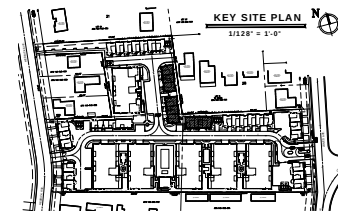
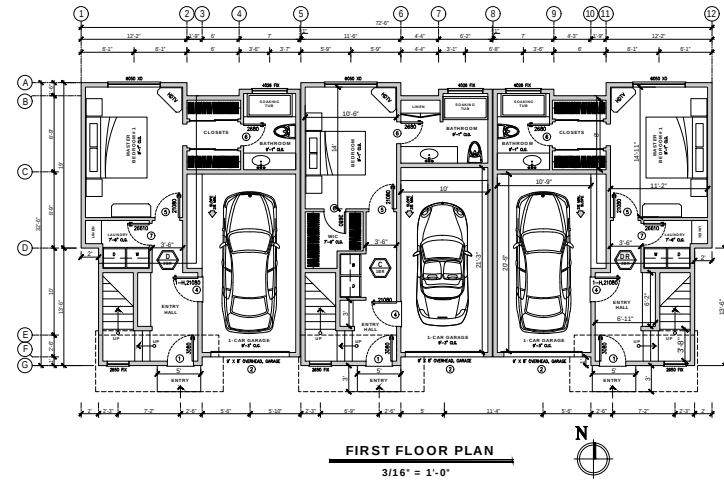
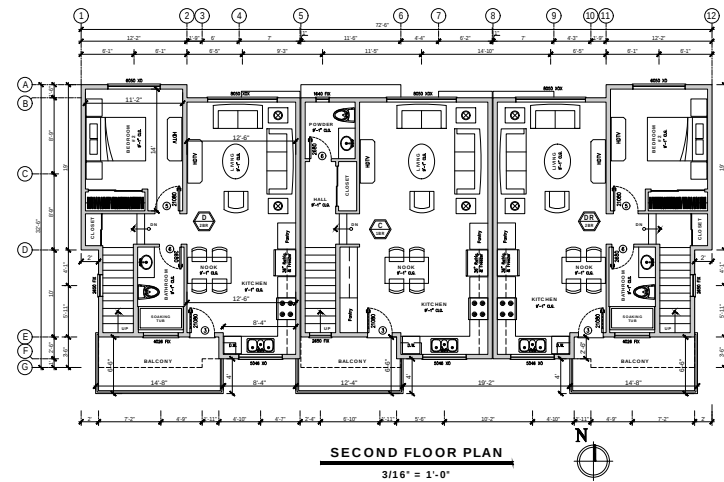
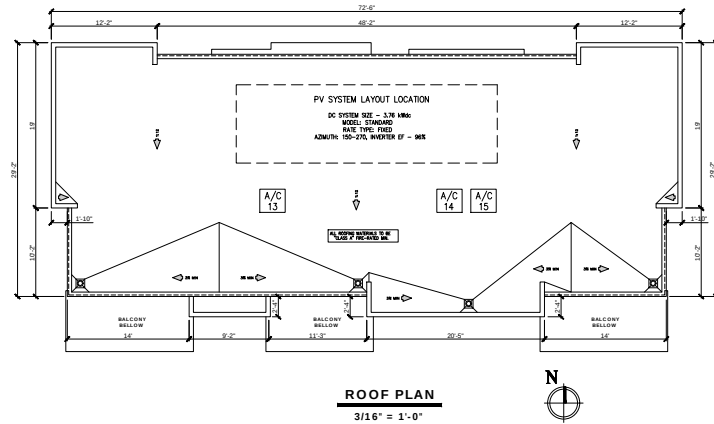




(TYPICAL FOR BUILDING "D")

DRAWN: HL
DATE: 09/15/21
SCALE: 3/16"=1'-0"
JOB #: 21-7
TITLE:
BLDG TYPE 1R
EXTERIOR
ELEVATIONS
SHEET: A-1.4
1 OF SHEETS



BUILDING TYPE 2 AREA CALCULATION

NUMBER OF STORIES	2
FOOTPRINT AREA	2229 SQ. FT.
LIVING AREA:	
1ST FLOOR	1448 SQ. FT.
2ND FLOOR	1938 SQ. FT.
TOTAL LIVING AREA:	3387 SQ. FT.
GARAGES	765 SQ. FT.
BALCONY	263 SQ. FT.
UNIT C - 1BR	1
UNIT D - 2BR	1
UNIT DR - 2BR	1

UNIT C / 1BR	
LIVING AREA:	
1ST FLOOR	467 SQ. FT.
2ND FLOOR	589 SQ. FT.
TOTAL LIVING AREA:	1057 SQ. FT.
1-CAR GARAGE	237 SQ. FT.
BALCONY	75 SQ. FT.

UNIT D / 2BR	
LIVING AREA:	
1ST FLOOR	496 SQ. FT.
2ND FLOOR	674 SQ. FT.
TOTAL LIVING AREA:	1170 SQ. FT.
1-CAR GARAGE	264 SQ. FT.
BALCONY	94 SQ. FT.

UNIT DR / 2BR	
LIVING AREA:	
1ST FLOOR	496 SQ. FT.
2ND FLOOR	674 SQ. FT.
TOTAL LIVING AREA:	1170 SQ. FT.
1-CAR GARAGE	264 SQ. FT.
BALCONY	94 SQ. FT.

**TYPE 2
BUILDING "E"**
(TYPICAL FOR BUILDINGS "F" & "J")

- NOTES:**
1. 5/8" TYPE X GYPSUM BOARD SHALL BE INSTALLED AT GARAGE WALLS AND CEILING.
 2. ROOF BETWEEN GARAGE AND PRIVATE RESIDENCE SHALL BE SELF-DRAINING AND SELF-LATCHING.
 3. PENETRATION IS REQUIRED IN CONCRETE SPACES OF G.C. HORIZONTAL, VERTICALLY AT THE CEILING AND FLOOR LEVELS. CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES. CONCRETE SPACES BETWEEN STOPS AND LATCHING OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, WIRING, CHIMNEYS AND PROTECTOR.
 4. FIELD-OUTTING ENDS, BOTCHERS AND DRILLED HOLES OF PENETRATING-TREATED WOOD SHALL BE TREATED IN THE FIELD IN ACCORDANCE WITH AIA 94.6.

PROJECT: MIKASA LUXURY VILLAS[®]
A 700 KERBOX AVE. PIERCE, CA 92250

OWNER: A & L CAPITAL
P.O. BOX 89130
EMERYVILLE, CA 94608

REGISTERED PROFESSIONAL ARCHITECT
STATE OF CALIFORNIA
NO. 12821

C & G ENGINEERING, INC.
ARCHITECT
1000 E. 10TH AVE. SUITE 100
PACIFIC, CA 94607
PHONE: 714-215-4420
FAX: 714-215-4420
WWW.CGENGINEERING.COM

DATE: 09/15/21
SCALE: 3/16" = 1'-0"
SHEET: 21-7

DESIGNED BY: HL

DATE: 09/15/21

SCALE: 3/16" = 1'-0"

SHEET: 21-7

REGISTERED PROFESSIONAL ARCHITECT
STATE OF CALIFORNIA
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C & G ENGINEERING, INC.
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PHONE: 714-215-4420
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DATE: 09/15/21
SCALE: 3/16" = 1'-0"
SHEET: 21-7

DESIGNED BY: HL

DATE: 09/15/21

SCALE: 3/16" = 1'-0"

SHEET: 21-7

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DATE: 09/15/21
SCALE: 3/16" = 1'-0"
SHEET: 21-7

DESIGNED BY: HL

DATE: 09/15/21

SCALE: 3/16" = 1'-0"

SHEET: 21-7

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$$3/16'' = 1'-0''$$
$$3/16'' = 1'-0''$$
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VAPOR BARRIER

EGRESS WINDOW WALL SEC

1. THE MANUFACTURED WINDOWS SHALL HAVE A LABEL, ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH THE FOLLOWING REQUIREMENTS:
2. ALL WINDOWS AND EXTERIOR DOORS SHALL BE DOUBLE PANE. THE LOAD RESISTANCE OF GLASS UNDER LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E 1300.
3. WINDOWS SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO ASTM E 2010.
4. PROVIDE ONE OPERABLE ESCAPE WINDOW OR DOOR TO ALL BEDROOMS, MEETING ALL THE FOLLOWING: AN OPENABLE AREA OF NO LESS THAN 5.7 SQ. FT., A MINIMUM CLEAR 24 INCHES WIDE, 20 INCHES HIGH, AND A SILL HEIGHT NOT OVER 44 INCHES ABOVE THE FLOOR. (2016 C.B.C. 1003.2 & 1003.3).

- 7. FLAT ROOF.
- 8. RAU, METAL, MET. EXPED.
- 9. TROUSO SYSTEM FROM "TROMB" / RAU. COLOR: 432
- 10. TROUSO SYSTEM FROM "TROMB" / RAU. 4 LAMINATES OF "TROMB" FRAMES. 60% BACONING. 17%
- 11. TROUSO SYSTEM FROM "TROMB" / RAU. COLOR: 49
- 12. TROUSO SYSTEM FROM "TROMB" / RAU. 4 LAMINATES OF "TROMB" FRAMES. 60% BACONING. 17%
- 13. EXTERIOR ACROSS THE LAMINATE, "TROMB" SYSTEM FOR BALANCE.
- 14. EXTERIOR ACROSS THE LAMINATE, "TROMB" SYSTEM FOR BALANCE.
- 15. EXTERIOR ACROSS THE LAMINATE, "TROMB" SYSTEM FOR BALANCE.
- 16. EXTERIOR ACROSS THE LAMINATE, "TROMB" SYSTEM FOR BALANCE.
- 17. CONCRETE LAMINATE, "TROMB" SYSTEM FOR BALANCE.
- 18. CUSTOM WOOD LAMINATE, "TROMB" SYSTEM FOR BALANCE.
- 19. METAL ORANGE DASH, WOOD-GRAIN DARK BROWN FRAMES.
- 20. METAL GRAY DASH, QUARD RAIL - DARK BROWN FRAMES.
- 21. EXTERIOR LATH PANELS, BY OWNER.
- 22. EXTERIOR LATH PANELS, BY OWNER.
- 23. EXTERIOR LATH PANELS, BY OWNER.
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- 99. EXTERIOR LATH PANELS, BY OWNER.
- 100. EXTERIOR LATH PANELS, BY OWNER.

- 

EXTERIOR WALLS
 "DREAM" / LA HABRA" SMOOTH FINISH STUCCO SYSTEM
 COLOR: 432 "MIST QUARTZ" (Sheet 10).
 - 

EXTERIOR ACCENT WALLS
 "DREAM" / LA HABRA" SMOOTH FINISH STUCCO SYSTEM
 COLOR: 409 "TRUE GRAY" (Sheet 12).
 - 

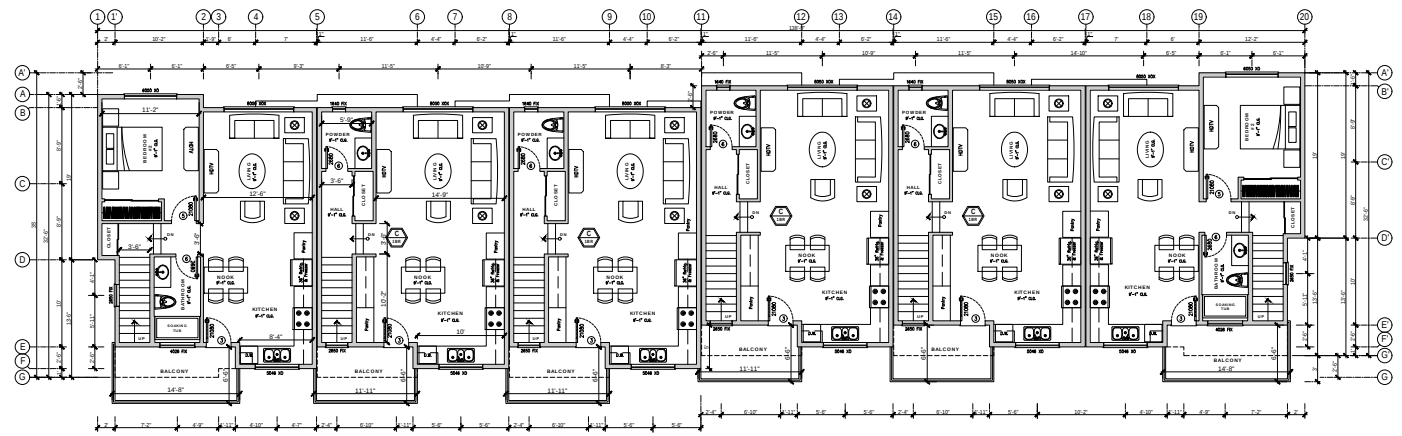
EXTERIOR ACCENT STONE LAMINATE
 "TORNADO" STONE" (OR SAILAW, CHEELED LIMESTONE
 COLOR: "SILVER" / GRAY "DREAM" SIZE 12"x24".
 - 

EXTERIOR ACCENT WALLS
 "SILVER KNOCKOUT" ALUMINUM SIGNAL
 COLOR: TRADITIONAL "CHARNOCK" SIZE 4".
 - 

DOORS & WINDOWS
 COLOR: DARK BROWN
 - 

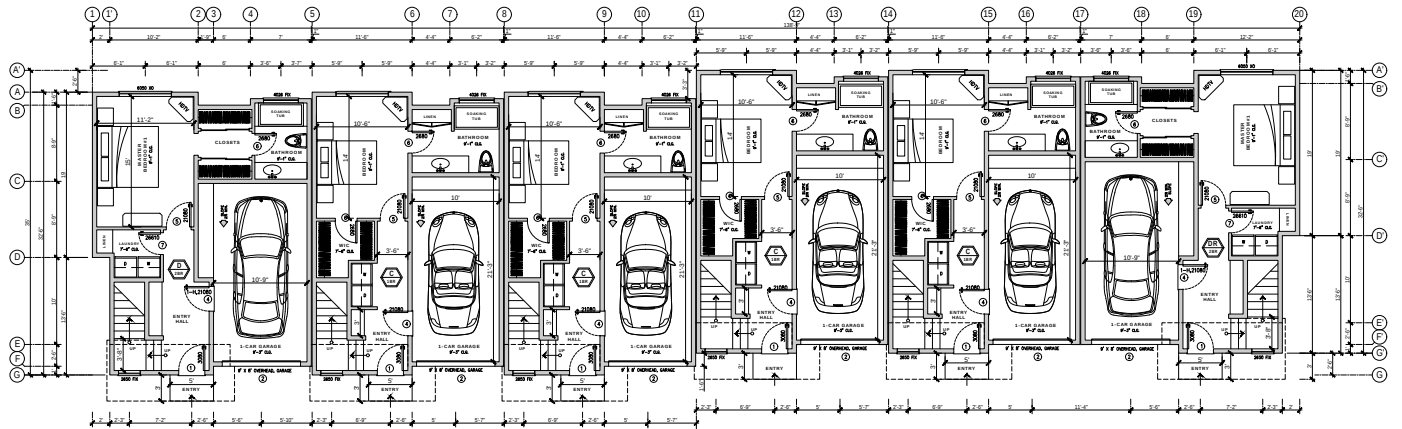
METAL GUARDRAIL
 COLOR: DARK BROWN

(TYPICAL FOR BUILDINGS "F" & "G".)



SECOND FLOOR PLAN

3/16" = 1'-0"



FIRST FLOOR PLAN

3/16" = 1'-0"

BUILDING TYPE 3 AREA CALCULATION

NUMBER OF STORIES	2
FOOTPRINT AREA	4317 SQ. FT.
LIVING AREA:	
1ST FLOOR	2820 SQ. FT.
2ND FLOOR	3709 SQ. FT.
TOTAL LIVING AREA:	6528 SQ. FT.
GARAGES (6 CARS)	1476 SQ. FT.
BALCONY	488 SQ. FT.
UNIT C - 1BR	4
UNIT D - 2BR	1
UNIT DR - 2BR	1

UNIT C / 1BR

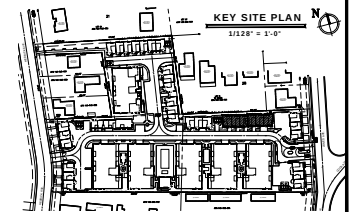
LIVING AREA:	
1ST FLOOR	457 SQ. FT.
2ND FLOOR	990 SQ. FT.
TOTAL LIVING AREA:	1047 SQ. FT.
1-CAR GARAGE	237 SQ. FT.
BALCONY	75 SQ. FT.

UNIT D / 2BR

LIVING AREA:	
1ST FLOOR	496 SQ. FT.
2ND FLOOR	674 SQ. FT.
TOTAL LIVING AREA:	1170 SQ. FT.
1-CAR GARAGE	264 SQ. FT.
BALCONY	94 SQ. FT.

UNIT DR / 2BR

LIVING AREA:	
1ST FLOOR	496 SQ. FT.
2ND FLOOR	674 SQ. FT.
TOTAL LIVING AREA:	1170 SQ. FT.
1-CAR GARAGE	264 SQ. FT.
BALCONY	94 SQ. FT.



TYPE 3
BUILDING "H"

NOTES:

1. 2"x4" TYPE X EXTERIOR BOARD SHALL BE INSTALLED AT GARAGE WALLS AND CEILING.
2. DOOR BETWEEN GARAGE AND PRIVATE RESIDENCE SHALL BE SELF-CLOSING AND SELF-LATCHING.
3. FIREBLOCKING IS REQUIRED IN CONCEALED SPACES OF D.C. HORIZONTAL VERTICALLY AT THE CEILING AND FLOOR LEVELS, CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES, CONCEALED SPACES BETWEEN STUDS AND LATHING, OPENINGS ABOVE DOORS, PIPES, DUCTS, CABLES, WIRE, CONDUITS AND REPLACES.
4. FIRE-RESISTING DOORS, WINDOWS AND SHUTTERS MUST BE PRESERVATIVE-TREATED WOOD SHALL BE TREATED IN THE FIELD IN ACCORDANCE WITH NFPA 94.

REVISIONS

PROJECT: MIKASA LUXURY VILLAS[®]
4705 KERRICK AVE. IRVINE, CA 92618
OWNER: A & L CAPITAL
P.O. BOX 89130
IRVINE, CA 92618



C & G ENGINEERING, INC.
REGISTERED PROFESSIONAL ENGINEER
CIVIL ENGINEER
10000 E. 15TH AVE. SUITE 100
DENVER, CO 80202
PHONE: 303.751.1111
FAX: 303.751.1112
WWW.CGENGINEERING.COM



Century Heritage Builders, Inc.
4008 E. La Brea Ave. Suite D, Anaheim, CA 92807
Phone: 714-215-4430
Fax: 714-215-4431
Email: info@centuryheritage.com
C.B. #0001



NOTICE:

DESIGNED BY: HL
DATE: 09/15/21
SCALE: 3/16"=1'-0"
SHEET: 21-7
BLDG TYPE: TYPE 3
1ST & 2ND FLOOR PLANS
A-3.1



FRONT (SOUTH) ELEVATION

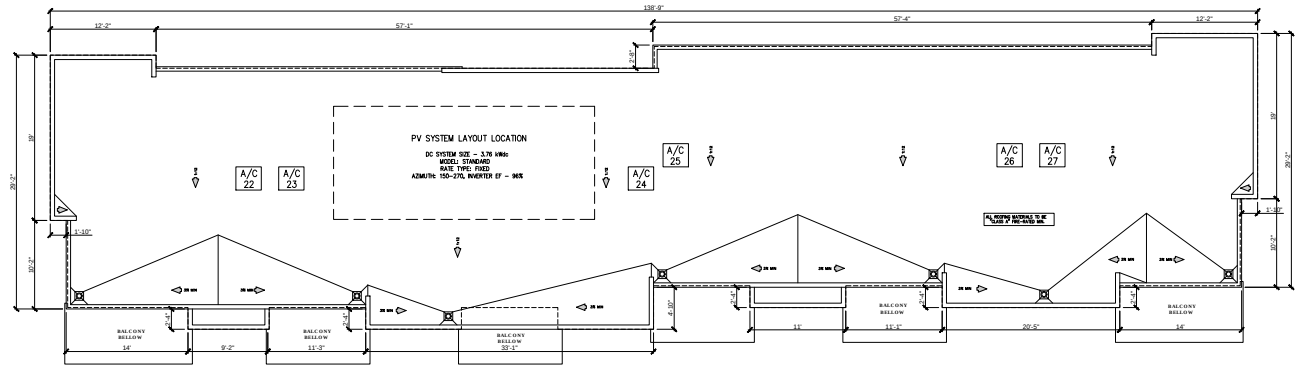
3/16" = 1'-0"

HATCH LEGEND

	EXTERIOR WALLS "GREY" C/A HARRY SMOOTH FRESH STUCCO SYSTEM COLOR: 402 "GREY QUARTZ" (BWH 10)
	EXTERIOR ACCENT WALLS "GREY" C/A HARRY SMOOTH FRESH STUCCO SYSTEM COLOR: 69 "TRIE GRAY" (BWH 2)
	EXTERIOR ACCENT STONE LAMINATE "CORONADO STONE" OR "SUNLARK" CHISELED Limestone COLOR: "TAUPE ASP" OR "TORME", SIZE 12"x4"
	EXTERIOR ACCENT STONE LAMINATE "SUNLARK" CHISELED Limestone COLOR: "TRADITIONAL", "CHERRYWOOD", SIZE 4"
	DOORS & WINDOWS COLOR: DARK BROWN
	METAL COVERING COLOR: DARK BROWN

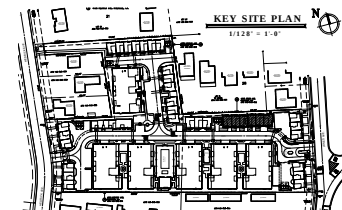
EXTERIOR ELEVATION KEYNOTES

1. FLAT ROOF.
2. DARK METAL WEAP CORNER.
3. STUCCO SYSTEM SMOOTH FRESH "GREY" C/A HARRY COLOR: 402 "GREY QUARTZ" (BWH 10) & 2 LAYERS OF "TORME" 12"x4" FLARING PANELS @ THE BROWNS, 12".
4. STUCCO SYSTEM SMOOTH FRESH "GREY" C/A HARRY COLOR: 69 "TRIE GRAY" (BWH 2) & 2 LAYERS OF "TORME" 12"x4" FLARING PANELS @ THE BROWNS, 12".
5. EXTERIOR ACCENT STONE LAMINATE, "CORONADO STONE" OR "SUNLARK" CHISELED Limestone, COLOR: "TAUPE ASP" OR "TORME", SIZE 12"x4".
6. EXTERIOR ACCENT STONE LAMINATE, "SUNLARK" CHISELED Limestone, COLOR: "TRADITIONAL", "CHERRYWOOD", SIZE 4".
7. EXTERIOR LAMINATE, 12"x4" AND 12"x12" (12" FLARING).
8. EXTERIOR WOOD ENTRY DOOR, COLOR: STAIN-BROWN FRESH.
9. METAL GARAGE DOOR, WOOD-GRAIN DARK BROWN FRESH.
10. 4"X4" HIGH METAL GLASS RAIL, COLOR: DARK BROWN FRESH.
11. EXTERIOR LIGHT FIXTURES, BY OWNER.
12. FLEETWOOD OF WESTERN ALUMINUM FRENCH SLIDING DOORS, FRAME COLOR: 10A.
13. FLEETWOOD OF WESTERN ALUMINUM FRENCH DOORS, FRAME COLOR: 10A.
14. ALUMINUM WINDOWS BY FLEETWOOD OF WESTERN, FRAME COLOR: 10A.
15. FRESH GLASS WINDOWS, FRAME COLOR: 10A.
16. EXTERIOR ALUMINUM GLASS ENTRY DOOR, COLOR: STAIN-BROWN FRESH.
17. EXTERIOR ALUMINUM ENTRY DOOR, COLOR: STAIN-BROWN FRESH.
18. ALUMINUM UTILITY ROOM DOOR, COLOR: STAIN-BROWN FRESH.
19. ROOF MOUNTED AIR CONDITIONING UNIT.



ROOF PLAN

3/16" = 1'-0"



TYPE 3
BUILDING "H"

PROJECT: MIKASA LUXURY VILLAS[®]
& 270 HERNDON AVE. HERNDON, CA 94505

OWNER: A & I. CAPITAL
P.O. BOX 80310
FREMONT, CA 94568

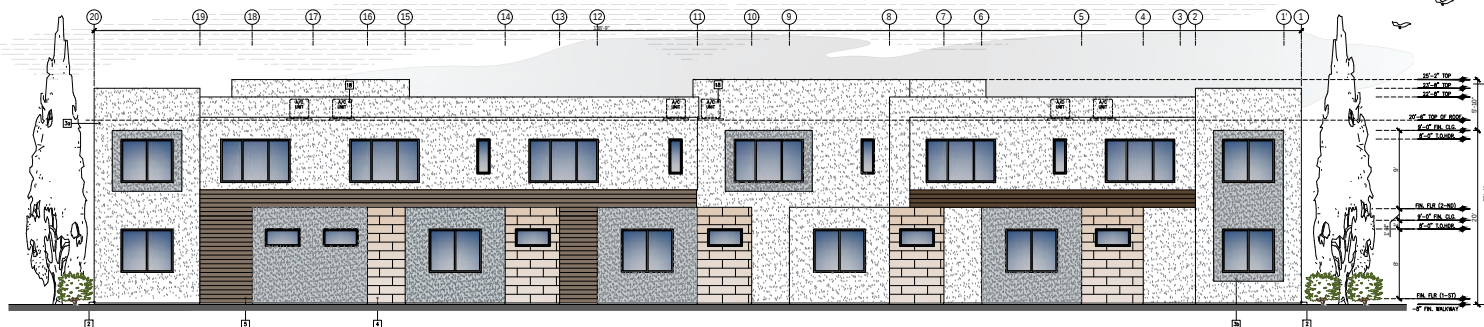
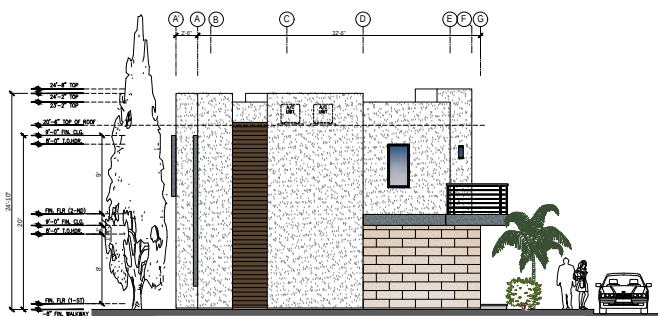
DESIGNED BY: G & S ENGINEERING, INC.
1001 N. MANASSAS AVE., SUITE 100
MANASSAS, VA 20108
PHONE: 703-797-1888
FAX: 703-797-1889
WWW.GSENGINEERING.COM

PREPARED BY: MICHAEL J. GILBERT
MICHAEL J. GILBERT ARCHITECTS
1001 N. MANASSAS AVE., SUITE 100
MANASSAS, VA 20108
PHONE: 703-797-1888
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WWW.MJGARCHITECTS.COM

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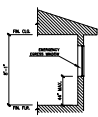
DATE: 09/15/21
SCALE: 3/16" = 1'-0"
SHEET: 21-7
BUILDING TYPE: 3
3RD FLOOR PLAN
ROOF PLAN
A-3.2

	EXTERIOR WALLS "TOMESA"/"LA HABRA" SMOOTH FINISH STUCCO SYSTEM COLOR: 452 "MIST QUARTZ" (Rosa 10).
	EXTERIOR ACCENT WALLS "TOMESA"/"LA HABRA" SMOOTH FINISH STUCCO SYSTEM COLOR: 69 "TRUE GRAY" (Rosa 3).
	EXTERIOR ACCENT STONE Limestone "CONCORD" STONE FOR BARIALS, COVERED Limestone COLOR: "SILVER ASH" and SIZE: "1" x 4" x 6".
	EXTERIOR ACCENT WALLS "220W" EXTRUSIONS ALUMINUM SIDING COLOR: "TRADITIONAL" "CHARDON", SIZE: 6".
	DOORS & WINDOWS COLOR: DARK BRONZE
	METAL STAIRCASE COLOR: DARK BROWN

[illegible]
$$3/16" = 1'-0"$$

$$3/16'' = 1'-0''$$

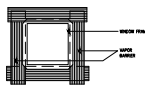
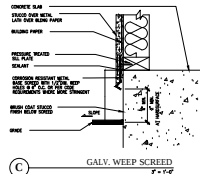
$$3/16'' \equiv 1'-0''$$

1. BASEMENTS [EXCEPT THOSE ONLY FOR MECHANICAL EQUIPMENT AND NOT OVER 200 SQUARE FEET IN FLOOR AREA], HABITABLE ATTICS AND OTHER SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENINGS (R202.1)

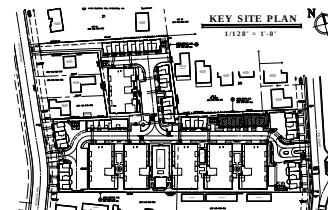


WINDOW NOTES:

1. THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH THE ENERGY CALCULATIONS.
2. ALL WINDOWS AND EXTERIOR DOORS SHALL BE DOUBLE PANE. THE LOAD RESISTANCE OF THIS UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E 1300.
3. WINDOWS SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO ASTM E 2010.
4. PROVIDE ONE OPERABLE ESCAPE WINDOW ON DOOR TO ALL BEDROOMS MEETING ALL FOLLOWING: MINIMUM CLEARANCE AREA OF NO LESS THAN 5.7 SQ. FT.; A MINIMUM CLEAR 24 INCHES HEIGHT AND 20 INCHES WIDE; A SILL HEIGHT NOT OVER 44 INCHES ABOVE THE FLOOR, (2006 IBC 1003.2 & 1003.3).

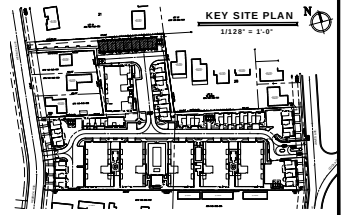
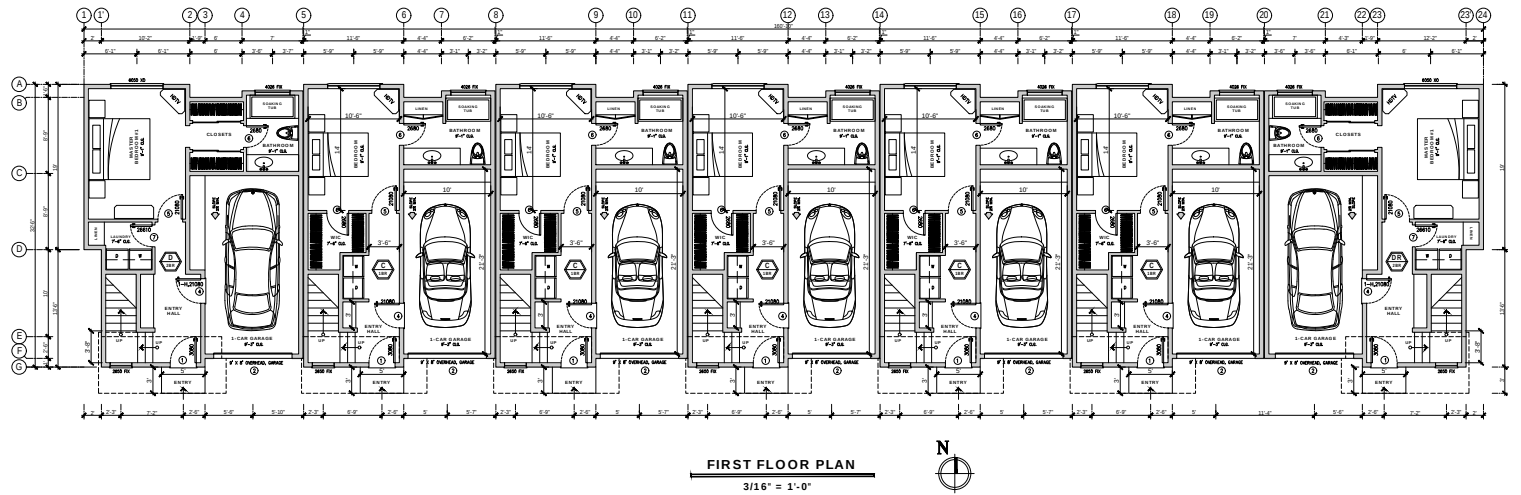
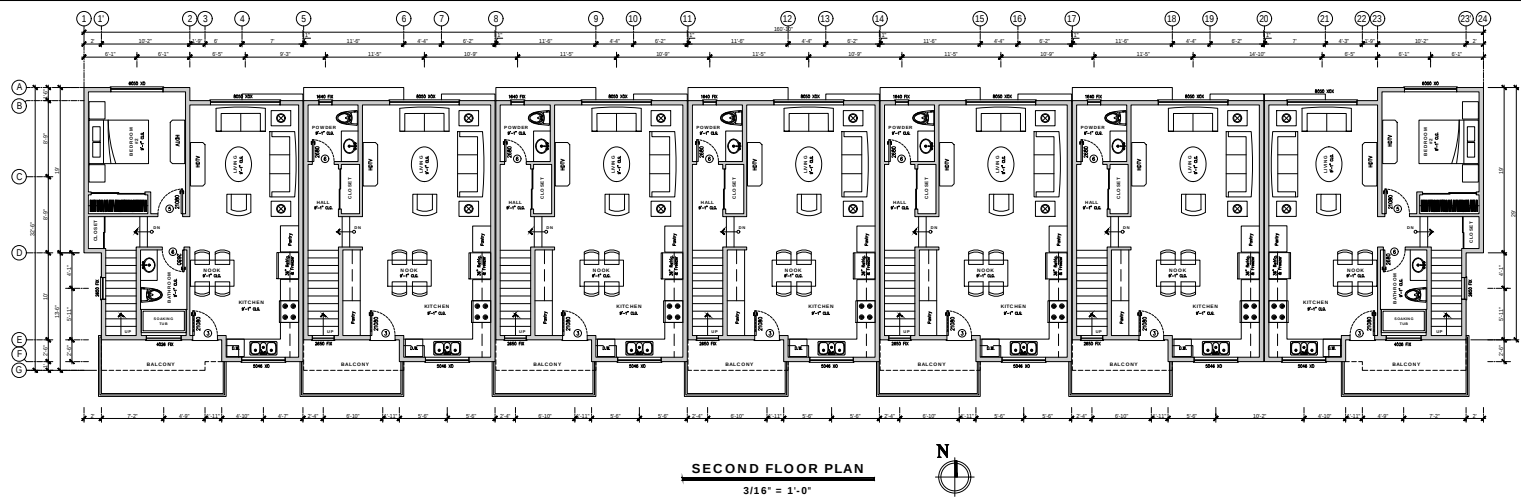


ALL GLASS DOORS AND WINDOWS TEMPERED GLAZING. THE TEMPERED GLAZING SHOULD BE PERMANENTLY MARKED (ETCHED) AS REQUIRED BY SAFETY GLAZING REQUIREMENTS (IRC R308.4)



TYPE 3

BUILDING "H"



NOTES:

1. 5/8" TYPE X Gypsum Board shall be installed at garage walls and ceiling.
2. Door between garage and private residence shall be self-closing and self-latching.
3. Fireproofing is required in concealed spaces 1/2" o.c. horizontal, vertically at the ceiling and floor levels, connecting between horizontal and vertical spaces, including spaces between trusses and lambs, openings around vents, pipes, ducts, cables, wires, conduits and protrusions.
4. Field-cutting ends, notches and drilled holes of preservative-treated wood shall be treated in the field in accordance with AIA 94.

BUILDING TYPE 4 AREA CALCULATION

NUMBER OF STORIES	2
FOOTPRINT AREA	5033 SQ. FT.
LIVING AREA:	
1ST FLOOR	3277 SQ. FT.
2ND FLOOR	4296 SQ. FT.
TOTAL LIVING AREA:	7575 SQ. FT.
GARAGES	1713 SQ. FT.
BALCONY	563 SQ. FT.
UNIT C - 1BR	5
UNIT D - 2BR	1
UNIT DR - 2BR	1

UNIT C / 1BR		UNIT D / 2BR		UNIT DR / 2BR	
LIVING AREA:		LIVING AREA:		LIVING AREA:	
1ST FLOOR	467 SQ. FT.	1ST FLOOR	486 SQ. FT.	1ST FLOOR	486 SQ. FT.
2ND FLOOR	590 SQ. FT.	2ND FLOOR	674 SQ. FT.	2ND FLOOR	674 SQ. FT.
TOTAL LIVING AREA:	1047 SQ. FT.	TOTAL LIVING AREA:	1170 SQ. FT.	TOTAL LIVING AREA:	1170 SQ. FT.
1-CAR GARAGE	237 SQ. FT.	1-CAR GARAGE	264 SQ. FT.	1-CAR GARAGE	264 SQ. FT.
BALCONY	75 SQ. FT.	BALCONY	94 SQ. FT.	BALCONY	94 SQ. FT.

TYPE 4 BUILDING "I"

PROJECT: MIKASA LUXURY VILLAS[®]
4705 KERRICK AVE. WILSON, CA 92595
OWNER: A & L CAPITAL
P.O. BOX 89130
FREMONT, CA 94568

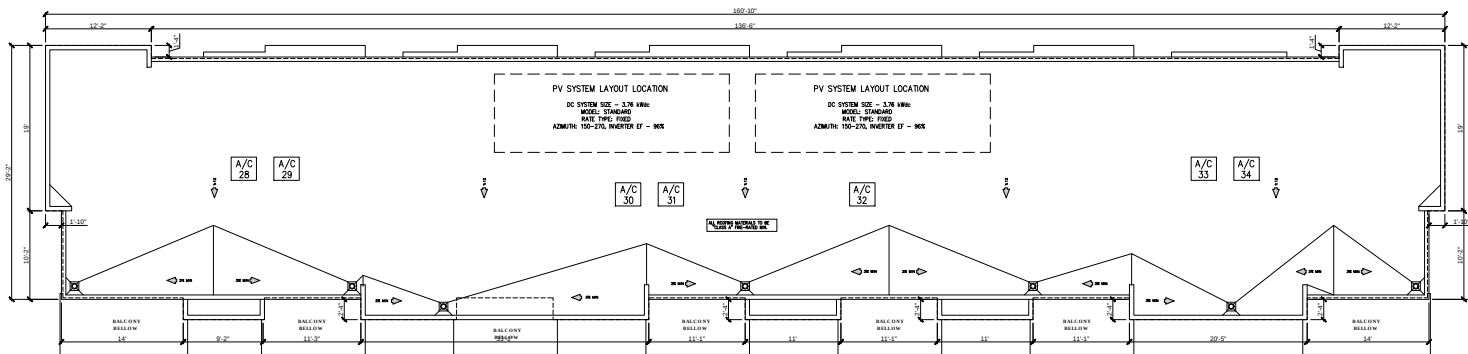
DESIGNED BY: C & G ENGINEERING, INC.
1000 E. Le Prieux Ave., Suite D, Anaheim, CA 92805
PHONE: 714-215-4320
FAX: 714-215-4320
WWW: c&gengineering.com

DATE: 09/15/21
SCALE: 3/16" = 1'-0"
SHEET: 21-7
BLDG. TYPE: 4
1ST & 2ND FLOOR PLAN
A-4.1



FRONT (SOUTH) ELEVATION

3/16" = 1'-0"

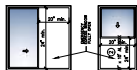


ROOF PLAN

3/16" = 1'-0"

EMERGENCY ESCAPE NOTES

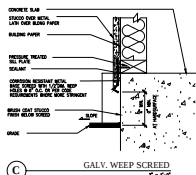
1. BUILDINGS EXCEPT THOSE ONLY FOR MECHANICAL EQUIPMENT ARE NOT TO BE USED AS A MEANS OF ESCAPE. THE BUILDING SHALL BE DESIGNED TO PROVIDE A MEANS OF ESCAPE FOR ALL OCCUPANTS IN THE EVENT OF A FIRE OR OTHER EMERGENCY.
2. ALL BUILDINGS EXCEPT THOSE ONLY FOR MECHANICAL EQUIPMENT SHALL HAVE A MEANS OF ESCAPE FROM EACH FLOOR. THE MEANS OF ESCAPE SHALL BE A DIRECT AND UNOBSTRUCTED PATH TO A SAFE AREA OUTSIDE THE BUILDING. THE MEANS OF ESCAPE SHALL BE A DIRECT AND UNOBSTRUCTED PATH TO A SAFE AREA OUTSIDE THE BUILDING.



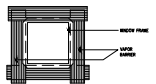
EGRESS WINDOW WALL SEC.

WINDOW NOTES:

1. THE MANUFACTURED WINDOW SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL WINDOW FILLS (NWF) AND SHOWING COMPLIANCE WITH THE ENERGY CODE.
2. ALL WINDOWS AND EXTERIOR DOORS SHALL BE DOUBLE PANELED. THE U-Factor of the window shall not exceed 0.30. The U-Factor of the window shall not exceed 0.30.
3. WINDOWS SHALL HAVE A PRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES. THE WINDOW SHALL BE TESTED ACCORDING TO ASTM E 1190.
4. PROVIDE THE EXTERIOR FLOORING UNDER DOORS TO ALL MECHANICAL ROOMS. THE EXTERIOR FLOORING SHALL BE A MINIMUM OF 1/2" THICK. THE EXTERIOR FLOORING SHALL BE A MINIMUM OF 1/2" THICK.



C

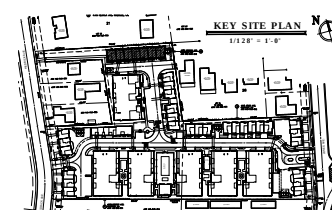


VAPOR BARRIER



RIGHT (EAST) ELEVATION

3/16" = 1'-0"



TYPE 4
BUILDING "I"

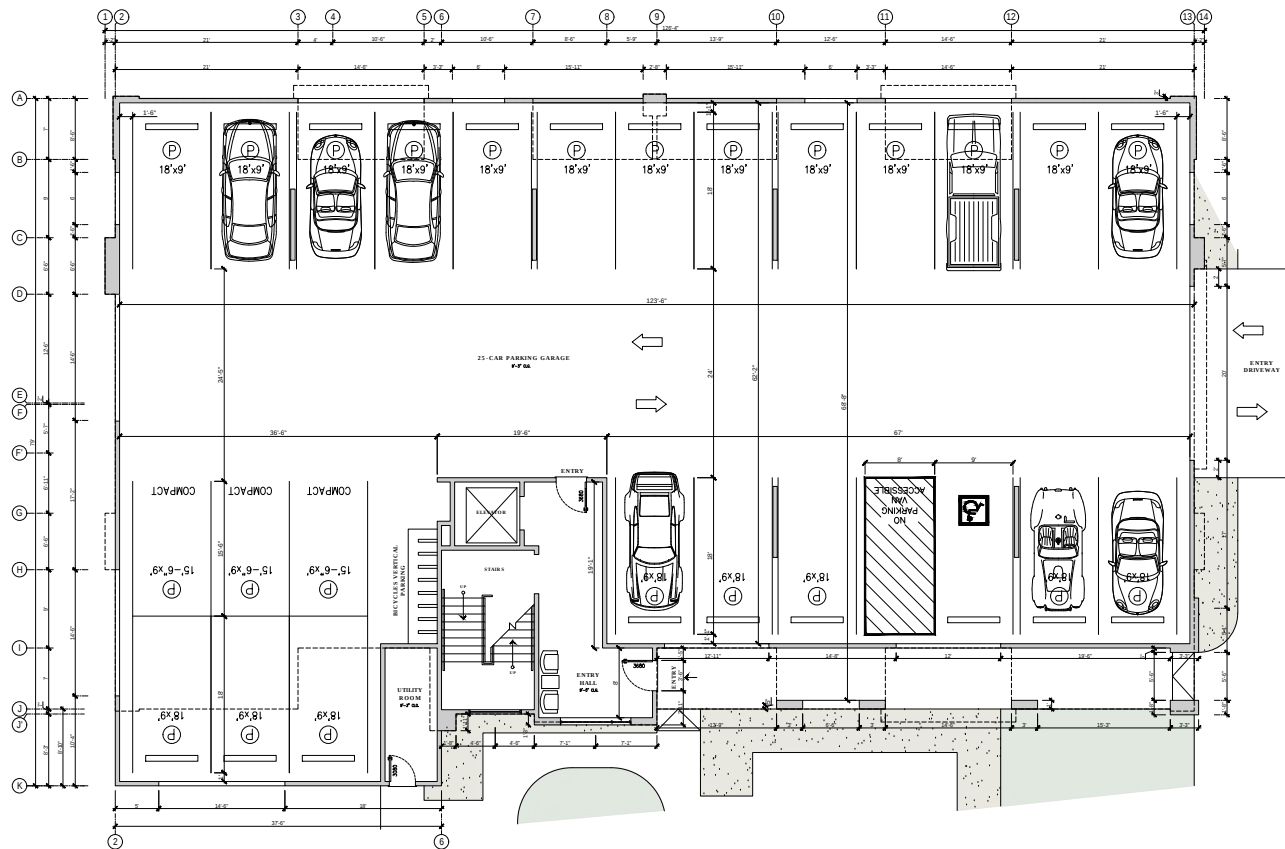
PROJECT: MIKASA LUXURY VILLAS
A & I CAPITAL
P.O. BOX 88030
PASADENA, CA 92388

OWNER: A & I CAPITAL

DESIGNED BY: G & G ENGINEERING, INC.
4000 E. La Palma Ave., Suite D, Anaheim, CA 92807
Phone: 714-251-4330
Fax: 714-251-4331

DATE: 09/15/21
SCALE: 3/16" = 1'-0"

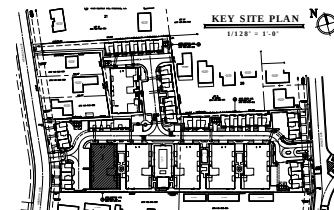
BLDG TYPE: 4
ROOF PLAN
EXTERIOR ELEVATIONS
A-4.2



BUILDING TYPE 5 AREA CALCULATION

NUMBER OF STORIES	3
FOOTPRINT AREA	9097 SQ. FT.
ENTRY HALL & STAIRS	586 SQ. FT.
GARAGE (25 CARS)	7896 SQ. FT.
UTILITY ROOM	109 SQ. FT.
HALLWAYS (2x538)	1,078 SQ. FT.
CLOSETS (2x51)	102 SQ. FT.
LIVING AREA:	
2ND FLOOR	7,234 SQ. FT.
3RD FLOOR	7,234 SQ. FT.
TOTAL LIVING AREA:	14,468 SQ. FT.
BALCONIES	1,886 SQ. FT.
UNIT E - 1BR	2
UNIT ER - 1BR	2
UNIT F - 2BR	4
UNIT FR - 2BR	2
ADA UNIT G - 2BR	1
ADA UNIT G1 - 2BR	1
UNIT H - 2BR	2
TOTAL UNITS:	14

UNIT E / 1BR	UNIT F / 2BR	ADA UNIT G / 2BR
TOTAL LIVING AREA: 718 SQ. FT. BALCONY: 95 SQ. FT.	TOTAL LIVING AREA: 1176 SQ. FT. BALCONY: 125 SQ. FT.	TOTAL LIVING AREA: 1187 SQ. FT. BALCONY: 130 SQ. FT.
UNIT ER / 1BR	UNIT FR / 2BR	ADA UNIT G1 / 2BR
TOTAL LIVING AREA: 718 SQ. FT. BALCONY: 95 SQ. FT.	TOTAL LIVING AREA: 1176 SQ. FT. BALCONY: 125 SQ. FT.	TOTAL LIVING AREA: 1197 SQ. FT. BALCONY: 434 SQ. FT.
UNIT H / 2BR		
TOTAL LIVING AREA: 1873 SQ. FT. BALCONY: 96 SQ. FT.		



TYPE 5 BUILDING "J"

NOTES:

1. 5/8" TYPE X GYPSUM BOARD SHALL BE INSTALLED AT GARAGE WALLS AND CEILING.
2. DOOR BETWEEN GARAGE AND PRIVATE RESIDENCE SHALL BE SELF-CLOSING AND SELF-LATCHING.
3. FIREPROOFING IS REQUIRED IN CONCEALED SPACES UP O.G. HORIZONTAL, VERTICALLY AT THE CEILING AND FLOOR LEVELS, CONNECTIONS BETWEEN SUBFLOOR AND VERTICAL SPACES, CONCEALED SPACES BETWEEN STOPS, AND LANDING OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, WHEEL CHAIRS AND PROTECTIONS.
4. FIELD-OUTTING ENDS, BOLTED AND DRILLED HOLES OF PREPARED-TREATED WOOD SHALL BE TREATED IN THE FIELD IN ACCORDANCE WITH AWP 54.

REVISIONS

PROJECT: MIKAS A LUXURY VILLAS
4705 KENNEDY AVE. IRVINE, CA 92615
OWNER: A & J CAPITAL
P.O. BOX 80130
IRVINE, CA 92618



G & G ENGINEERING, INC.
REGISTERED PROFESSIONAL ENGINEER
STATE OF CALIFORNIA
13281
G & G ENGINEERING, INC.
1000 E. LA PALMA AVE., SUITE 100, ANAHEIM, CA 92805
PHONE: 714-215-4430
FAX: 714-215-4430
E-MAIL: ggg@engr.com
WWW: WWW.GGENGINEERING.COM

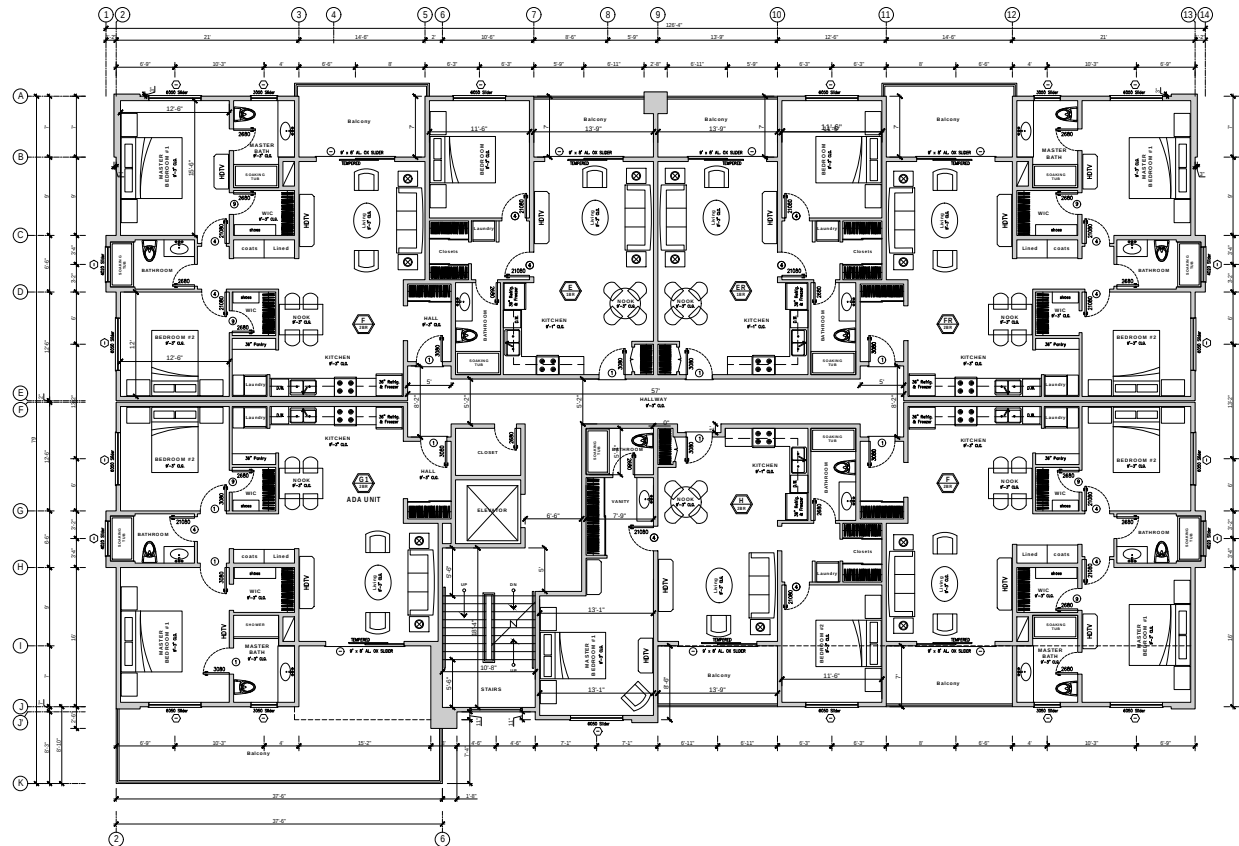


DESIGNED BY: CENTURY HERITAGE BUILDERS, INC.
4008 E. LA PALMA AVE., SUITE 100, ANAHEIM, CA 92805
PHONE: 714-215-4430
FAX: 714-215-4430
E-MAIL: cgb@centuryheritage.com
WWW: WWW.CENTURYHERITAGE.COM



NOTICE:

DATE: 09/15/21
SCALE: 3/16" = 1'-0"
SHEET: 21-7
BUILDING TYPE 5
1ST FLOOR
PLAN
A-5.1



SECOND FLOOR PLAN

3/16" = 1'-0"



NOTES:

1. 5/8" TYPE X GYPSUM BOARD SHALL BE INSTALLED AT GARAGE WALLS AND CEILING.
2. ROOF BETWEEN GARAGE AND PRIVATE RESIDENCE SHALL BE SELF-DRAINING AND SELF-VENTING.
3. FRIER/DOWNS IS REQUIRED IN CONCEALED SPACES OF O.G. HORIZONTAL, VERTICALLY AT THE CEILING AND FLOOR LEVELS, CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES, CONCEALED SPACES BETWEEN STOPS AND LANDING OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, WIREL CHANNELS AND PROFILES.
4. FIELD-CUTTING ENDS, NOTCHES AND DRILLED HOLES OF PRESERVATION-TREATED WOOD SHALL BE TREATED IN THE FIELD IN ACCORDANCE WITH APPA 54.

UNIT E / 1BR

TOTAL LIVING AREA: 718 SQ. FT.
BALCONY: 95 SQ. FT.

UNIT ER / 1BR

TOTAL LIVING AREA: 718 SQ. FT.
BALCONY: 95 SQ. FT.

UNIT H / 2BR

TOTAL LIVING AREA: 1873 SQ. FT.
BALCONY: 96 SQ. FT.

UNIT F / 2BR

TOTAL LIVING AREA: 1176 SQ. FT.
BALCONY: 125 SQ. FT.

UNIT FR / 2BR

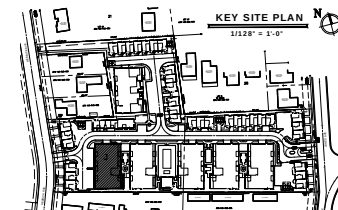
TOTAL LIVING AREA: 1176 SQ. FT.
BALCONY: 125 SQ. FT.

ADA UNIT G / 2BR

TOTAL LIVING AREA: 1187 SQ. FT.
BALCONY: 130 SQ. FT.

ADA UNIT G1 / 2BR

TOTAL LIVING AREA: 1187 SQ. FT.
BALCONY: 130 SQ. FT.



TYPE 5
BUILDING "J"

PROJECT: MIKASA LUXURY VILLAS[®]
4705 KERRICK AVE. WILSON, CA 92093

OWNER: A & L CAPITAL
P.O. BOX 89130
FREMONT, CA 94568

REGISTERED PROFESSIONAL ARCHITECT
No. 12821
STATE OF CALIFORNIA

G & G ENGINEERING, INC.

1000 E. 14TH AVE., SUITE 100, ANAHEIM, CA 92805

PHONE: 714-215-4430

FAX: 714-215-4430

WWW: G&GENGINEERING.COM

REGISTERED PROFESSIONAL ARCHITECT
No. 12821
STATE OF CALIFORNIA

CENTURY HERITAGE BUILDERS, INC.

4008 E. LA POINTE AVE., SUITE 100, ANAHEIM, CA 92805

PHONE: 714-215-4430

FAX: 714-215-4430

WWW: CENTURYHERITAGE.COM

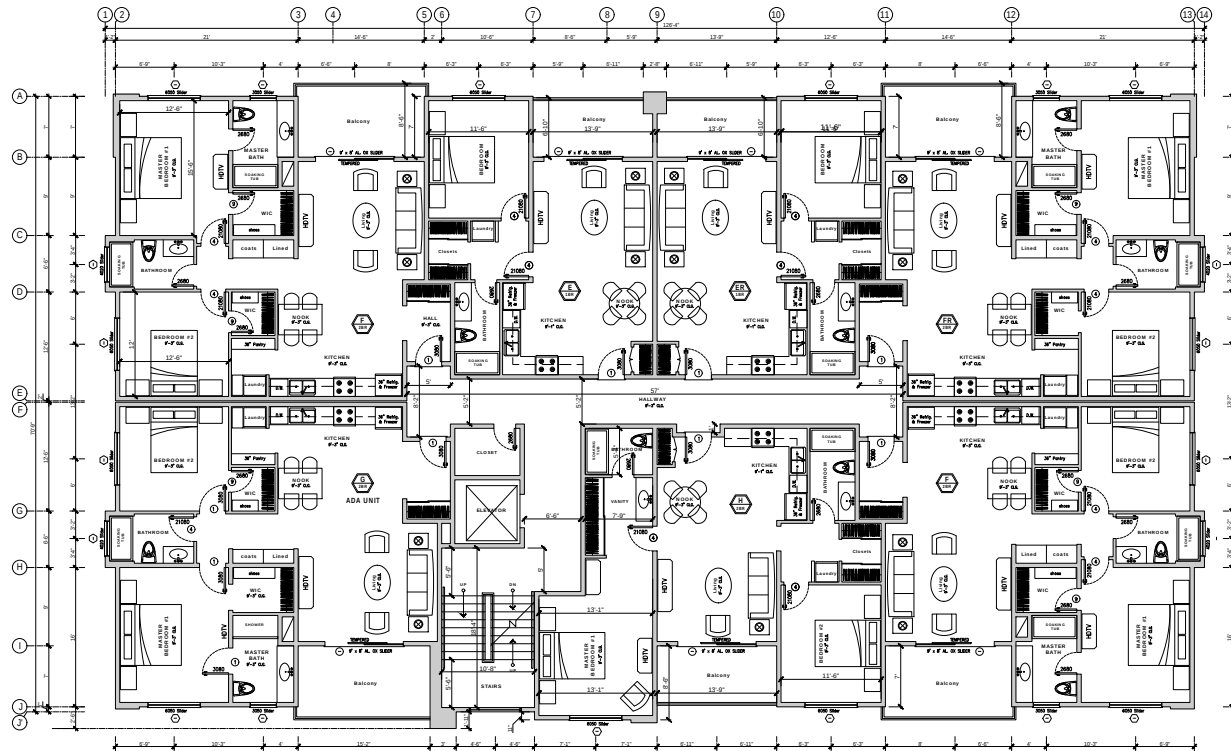
DATE: 09/15/21

SCALE: 3/16" = 1'-0"

BLDG: TYPE 5

2ND FLOOR PLAN

A-5.2



THIRD FLOOR PLAN

3/16" = 1'-0"



NOTES:

1. 5/8" TYPE X GYPSUM BOARD SHALL BE INSTALLED AT GARAGE WALLS AND CEILING.
2. ROOF BETWEEN GARAGE AND PRIVATE RESIDENCE SHALL BE SELF-CLOSING AND SELF-LATCHING.
3. FIREPROOFING IS REQUIRED IN CONCEALED SPACES OF O.G. HORIZONTAL, VERTICALLY AT THE CEILING AND FLOOR LEVELS, CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES, CONCEALED SPACES BETWEEN STOPS AND LANDING OPENINGS, AROUND VENTS, PIPES, DUCTS, CABLES, WIREL CHANNELS AND PROFILES.
4. FIELD-CUTTING ENDS, NOTCHES AND DRILLED HOLES OF PRESERVATIVE-TREATED WOOD SHALL BE TREATED IN THE FIELD IN ACCORDANCE WITH NAPA 54.

UNIT E / 1BR

TOTAL LIVING AREA: 718 SQ. FT.
BALCONY: 95 SQ. FT.

UNIT F / 2BR

TOTAL LIVING AREA: 1176 SQ. FT.
BALCONY: 125 SQ. FT.

ADA UNIT G / 2BR

TOTAL LIVING AREA: 1197 SQ. FT.
BALCONY: 130 SQ. FT.

UNIT ER / 1BR

TOTAL LIVING AREA: 718 SQ. FT.
BALCONY: 95 SQ. FT.

UNIT FR / 2BR

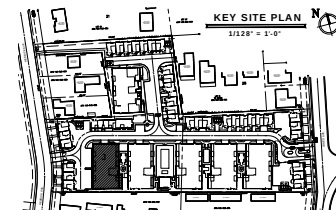
TOTAL LIVING AREA: 1176 SQ. FT.
BALCONY: 125 SQ. FT.

ADA UNIT G1 / 2BR

TOTAL LIVING AREA: 1197 SQ. FT.
BALCONY: 130 SQ. FT.

UNIT H / 2BR

TOTAL LIVING AREA: 1873 SQ. FT.
BALCONY: 96 SQ. FT.



TYPE 5
BUILDING "J"

REVISIONS

PROJECT: MIKASA LUXURY VILLAS[®]
4705 KERRICK AVE. PIERCE, CA 92350
OWNER: A & L CAPITAL
P.O. BOX 89130
EMERICK, CA 92586



G & G ENGINEERING, INC.
REGISTERED PROFESSIONAL ENGINEER
CIVIL ENGINEER
P.O. BOX 100
PACIFIC PALMS, CA 92550
PHONE: 951-251-4300
FAX: 951-251-4301
WWW.GGENGINEERING.COM



DESIGNED BY: CENTURY HERITAGE BUILDERS, INC.
4008 E. La Brea Ave., Suite D, Anaheim, CA 92807
PHONE: 714-215-4300
FAX: 714-215-4301
WWW.CHBUILDERS.COM



NOTICE:

DATE: 09/15/21
SCALE: 3/16"=1'-0"
SHEET: 21-7
BLDG: TYPE 5
3RD FLOOR
PLAN
A-5.3