

MARKET STREET  
TOWNHOUSES

15 LEASABLE UNITS

VACANT LAND ON MARKET STREET  
RIVERSIDE, CALIFORNIA 92501  
(CROSS STREET HOUGHTON AVENUE)

CONCEPTUAL SITE PLAN

HOUGHTON AVENUE



SITE INFORMATION :

LOT AREA : 150' X 187' = 28,050 SQ FT  
(+/- 0.64 ACRES)

TOTAL AREA GROUND FOOTPRINT OF  
ALL BUILDINGS 10,380 SQ FT (37% OF LOT AREA)

TOTAL AREA OF ALL HARDSCAPE  
12,959 SQ FT (46% OF LOT AREA)

TOTAL AREA OF ALL LANDSCAPE  
4,717 SQ FT (17% OF LOT AREA)

ALL UNITS COMBINED  
LIVING SPACE AREA : 24,855 SF  
12 UNITS @ 1,520 SQUARE FEET  
3 ADA UNITS @ 2,205 SQUARE FEET

BUILDING HEIGHT : 39'-7"

OCCUPANCY : R-2

CONSTRUCTION TYPE : V-B / SPRINKLERED

APN : 209-193-019-0  
(3 LOTS) 209-193-017-8  
209-193-018-9

ZONE INFORMATION :  
ZONE : DSP-MSG  
DOWNTOWN SPECIFIC PLAN  
MARKET STREET GATEWAY  
MARKET STREET : MAJOR W/ 100' R.O.W.  
4 LANES PLUS 2 BIKE LANES

OWNER INFORMATION :  
ISAAC TANIHAHA  
BLISS HOLDING GROUP  
18590 KRAMERIA AVENUE  
RIVERSIDE, CALIFORNIA 92508  
EMAIL: isaactanihaha@gmail.com

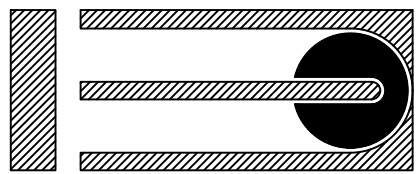
ARCHITECT / EXHIBIT PREPARER :  
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CONTACT : GREGORY HANN ARCHITECT  
PHYSICAL ADDRESS:  
24861 WASHINGTON AVE  
MURRIETA, CALIFORNIA 92562

CONSULTANT INDEX

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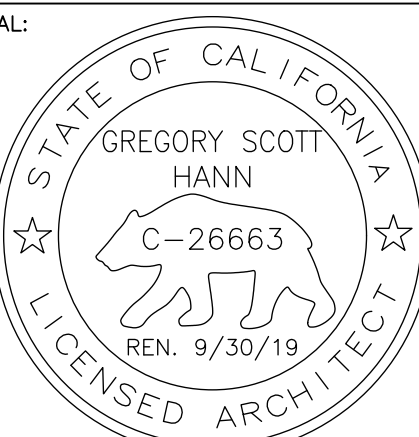
CLIENT:

BLISS  
HOLDING  
GROUP  
INC.

MARKET STREET TOWNHOMES  
APN : 209-193-019-0, 017-8, 018-9  
VACANT LAND, MARKET ST  
RIVERSIDE, CA 92501

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SEAL:



Date: OCTOBER 1, 2020

Project Number: EDG # 04543

NO. DATE REVISION DESCRIPTION

DESIGNED BY:

CHECKED BY:

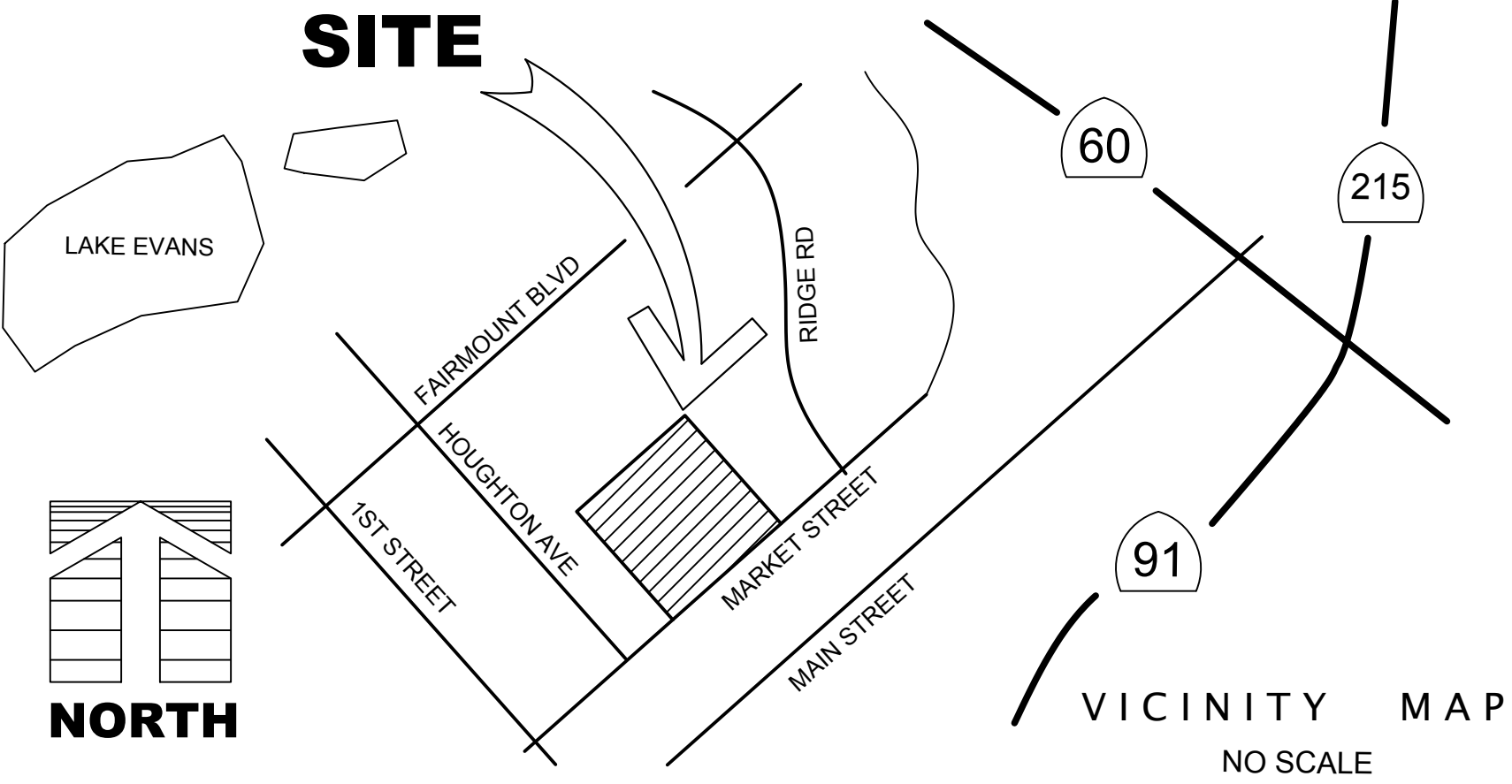
DRAWN BY: MQ

DRAWING TITLE:

TITLE  
SHEET

SHEET NO:

A-1.0



SHEET INDEX

DESCRIPTION

| SHEET        | DESCRIPTION                                    |  |  |
|--------------|------------------------------------------------|--|--|
| A - 1.0      | TITLE SHEET                                    |  |  |
| A - 2.0      | CONCEPTUAL SITE PLAN                           |  |  |
| CIVIL 1 OF 2 | CONCEPTUAL GRADING & DRAINAGE PLAN PAGE 1 OF 2 |  |  |
| CIVIL 2 OF 2 | CONCEPTUAL GRADING & DRAINAGE PLAN PAGE 2 OF 2 |  |  |
| A - 2.1      | PERIMETER MASONRY WALLS PLANS                  |  |  |
| A - 2.2      | MASONRY WALLS INTERIOR ELEVATIONS              |  |  |
| A - 2.3      | PARKING PLAN EXHIBIT                           |  |  |
| A - 2.4      | OPEN SPACE PLAN EXHIBIT                        |  |  |
|              |                                                |  |  |
|              | BUILDING 1, 2 ( Same Plan Flipped ) & 3        |  |  |
| A - 3.0      | SLAB EDGE PLAN                                 |  |  |
| A - 4.0      | FIRST FLOOR PLAN                               |  |  |
| A - 4.1      | SECOND FLOOR PLAN                              |  |  |
| A - 4.2      | THIRD FLOOR PLAN                               |  |  |
| A - 4.3      | ROOF PLAN                                      |  |  |
| A - 5.0      | BUILDING SECTION A                             |  |  |
| A - 5.1      | BUILDING SECTION B                             |  |  |
| A - 5.2      | BUILDING SECTION C & D                         |  |  |
| A - 6.0      | FRONT ELEVATION                                |  |  |
| A - 6.1      | LEFT & RIGHT ELEVATION                         |  |  |
| A - 6.2      | REAR ELEVATION                                 |  |  |
|              |                                                |  |  |

PROJECT CONSISTS OF A TOTAL OF :

15 LEASABLE UNITS

|                                     |              |                      |                       |                       |
|-------------------------------------|--------------|----------------------|-----------------------|-----------------------|
| 15 - 2 & 3 BEDROOM UNITS            |              | BUILDING 1           | BUILDING 2            | BUILDING 3            |
| ROOF DECK (each of the 15 units)    | 234 SQ FT ea | UNIT 1 - 1,520 SQ FT | UNIT 6 - 1,520 SQ FT  | UNIT 11 - 1,520 SQ FT |
| 2 BAY GARAGES (12 units)            |              | UNIT 2 - 1,520 SQ FT | UNIT 7 - 1,520 SQ FT  | UNIT 12 - 1,520 SQ FT |
| (UNITS 1,2,3,4,6,7,8,9,11,12,13,14) | 405 SQ FT ea | UNIT 3 - 1,520 SQ FT | UNIT 8 - 1,520 SQ FT  | UNIT 13 - 1,520 SQ FT |
| 2 BAY GARAGE (3 units)              |              | UNIT 4 - 1,520 SQ FT | UNIT 9 - 1,520 SQ FT  | UNIT 14 - 1,520 SQ FT |
| (ADA UNITS 5, 10 & 15)              | 450 SQ FT ea | UNIT 5 - 2,205 SQ FT | UNIT 10 - 2,205 SQ FT | UNIT 15 - 2,205 SQ FT |
|                                     |              | ADA UNIT             | ADA UNIT              | ADA UNIT              |

BUILDING LIVING SPACE AREA TOTALS

|             |             |             |
|-------------|-------------|-------------|
| BUILDING 1  | BUILDING 2  | BUILDING 3  |
| 8,285 SQ FT | 8,285 SQ FT | 8,285 SQ FT |

24,855 SQUARE FEET  
LIVING SPACE COMBINED TOTAL ALL 15 LEASE UNITS



MARKET STREET CONCEPTUAL ELEVATION

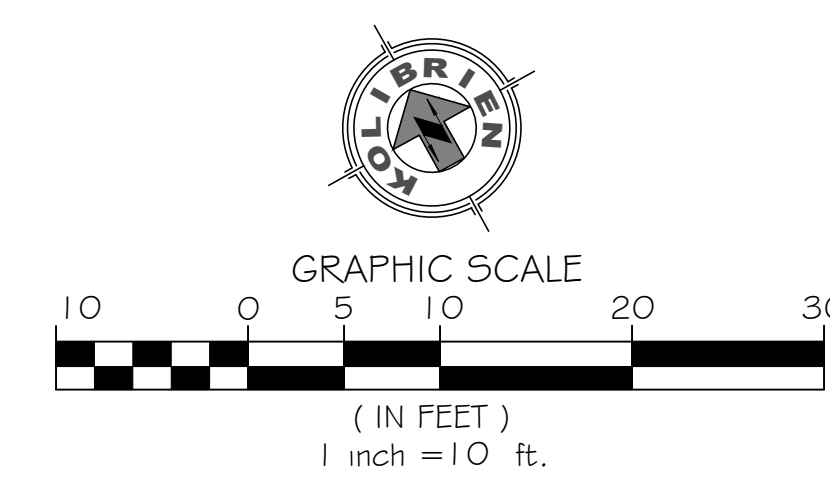


# MARKET STREET

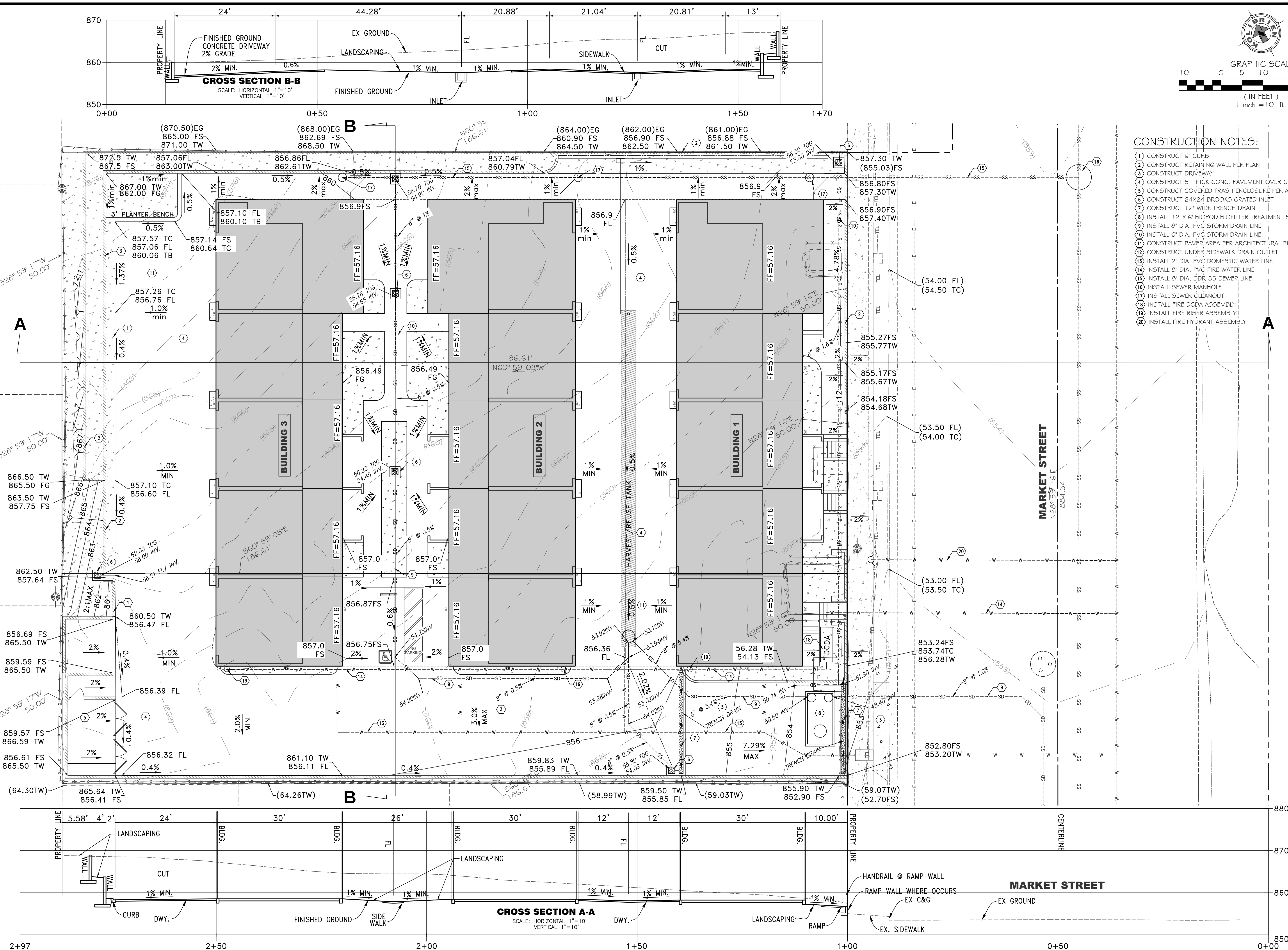
P19-0620, P19-0621, P20-0165, P20-0166 Exhibit 6 - Project Plans

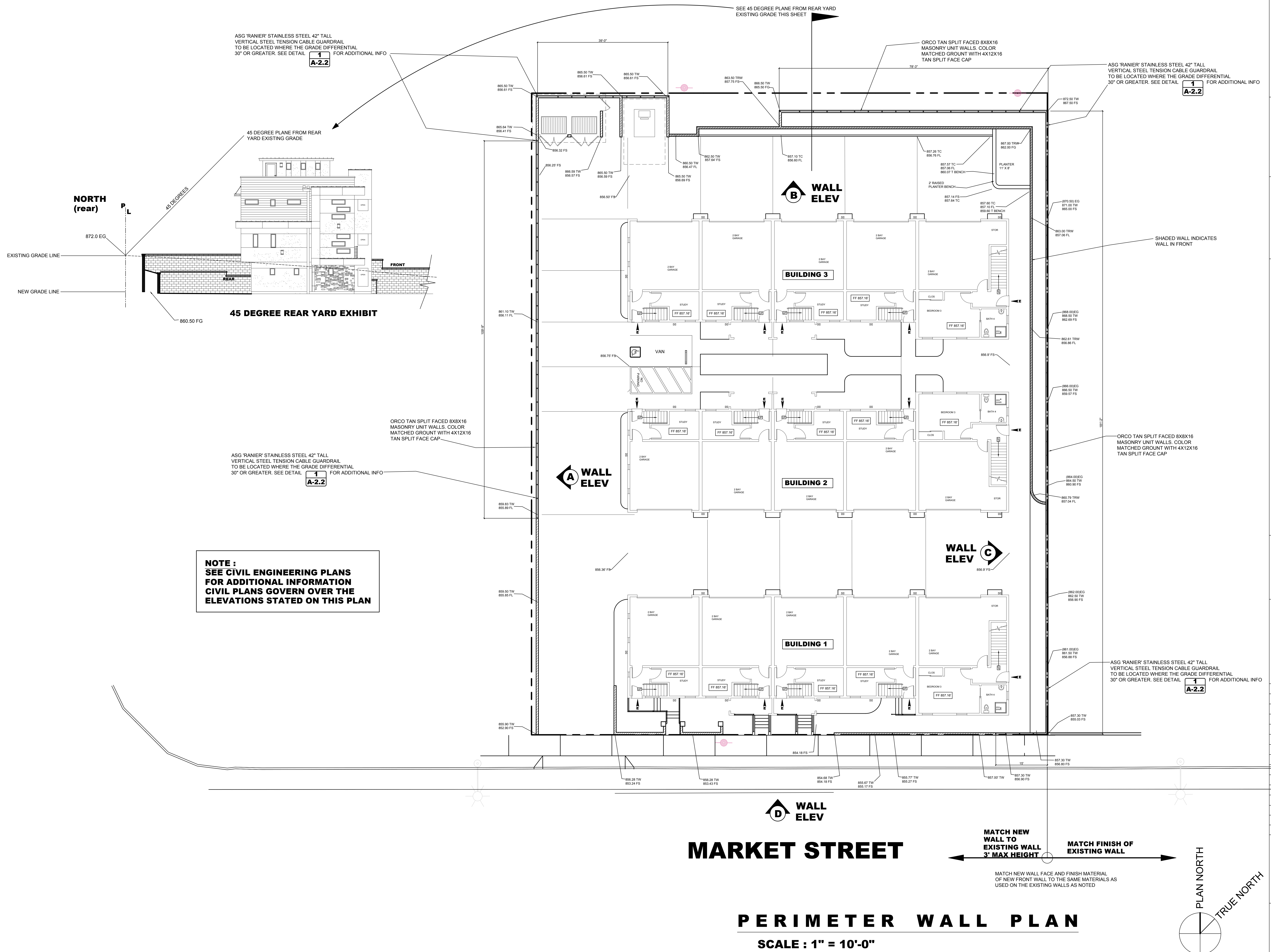




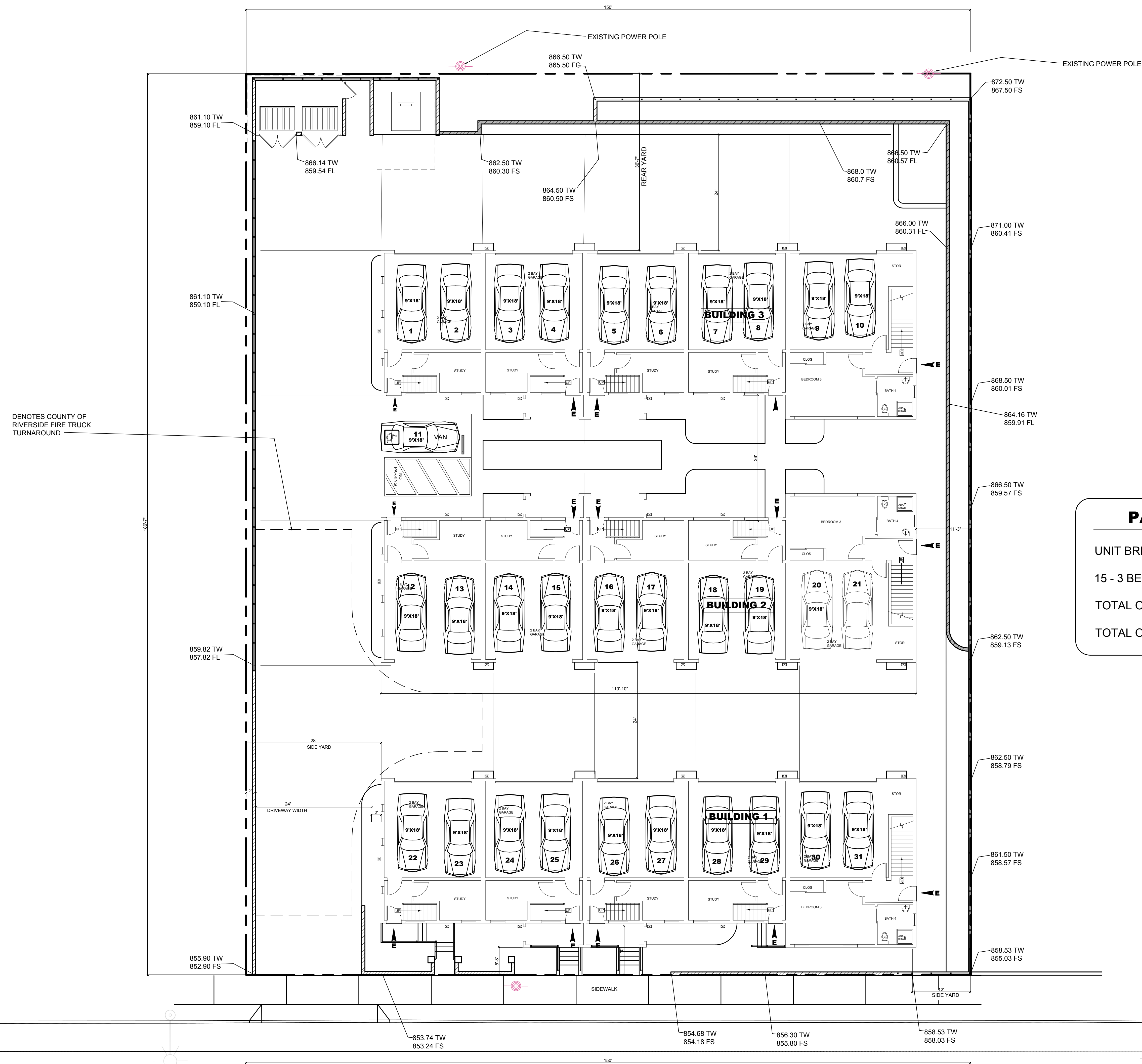


- CONSTRUCTION NOTES:**
1. CONSTRUCT 6" CURB
  2. CONSTRUCT RETAINING WALL PER PLAN
  3. CONSTRUCT DRIVEWAY
  4. CONSTRUCT 5" THICK CONC. PAVEMENT OVER COMPACTED SUBGRADE
  5. CONSTRUCT COVERED TRASH ENCLOSURE PER ARCH.
  6. CONSTRUCT 24X24 BROOKS GRATED INLET
  7. CONSTRUCT 12" WIDE TRENCH DRAIN
  8. INSTALL 12' X 6' BIOPOD BIOFILTER TREATMENT SYSTEM
  9. INSTALL 8" DIA. PVC STORM DRAIN LINE
  10. INSTALL 6" DIA. PVC STORM DRAIN LINE
  11. CONSTRUCT PAVEMENT AREA PER ARCHITECTURAL PLAN
  12. CONSTRUCT UNDER-SIDEWALK DRAIN OUTLET
  13. INSTALL 2" DIA. PVC DOMESTIC WATER LINE
  14. INSTALL 8" DIA. PVC FIRE WATER LINE
  15. INSTALL 8" DIA. SDR-35 SEWER LINE
  16. INSTALL SEWER MANHOLE
  17. INSTALL SEWER CLEANOUT
  18. INSTALL FIRE DCDA ASSEMBLY
  19. INSTALL FIRE RISER ASSEMBLY
  20. INSTALL FIRE HYDRANT ASSEMBLY









UNIT BREAK DOWN WITH PARKING CALC :

15 - 3 BEDROOM UNITS 2 GARAGE SPACES PER UNIT

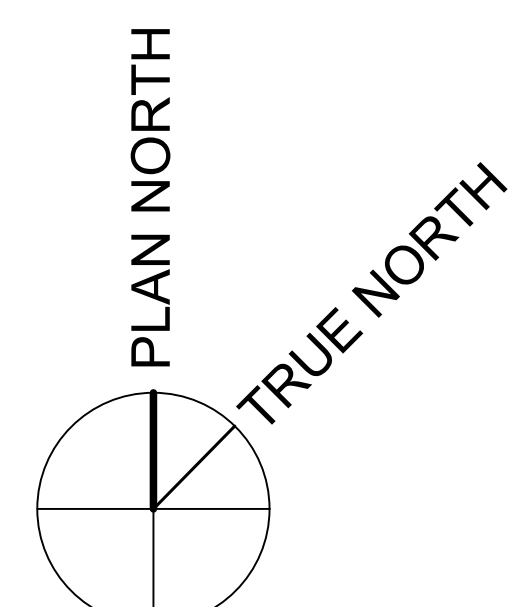
TOTAL OF 15 UNITS = 30 PARKING SPACES REQUIRED

TOTAL OF 31 PARKING SPACES PROVIDED

## MARKET STREET

**SCALE : 1" = 10'-0"**

P19-0620, P19-0621, P20-0165, P20-0166 Exhibit 6 - Project Plans



## PARKING PLAN

## A-2.3

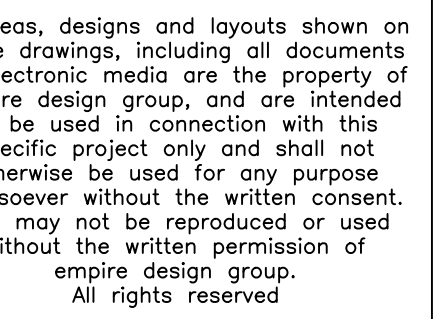




- 1 STACK WASHER DRYER UNIT WITH VENTED DOOR AND VENTED TO OUTSIDE
- 2 WALL HUNG LAVY CABINET WITH SINK MIRROR ON BACK WALL
- 3 COMFORT HEIGHT WATER CLOSET / TOILET - LOW WATER USAGE TOILET WITH ELONGATED BOWL
- 4 TUB / SHOWER COMBINATION
- 5 PROVIDE CONNECTIONS FOR DISHWASHER
- 6 PROVIDE CONNECTIONS FOR REFRIGERATOR
- 7 PROVIDE CONNECTIONS FOR PUSH IN RANGE UNIT WITH MICROWAVE / FAN UNIT ABOVE
- 8 PROVIDE CONNECTIONS FOR KITCHEN SINK WITH GARAGE DISPOSER

- 17 WOOD FRAME CRICKET FLASHING SLOPE TO DOWNSPOUT SCUPPER
- 18 DUCTLESS MINI-SPLIT CEILING INSTALLED HEAT & AIR CONDITIONING UNIT
- 19 VELUX SUN TUNNEL SKYLIGHT MODEL # TCR 022
- 20 DEX-O-TEX ROOF DECK 7 LAYER WEATHER WEAR DECK WATERPROOFING SYSTEM
- 21 DOTTED LINE DENOTES ROOF EAVE / OVERHANG AT ROOF STAIR
- 22 8'-0" TALL STUCCO PRIVACY SCREEN WALL
- 23 HB - DENOTES COLD WATER HOSE BIB LOCATION
- 24 16" X 48" GALVANIZED METAL PLANTER BOXES INSTALLED INTO IRON GUARDRAIL FRAME
- 25 42" TALL STEEL GUARDRAIL

**STAIR 3 - 17 RISERS AT 7.5" = 10'-7.5 " TOTAL RISE  
16 TREADS AT 11"**



No.

## A-4.0

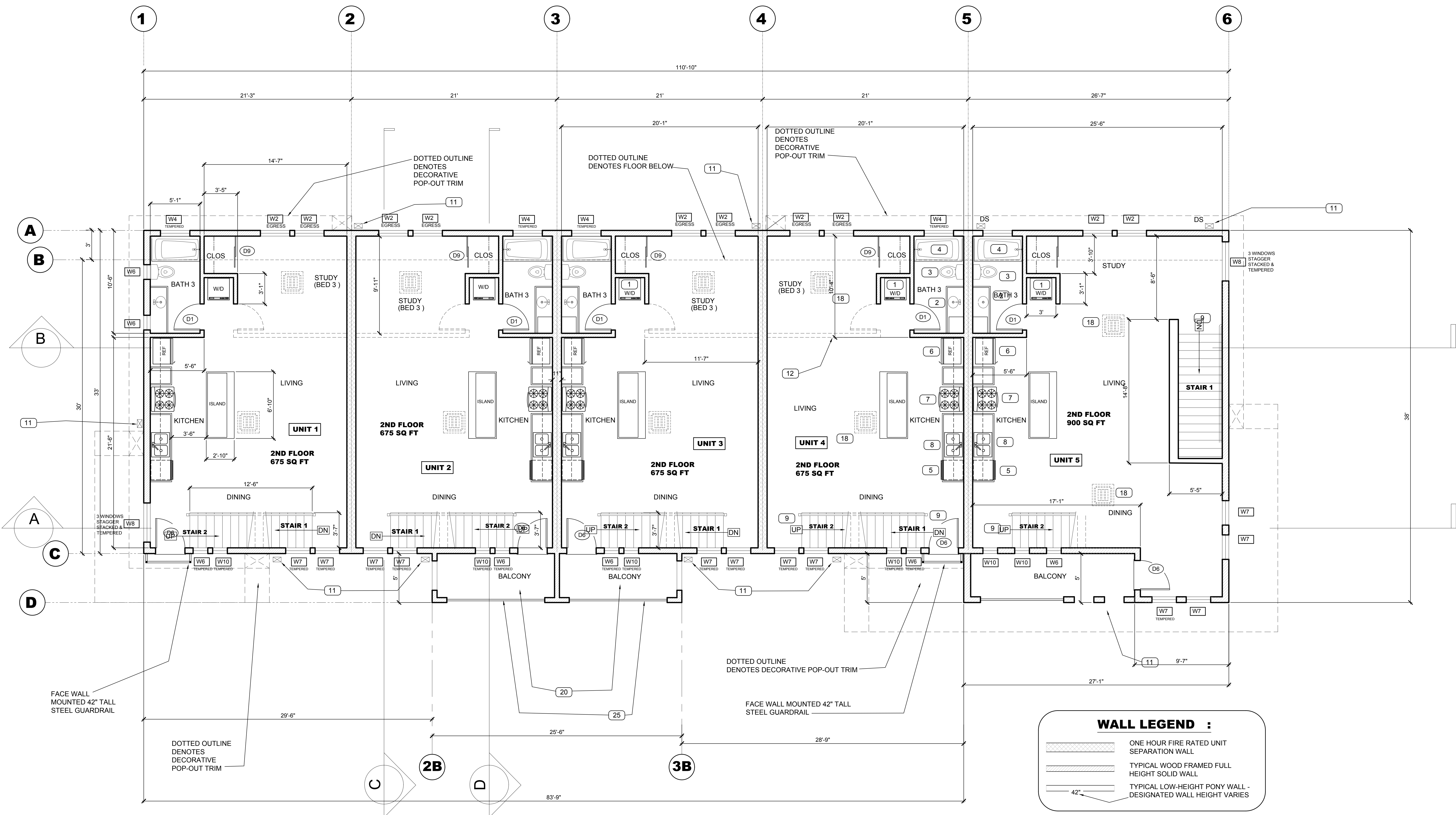


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- 13 NOTE OMITTED
- 14 EXTERIOR MOUNTED TANKLESS WATER HEATER

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OWENS CORNING - COOL ROOF MEMBRANE  
MODIFIED HOT MOPPED 3 PLY ROOF SYSTEM
- 16 #25 FIBERGLASS BASE SHEET FASTENED WITH SQUARE CAP NAILS  
3 LAYERS #11 FIBERGLASS PLY SHEETS APPLIED WITH HOT ASPHALT  
1 LAYER #72 COOL ROOF CAP SHEET APPLIED WITH HOT ASPHALT  
6" CANT STRIP AT ALL PARAPET WALL INTERSECTIONS
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**STAIR 1 - 16 RISERS AT 7.5" = 10'-0" TOTAL RISE  
15 TREADS AT 11"**

**STAIR 2 - 16 RISERS AT 7.5" = 10'-0" TOTAL RISE  
15 TREADS AT 11"**

**STAIR 3 - 17 RISERS AT 7.5" = 10'-7.5 " TOTAL RISE  
16 TREADS AT 11"**

## **BUILDING 1**

---

## **2ND FLOOR PLAN**

**SCALE : 1" = 4'-0"**

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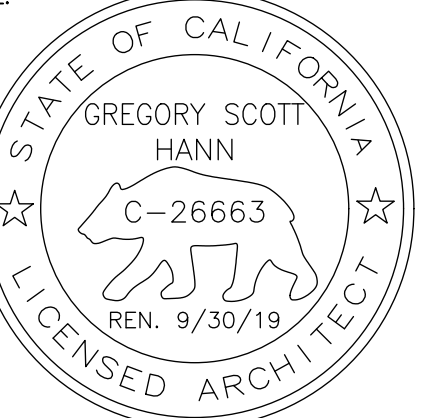
NT:

**BLISS  
HOLDING  
GROUP  
INC.**

MARKET STREET TOWNHOMES  
APN : 209-193-019-0, 017-8, 018-9  
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---



JUNE 25, 2020

FDC # 04547

|                 |             |                      |
|-----------------|-------------|----------------------|
| Project Number: | EDG # 04343 |                      |
|                 | DATE        | REVISION DESCRIPTION |

\_\_\_\_\_  
 SIGNED BY:

DOI: 10.1002/for

EU 61:

BY:

## 2ND FLOOR PLAN

T NO:

## A-4.1



SEE TYPICAL UNIT PLANS  
FOR ADDITIONAL INFORMATION ON EACH UNIT

WALL LEGEND :

- ONE HOUR FIRE RATED UNIT SEPARATION WALL
- TYPICAL WOOD FRAMED FULL HEIGHT SOLID WALL
- TYPICAL LOW-HEIGHT PONY WALL - DESIGNATED WALL HEIGHT VARIES

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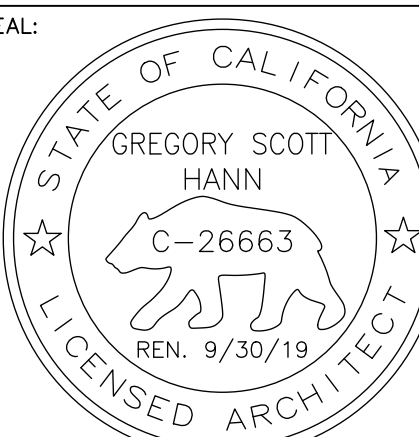
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**MARKET STREET TOWNHOMES**  
APN : 209-193-019-0, 017-8, 018-9  
**VACANT LAND, MARKET ST  
RIVERSIDE, CA 92501**

**BUILDING 1 & 3**

Architect of Record:  
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Date: JUNE 25, 2020

Project Number: EDG # 04543

NO. DATE REVISION DESCRIPTION

DESIGNED BY:

CHECKED BY:

DRAWN BY: MQ

DRAWING TITLE:

ROOF PLAN

SHEET NO:

A-4.3

**BUILDING 1  
ROOF PLAN**  
SCALE : 1" = 4'-0"

STAIR INFORMATION :

STAIR 1 - 16 RISERS AT 7.5" = 10'-0" TOTAL RISE  
15 TREADS AT 11"

STAIR 2 - 16 RISERS AT 7.5" = 10'-0" TOTAL RISE  
15 TREADS AT 11"

STAIR 3 - 17 RISERS AT 7.5" = 10'-7.5 " TOTAL RISE  
16 TREADS AT 11"

PLAN KEYED NOTES :

- 1 STACK WASHER DRYER UNIT WITH VENTED DOOR AND VENTED TO OUTSIDE
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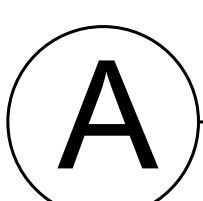
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- 10 16" WIDE X 7'-6" TALL PAINTED STEEL INSULATED ROLL-UP SECTIONAL GARAGE DOOR WITH OPENER
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- 12 DOTTED LINES DENOTES OPTIONAL BEDROOM CONVERSION WALL - SEE PLAN OPTIONS SHEET FOR ADD'L INFORMATION
- 13 NOTE OMITTED
- 14 EXTERIOR MOUNTED TANKLESS WATER HEATER

- 15 DUCTLESS MINI-SPLIT AIR CONDITIONING UNIT MOUNTED ON A PLATFORM
- OWENS CORNING - COOL ROOF MEMBRANE MODIFIED HOT MOPPED 3 PLY ROOF SYSTEM
- 16 #25 FIBERGLASS BASE SHEET FASTENED WITH SQUARE CAP NAILS 3 LAYERS #11 FIBERGLASS PLY SHEETS APPLIED WITH HOT ASPHALT 1 LAYER #72 COOL ROOF CAP SHEET APPLIED WITH HOT ASPHALT 6 " CANT STRIP AT ALL PARAPET WALL INTERSECTIONS
- 17 WOOD FRAME CRICKET FLASHING SLOPE TO DOWNSPOUT SCUPPER
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- 24 16" X 48" GALVANIZED METAL PLANTER BOXES INSTALLED INTO IRON GUARDRAIL FRAME
- 25 42" TALL STEEL GUARDRAIL
- 26 42" TALL DECK RAILING ALL AROUND PRIVATE DECK AREA

|   |                                                                   |
|---|-------------------------------------------------------------------|
| 1 | 22 GA BONDERIZED CAP FLASHING WITH KICK OUT PAINTED TO MATCH TRIM |
| 2 | STUCCO WEEP SCREED                                                |
| 3 | DECKING DECK TO WALL DIATO METAL                                  |
| 4 | 42" TALL DECORATIVE IRON DECK RAILING                             |
| 5 | DECK WATERPROOFING EDGE METAL                                     |
| 6 | STANDING SEAM METAL ROOF PANELS                                   |
| 7 | BUILDING FRAMING PER STRUCTURAL PLANS & DETAILS                   |
| 8 | BUILDING FOUNDATION PER STRUCTURAL PLANS & DETAILS                |

- |    |                                                                                                                                                                                                                                                                                                                        |    |                                                                                                                                                        |
|----|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|--------------------------------------------------------------------------------------------------------------------------------------------------------|
| 9  | STAIRS SEE STAIR PLANS FOR ADDITIONAL INFORMATION                                                                                                                                                                                                                                                                      | 17 | WOOD FRAME CRICKET FLASHING SLOPE TO DOWNSPOUT SCUPPER                                                                                                 |
| 10 | 16" WIDIE X 7'-6" TALL PAINTED STEEL INSULATED ROLL-UP SECTIONAL GARAGE DOOR WITH OPENER                                                                                                                                                                                                                               | 18 | 1 HOUR RATED FIRE SEPARATION WALL BETWEEN UNITS                                                                                                        |
| 11 | ROOF WATER DOWNSPOUTS WHERE LOCATED - SEE PLANS FOR ADDITIONAL INFORMATION                                                                                                                                                                                                                                             | 19 | VELUX SUN TUNNEL SKYLIGHT MODEL # TCR 022                                                                                                              |
| 12 | VINYL DUAL PANE WINDOW SEE WINDOW SCHEDULE                                                                                                                                                                                                                                                                             | 20 | DEX-O-TEX ROOF DECK 7 LAYER WEATHER WEAR DECK WATERPROOFING SYSTEM                                                                                     |
| 13 | TRUSS JOIST FLOOR JOIST SYSTEM - SEE STRUCTURAL PLANS                                                                                                                                                                                                                                                                  | 21 | DOTTED LINE DENOTES ROOF EAVE / OVERHANG AT ROOF STAIR                                                                                                 |
| 14 | EXTERIOR MOUNTED TANKLESS WATER HEATER                                                                                                                                                                                                                                                                                 | 22 | 8'-0" TALL STUCCO PRIVACY SCREEN WALL                                                                                                                  |
| 15 | DUCTLESS MINI-SPLIT AIR CONDITIONING UNIT MOUNTED ON A PLATFORM                                                                                                                                                                                                                                                        | 23 | FRAMED ELEVATION DESIGN ELEMENT WOOD FRAMED POP OUTS. COVER ALL IN 5 / 8 " CDX PLYWOOD AND 20 / 30 SAND FINISHED STUCCO AND A STANDING SEAM METAL ROOF |
| 16 | OWENS CORNING - COOL ROOF MEMBRANE<br>MODIFIED HOT MOPPED 3 PLY ROOF SYSTEM<br>#25 FIBERGLASS BASE SHEET FASTENED WITH SQUARE CAP NAILS<br>3 LAYERS #11 FIBERGLASS PLY SHEETS APPLIED WITH HOT ASPHALT<br>1 LAYER #72 COOL ROOF CAP SHEET APPLIED WITH HOT ASPHALT<br>6 " CANT STRIP AT ALL PARAPET WALL INTERSECTIONS | 22 |                                                                                                                                                        |



SCALE : 1 / 4 " = 1' - 0"

P19-0620, P19-0621, P20-0165, P20-0166 Exhibit 6 - Project Plans

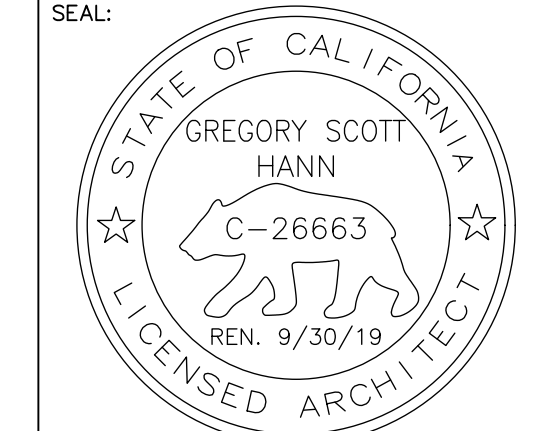
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CEL: 951-809-7601  
FAX: 951-696-1443  
E-MAIL: ghann@empiregr.biz

SEAL:



Date: JUNE 25, 2020

|                 |             |
|-----------------|-------------|
| Project Number: | EDG # 04543 |
|-----------------|-------------|

[illegible]

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| DESIGNED BY:   |    |
| CHECKED BY:    |    |
| DRAWN BY:      | MQ |
| DRAWING TITLE: |    |

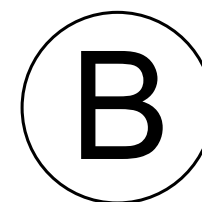
## SECTION A

SHEET NO:

## A-5.0

|   |                                                                   |
|---|-------------------------------------------------------------------|
| 1 | 22 GA BONDERIZED CAP FLASHING WITH KICK OUT PAINTED TO MATCH TRIM |
| 2 | STUCCO WEEP SCREED                                                |
| 3 | DECKING DECK TO WALL DIATO METAL                                  |
| 4 | 42" TALL DECORATIVE IRON DECK RAILING                             |
| 5 | DECK WATERPROOFING EDGE METAL                                     |
| 6 | STANDING SEAM METAL ROOF PANELS                                   |
| 7 | BUILDING FRAMING PER STRUCTURAL PLANS & DETAILS                   |
| 8 | BUILDING FOUNDATION PER STRUCTURAL PLANS & DETAILS                |

- |    |                                                                                                                                                        |
|----|--------------------------------------------------------------------------------------------------------------------------------------------------------|
| 17 | WOOD FRAME CRICKET FLASHING SLOPE TO DOWNSPOUT SCUPPER                                                                                                 |
| 18 | 1 HOUR RATED FIRE SEPARATION WALL BETWEEN UNITS                                                                                                        |
| 19 | VELUX SUN TUNNEL SKYLIGHT MODEL # TCR 022                                                                                                              |
| 20 | DEX-O-TEX ROOF DECK 7 LAYER WEATHER WEAR DECK WATERPROOFING SYSTEM                                                                                     |
| 21 | DOTTED LINE DENOTES ROOF EAVE / OVERHANG AT ROOF STAIR                                                                                                 |
| 22 | 8'-0" TALL STUCCO PRIVACY SCREEN WALL                                                                                                                  |
| 23 | FRAMED ELEVATION DESIGN ELEMENT WOOD FRAMED POP OUTS. COVER ALL IN 5 / 8 " CDX PLYWOOD AND 20 / 30 SAND FINISHED STUCCO AND A STANDING SEAM METAL ROOF |



SCALE : 1 / 4 " = 1' - 0"

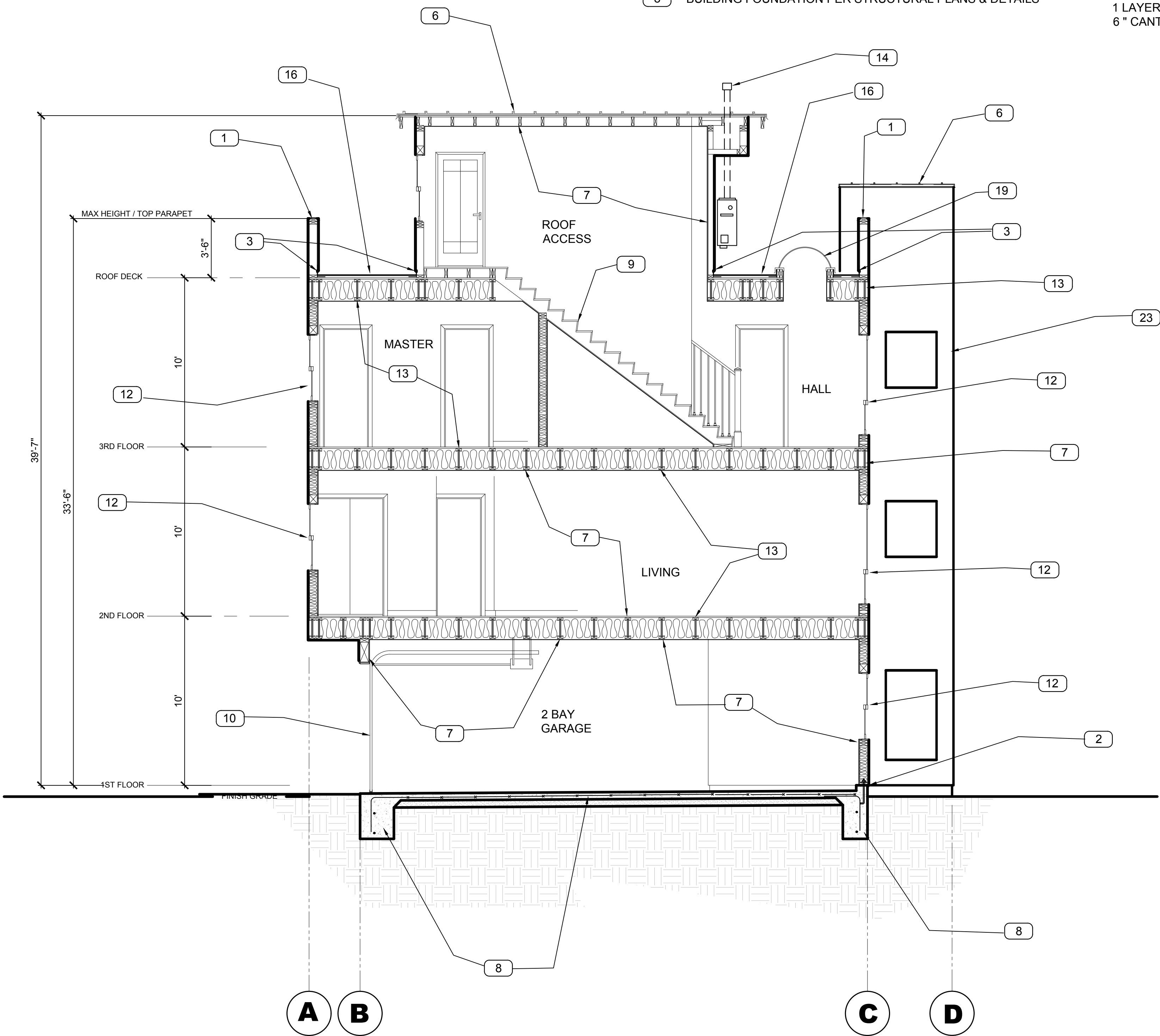
P19-0620, P19-0621, P20-0165, P20-0166 Exhibit 6 - Project Plans

PLAN KEYED NOTES :

- (1) 22 GA BONDERIZED CAP FLASHING WITH KICK OUT PAINTED TO MATCH TRIM  
(2) STUCCO WEEP SCREED  
(3) DECKING DECK TO WALL DIATO METAL  
(4) 42" TALL DECORATIVE IRON DECK RAILING  
(5) DECK WATERPROOFING EDGE METAL  
(6) STANDING SEAM METAL ROOF PANELS  
(7) BUILDING FRAMING PER STRUCTURAL PLANS & DETAILS  
(8) BUILDING FOUNDATION PER STRUCTURAL PLANS & DETAILS

- (9) STAIRS SEE STAIR PLANS FOR ADDITIONAL INFORMATION  
(10) 16" W/DIE X 7'-6" TALL PAINTED STEEL INSULATED ROLL-UP SECTIONAL GARAGE DOOR WITH OPENER  
(11) ROOF WATER DOWNSPOUTS WHERE LOCATED - SEE PLANS FOR ADDITIONAL INFORMATION  
(12) VINYL DUAL PANE WINDOW SEE WINDOW SCHEDULE  
(13) TRUSS JOIST FLOOR JOIST SYSTEM - SEE STRUCTURAL PLANS  
(14) EXTERIOR MOUNTED TANKLESS WATER HEATER  
(15) DUCTLESS MINI-SPLIT AIR CONDITIONING UNIT MOUNTED ON A PLATFORM  
(16) OWENS CORNING - COOL ROOF MEMBRANE MODIFIED HOT MOPPED 3 PLY ROOF SYSTEM #25 FIBERGLASS BASE SHEET FASTENED WITH SQUARE CAP NAILS 3 LAYERS #11 FIBERGLASS PLY SHEETS APPLIED WITH HOT ASPHALT 1 LAYER #72 COOL ROOF CAP SHEET APPLIED WITH HOT ASPHALT 6" CANT STRIP AT ALL PARAPET WALL INTERSECTIONS

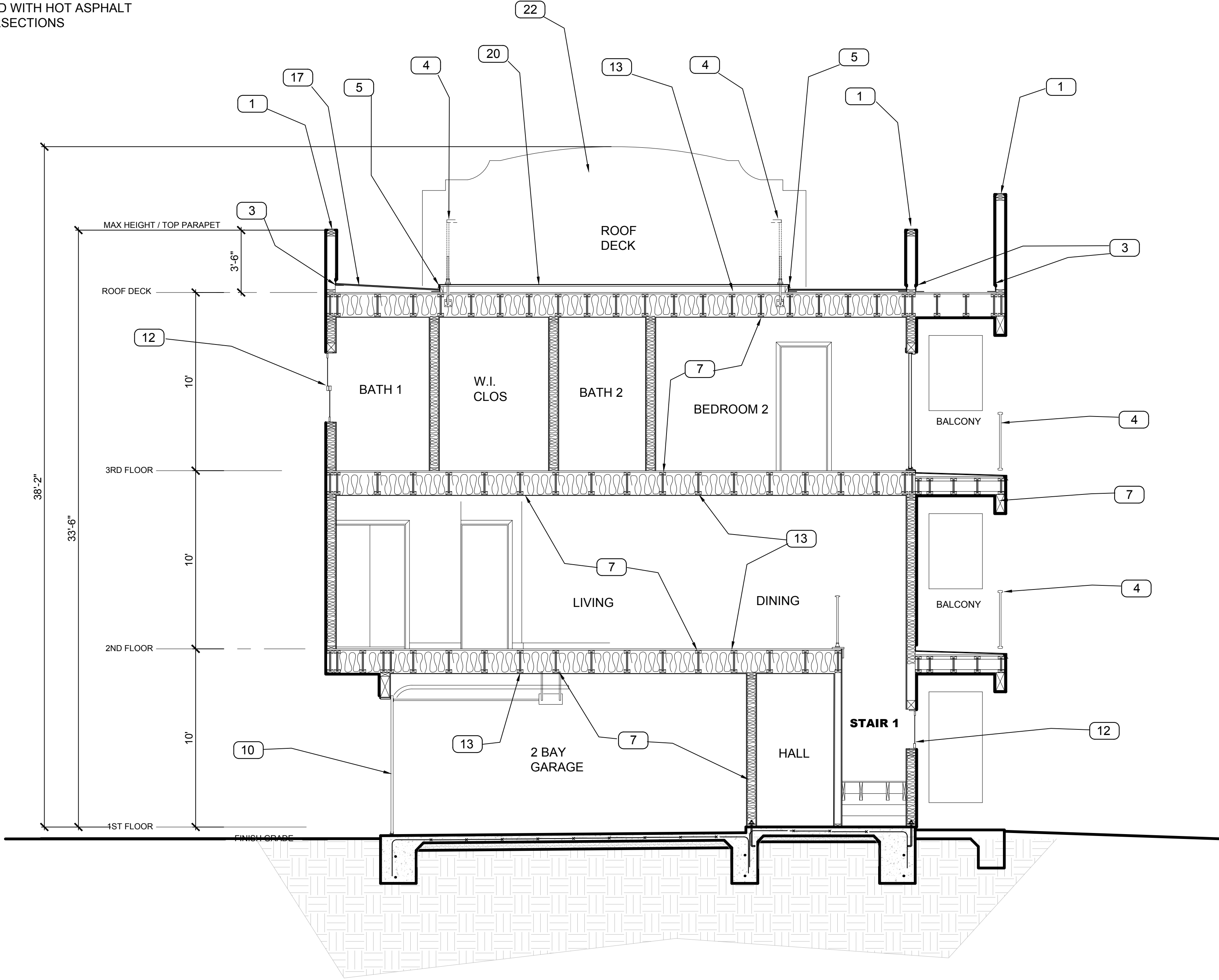
- (17) WOOD FRAME CRICKET FLASHING SLOPE TO DOWNSPOUT SCUPPER  
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(19) VELUX SUN TUNNEL SKYLIGHT MODEL # TCR 022  
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(23) FRAMED ELEVATION DESIGN ELEMENT WOOD FRAMED POP OUTS. COVER ALL IN 5 / 8" CDX PLYWOOD AND 20 / 30 SAND FINISHED STUCCO AND A STANDING SEAM METAL ROOF



SECTION C

SCALE : 1 / 4 " = 1' - 0"

BUILDING 1 & 3



SECTION D

SCALE : 1 / 4 " = 1' - 0"

BUILDING 1 & 3

EMPIRE  
DESIGN  
GROUP Inc.



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Murrieta, Calif. 92562  
Tel 951-696-1490 Fax 951-696-1443

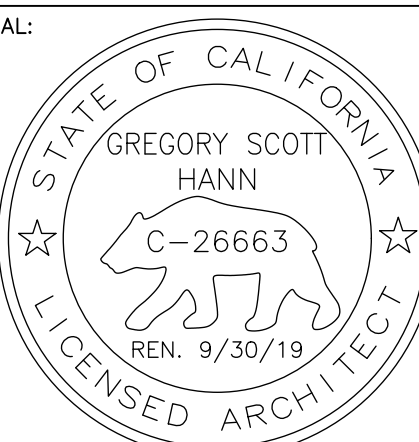
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CLIENT:  
**BLISS  
HOLDING  
GROUP  
INC.**

**MARKET STREET TOWNHOMES**  
**APN : 209-193-019-0, 017-8, 018-9**  
**VACANT LAND, MARKET ST**  
**RIVERSIDE, CA 92501**

**BUILDING 1 & 3**

Architect of Record:  
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Date: JUNE 25, 2020

Project Number: EDG # 04543

NO. DATE REVISION DESCRIPTION

DESIGNED BY:

CHECKED BY:

DRAWN BY: MQ

DRAWING TITLE:

SECTION C AND D

SHEET NO:

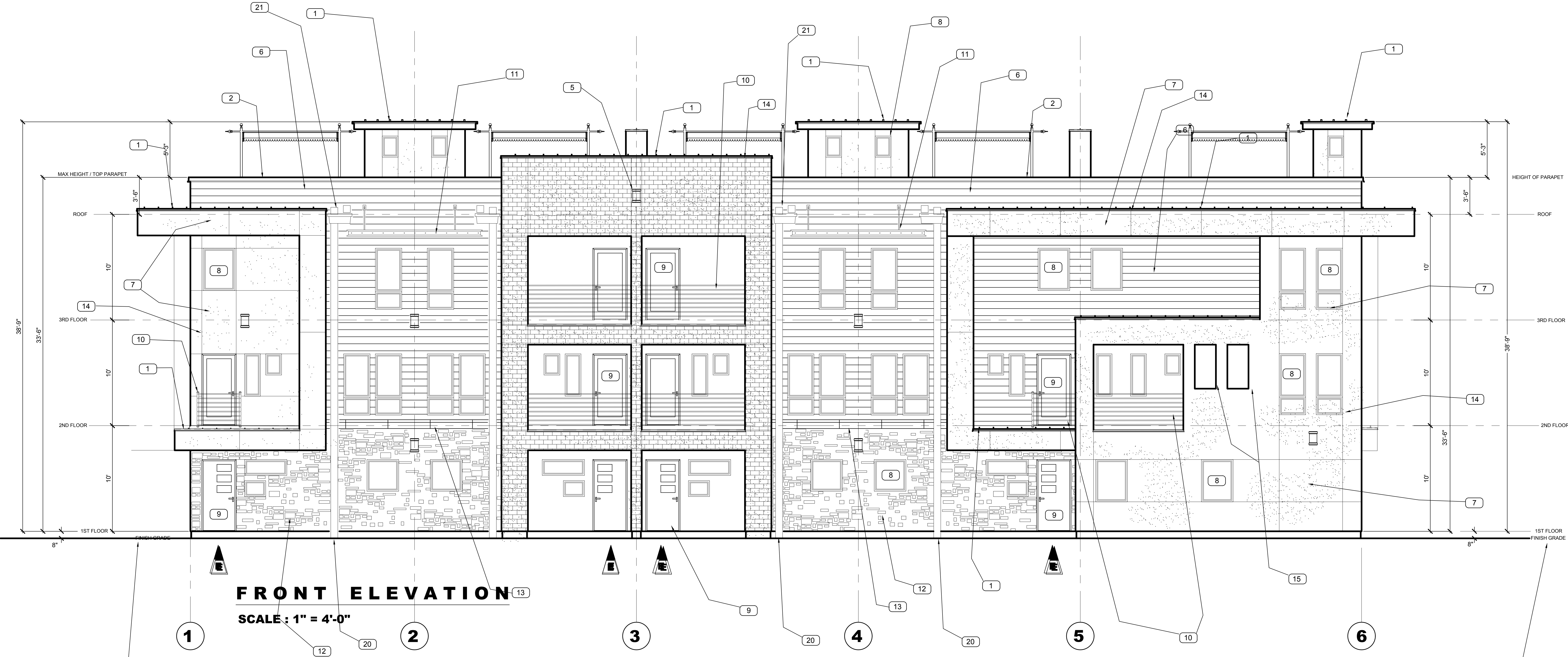
A-5.2

PLAN KEYED NOTES :

- 1 STANDING SEAM METAL ROOFING SEE PLANS FOR ADDITIONAL INFORMATION  
2 4" TALL PARAPET CAP METAL MATCH STANDING SEAM ROOF  
3 DECKING WATERPROOFING SYSTEM EDGE METAL WITH KICK OUT  
4 4" TALL PARAPET BONDERIZED CAP METAL PAINTED TO MATCH STUCCO  
5 LED EXTERIOR LIGHT FIXTURE - ON A PHOTO CELL  
6 8" HORIZONTAL STEEL WALL PANELS - SEE PLANS FOR ADDITIONAL INFO  
7 20 / 30 SAND FINISHED 3 COAT PAINTED STUCCO OVER AN APPROVED LATH INSTALLATION

- 8 WINDOW PER WINDOW SCHEDULE - SEE PLANS  
9 DOOR PER DOOR SCHEDULE - SEE PLANS  
10 PAINTED STEEL GUARDRAIL  
11 BOLT ON STEEL OVERHANG EYEBROW - SEE PLANS  
12 EL DORADO CULTURED CONCRETE STONE PRODUCT - INSTALLED OVER STUCCO BROWN COAT  
13 10" TALL X 4" THICK - STUCCO FOAM HORIZONTAL / VERTICAL TRANSITION TRIM  
14 REGLET STUCCO CRACK CONTROL JOINT  
15 SQUARE OPENING AT EXTERIOR DECK

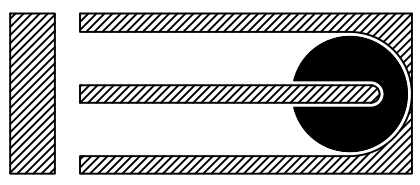
- 16 NOTE OMITTED  
17 16" WIDE X 7'-6" TALL PAINTED STEEL INSULATED ROLL-UP SECTIONAL GARAGE DOOR WITH OPENER  
18 STUCCO WRAP AT DROP BEAM  
19 CANTILEVER DECK EXTENSION WITH WATERPROOF DECKING AND STUCCO WRAPPED  
20 DOWNSPOUT TERMINATE INTO DRAIN SYSTEM OR GRADE - SEE CIVIL PLANS FOR ADDITIONAL INFORMATION  
21 SCUPPER DRAIN AND OVERFLOW THROUGH WALL INTO COLLECTOR HEAD AND DOWNSPOUT  
22 PACIFIC CLAY BRICK VENEER INSTALLED OVER STUCCO BROWN COAT



NOTE:  
SEE CIVIL PLANS FOR GRADE FINISH  
ELEVATIONS, HEIGHTS AND SLOPE  
DIRECTIONS

NOTE:  
SEE CIVIL PLANS FOR GRADE FINISH  
ELEVATIONS, HEIGHTS AND SLOPE  
DIRECTIONS

BUILDING 1 & 3  
FRONT (SOUTH) ELEVATION  
SCALE : 1" = 4'-0"



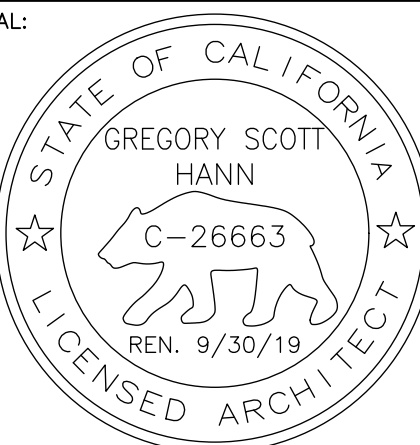
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**BUILDING 1 & 3**

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Date: JUNE 25, 2020  
Project Number: EDG # 04543

| NO. | DATE | REVISION | DESCRIPTION |
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DESIGNED BY:  
CHECKED BY:  
DRAINED BY: MQ  
DRAWING TITLE:

**FRONT  
ELEVATION**

SHEET NO:

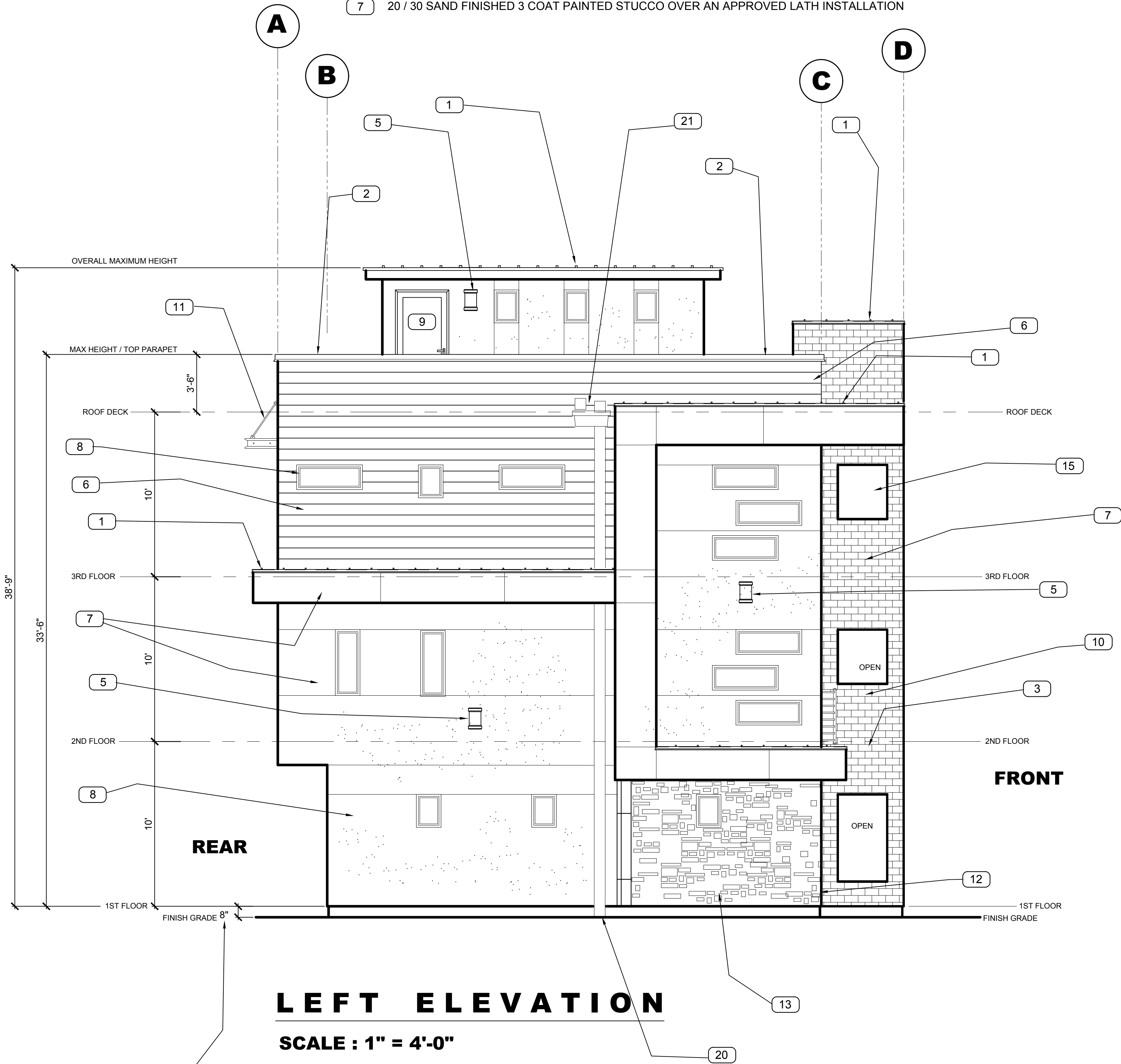
**A-6.0**

PLAN KEYED NOTES :

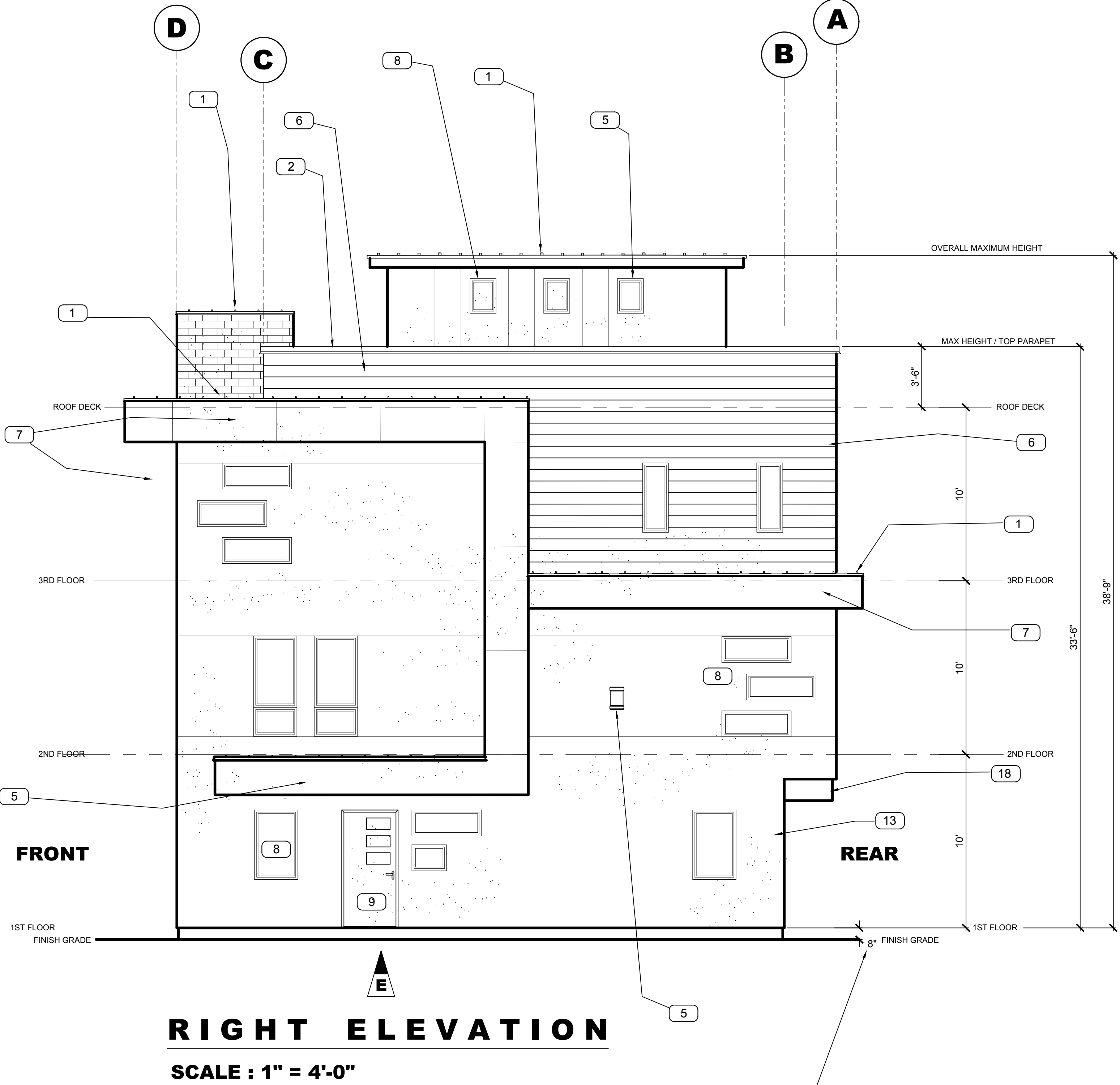
- (1) STANDING SEAM METAL ROOFING SEE PLANS FOR ADDITIONAL INFORMATION  
(2) 4" TALL PARAPET CAP METAL MATCH STANDING SEAM ROOF  
(3) DECKING WATERPROOFING SYSTEM EDGE METAL WITH KICK OUT  
(4) 4" TALL PARAPET BONDORIZED CAP METAL PAINTED TO MATCH STUCCO  
(5) LED EXTERIOR LIGHT FIXTURE - ON A PHOTO CELL  
(6) 8" HORIZONTAL STEEL WALL PANELS - SEE PLANS FOR ADDITIONAL INFO  
(7) 20 / 30 SAND FINISHED 3 COAT PAINTED STUCCO OVER AN APPROVED LATH INSTALLATION

- (8) WINDOW PER WINDOW SCHEDULE - SEE PLANS  
(9) DOOR PER DOOR SCHEDULE - SEE PLANS  
(10) PAINTED STEEL GUARDRAIL  
(11) BOLT ON STEEL OVERHANG EYEBROW - SEE PLANS  
(12) EL DORADO CULTURED CONCRETE STONE PRODUCT - INSTALLED OVER STUCCO BROWN COAT  
(13) 10" TALL X 4" THICK - STUCCO FOAM HORIZONTAL / VERTICAL TRANSITION TRIM  
(14) REGLET STUCCO CRACK CONTROL JOINT  
(15) SQUARE OPENING AT EXTERIOR DECK

- (16) NOTE OMITTED  
(17) 16" WIDE X 7'-6" TALL PAINTED STEEL INSULATED ROLL-UP SECTIONAL GARAGE DOOR WITH OPENER  
(18) STUCCO WRAP AT DROP BEAM  
(19) CANTILEVER DECK EXTENSION WITH WATERPROOF DECKING AND STUCCO WRAPPED  
(20) DOWNSPOUT TERMINATE INTO DRAIN SYSTEM OR GRADE - SEE CIVIL PLANS FOR ADDITIONAL INFORMATION  
(21) SCUPPER DRAIN AND OVERFLOW THROUGH WALL INTO COLLECTOR HEAD AND DOWNSPOUT



**BUILDING 1 & 3**  
**LEFT SIDE (WEST) ELEVATION**  
**SCALE : 1" = 4'-0"**



**BUILDING 1 & 3**  
**RIGHT SIDE (EAST) ELEVATION**  
**SCALE : 1" = 4'-0"**

P19-0620, P19-0621, P20-0165, P20-0166 Exhibit 6 - Project Plans

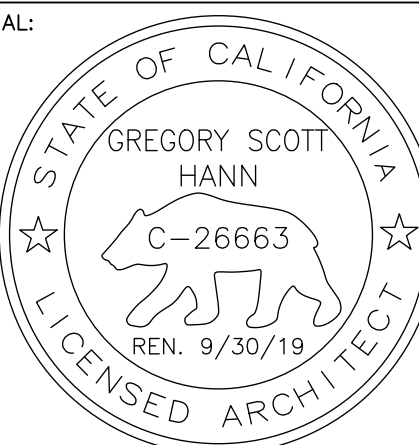
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**APN : 209-193-019-0, 017-8, 018-9**  
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**RIVERSIDE, CA 92501**

**BUILDING 1 & 3**

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Date: JUNE 25, 2020

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NO. DATE REVISION DESCRIPTION

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DESIGNED BY:

CHECKED BY:

DRAWN BY: MQ

DRAWING TITLE:

**RIGHT &  
LEFT  
ELEVATION**

SHEET NO:

**A-6.1**

- 1 STANDING SEAM METAL ROOFING SEE PLANS FOR ADDITIONAL INFORMATION
- 2 4" TALL PARAPET CAP METAL MATCH STANDING SEAM ROOF
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- |    |                                                                              |
|----|------------------------------------------------------------------------------|
| 8  | WINDOW PER WINDOW SCHEDULE - SEE PLANS                                       |
| 9  | DOOR PER DOOR SCHEDULE - SEE PLANS                                           |
| 10 | PAINTED STEEL GUARDRAIL                                                      |
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| 14 | REGLET STUCCO CRACK CONTROL JOINT                                            |
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- |    |                                                                                             |
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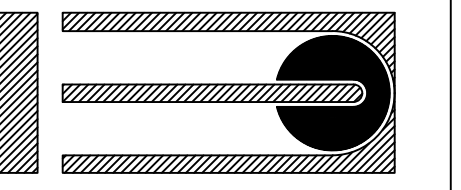


NOTE :  
SEE CIVIL PLANS FOR GRADE FINISH  
ELEVATIONS, HEIGHTS AND SLOPE  
DIRECTIONS

NOTE :  
SEE CIVIL PLANS FOR GRADE FINISH  
ELEVATIONS, HEIGHTS AND SLOPE  
DIRECTIONS

**SCALE : 1" = 4'-0"**

NOTE :  
SEE CIVIL PLANS FOR GRADE FINISH  
ELEVATIONS, HEIGHTS AND SLOPE  
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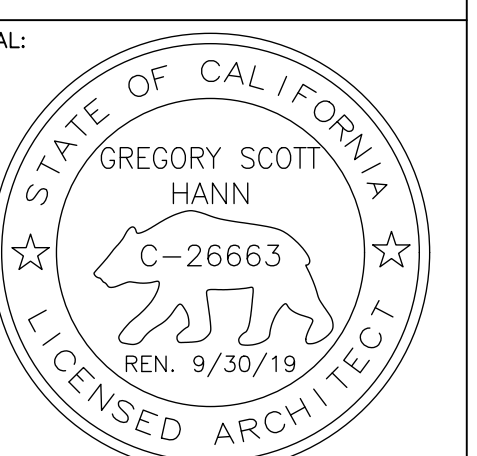
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**BUILDING 1 & 3**

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|              |  |
|--------------|--|
| DESIGNED BY: |  |
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|            |  |
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| BOOKED BY: |  |
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| WN BY: | MQ |
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DRAWING TITLE:

**FRONT  
ELEVATION**

SET NO:

## A-6.2