof. Code 86727). All data plans created by PPM do not make the determination of any property line, and as such do not constitute land surveys.

CA, Title, & Prof. Code 86727.2(b)(2) In addition, PPM surveys and plans do not constitute an engineering (CA, Title, & Prof. Code 86702.2(b)(4), and this should not be used for any activity or activities defined as an engineering (CA, Title, & Prof. Code 86731). All floor plans created by PPM are intended to be used as a reference for design and construction and should not be considered a substitute for the services of a licensed structural engineer or licensed architect. PPM makes every reasonable effort to ensure the accuracy of its data based on the best available information, however, some field drawing errors may occur. Some errors may be due to the duty of the architect, contractor, designer or other licensed professional, and a consultant to the property owner, to determine the suitability of the As-Built plans prior to construction. Measurements should be field confirmed before commencing construction, in the event that an error is found on a plan, PPM's liability is limited to the amount of the fee paid to PPM.

SCALE
1/4" = 1'-0"

PROJECT
4843_SC

APPROVED BY
PP

DATE
07/05/22

SHEET
9 of 13

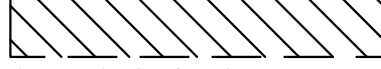

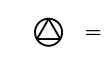
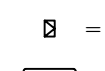

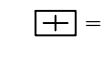
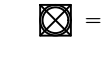

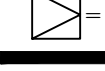
SCALE
1/4" = 1'-0"

PROJECT
4843_SC

APPROVED BY
PP

DATE
07/05/22

SHEET
9 of 13

-  CHIMNEY OUTLINE
-  BUILDING FOOTPRINT
-  = ROOF DRAIN
-  = DOWNSPOUT
-  = AIR CONDITIONER
-  = UTILITY BOX
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LONG BEACH CA | 90804
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PREPARED FOR

IRON LOFTS LLC

PLAN TYPE

ROOF PLAN

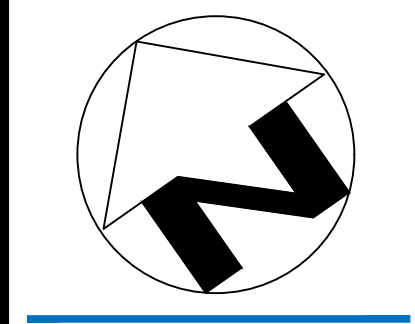
PROJECT NAME

2993 MISSION
INN AVENUE #
3596
COMMERCE
STREET
RESIDENCE

PROJECT ADDRESS

2993 MISSION INN
AVENUE # 3596
COMMERCE STREET
RIVERSIDE, CA 92507

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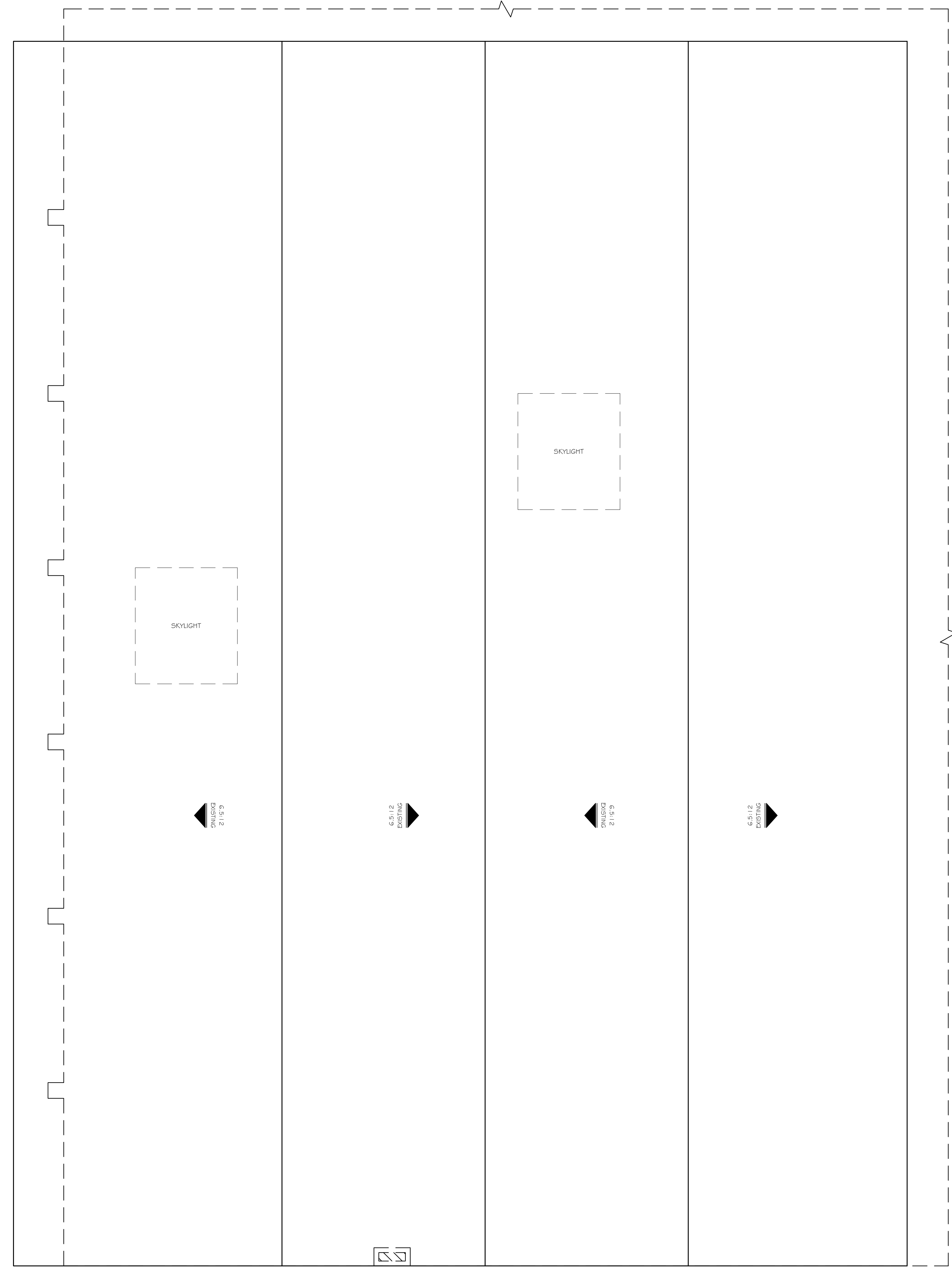
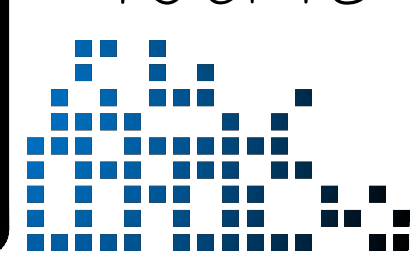
SCALE
1/4" = 1'-0"

PROJECT
4843_SC

APPROVED BY
PP

DATE
07/05/22

SHEET
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3596 COMMERCE ST

LEGEND

FINISHED GRADE LINE
 FINISHED FLOOR LINE
 1/2 X
 ROOF PITCH LABEL (RISE/RUN)

PPM
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 LONG BEACH CA | 90804
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WORRY FREE RENOVATIONS

PREPARED FOR
 IRON LOFTS LLC

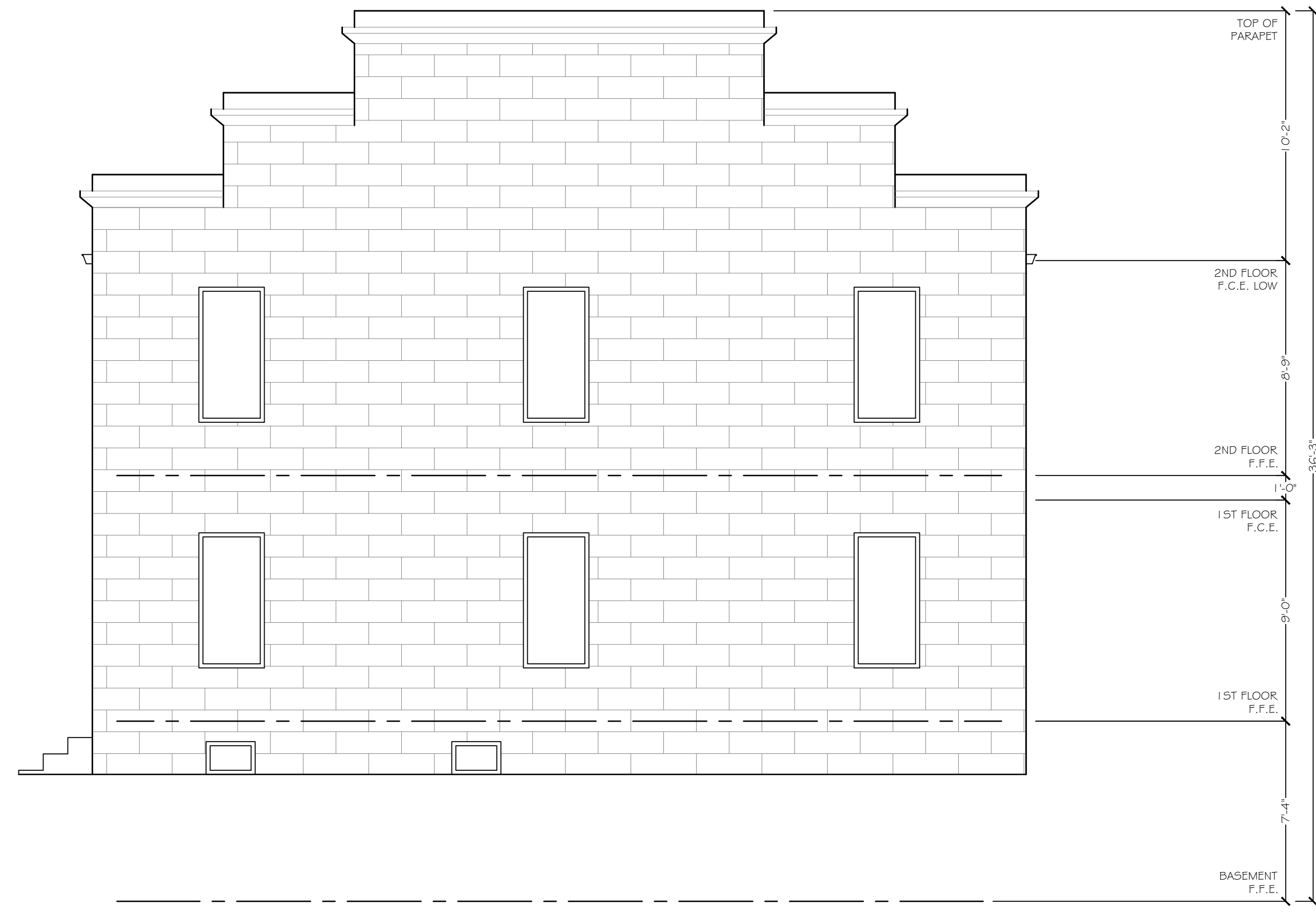
PLAN TYPE
 EXTERIOR ELEVATIONS

PROJECT NAME
 2993 MISSION INN AVENUE # 3596 COMMERCE STREET RESIDENCE

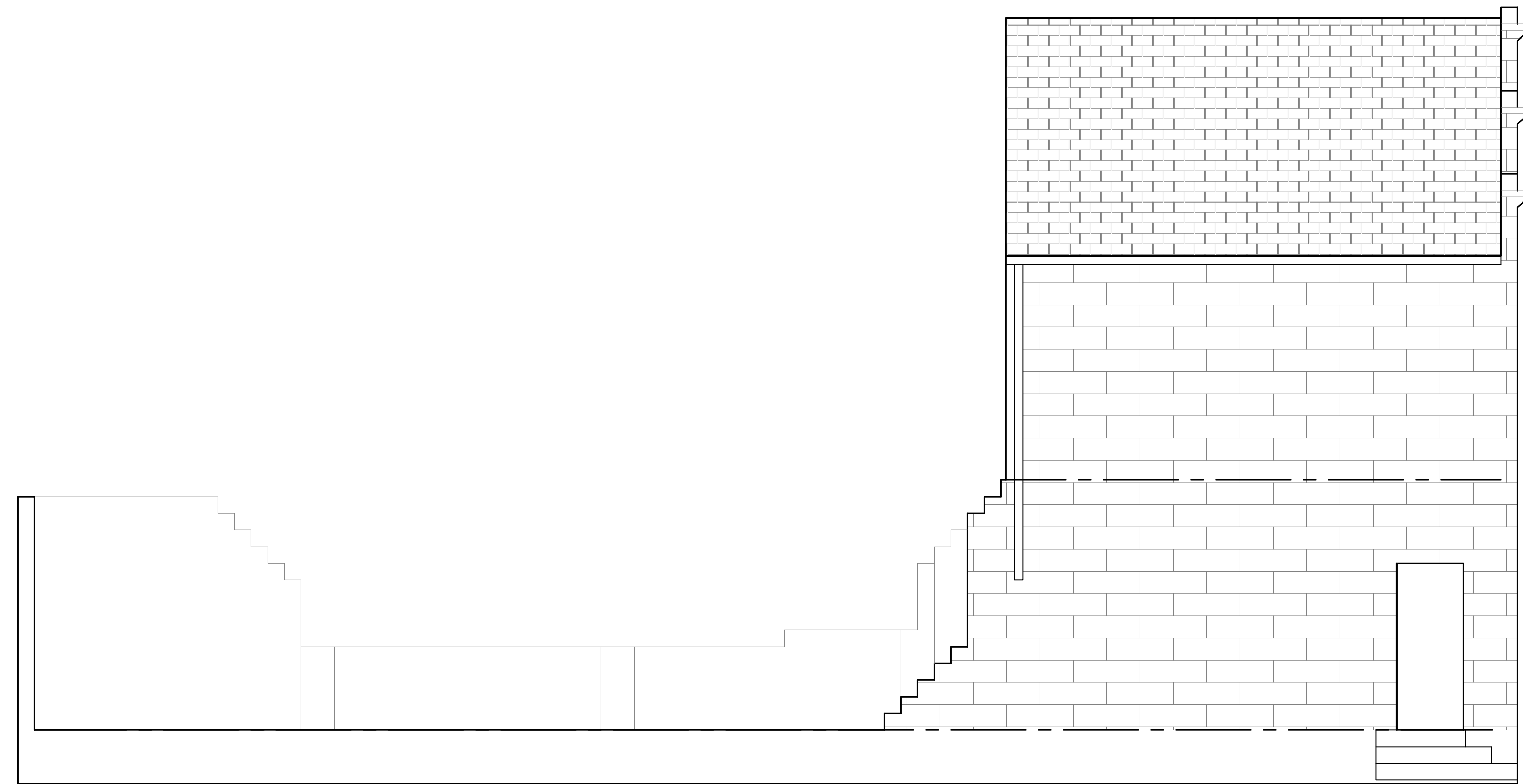
PROJECT ADDRESS
 2993 MISSION INN AVENUE # 3596 COMMERCE STREET RIVERSIDE, CA 92507

All plans created by Precision Property Measurements, LLC ("PPM") are made exclusively for landscaping purposes (CA, Title, & Pool Code 91727). All site plans created by PPM do not include the determination of any property line, and as such, are not considered legal documents. (CA, Title, & Pool Code 91727.2(b)(2)). In addition, PPM services and plans do not constitute an engineering (CA, Title, & Pool Code 91727.2(b)(4)), and this should not be used for any activity or activities defined as an engineering (CA, Title, & Pool Code 91727.1). All floor plans created by PPM are intended to be used as a reference for design and construction and should not be considered a substitute for the services of a licensed structural engineer or licensed architect. PPM makes every reasonable effort to ensure the accuracy of its calculations based on the data provided. However, some of the drawing information contained herein is the design of the architect, contractor, designer or other licensed professional, and is provided to the property owner to determine the suitability of the As-Built plans prior to construction. Measurements should be field confirmed before commencing construction, in the event that an error is found on a plan, PPM's liability is limited to the amount of the fee paid to PPM.

SCALE
 1/4" = 1'-0"
 PROJECT
 4843_SC
 APPROVED BY
 PP
 DATE
 07/05/22
 SHEET



SOUTH



WEST

2993 MISSION INN AVE

LEGEND

FINISHED GRADE LINE
 FINISHED FLOOR LINE

1/2
 X
 ROOF PITCH LABEL (RISE/RUN)

PPM
PRECISION PROPERTY MEASUREMENTS

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 HIGHWAY | 2ND FLOOR
 LONG BEACH CA | 90804
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WORRY FREE RENOVATIONS

PREPARED FOR

IRON LOFTS LLC

PLAN TYPE

EXTERIOR ELEVATIONS

PROJECT NAME

2993 MISSION INN AVENUE # 3596 COMMERCE STREET RESIDENCE

PROJECT ADDRESS

2993 MISSION INN AVENUE # 3596 COMMERCE STREET RIVERSIDE, CA 92507

All plans created by Precision Property Measurements, LLC ("PPM") are made exclusively for landscaping purposes (i.e., this is not a Professional Engineer (P.E.) or Professional Architect (P.A.) drawing). All data presented by PPM is based on the information provided to PPM and does not constitute a warranty of any kind. PPM makes every reasonable effort to ensure the accuracy of the information provided to the client. However, PPM makes no representation or warranty, in whole or in part, as to the accuracy of the information provided to the client. PPM is not responsible for any errors or omissions in the information provided to the client. PPM is not a Professional Engineer (P.E.) or Professional Architect (P.A.) and does not provide any services that require a license. PPM is not responsible for any errors or omissions in the information provided to the client. PPM is not a Professional Engineer (P.E.) or Professional Architect (P.A.) and does not provide any services that require a license. PPM is not responsible for any errors or omissions in the information provided to the client. PPM is not a Professional Engineer (P.E.) or Professional Architect (P.A.) and does not provide any services that require a license.

SCALE
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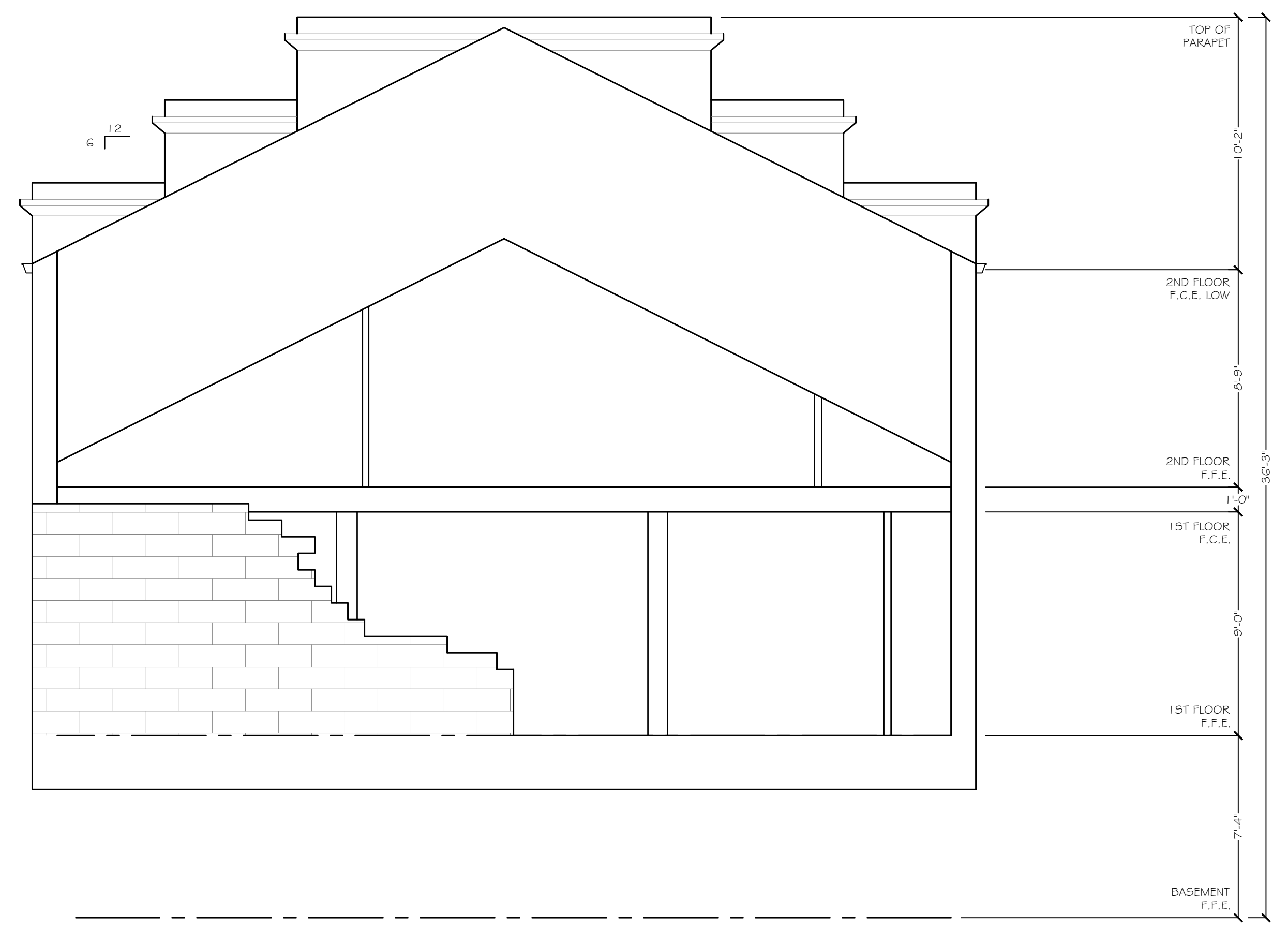
PROJECT
 4843_SC

APPROVED BY
 PP

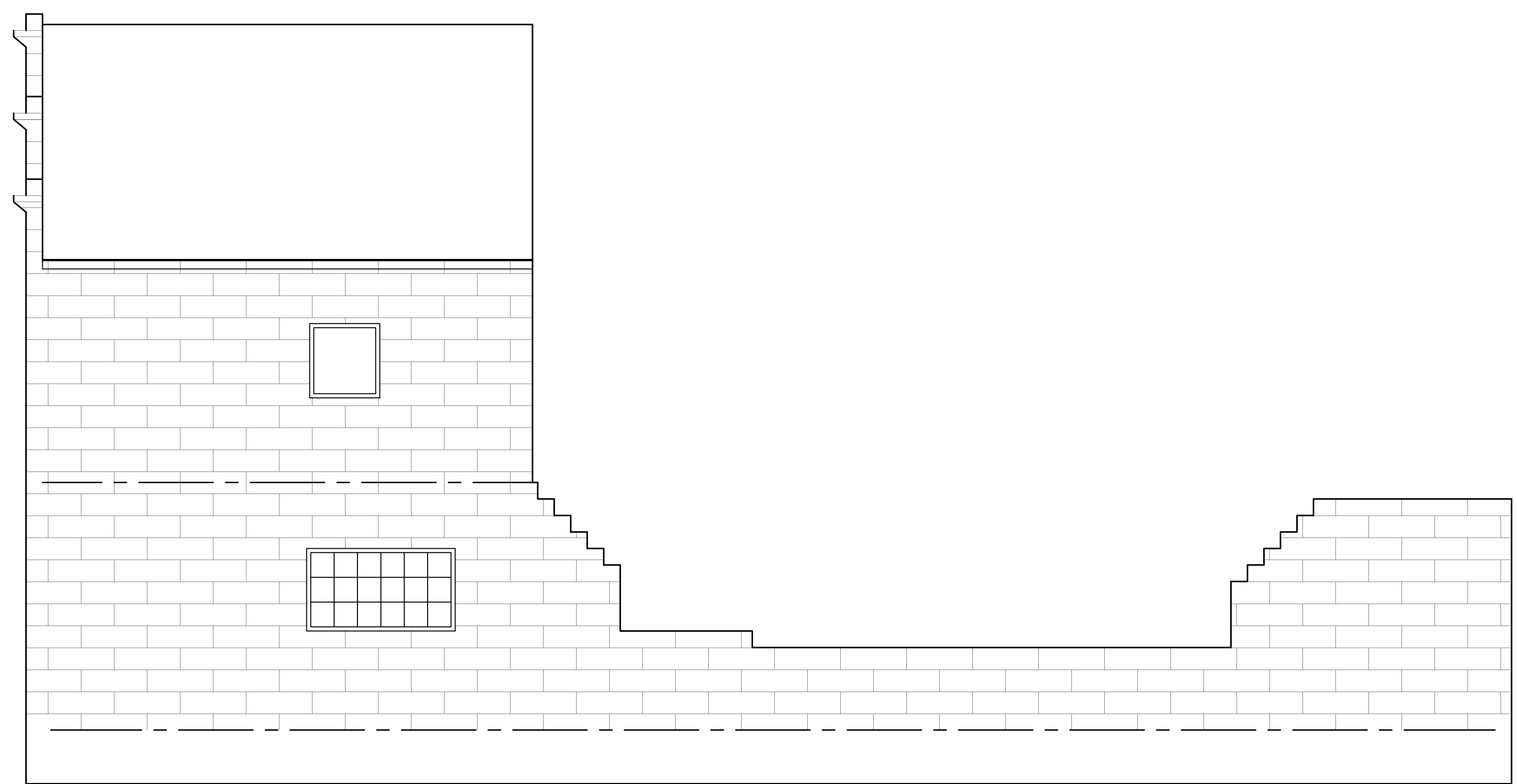
DATE
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SHEET

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NORTH



EAST

2993 MISSION INN AVE

LEGEND

FINISHED GRADE LINE

FINISHED FLOOR LINE

1/2 X

ROOF PITCH LABEL (RISE/RUN)

PPM

PRECISION PROPERTY MEASUREMENTS

3626 E. PACIFIC COAST
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PREPARED FOR

IRON LOFTS LLC

PLAN TYPE

EXTERIOR ELEVATIONS

PROJECT NAME

**2993 MISSION
INN AVENUE #
3596
COMMERCE
STREET
RESIDENCE**

PROJECT ADDRESS

2993 MISSION INN
AVENUE # 3596
COMMERCE STREET
RIVERSIDE, CA 92507

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SCALE

1/4" = 1'-0"

PROJECT

4843_SC

APPROVED BY

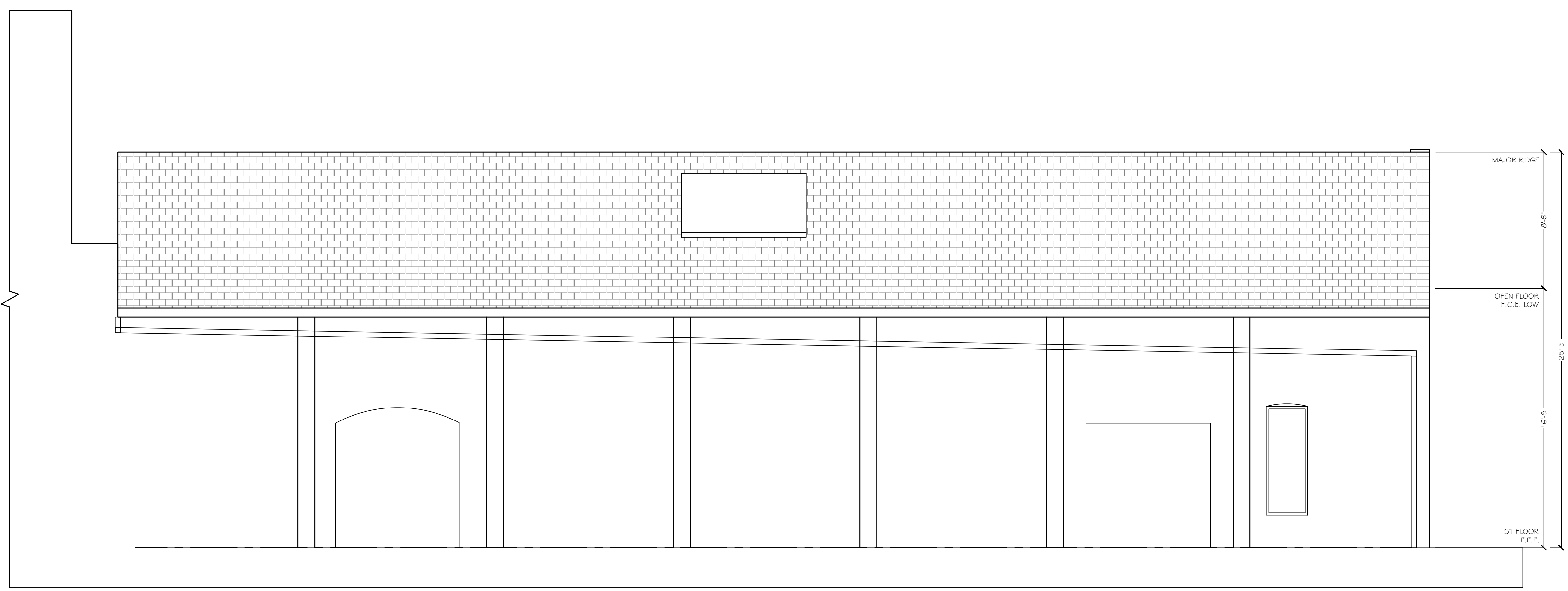
PP

DATE

07/05/22

SHEET

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WEST



SOUTH

3596 COMMERCE ST

3596 Commerce Street







2993 Mission Inn Ave.





