



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

July 26, 2018

Mr. Sean Kelleher, Associate Planner
City of Riverside Planning Division
3900 Main Street, 3rd Floor
Riverside CA 92522

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Steve Manos
Lake Elsinore

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Simon A. Housman

John Guerin
Paul Rull
Barbara Santos

County Administrative Center
4080 Lemon St., 14th Floor.
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR’S DETERMINATION**

File No.: ZAP1304MA18 (letter 1 of 2)
Related File No.: P18-0028 (Rezone)
APN: not assigned yet

Dear Mr. Kelleher:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to ALUC Resolution No.15-01 (as adopted on August 13, 2015), staff reviewed City of Riverside Case No. P18-0028 (Rezone), a proposal to apply Commercial General (CG) zoning to a 2.2-acre area previously constituting California Department of Transportation right-of-way located on the northeast corner of Central Avenue and Sycamore Canyon Boulevard.

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (“March ALUCP”).

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

Simon A. Housman, ALUC Director

Attachments: Notice of Airport in Vicinity

cc: Melrose, LLC (applicant/property owner)
Eugene Marini (representative)
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
Daniel “Rock” Rockholt, March Air Reserve Base
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1304MA18\ZAP1304MA18.LTR ZC.doc



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**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR’S DETERMINATION**

File No.: ZAP1304MA18 (letter 2 of 2)
Related File No.: P18-0031 and P18-0032 (Conditional Use Permits), P18-0033 (Design Review), P18-0034 (Tentative Parcel Map No. 37591)
APN: not assigned yet

Dear Mr. Kelleher:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Riverside Case Nos. P18-0031 and P18-0032 (Conditional Use Permits) and P18-0033 (Design Review) proposing to establish a 12-pump gas station with a 3,200 square foot convenience store, a 1,199 square foot automated car wash facility, and a 3,800 square foot drive-thru fast food restaurant on 2.2 acres located on the northeast corner of Central Avenue and Sycamore Canyon Boulevard and P18-0034 (Tentative Parcel Map No. 37591), a proposal to divide the 2.2 acre site into 2 commercial parcels.

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA), where non-residential intensity is not restricted.

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport at its northerly terminus is approximately 1,535 feet above mean sea level (1535 AMSL). The site is located approximately 24,500 feet from this runway. At this distance, Federal Aviation Administration (FAA) review would be required for any structures exceeding 1,780 feet AMSL. The project site elevation is 1,375 feet AMSL and the maximum proposed building height is 30 feet, resulting in a top point elevation of 1,405 feet AMSL – below the runway elevation. Therefore, Federal Aviation Administration Obstruction Evaluation Service review for height/elevation reasons was not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the City of Riverside applies the following recommended conditions:

AIRPORT LAND USE COMMISSION

CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris centers, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the property and to lessees of the structure(s) thereon.
4. No detention basins are depicted on the site plan. Any new aboveground detention or water quality basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention/water quality basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Simon A. Housman, ALUC Director

AIRPORT LAND USE COMMISSION

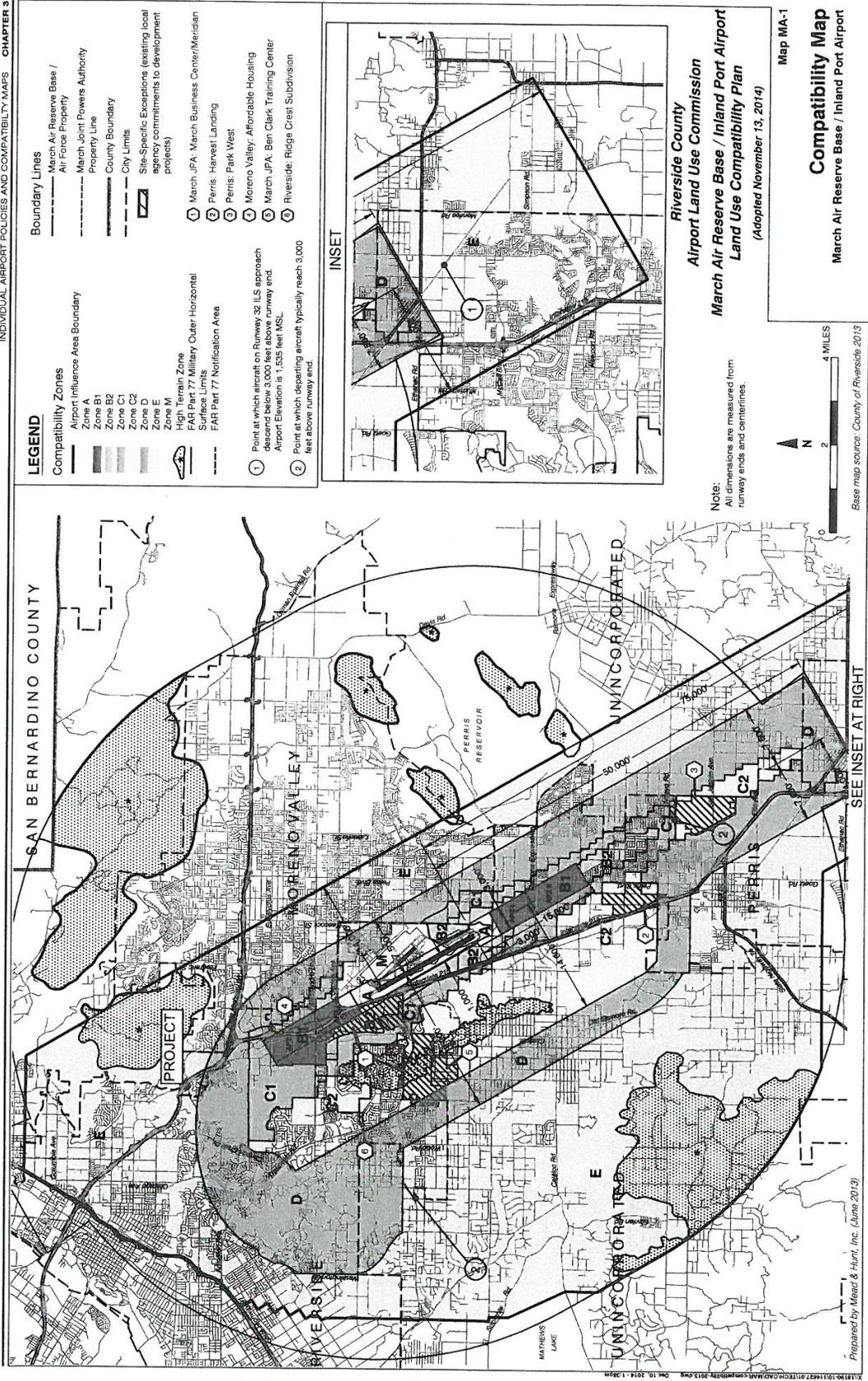
Attachments: Notice of Airport in Vicinity

cc: Melrose, LLC (applicant/property owner)
Eugene Marini (representative)
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
Daniel "Rock" Rockholt, March Air Reserve Base
ALUC Case File

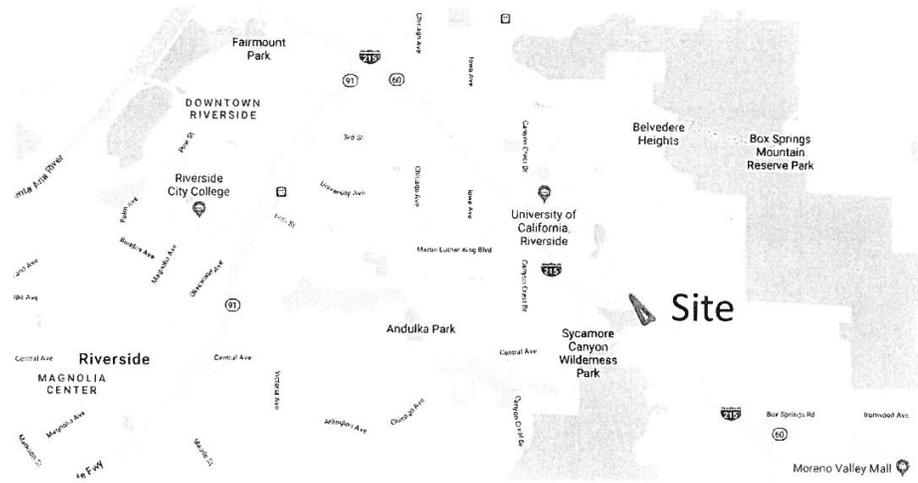
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NOTICE OF AIRPORT IN VICINITY

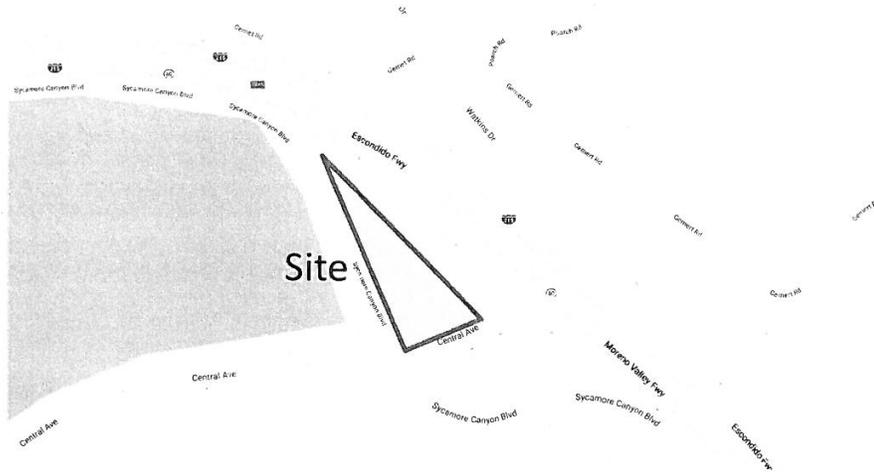
This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Large Scale Vicinity Map



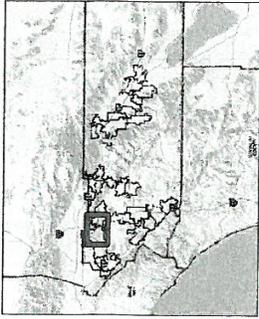
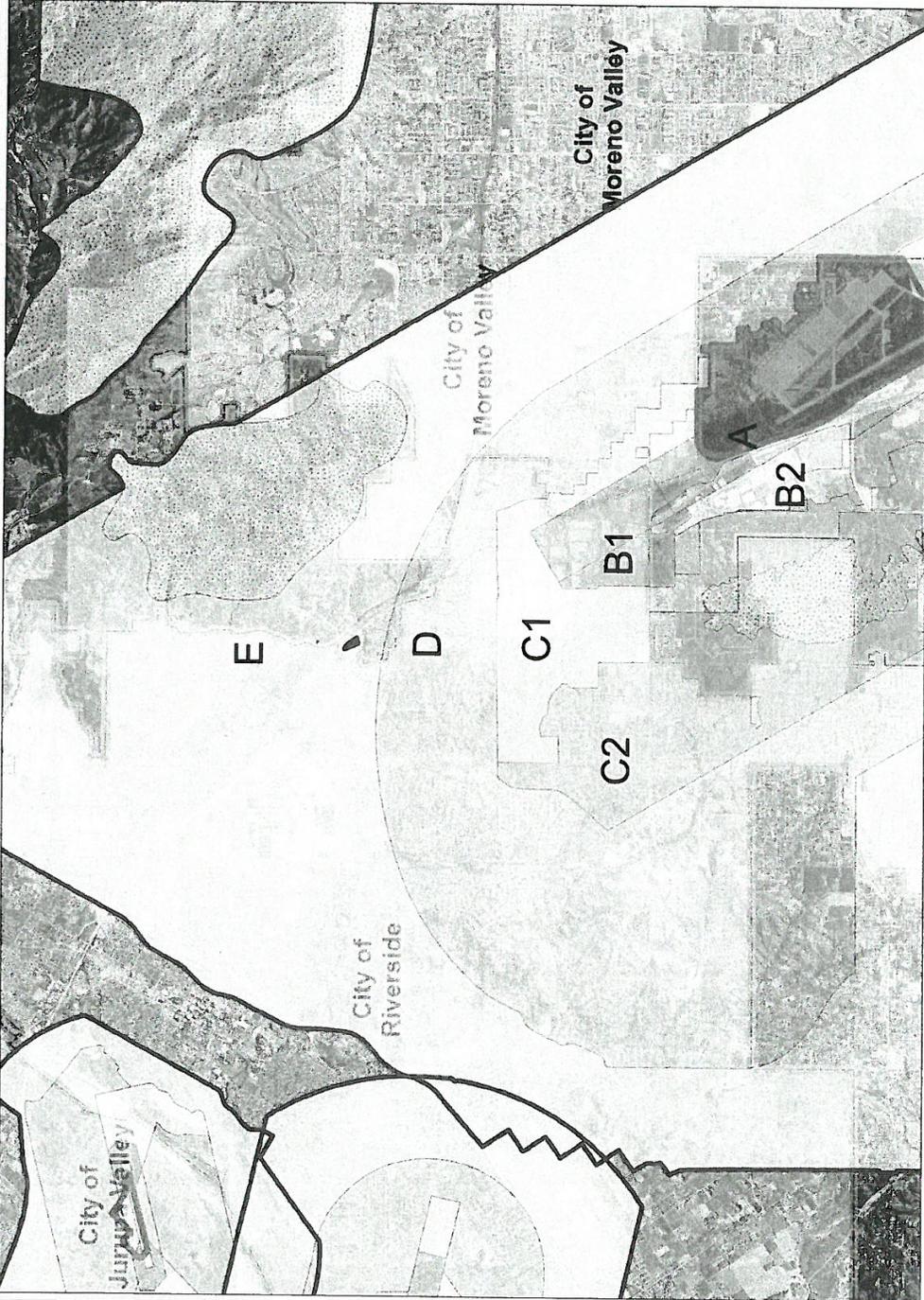
Enlarged Vicinity Map



<p>Sycamore Canyon Boulevard Riverside, California 92507</p>	<p>VICINITY MAPS</p>
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My Map



- Legend**
- Airports
 - AIA
 - Airport Compatibility
 - OTHER ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5
 - C2-EXC6
 - C2-HIGHT

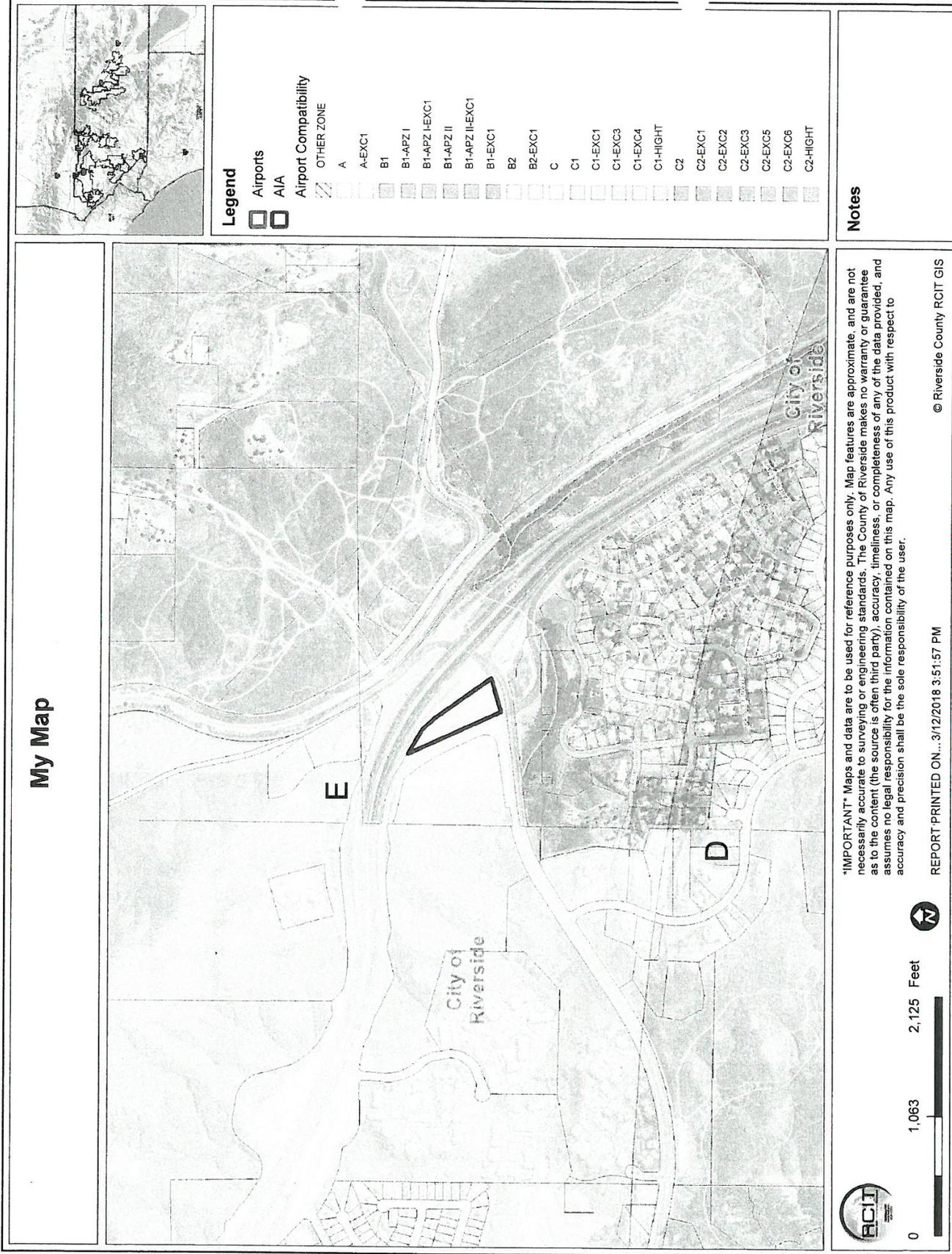
Notes

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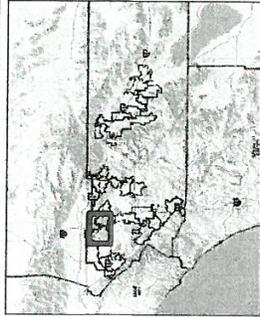
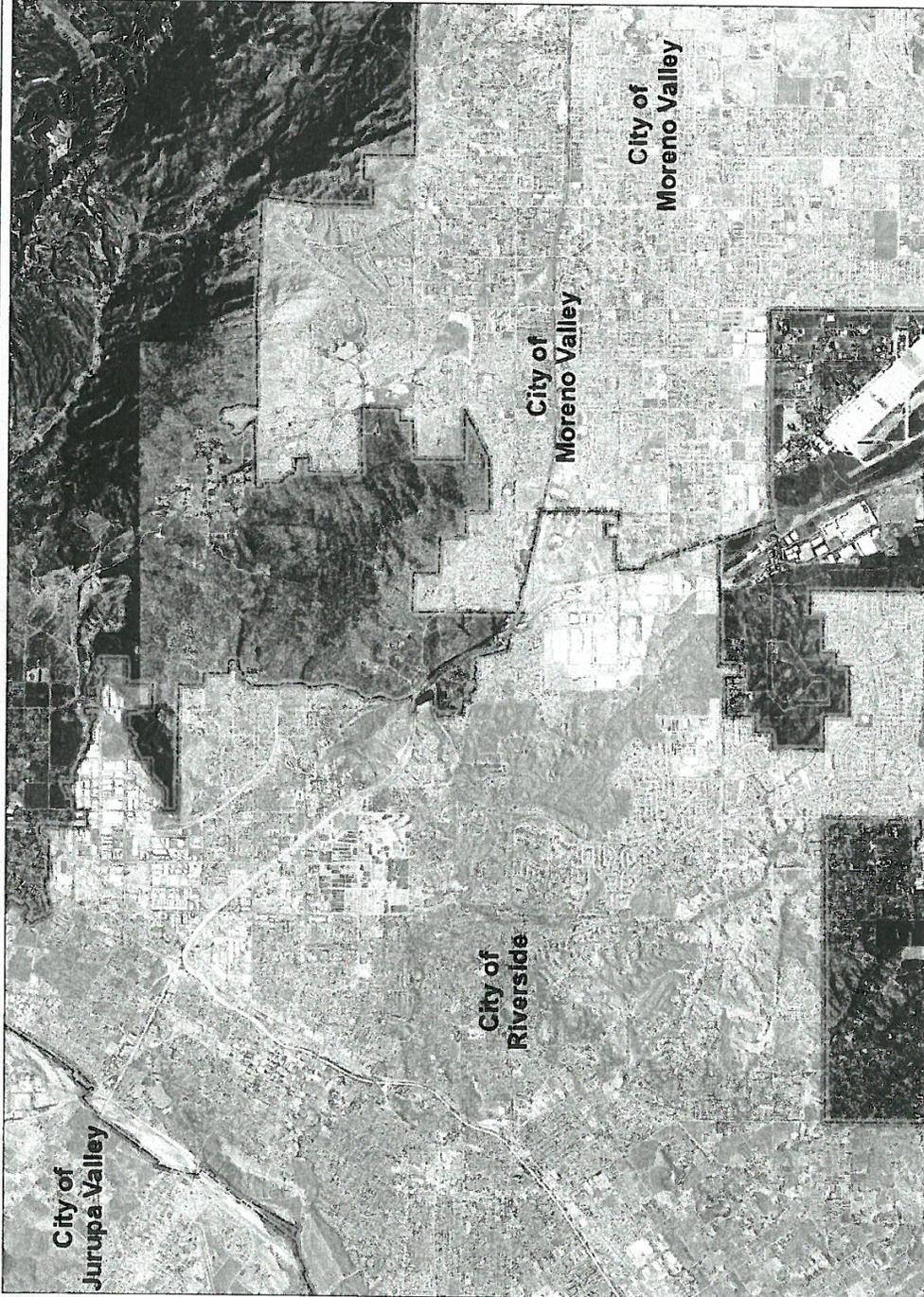


REPORT PRINTED ON... 3/12/2018 3:55:00 PM

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My Map



- Legend**
- City Boundaries
 - Cities
 - adjacent_highways
 - Interstate
 - Interstate 3
 - State Highways - 60
 - State Highways 3
 - US HWY
 - OUT
 - highways_large
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - USHWY
 - counties
 - cities

Notes

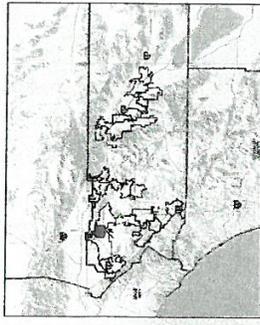
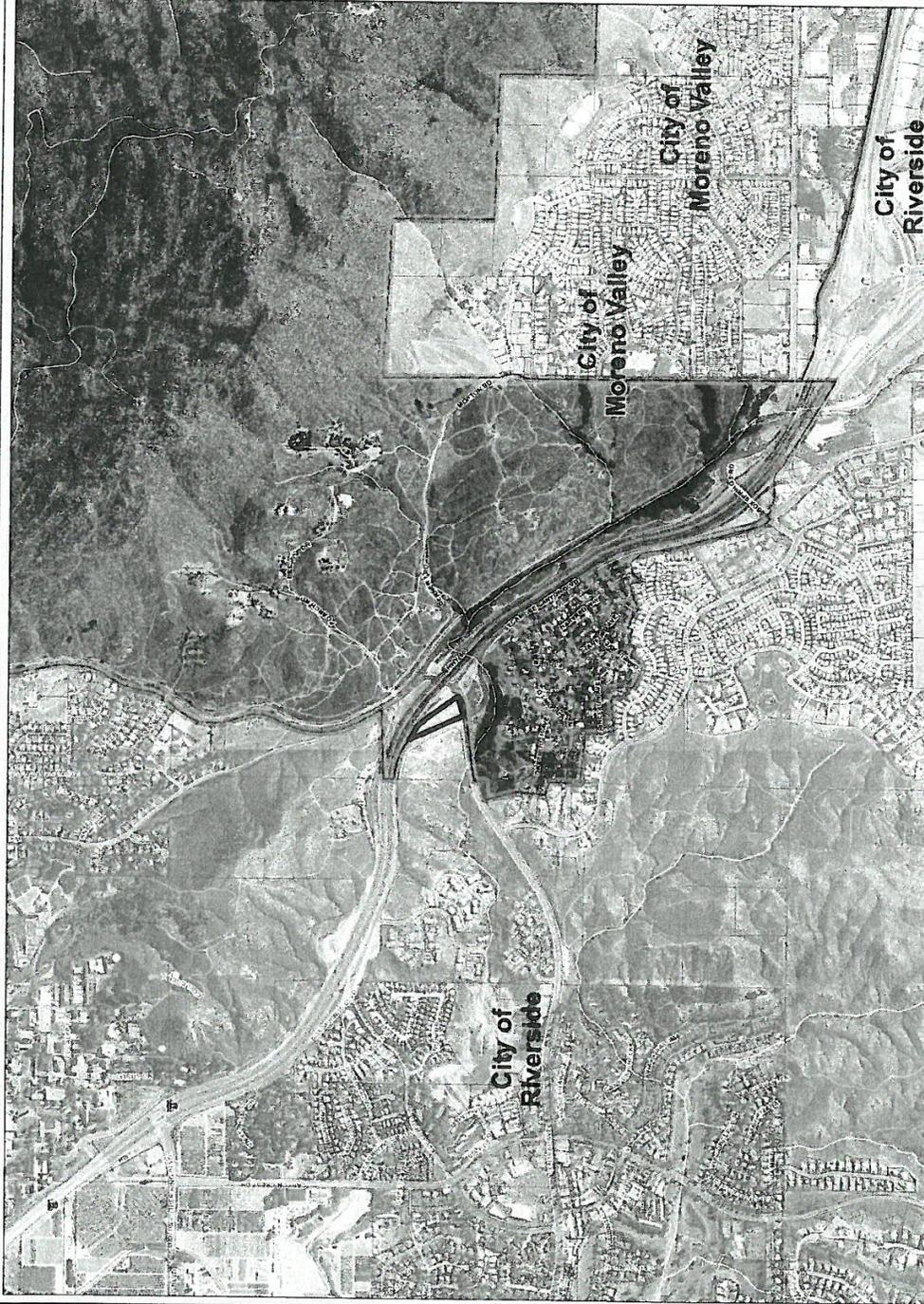
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My Map



Legend

- City Boundaries
- Cities
- roads
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads
- Major Roads
- Arterial
- Collector
- Residential
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers

Notes

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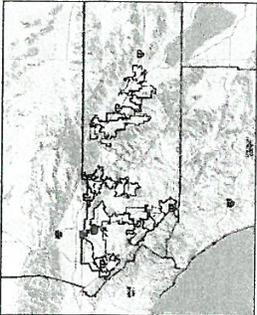
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My Map



- Legend**
- City Boundaries
 - Cities
 - roads
 - highways
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - OFFRAMP
 - ONRAMP
 - USHWY
 - counties
 - cities
 - hydrographylines
 - waterbodies
 - Lakes
 - Rivers



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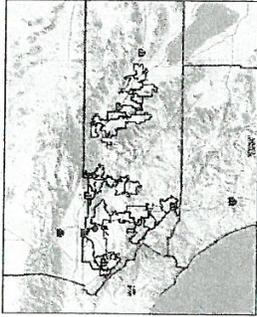
0 1,063 2,125 Feet



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My Map



- Legend**
- City Boundaries
 - Cities
 - roads
 - highways
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - OFFRAMP
 - ONRAMP
 - USHWY
 - counties
 - cities
 - hydrographylines
 - waterbodies
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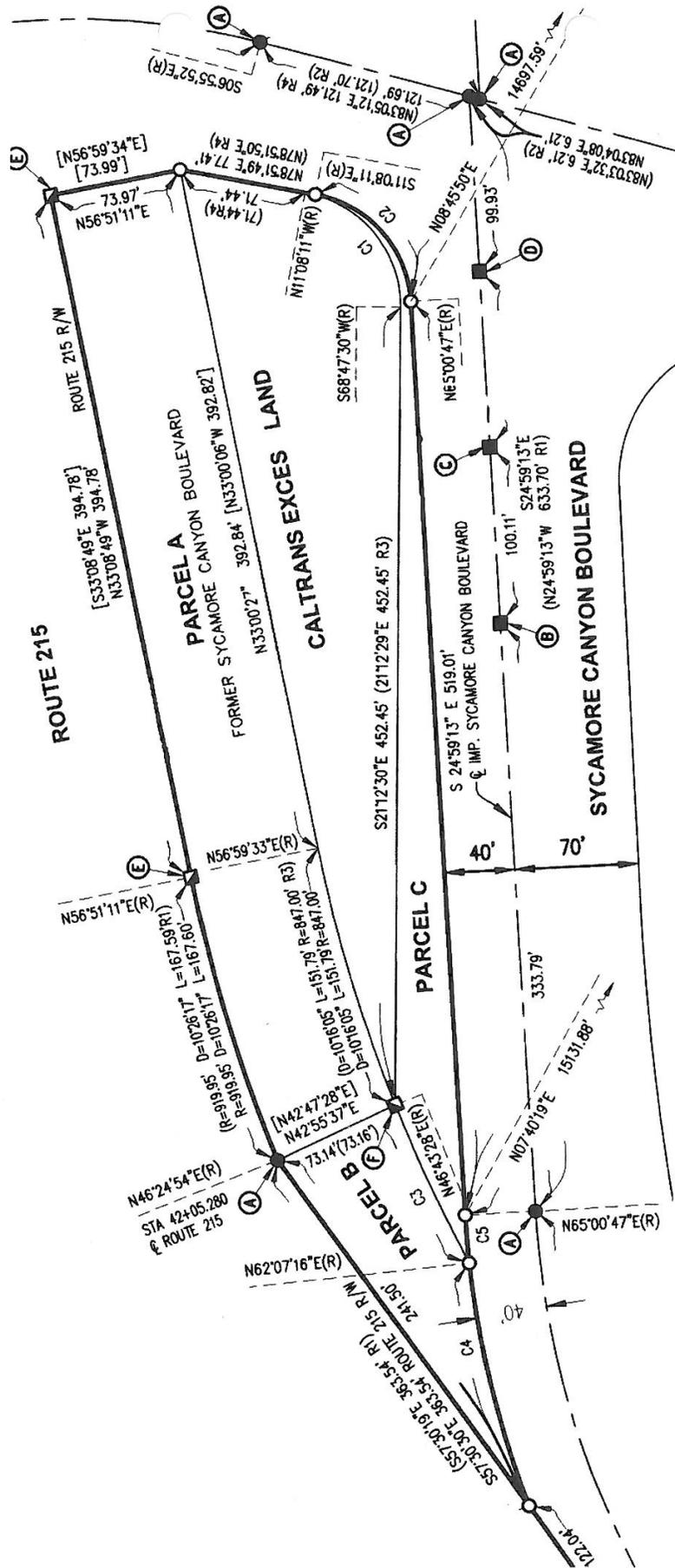
© Riverside County RCIT GIS

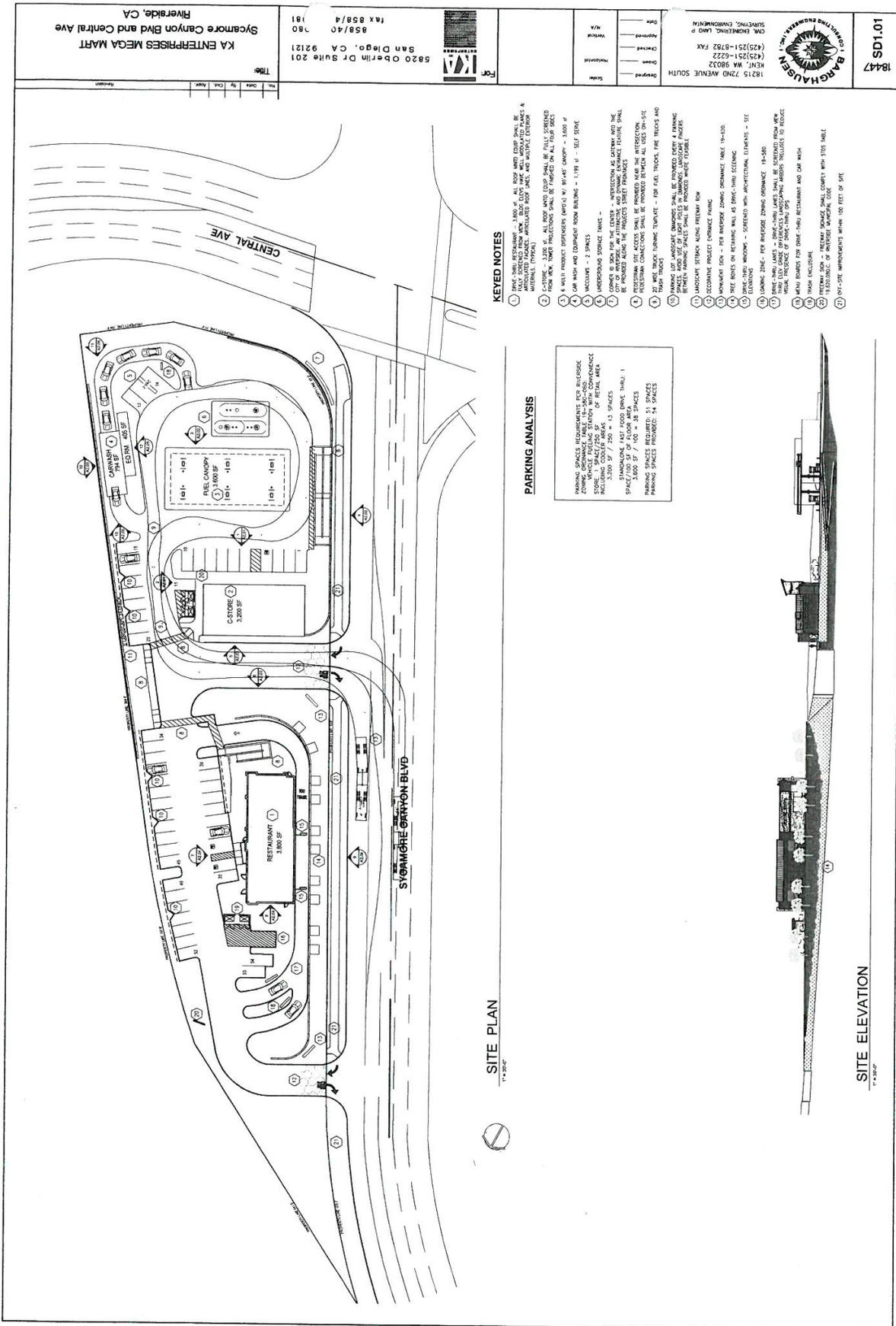


0 303 606 Feet



EXISTING ZONING NONE
 PROPOSED ZONING CG COMMERCIAL GENERAL





SITE PLAN
1" = 30' 0"

SITE ELEVATION
1" = 30' 0"

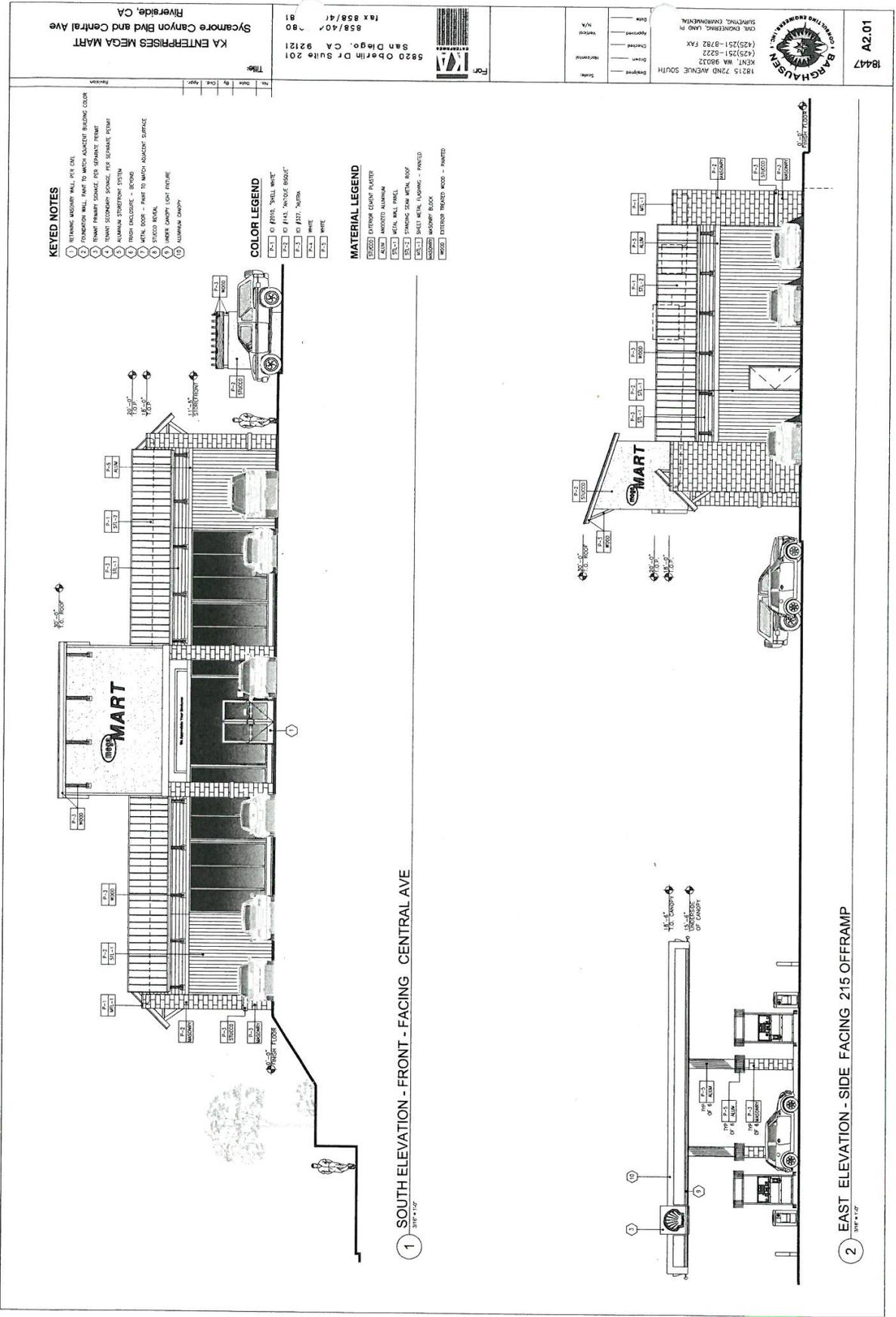
KEYED NOTES

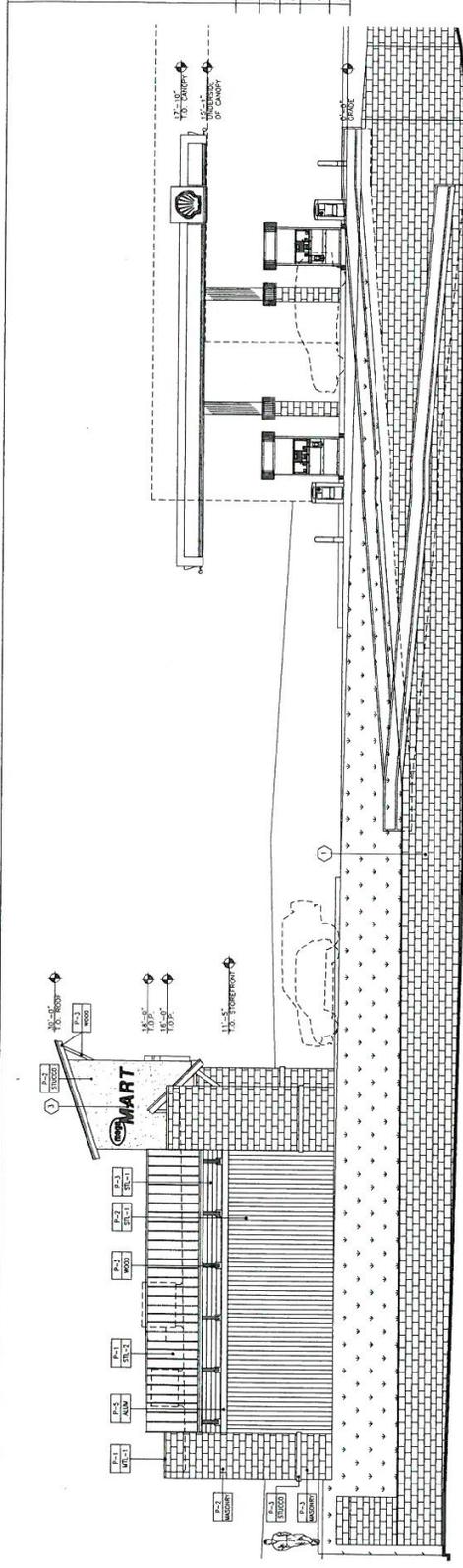
1. DRIVE-THRU RESTAURANT - 3,800 SF. ALL ROOF WARD CANOPY SHALL BE PROVIDED WITH 100% SOLAR SHIELDING AND WIND MITIGATION. ALL CALCULATED PLACES, UNCALCULATED SPACES, AND UNCALCULATED SPACES (TYPICAL) SHALL BE PROVIDED WITH 100% SOLAR SHIELDING AND WIND MITIGATION.
2. DRIVE-THRU RESTAURANT - 3,800 SF. ALL ROOF WARD CANOPY SHALL BE PROVIDED WITH 100% SOLAR SHIELDING AND WIND MITIGATION.
3. ALL MULTI-PRODUCT OPERATORS (MPO'S) BY 9:00 AM CANOPY - 3,000 SF
4. CAR WASH AND COMPLIANT ROOM BUILDING - 1,000 SF - SELF SERVE
5. FUEL CANOPY - 1,000 SF
6. UNDERGROUND STORAGE TANKS - 2 SPACES
7. WASH BAY - 2 SPACES
8. CORNER 8' SIGN FOR THE CENTER - INTERSECTION AS SHOWN INTO THE INTERSECTION
9. PREDETERMINED SIDE ACCESS SHALL BE PROVIDED NEAR THE INTERSECTION
10. PREDETERMINED SIDE ACCESS SHALL BE PROVIDED NEAR THE INTERSECTION
11. PREDETERMINED SIDE ACCESS SHALL BE PROVIDED NEAR THE INTERSECTION
12. PREDETERMINED SIDE ACCESS SHALL BE PROVIDED NEAR THE INTERSECTION
13. PREDETERMINED SIDE ACCESS SHALL BE PROVIDED NEAR THE INTERSECTION
14. PREDETERMINED SIDE ACCESS SHALL BE PROVIDED NEAR THE INTERSECTION
15. PREDETERMINED SIDE ACCESS SHALL BE PROVIDED NEAR THE INTERSECTION
16. PREDETERMINED SIDE ACCESS SHALL BE PROVIDED NEAR THE INTERSECTION
17. PREDETERMINED SIDE ACCESS SHALL BE PROVIDED NEAR THE INTERSECTION
18. PREDETERMINED SIDE ACCESS SHALL BE PROVIDED NEAR THE INTERSECTION
19. PREDETERMINED SIDE ACCESS SHALL BE PROVIDED NEAR THE INTERSECTION
20. PREDETERMINED SIDE ACCESS SHALL BE PROVIDED NEAR THE INTERSECTION
21. PREDETERMINED SIDE ACCESS SHALL BE PROVIDED NEAR THE INTERSECTION
22. PREDETERMINED SIDE ACCESS SHALL BE PROVIDED NEAR THE INTERSECTION

PARKING ANALYSIS

PARKING SPACES RECOMMENDED FOR BUILDING ZONING ORDINANCE SHALL BE 190-360-000. PERFORMANCE STANDARD FOR PARKING SPACES SHALL BE 3,300 SF / 250 = 13 SPACES. STAMANDONE FAST FOOD DRIVE THRU, 1 SPACES PROVIDED. 3,800 SF / 100 = 38 SPACES. PARKING SPACES REQUIRED: 51 SPACES. PARKING SPACES PROVIDED: 4 SPACES.

<p>181447 SD1.01</p> <p>BARGHAUSEN CONSULTING ENGINEERS KENT, WA 98032 (425)251-8222 FAX (425)251-8282 FAX CIVIL ENGINEERING, LAND SURVEYING, ENVIRONMENTAL SCIENCE, ENVIRONMENTAL</p>	<p>181447 SD1.01</p> <p>BARGHAUSEN CONSULTING ENGINEERS KENT, WA 98032 (425)251-8222 FAX (425)251-8282 FAX CIVIL ENGINEERING, LAND SURVEYING, ENVIRONMENTAL SCIENCE, ENVIRONMENTAL</p>	<p>5820 O'Brien Dr Suite 201 San Diego, CA 92121 858/40780 fax 858/4181</p>	<p>KA ENTERPRISES MEGA MART Sycamore Canyon Blvd and Central Ave Riverside, CA</p>
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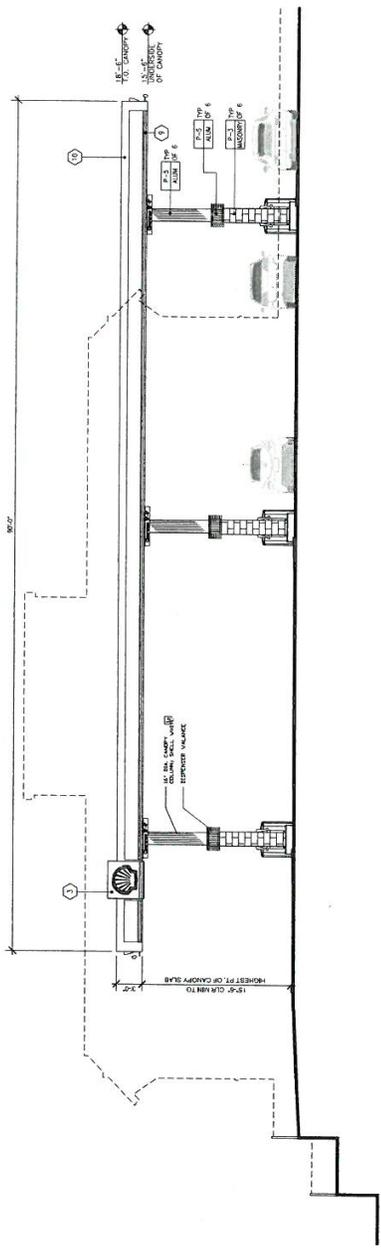


3 RETAIL SOUTH ELEVATION - FACING NORTH OF ENTRY DRIVE
3/11/11-11/11/11

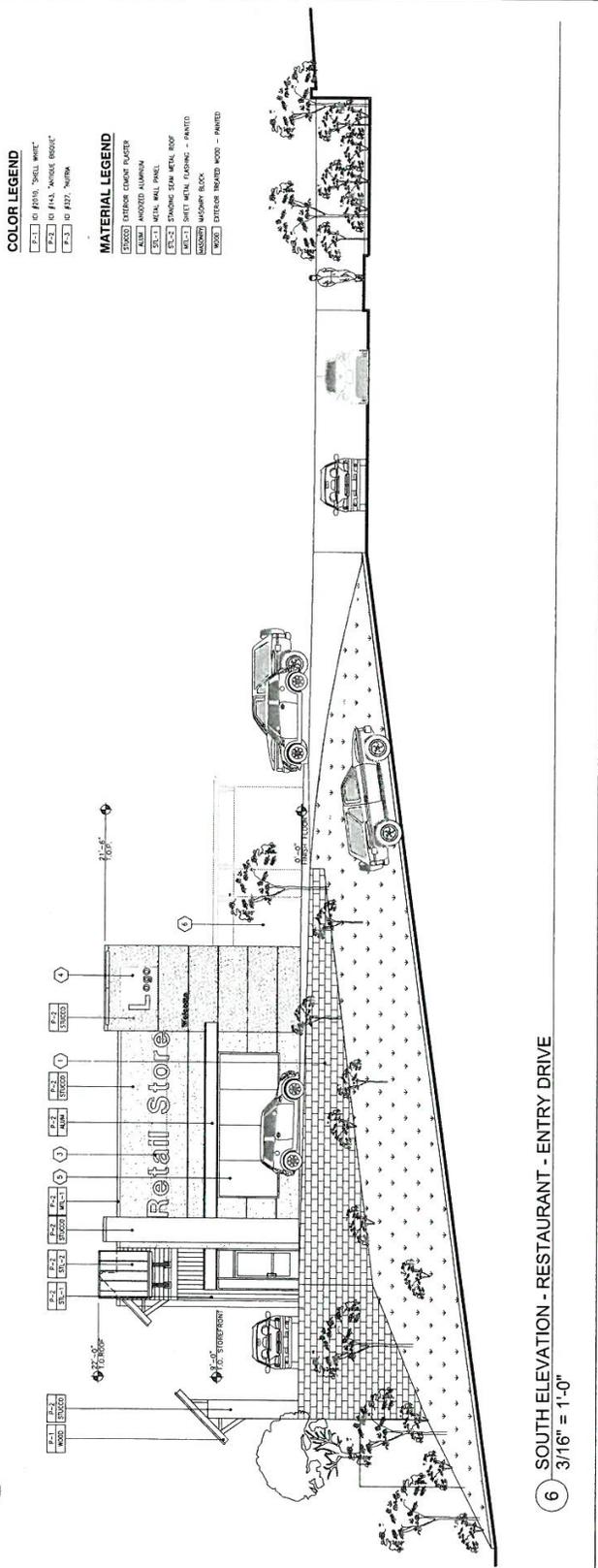
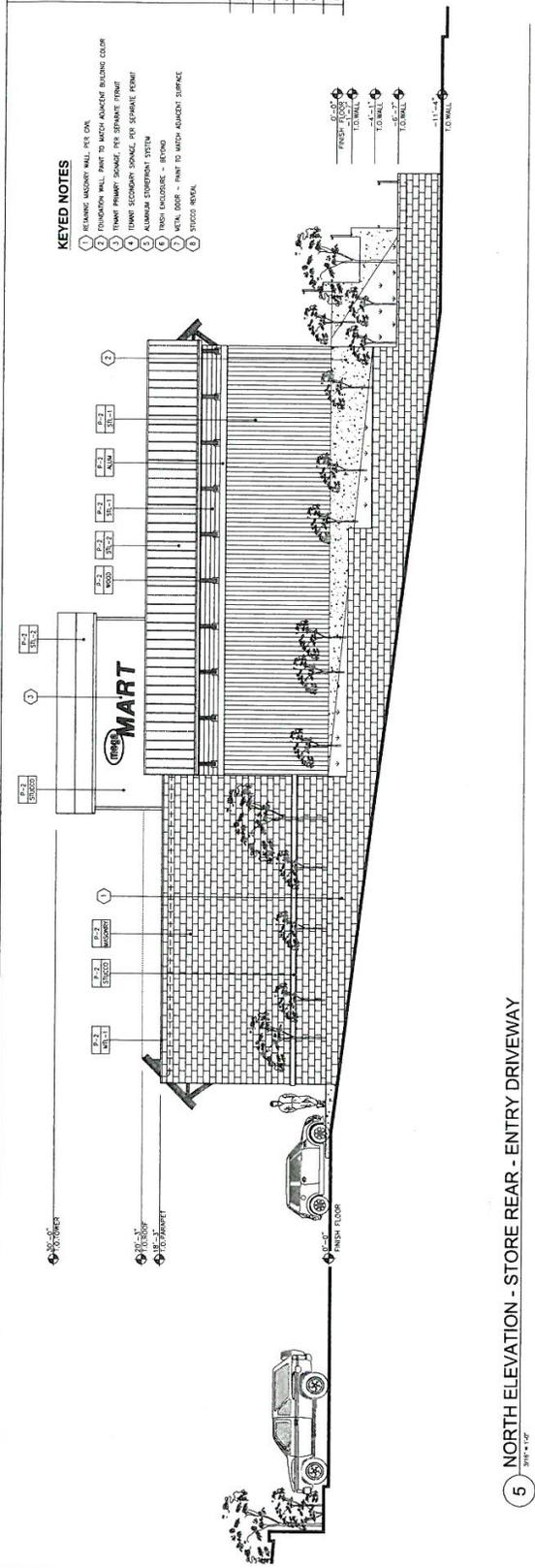
- KEYED NOTES**
- 1 RETAINING MASONRY WALL PER CIVIL
 - 2 FOUNDATION WALL, PAINT TO MATCH ADJACENT BUILDING COLOR
 - 3 FINISH PRIMARY SPACING, PER SEPARATE DETAIL
 - 4 FINISH SECONDARY SPACING, PER SEPARATE DETAIL
 - 5 ALUMINUM STRENGTHENMENT SYSTEM
 - 6 BRICK ENCLOSURE - RETIRED
 - 7 METAL DOOR - PAINT TO MATCH ADJACENT SURFACE
 - 8 STUCCO RETAIL
 - 9 BRICK CANOPY, LEAF FEATURE
 - 10 ALUMINUM CANOPY

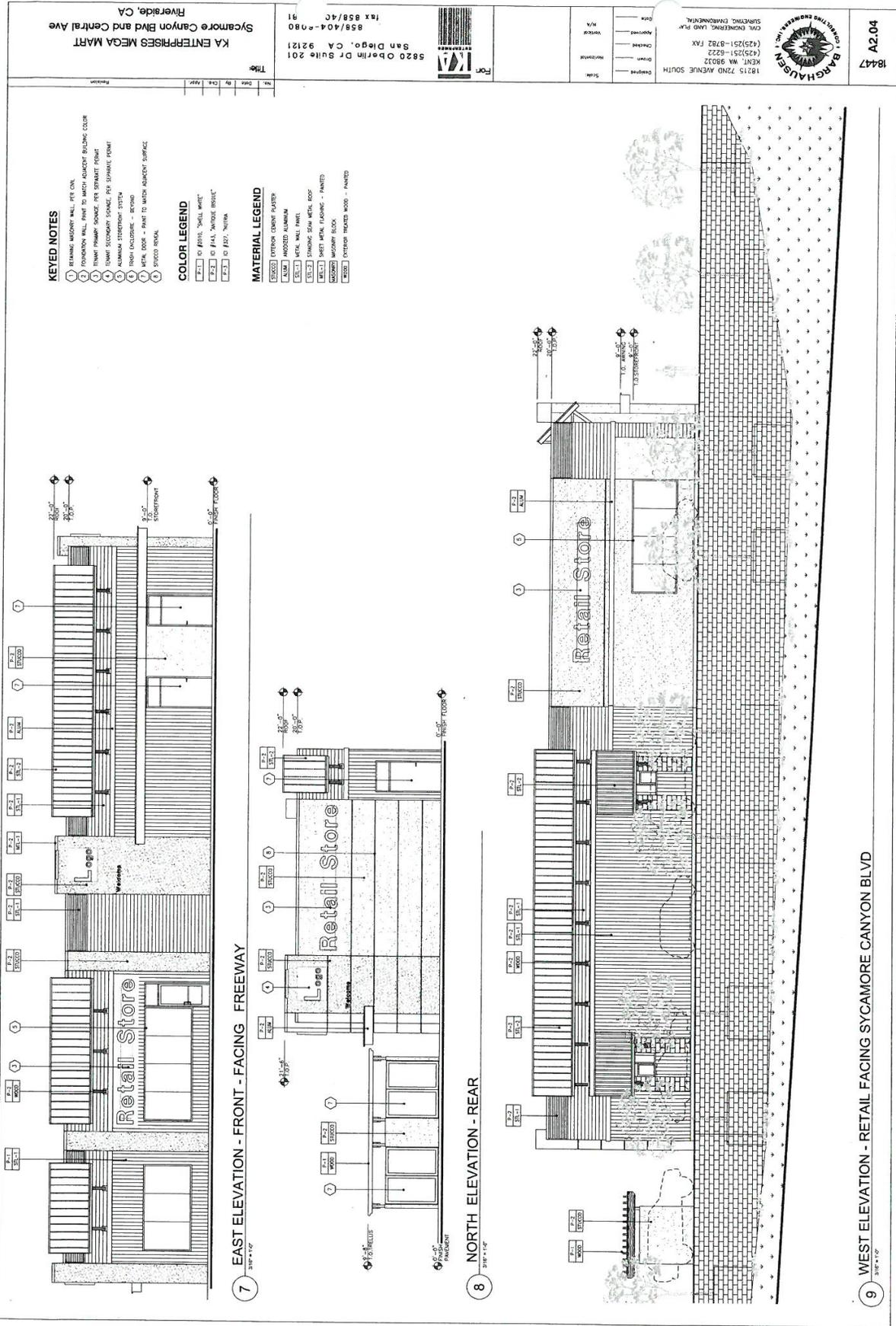
- COLOR LEGEND**
- 2-1 TO FIBER "SHELL WHITE"
 - 2-2 TO FIBER "NUDE BRIST"
 - 2-3 TO FIBER "VINTAGE"
 - 2-4 WHITE
 - 2-5 WHITE

- MATERIAL LEGEND**
- 10000 EXTERIOR COLOR PLASTER
 - 10001 MASONRY ALUMINUM
 - 10002 METAL WALL PANEL
 - 10003 STANDING SEAM METAL ROOF
 - 10004 SHEET METAL FLASHING - PAINTED
 - 10005 MASONRY BLOCK
 - 10006 EXTERIOR BRICKED WOOD - PAINTED



4 CANOPY ELEVATION - SOUTH FACING CENTRAL AVE
3/11/11-11/11/11





KEYED NOTES

1. RETAINING WALL - PAINT PER OVA
2. FOUNDATION WALL - PAINT TO MATCH ADJACENT BUILDING COLOR
3. TRUSS PRIMARY SPACING - PER SEPARATE PRINT
4. TRUSS SECONDARY SPACING - PER SEPARATE PRINT
5. ALUMINUM EXPANSION SYSTEM
6. IRON ENCLOSURE - BENDON
7. METAL DOOR - PAINT TO MATCH ADJACENT SURFACE
8. STUCCO ROOF

COLOR LEGEND

- P-1 CO F210, "STEEL WHITE"
- P-2 CO F143, "MOONBE BROWN"
- P-3 CO F211, "INDIA"

MATERIAL LEGEND

- S1000 STERNE CONCRETE PLASTER
- ALUM ANODIZED ALUMINUM
- MS-11 METAL WALL PANEL
- MS-12 STANDING SEAM METAL ROOF
- MS-13 SHEET METAL FLASHING - PAINTED
- MS-200 MASONRY BLOCK
- WOOD EXTERIOR HARDER WOOD - PAINTED

FOR

5820 Oberlin Dr Suite 201
San Diego, CA 92121
858/404-7980
fax 858/411-8181

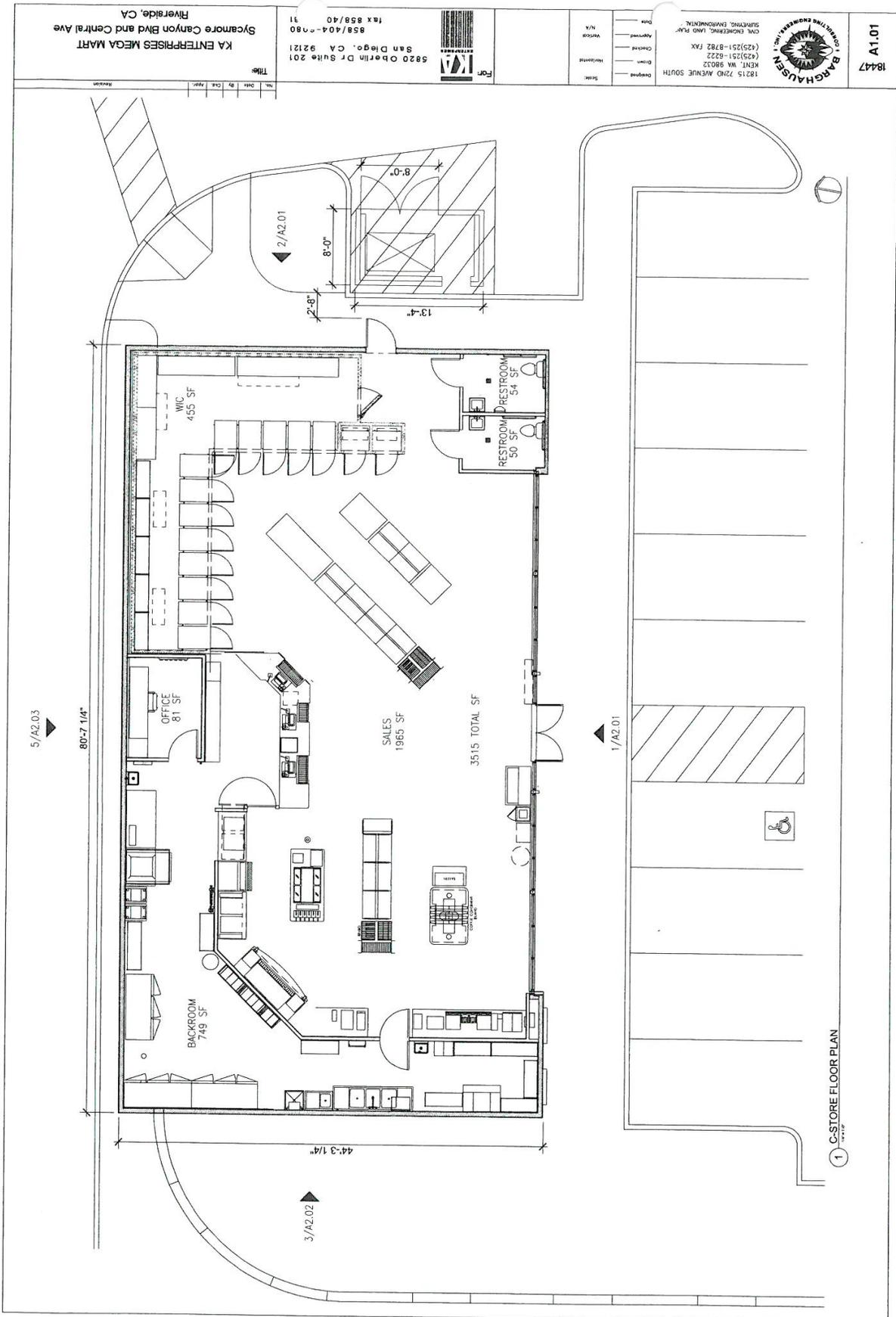
KA ENTERPRISES MEGA MART
Sycamore Canyon Blvd and Central Ave
Riverside, CA

10 EAST ELEVATION - FACING HWY I-215
3/16" = 1' = 0"

11 SOUTH ELEVATION - FACING CENTRAL
3/16" = 1' = 0"

12 WEST ELEVATION - STORE & CANOPY FACING SYCAMORE CANYON BLVD
3/16" = 1' = 0"

13 NORTH ELEVATION - FACING CENTRAL
3/16" = 1' = 0"



KA ENTERPRISES MEGA MART
 Sycamore Canyon Blvd and Central Ave
 Riverside, CA

5820 Oberlin Dr Suite 201
 San Diego, CA 92121
 858/404-0980
 fax 858/40 31



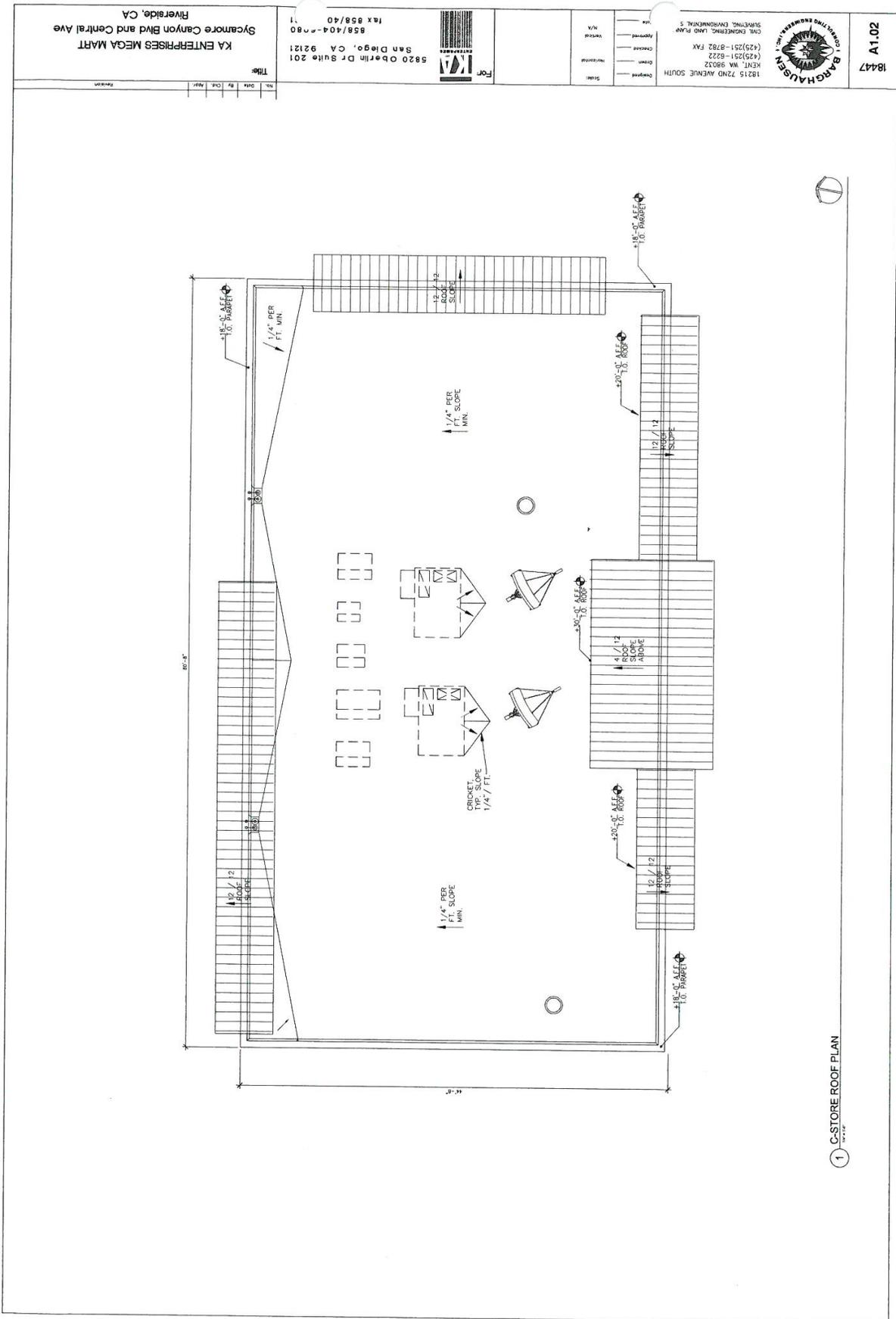
Date:	
Checked:	
Approved:	
Drawn:	
Heightened:	
Scale:	

18215 72ND AVENUE SOUTH
 KENT, WA 98032
 (425)251-8222
 (425)251-8222 FAX
 CIVIL ENGINEERING, LAND PLAN-
 SURVEYING, ENVIRONMENTAL



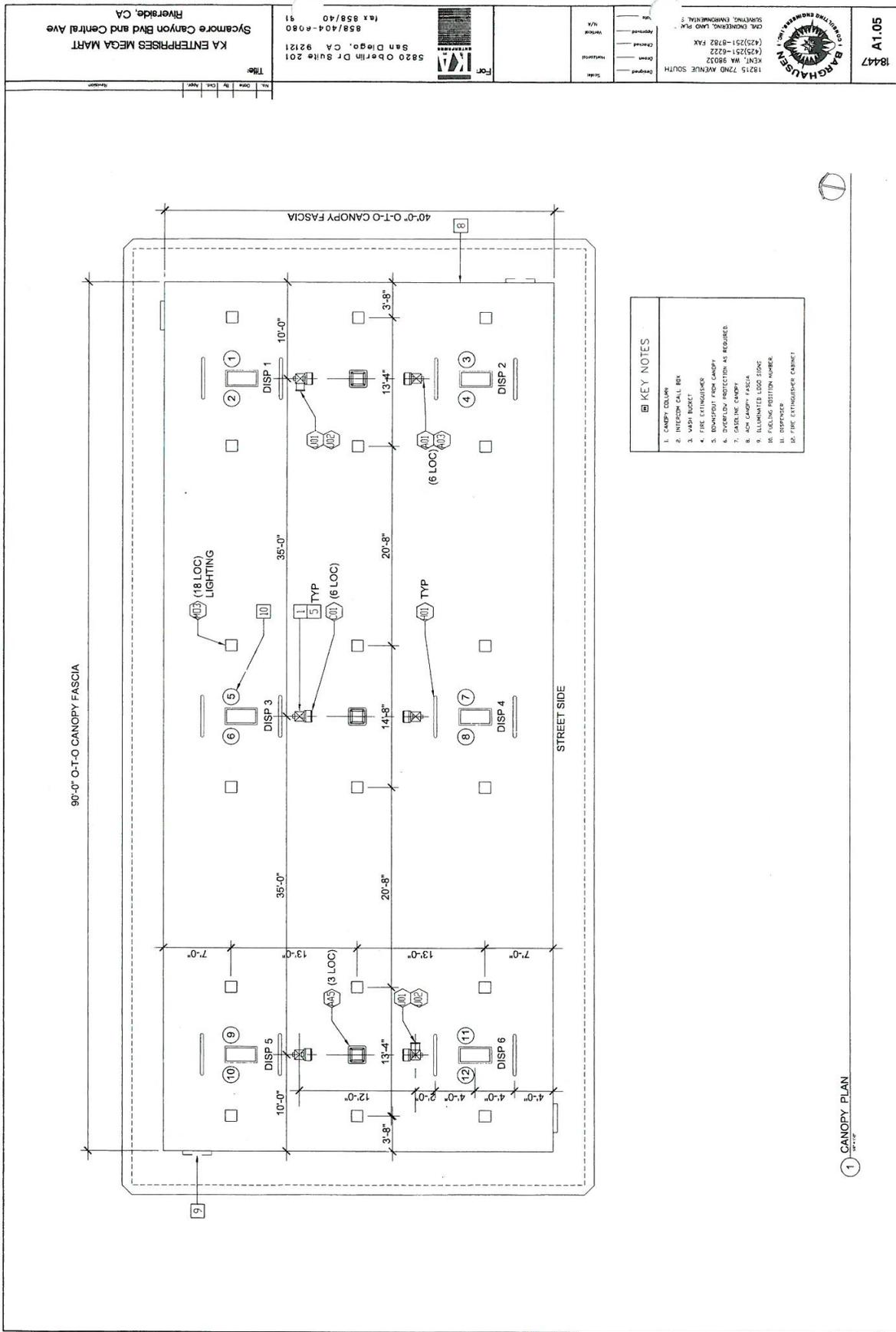
18447 A1.01

1 C-STORE FLOOR PLAN



1 C-STORE ROOF PLAN

BAGHAUSEN CONSULTING ENGINEERS 18215 72ND AVENUE SOUTH KENT, WA 98032 (425) 251-6222 (425) 251-8782 FAX C/E, ENGINEERING, LAND PLAN SURVEYING, ENVIRONMENTAL S		2012 A1.02 18447
5820 Oberlin Dr Suite 201 San Diego, CA 92121 658/404-0880 fax 658/40		Title No. Date By Ck. Rev.
For KA ENTERPRISES MEGA MART Sycamore Canyon Blvd and Central Ave Riverside, CA		Checked Drawn Hydrographer State Vertical N/A



KA ENTERPRISES MEGA MART
 Sycamore Canyon Blvd and Central Ave
 Riverside, CA

5820 Oberlin Dr Suite 201
 San Diego, CA 92121
 858/404-6980
 fax 858/40 91



BACHMANN ENGINEERING
 SURVEYING, LAND PLANNING, ARCHITECTURE, INTERIORS, ENVIRONMENTAL

18215 72ND AVENUE SOUTH
 2222
 (425)251-8222
 (425)251-8222 FAX

18447
 A1.05

1 CANOPY PLAN