



VIEW ON LA CADENA DRIVE

RESIDENCES ON LA CADENA  
RIVERSIDE, CA  
06/06/2022

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Project Team

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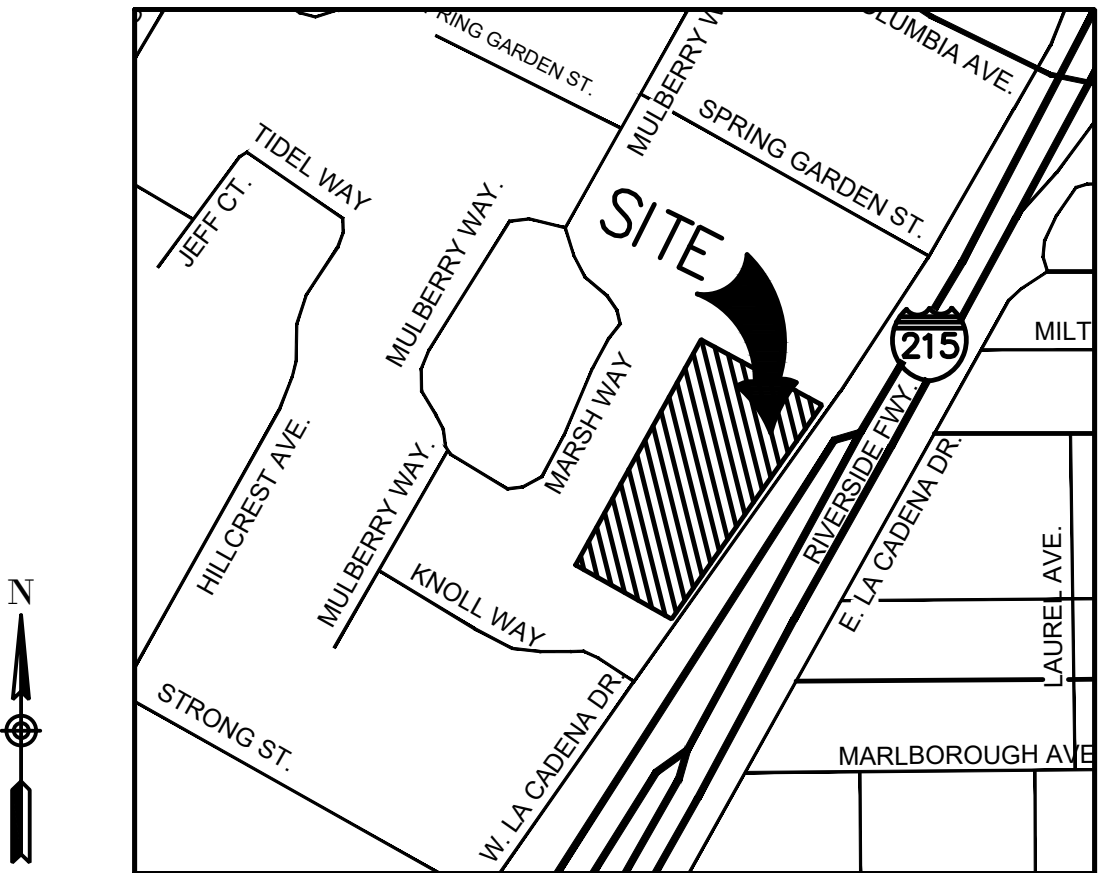
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VICINITY MAP

| REVISION LOG |             |          |
|--------------|-------------|----------|
| NO.          | DESCRIPTION | Date     |
| 1            | ORIGINAL    | 03-03-21 |
| 2            |             |          |
| 2            |             |          |
| 3            |             |          |
| 4            |             |          |
| 5            |             |          |

G1.0

RESIDENCES ON LA CADENA, BY GREENS

RESIDENCES  
BY GREENS  
8815 RESEARCH DRIVE, IRVINE, CA 92618  
(949) 829-4900

DATE: 06-06-22  
JOB NO.: 2020-492  
AO ARCHITECTS  
144 NORTH ORANGE ST., ORANGE, CA 92866  
(714) 639-9860



Monday, June 06, 2022 1:16:03 PM  
R:\2020\2020-492-GREENS KNOLL WAY & LA CADENA RIVERSIDE\03 DESIGN\SCHEM\AUTOCAD\20-492\_G1.1 PROJECT INFORMATION.DWG

# RESIDENCES ON LA CADENA, BY GREENS



8815 RESEARCH DRIVE, IRVINE, CA 92618  
(949) 829-4900

| PARKING SUMMARY REQUIRED                                                |          |                        |  |           |       |
|-------------------------------------------------------------------------|----------|------------------------|--|-----------|-------|
| RESIDENTIAL PARKING REQUIRED OPEN SPACE (9' X 18')                      |          |                        |  |           |       |
| UNIT TYPE                                                               | QUANTITY | CITY REQUIRED PER UNIT |  | RATIO     | TOTAL |
|                                                                         |          |                        |  |           |       |
| 1 BEDROOM                                                               | 80       | 1                      |  |           | 80    |
| 2 BEDROOMS                                                              | 35       | 1.5                    |  |           | 53    |
|                                                                         |          |                        |  |           |       |
| TOTAL UNITS                                                             | 115      |                        |  |           |       |
| STALL REQUIRED - RESIDENTIAL                                            |          | 133                    |  |           | 133   |
| STALL REQUIRED - 250 SQFT. COMMERCIAL                                   |          | 1                      |  |           | 1     |
| TOTAL                                                                   |          |                        |  |           | 134   |
| ACCESIBLE REQUIRED FOR RESIDENCE FOR ASSIGNED PARKING INCLUDED IN COUNT |          |                        |  | 2% OF 134 | 3     |
| EVCS INCLUDED IN PARKING COUNT 4.106.4.2 FOR RESIDENTS                  |          | 134                    |  | 0.1       | 14    |
| TOTAL EVCS INCLUDED IN PARKING COUNT 4.106.4.2                          |          |                        |  |           | 14    |
| ACCESIBLE REQUIRED FOR EVCS INCLUDED IN COUNT                           |          |                        |  | 10% OF 14 | 2     |

| PARKING SUMMARY PROVIDED                           |             |                 |          |            |       |
|----------------------------------------------------|-------------|-----------------|----------|------------|-------|
| RESIDENTIAL PARKING PROVIDED OPEN SPACE (9' X 18') |             |                 |          |            |       |
| TYPE OF PARKING                                    | QUANTITY    | COVERED PARKING |          | OPEN STALL | TOTAL |
| GARAGE                                             | 44          | 99              |          |            | 99    |
| CARPORTS                                           | 55          |                 |          |            |       |
| OPEN STALLS                                        | STANDARD 36 |                 |          | 36         | 37    |
|                                                    | TANDEM 0    |                 |          | 0          |       |
| STALL FOR USPS INCLUDED PARKING COUNT              |             |                 |          | 1          |       |
| TOTAL STALL PROVIDED                               |             | 99              |          | 37         | 136   |
|                                                    |             | PARKING RATIO   |          |            | 1.18  |
| ACCESSIBLE PARKING PROVIDED                        |             |                 | REQUIRED |            |       |
| GARAGE                                             |             |                 |          |            | 1     |
| CARPORT                                            |             |                 |          |            | 1     |
| OPEN STALL                                         |             |                 |          |            | 3     |
| TOTAL INCLUDED 1 VAN                               |             |                 |          |            | 5     |
| EVCS INCLUDED IN PARKING COUNT 4.106.4             |             |                 |          |            |       |
| GARAGE                                             |             | 10%             |          |            | 5     |
| CARPORT                                            |             | 10%             |          |            | 6     |
| OPEN STALL                                         |             | 10%             |          |            | 4     |
| TOTAL INCLUDED 1 VAN                               |             |                 |          |            | 15    |

| CODE SUMMARY    |                                                                                  |
|-----------------|----------------------------------------------------------------------------------|
| CODE            | ADOPTED EDITION                                                                  |
| BUILDING CODE   | 2019 CALIFORNIA BUILDING CODE                                                    |
| FIRE CODE       | 2019 CALIFORNIA FIRE CODE                                                        |
| ENERGY CODE     | 2019 BUILDING EFFICIENCY STANDARDS FOR RESIDENTIAL AND NON RESIDENTIAL BUILDINGS |
| MECHANICAL CODE | 2019 CALIFORNIA MECHANICAL CODE                                                  |
| PLUMBING CODE   | 2019 CALIFORNIA PLUMBING CODE                                                    |
| ELECTRICAL CODE | 2019 CALIFORNIA ELECTRICAL CODE                                                  |
| POOL CODE       | 2015 UNIFORM SWIMMING POOL CODE                                                  |
| CAL GREEN       | 2019 CALIFORNIA GREEN CODE                                                       |
| PLANNING CODE   | RIVERSIDE MUNICIPAL CODE                                                         |

| PROJECT DESCRIPTION                                                      |      |       |
|--------------------------------------------------------------------------|------|-------|
| A 115 UNIT PROJECT CONSISTING OF A 3-STORY TYPE V-A RESIDENTIAL BUILDING |      |       |
| PARCEL # 206-132-036 & 206-132-037                                       |      |       |
| SITE ADDRESS: 1459 W. CADENA DRIVE, RIVERSIDE, CA 92501                  |      |       |
| SITE GROSS AREA:                                                         | 2.70 | ACRES |
| OFFER OF DEDICATION                                                      | 0.14 | ACRES |
| SITE NET AREA                                                            | 2.84 | ACRES |
| DISTURBED AREA                                                           | 2.84 | ACRES |
|                                                                          |      |       |
| TOTAL UNITS:                                                             | 115  | UNITS |
| DENSITY ON NET AREA:                                                     | 42.6 | DU/AC |
|                                                                          |      |       |
| LOT COVERAGE                                                             | 37 % |       |
| EXISTING ZONING: FREEWAY MIXED-USE (FMU)                                 |      |       |

| TOTAL UNIT MIX |                  |             |               |                   |              |                                                                         |      |                     |
|----------------|------------------|-------------|---------------|-------------------|--------------|-------------------------------------------------------------------------|------|---------------------|
| UNIT TYPE      | UNIT NET SQ. FT. | TOTAL UNITS |               | TOTAL NET SQ. FT. | GARAGE SQFT. | LEASING/ RETAIL/ FITNESS/ CABANA/ POOL BATH/ MAIL RM./ PACKAGES PENDING | %    | TOTAL GROSS SQ. FT. |
| A1             | 716              | 47          | 1 BEDRM, 1 BA | 33,652            | 45 SPACES    |                                                                         | 70%  |                     |
| A3             | 628              | 33          | 1 BEDRM, 1 BA | 20,724            |              |                                                                         |      |                     |
| B1             | 957              | 7           | 2 BEDRM, 2 BA | 6,699             |              |                                                                         | 30%  |                     |
| B2             | 860              | 28          | 2 BEDRM, 2 BA | 24,080            |              |                                                                         |      |                     |
| TOTAL 740      |                  | AVERAGE 115 |               | 85,155            | 13,575       | 3,286                                                                   | 100% | 135,934             |
| 75% EFFICIENT  |                  |             |               |                   |              |                                                                         |      |                     |

| PRIVATE OPEN SPACE REQUIRED |                |          |               |
|-----------------------------|----------------|----------|---------------|
| REQUIRED                    | PATIO/ BALCONY | QUANTITY | TOTAL SQ. FT. |
| PER UNITS                   | 50             | 115      | 5,750         |
| TOTAL REQUIRED              |                | 115      | 5,750         |

| PRIVATE OPEN SPACE PROVIDED |                |                 |               |
|-----------------------------|----------------|-----------------|---------------|
| UNIT TYPE                   | PATIO/ BALCONY | NUMBER OF UNITS | TOTAL SQ. FT. |
| A1                          | 89             | 47              | 4,183         |
| A3                          | 63             | 33              | 2,079         |
| B1                          | 81             | 7               | 567           |
| B2                          | 58             | 28              | 1,624         |
| TOTAL PROVIDED              | 74             | AVERAGE 115     | 8,453         |

| COMMON USEABLE OPEN SPACE REQUIRED |            |                 |             |               |
|------------------------------------|------------|-----------------|-------------|---------------|
| UNIT TYPE                          | OPEN SPACE | NUMBER OF UNITS | TOTAL UNITS | TOTAL SQ. FT. |
| A1                                 | 50         | 47              | 80          | 4,000         |
| A3                                 | 50         | 33              |             |               |
| B1                                 | 50         | 7               | 35          | 1,750         |
| B2                                 | 50         | 28              |             |               |
| TOTAL REQUIRED                     |            |                 | 115         | 5,750         |

HARDSCAPE = 5,276 SQFT.  
REC.AMENITY = 3,102 SQFT.  
POOL / SPA = 901 SQFT.  
PLANTING AREA = 4,857 SQFT.

OPEN SPACE PROVIDED = 14,136 SQFT.

## PROJECT INFORMATION - UNIT SUMMARY, PARKING ANALYSIS

DATE: 06-06-22  
JOB NO.: 2020-492

AO ARCHITECTS

144 NORTH ORANGE ST., ORANGE, CA 92866  
(714) 639-9860

G1.1





VIEW AT AMENITY AREA

G1.2

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**RESIDENCES**  
BY GREENS  
8815 RESEARCH DRIVE, IRVINE, CA 92618  
(949) 829-4900

DATE: 03-31-22  
JOB NO.: 2020-492

**AO ARCHITECTS**  
144 NORTH ORANGE ST., ORANGE, CA 92866  
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VIEW AT COURTYARD

G1.3

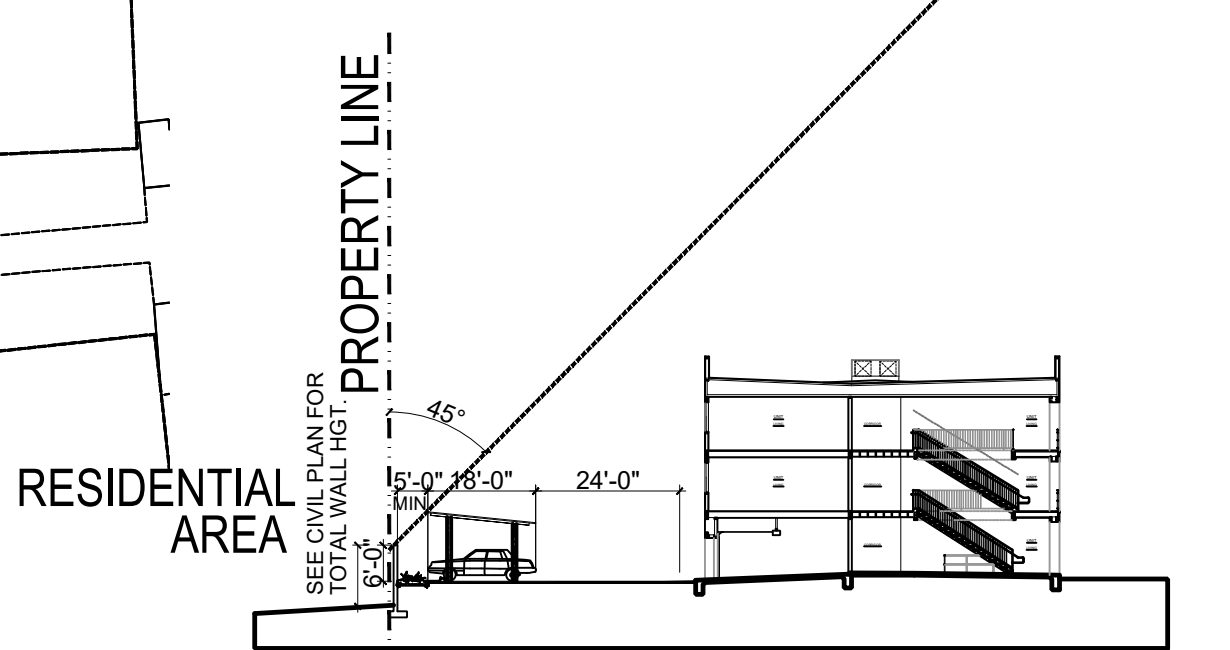
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PR-2021-001052 (Site Plan Review) - Exhibit 8: Project Plans

ARCHITECTURAL SITE PLAN

1"=20'-0" 0 10' 20' 40' 60'

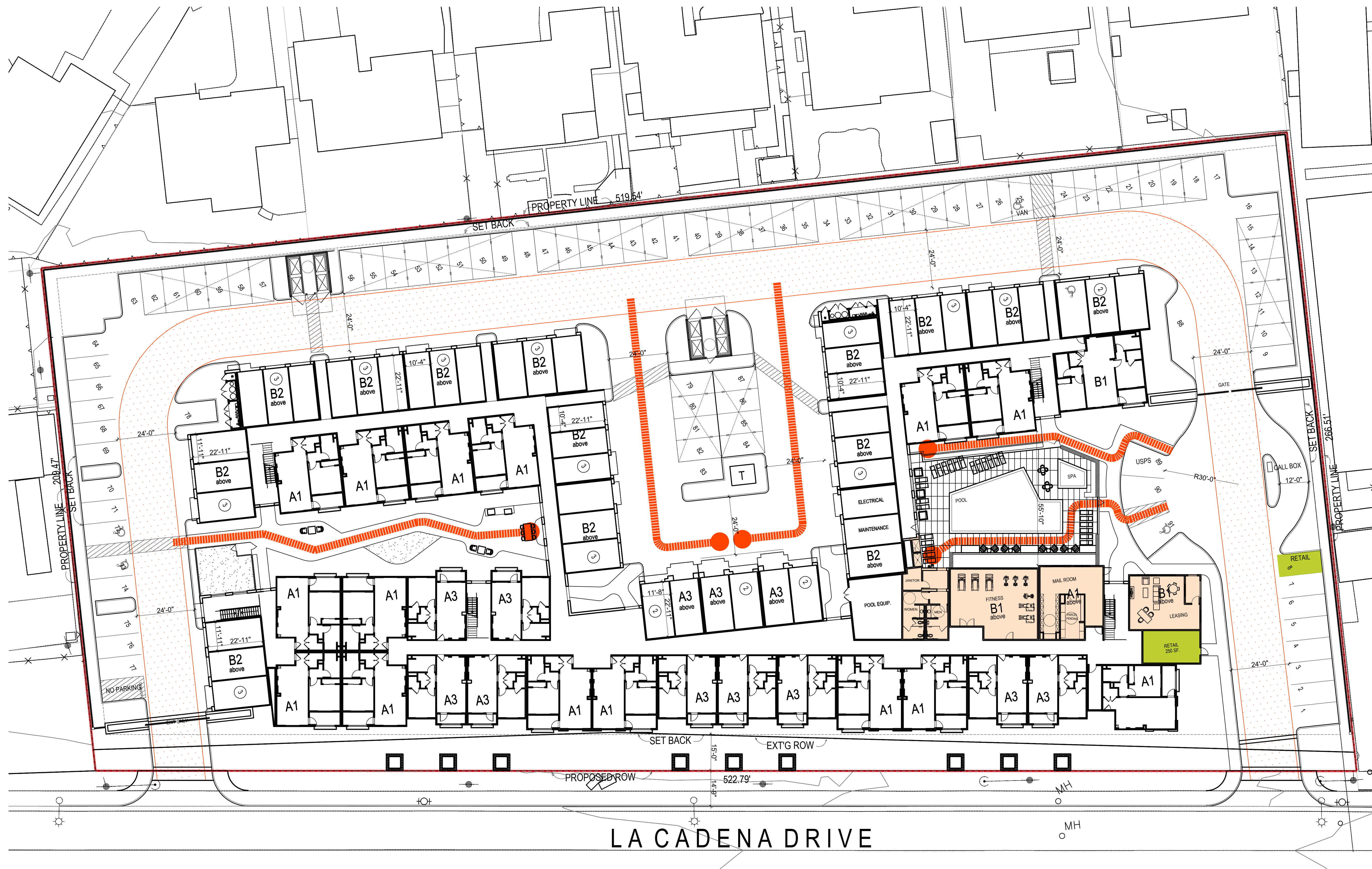
DATE: 05-20-22  
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A1.0





# LEGEND

- 20' WIDTH FIRE LANE
- 150' FIRE HOSE
- FIRE APPARATUS TURNAROUND
- AMENITY AREA
- RETAIL AREA

NOTE: ALL COMMENTS FROM FIRE DEPARTMENT WILL BE ADDRESSED IN THE CONSTRUCTION DOCUMENTS  
PRIOR TO BUILDING PLAN CHECK APPROVAL AND PERMIT ISSUANCE

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PR-2021-001052 (Site Plan Review) - Exhibit 8: Project Plans

FIRE EXHIBIT

A1.1

1"=20'-0"

DATE: 06-06-22  
JOB NO.: 2020-492

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144 NORTH ORANGE ST., ORANGE, CA 92866  
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NORTH









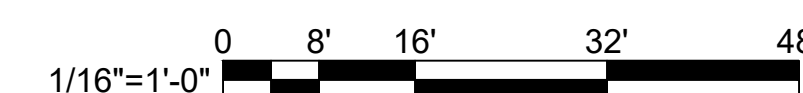
NORTH

BUILDING PLAN LEVEL 2

A2.1

# RESIDENCES ON LA CADENA, BY GREENS

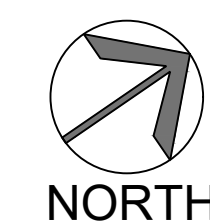
**RESIDENCES**  
BY GREENS  
8815 RESEARCH DRIVE, IRVINE, CA 92618  
(949) 829-4900



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NORTH

BUILDING PLAN LEVEL 3

A2.2

# RESIDENCES ON LA CADENA, BY GREENS

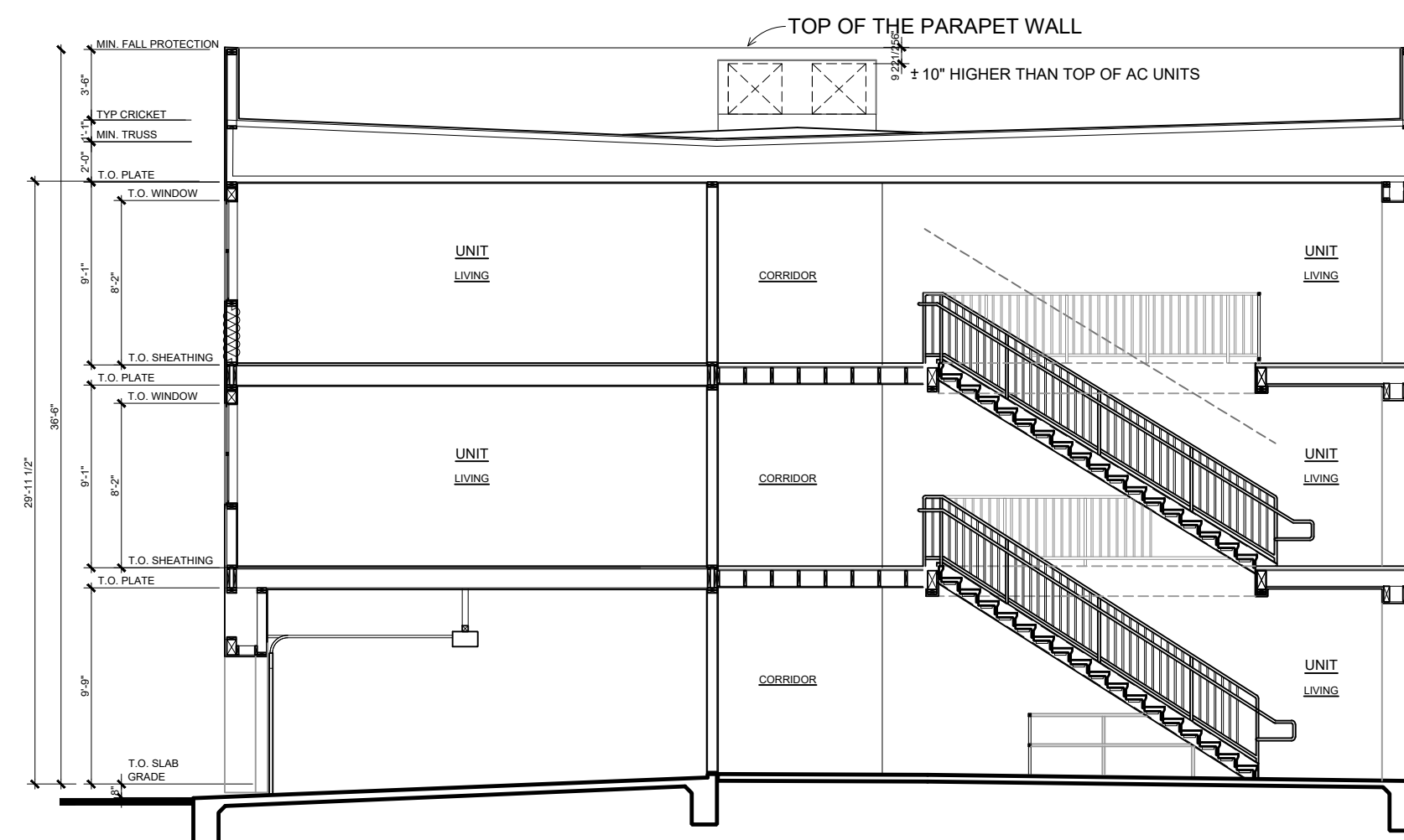
RESIDENCES  
BY GREENS  
8815 RESEARCH DRIVE, IRVINE, CA 92618  
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1/16"=1'-0" 0 8' 16' 32' 48'

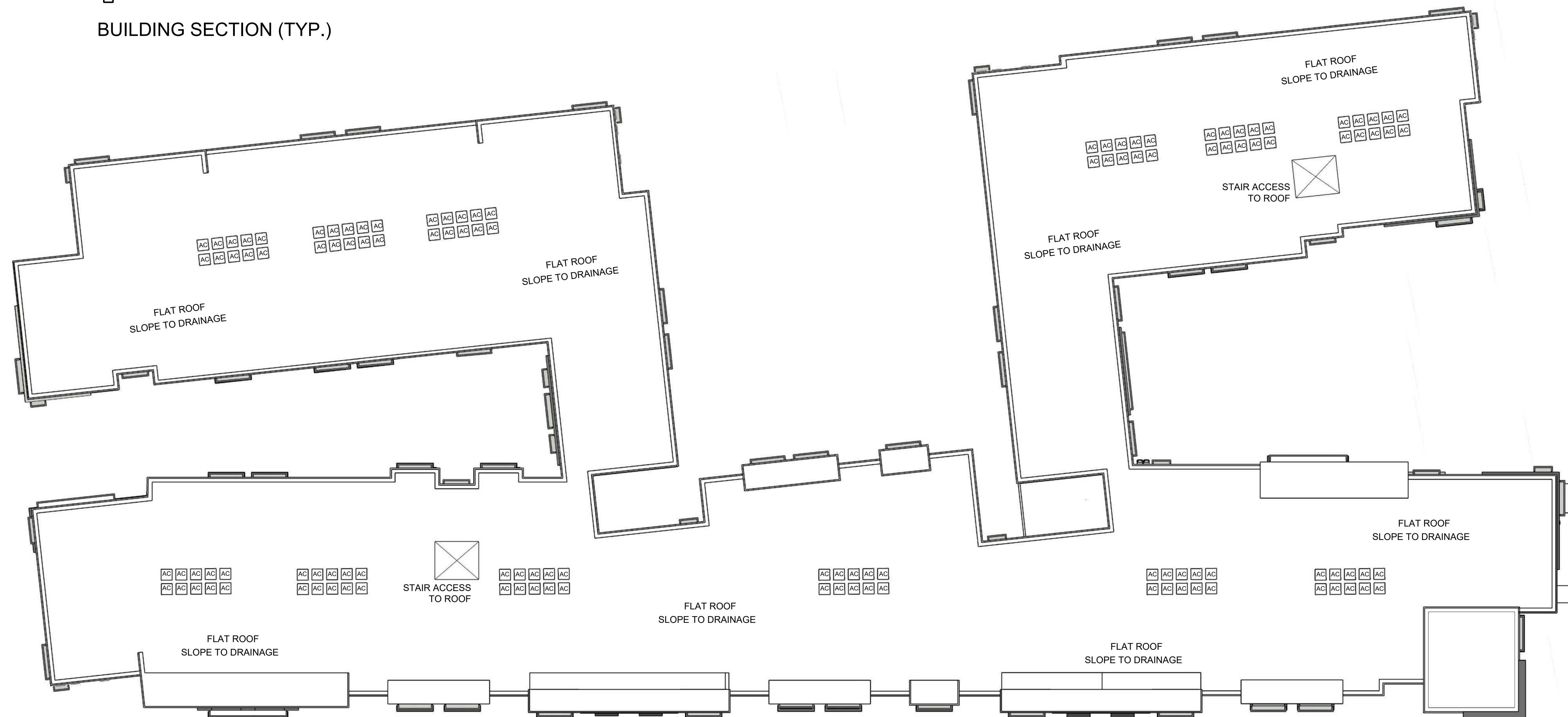
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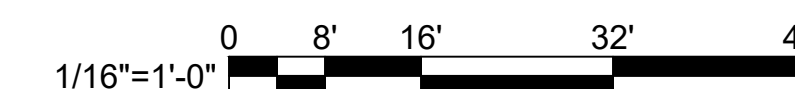


BUILDING SECTION (TYP.)



NORTH

BUILDING PLAN LEVEL ROOF



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A2.3





- MATERIALS LEGEND**
- 1 STUCCO
  - 2 WOOD GRAIN TILE
  - 3 STUCCO OVER FOAM TRIM
  - 4 VINYL WINDOW
  - 5 METAL HANDRAIL
  - 6 SIGNAGE
  - 7 SECTIONAL GARAGE DOOR
  - 8 HARDIE PLANK SIDING
  - 9 METAL SHADING DEVICE

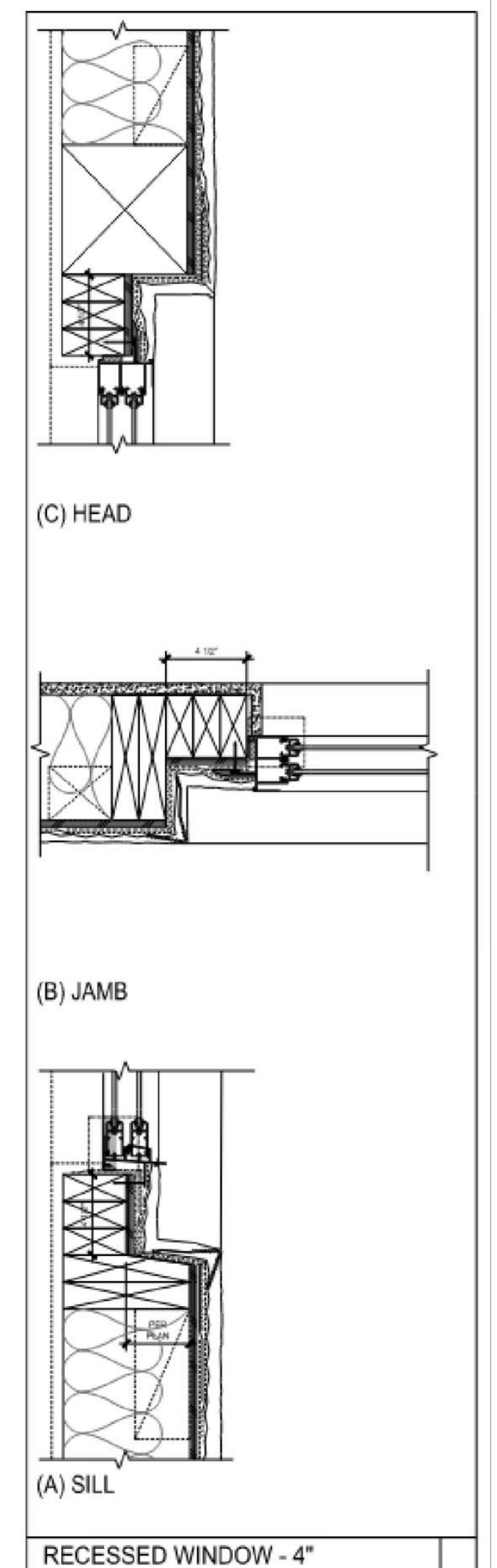
**SOUTH ELEVATION**



**SOUTH ELEVATION**



**SOUTH ELEVATION**



**ELEVATIONS**

**A2.4**

# RESIDENCES ON LA CADENA, BY GREENS

**RESIDENCES BY GREENS**  
8815 RESEARCH DRIVE, IRVINE, CA 92618  
(949) 829-4900

1/8"=1'-0" 0 4' 8' 16' 24'

DATE: 03-31-22  
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