

# CONCEPTUAL GRADING PLAN

## MULBERRY STREET COTTAGES

### 2825-2841 MULBERRY STREET

#### CITY OF RIVERSIDE

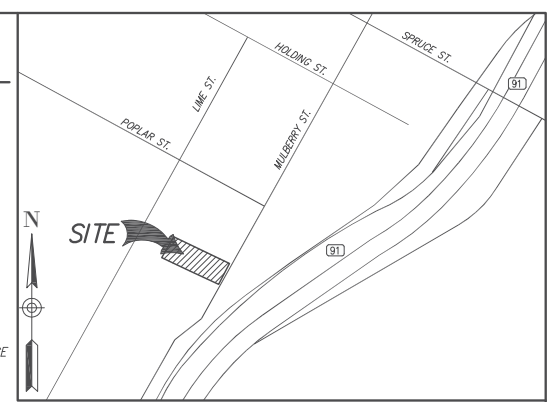
#### NOVEMBER 2019

### LEGEND

	EXISTING PROPERTY LINE
	PROPOSED RIGHT OF WAY
	EXISTING CENTERLINE
	PROPOSED CURB
	EXISTING CURB
	PROPOSED SIDEWALK
	EXISTING SIDEWALK
	EXISTING DIRT ROAD
	PROPOSED PARKING STRIPE
	EXISTING EASEMENT
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING FENCE
	EXISTING BUILDING
	EXISTING CONCRETE
	PROPOSED UNDERGROUND UTILITY
	EXISTING UNDERGROUND UTILITY
	EXISTING EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
	EXISTING CONTOUR ELEVATION

### ABBREVIATIONS

R/W	RIGHT OF WAY
P/L	PROPERTY LINE
EXIST.	EXISTING
PROP.	PROPOSED
S.F.	SQUARE FEET
D/W	DRIVEWAY
S/W	SIDEWALK
M.H.	MANHOLE
FS	FINISH SURFACE
TC	TOP OF CURB
FL	FLOW LINE
FG	FINISH GRADE
TC	TOP OF CURB
IN.V.	INVERT
S.D.	STORM DRAIN
EG	EXISTING GROUND
T.B.R.	TO BE REMOVED
P.I.P.	PROTECT IN PLACE
P.P.	POWER POLE
F.H.	FIRE HYDRANT
L/S	LANDSCAPE



### VICINITY MAP

SECTION 24, TOWNSHIP 2 SOUTH, RANGE 5 WEST  
NOT TO SCALE

### OWNER

HOUSING AUTHORITY OF THE CITY OF RIVERSIDE  
3900 MAIN STREET  
RIVERSIDE, CA 92522  
PH: (951) 826-5189  
CONTACT: JEFFREY McLAUGHLIN

### DEVELOPER

HABITAT FOR HUMANITY RIVERSIDE  
2180 IOWA AVENUE  
RIVERSIDE, CA 92507  
PH: (951) 787-6754  
CONTACT: KATHY MICHALAK

### ENGINEER

B & W CONSULTING ENGINEERS  
15665 RANCHO VEOJO DRIVE  
RIVERSIDE, CA 92506  
PH: (951) 907-5077  
CONTACT: ANDREW C. WOODARD, PE

### TOPOGRAPHY SOURCE

EXISTING TOPOGRAPHY IS BASED ON CITY OF RIVERSIDE CADME DATABASE AND RECORD INFORMATION

### LEGAL DESCRIPTION

APN: 209-222-015  
LOT 17 OF THE MC MULLEN SUBDIVISION, MB 7/11

APN: 209-222-026  
LOT 8 OF THE MC MULLEN SUBDIVISION, MB 7/11

APN: 209-222-027  
LOT 9 OF THE MC MULLEN SUBDIVISION, MB 7/11

### ASSESSOR PARCEL NO

BOOK	PAGE	PARCELS
209	222	015
209	222	026
209	222	027

### ACREAGE

APN: 209-222-015	0.22 ACRES
APN: 209-222-026	0.14 ACRES
APN: 209-222-027	0.14 ACRES
GROSS	0.50 ACRES
NET	0.50 ACRES
DISTURBED AREA	0.50 ACRES

### ZONING/LAND USE/GENERAL PLAN

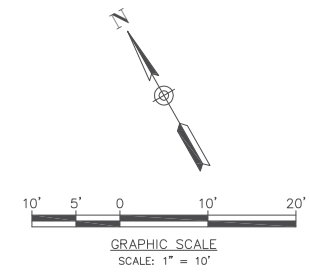
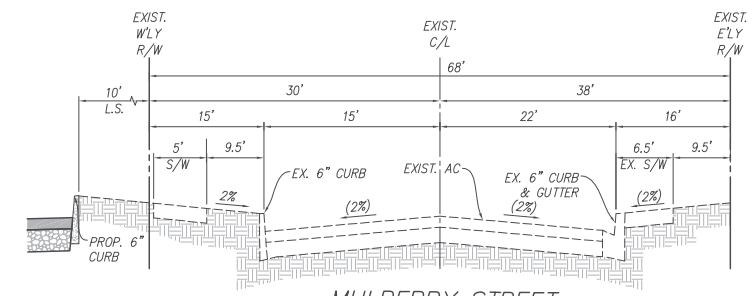
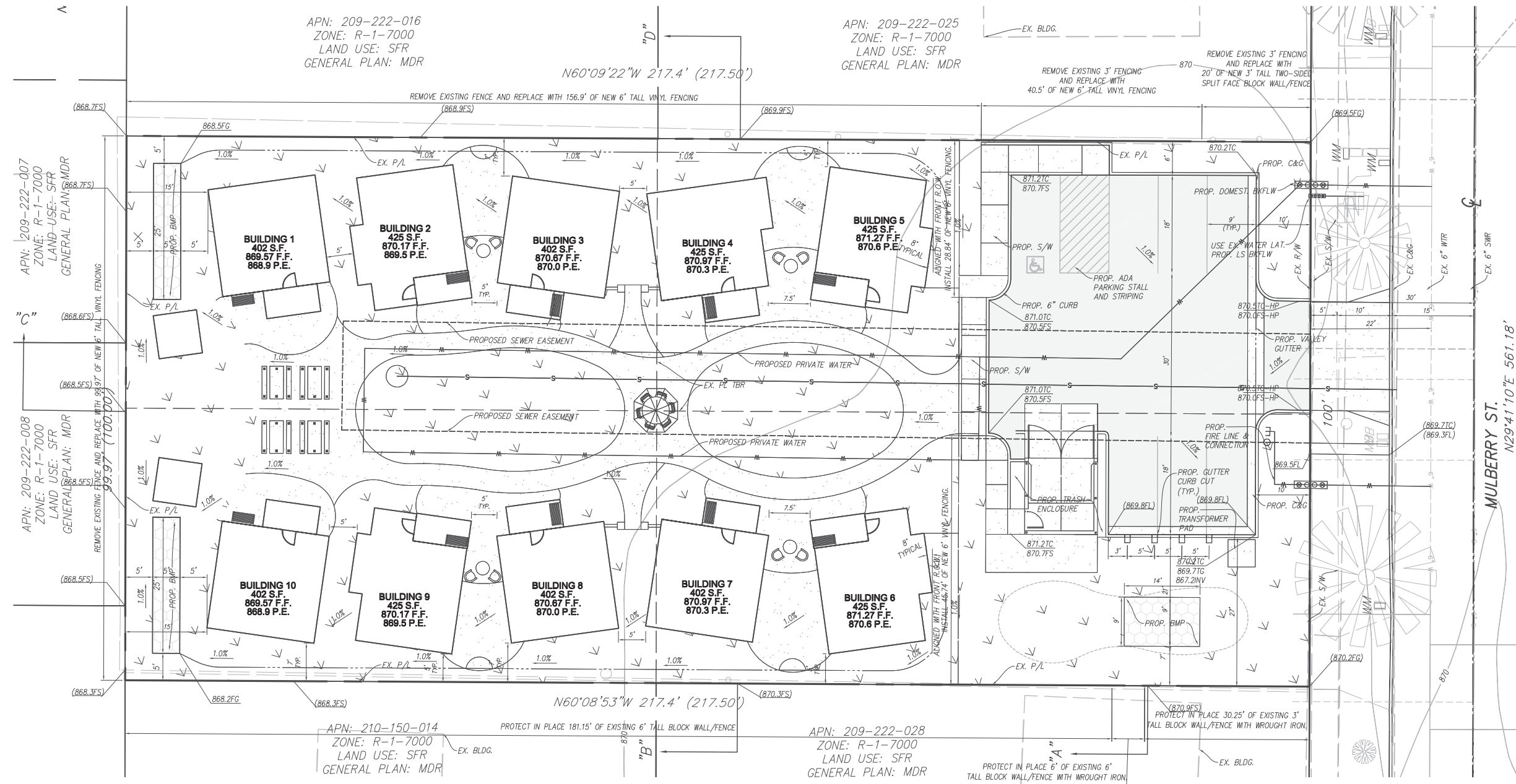
EXISTING ZONING:	R-1-7000 - SINGLE FAMILY
EXISTING LAND USE:	VACANT
EXISTING GENERAL PLAN AMENDMENT:	MDR - MEDIUM DENSITY RESIDENTIAL
PROPOSED ZONING:	R-3-2500 - MULTI FAMILY RESIDENTIAL
PROPOSED LAND USE:	RESIDENTIAL
PROPOSED GENERAL PLAN AMENDMENT:	SAME NO CHANGE

### UTILITY PROVIDERS

WATER:	CITY OF RIVERSIDE
SEWER:	CITY OF RIVERSIDE
ELECTRICITY:	CITY OF RIVERSIDE
GAS:	THE GAS COMPANY
TELEPHONE:	VERIZON
TELEVISION:	AIR WAVES / CHARTER COMMUNICATIONS

### LEGEND

	PROPOSED AC PAVEMENT
	PROPOSED CONCRETE HARDSCAPE
	PROPOSED LANDSCAPE
	PROPOSED INFILTRATION TRENCH



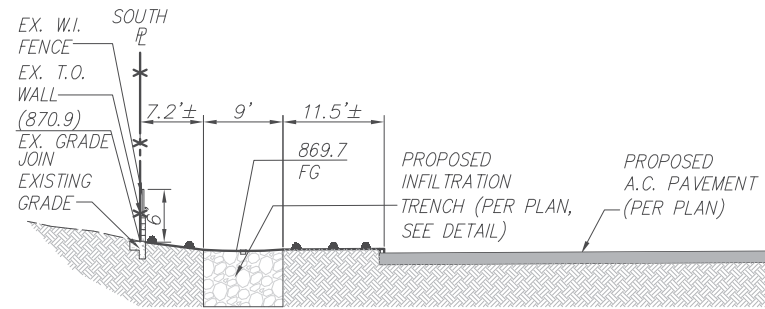
MARK	REVISIONS	DATE	BY

**CITY OF RIVERSIDE**  
**SITE PLAN**  
**MULBERRY STREET COTTAGES**

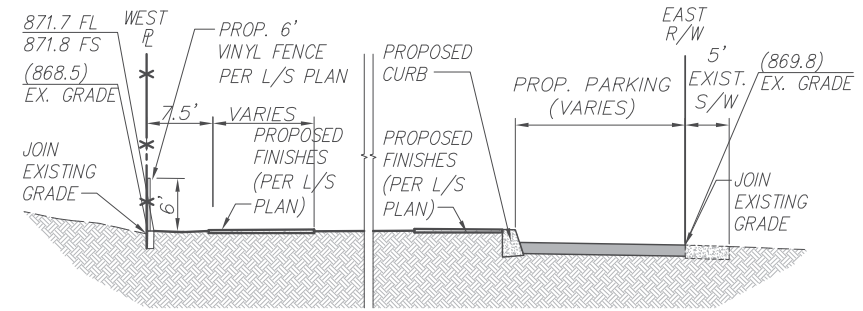
FOR: HABITAT FOR HUMANITY RIVERSIDE

SCALE:	1"=10'	W.O. 1032
DATE:	11/2019	SHEET 1
DESIGNED:	WW	OF 2 SHEETS
CHECKED:	ACW	DWG. NO. 1032.1
PLN CK REF:		
F.B.		

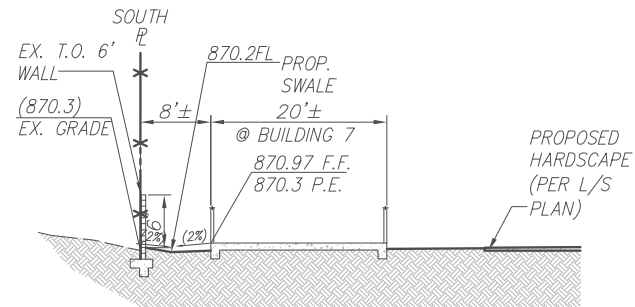
Project By: acw Date: 11/2019 Scale: 1"=10' Plot Size: 11.00" x 17.00" Plot Area: 188.00 sq. ft. Plot Ratio: 1.00  
 Date: 11/2019 Scale: 1"=10' Plot Size: 11.00" x 17.00" Plot Area: 188.00 sq. ft. Plot Ratio: 1.00  
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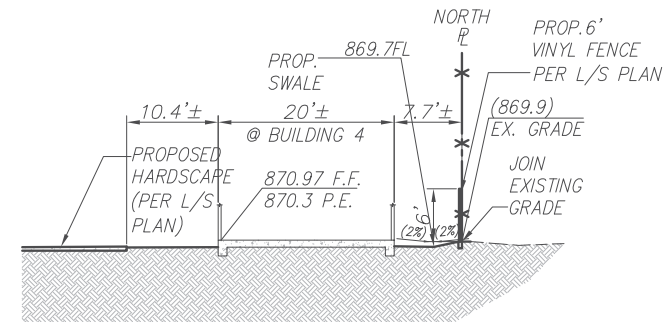
SECTION A-A  
SCALE: 1" = 10'



SECTION C-C  
SCALE: 1" = 10'



SECTION B-B  
SCALE: 1" = 10'



SECTION D-D  
SCALE: 1" = 10'

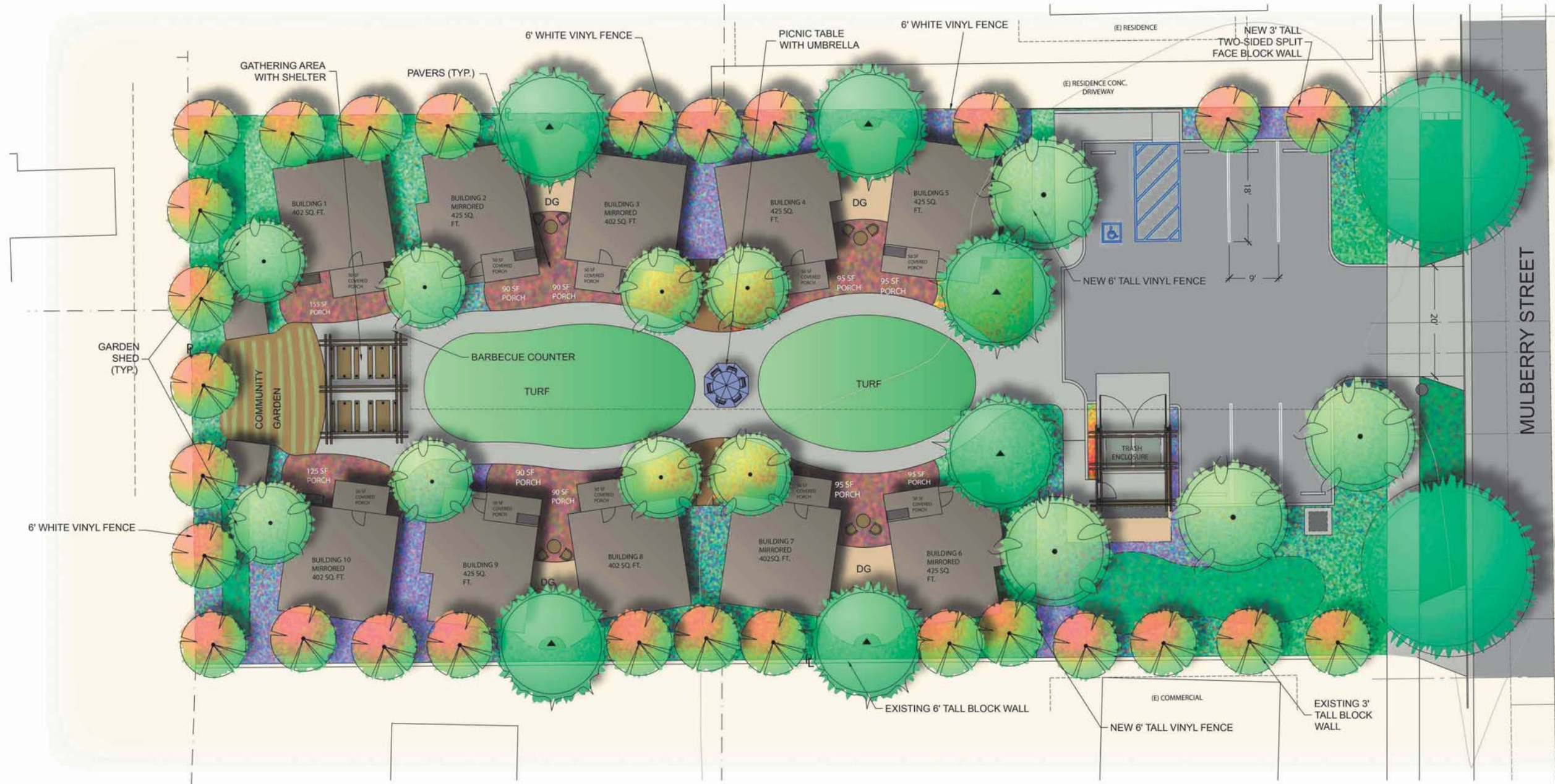
REVISIONS		DATE	BY
MARK			

**CITY OF RIVERSIDE  
DETAIL SHEET  
MULBERRY STREET COTTAGES**

FOR: HABITAT FOR HUMANITY RIVERSIDE

SCALE:	N.T.S.	W.O.	1032
DATE:	11/2019	SHEET	2
DESIGNED:	WW	OF	2 SHEETS
CHECKED:	ACW	DWG. NO.	1032.1
PLN. CK. REF.			
F.B.			

Site Data:  
 Total Site Area: 21,655 s.f.  
 Total No. of Homes: 10  
 Total Building Footprint: 4,260 s.f.  
 500 s.f. Covered Porch  
 50 S.F. Per Unit  
 1,020 s.f. Paver Porch  
 700 s.f. D.G. Private Area  
 % of Lot Coverage: 19.7%  
 % of Ornamental Landscape: 41.1%  
 Common Open Space: 4,000 s.f.  
 Common Area Paving: 1,885 s.f.  
 Common Area Turf: 1,715 s.f.  
 Community Garden: 400 s.f.  
 Total No. of Parking: 6 + 1 ADA (City of Riverside Std.)

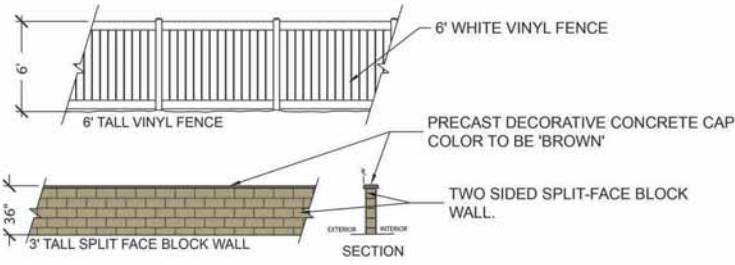


**TREE LEGEND:**

	BOTANIC NAME	COMMON NAME	SIZE	WUCOLS
SITE TREES	ARBUTUS UNEDO	STRAWBERRY TREE	24" BOX	LOW
	KOELREUTERIA PANICULATA	GOLDEN RAIN TREE	24" BOX	LOW
	PROSOPIS CHILENSIS	CHILEAN MESQUITE	24" BOX	LOW
ACCENT TREES	CERCIDIMUM 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	36" BOX	LOW
	QUERCUS SUBER	CORK OAK	36" BOX	LOW
	ULMUS PARVIFLORA 'TRUE GREEN'	EVERGREEN CHINESE ELM	36" BOX	MOD.
FRUIT/ACCENT TREES	ARBUTUS UNEDO	STRAWBERRY TREE	15 GAL	MOD
	CERCIS 'FOREST PANSY'	EASTERN REDBUD	15 GAL	MOD
	CITRUS SINENSIS	SWEET ORANGE	15 GAL	LOW
	MALUS DOMESTICA 'ANNA'	ANNA APPLE	15 GAL	MOD.
	PERSEA AMERICANA 'FUERTE'	FUERTE AVOCADO	15 GAL	MOD.
	PRUNUS AMERICANA 'KATY'	KATY APRICOT	15 GAL	MOD.
	PRUNUS PERSICA 'DESERT DELIGHT'	DESERT DELIGHT NECTARINE	15 GAL	MOD.
	PYRUS PYRIFOLIA 'NUISSEIKI'	20TH CENTURY PEAR	15 GAL	MOD.
	VITEX AGNUS-CASTUS	CHASTE TREE	15 GAL	LOW

**SHRUB & GROUNDCOVER LEGEND:**

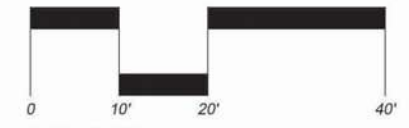
	BOTANIC NAME	COMMON NAME	SIZE/SPACING	WUCOLS	
SHRUBS & GROUNDCOVERS	ARCTOSTAPHYLOS SP.	MANZANITA	1 GAL/72" O.C.	LOW	
	BACCHARIS SP.	COYOTE BUSH	1 GAL/72" O.C.	LOW	
	CALLIANDRA CALIFORNICA	BAJA FAIRY DUSTER	5 GAL/60" O.C.	LOW	
	CISTUS PURPUREUS	ORCHID ROCKROSE	5 GAL/48" O.C.	LOW	
	CONVOLVULUS SABATIUS	GROUND MORNING GLORY	4" POTS/36" O.C.	LOW	
	EPILOBIUM CALIFORNICUM	CALIFORNIA FUCHSIA	1 GAL/36" O.C.	LOW	
	ERIOGONUM FASCICULATUM	BUCKWHEAT	1 GAL/60" O.C.	LOW	
	FESTUCA 'SISKIYOU BLUE'	SISKIYOU BLUE GRASS	1 GAL/30" O.C.	LOW	
	MUHLENBERGIA CAPILLARIS	PINK MUHLY	5 GAL/36" O.C.	LOW	
	ROSA CALIFORNICA	CALIFORNIA WILD ROSE	5 GAL/72" O.C.	LOW	
	SALVIA SP.	SAGE	5 GAL/60" O.C.	LOW	
	TRICHOSTEMA LANATUM	WOOLY BLUE CURLS	5 GAL/60" O.C.	LOW	
	MACFADYENA UNGUIS-CATI	CAT'S CLAW VINE	5 GAL/120" O.C.	LOW	
	WQMP AREA	CAREX DIVULSA	BERKELEY SEDGE	4" POTS/24" O.C.	LOW
		JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GAL/36" O.C.	LOW
MUHLENBERGIA CAPILLARIS		PINK MUHLY	5 GAL/42" O.C.	LOW	
EXISTING LANDSCAPE TO REMAIN, PROTECT IN PLACE					



# PRELIMINARY MASTER PLAN

# MULBERRY STREET COTTAGES

CITY OF RIVERSIDE  
 P18-0922 (GPA), P18-0923 (MZ), and P18-0089 (DR), Exhibit 6 - Project Plans  
 2825-2841 Mulberry Street



DATE: 11/12/19  
 PROJECT #: 190103



4649 Brockton Ave.  
 Riverside, CA 92506  
 (951) 369-0700  
 Fax (951) 369-4039  
 http://www.comworksdg.com

**Building relationships,  
 transforming environments.**

Architect's Seal: Architect's vCard:

Consultant Info & Seal:

Project Title/Client/Address:  
**MULBERRY STREET COTTAGES**  
 HABITAT FOR HUMANITY - RIVERSIDE  
 2825 Mulberry Street  
 Riverside, CA 92501



DOCUMENTATION	DATE	BY
START OF DOCUMENT	01-01-19	MAB
ISSUED FOR	DATE	BY
1ST PLAN CHECK	00-00-00	MAB

REVISIONS	DATE	BY

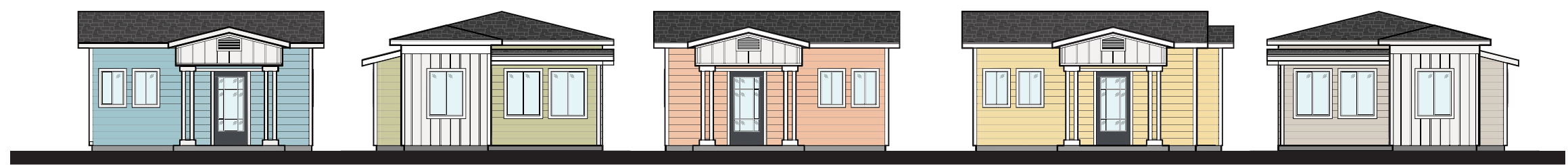
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**OVERALL SITE THEME**

Project No:  
**704004.19**  
 Drawn By: PM/LR  
 Checked By: MAB/JM  
 Date: 11/06/19

Sheet Designation:  
**A1.06**



**OVERALL SITE PLAN**



**BUILDING A** 402 SQ. FT.  
**BUILDING B MIRRORED** 425 SQ. FT.  
**BUILDING A MIRRORED** 402 SQ. FT.  
**BUILDING C** 425 SQ. FT.  
**BUILDING B** 425 SQ. FT.

**COURTYARD ELEVATION**

**PAINT SCHEME 5**: AQUA FRIA SW9053 BODY, ALABASTER SW7008 TRIM, CYBERSPACE SW7076 DOOR

**PAINT SCHEME 4**: SHAGREEN SW6422 BODY, ALABASTER SW7008 TRIM, CYBERSPACE SW7076 DOOR

**PAINT SCHEME 3**: NEIGHBORLY PEACH SW6632 BODY, ALABASTER SW7008 TRIM, CYBERSPACE SW7076 DOOR

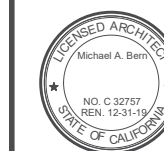
**PAINT SCHEME 2**: BUTTER UP SW6681 BODY, ALABASTER SW7008 TRIM, CYBERSPACE SW7076 DOOR

**PAINT SCHEME 1**: MODERN GRAY SW7A32 BODY, ALABASTER SW7008 TRIM, CYBERSPACE SW7076 DOOR

**CHARCOAL ROOF**: COMPOSITION ASPHALT SHINGLE ROOF

**MATERIALS & COLORS**

PLOT DATE: 11/6/2019 9:41:49 AM PLOTTED BY: LR



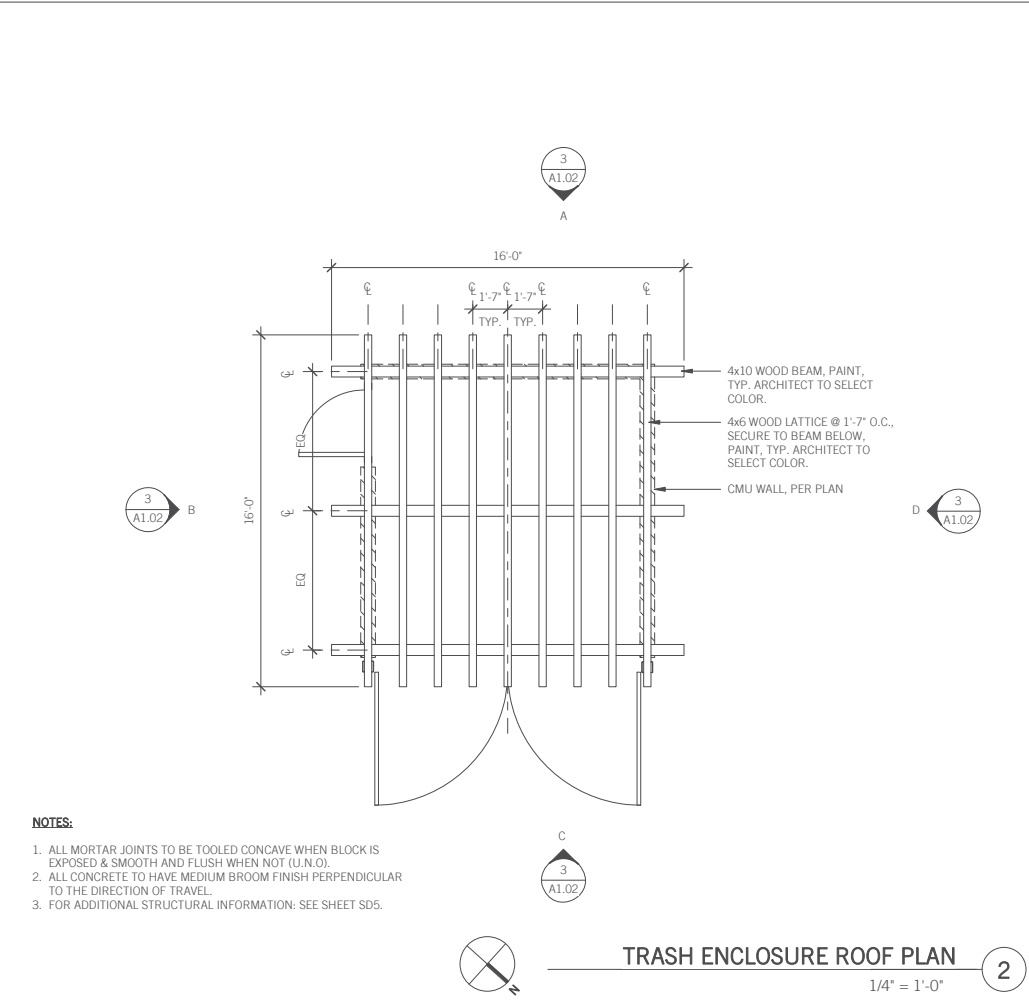
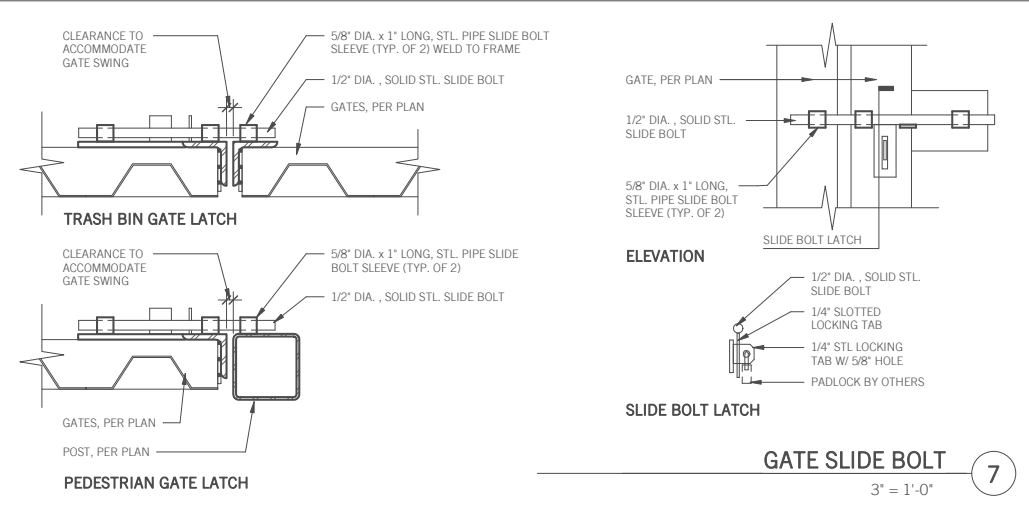
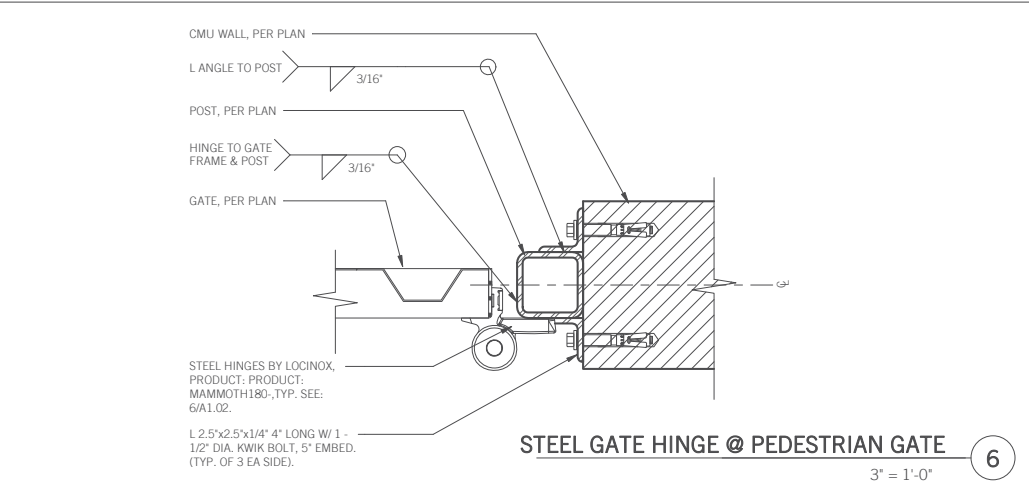
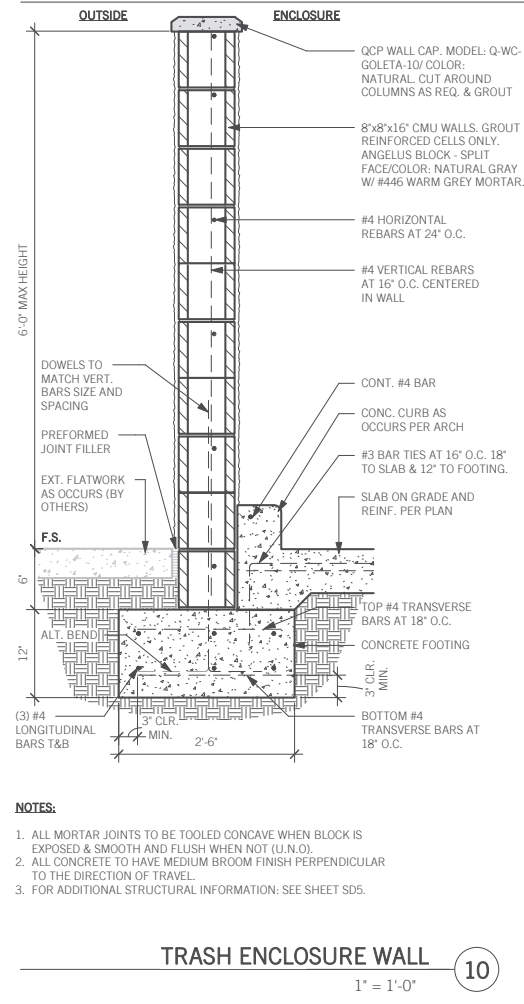
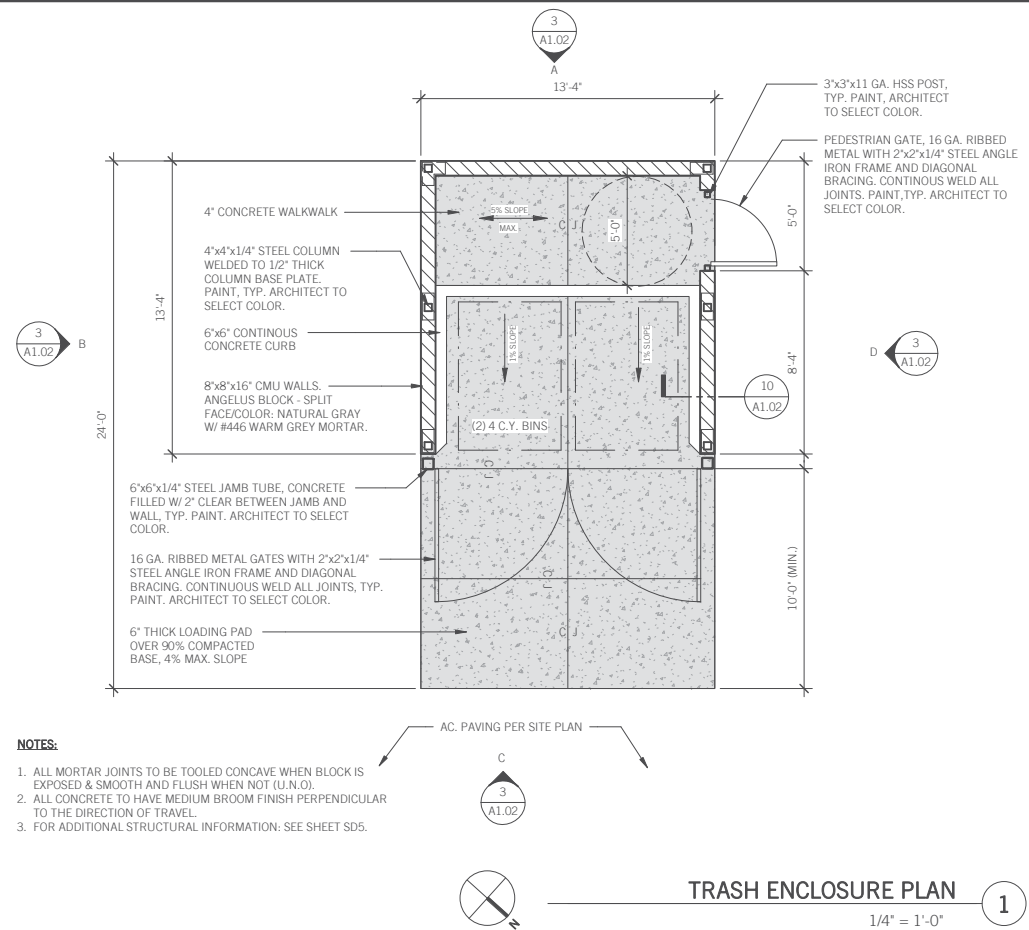
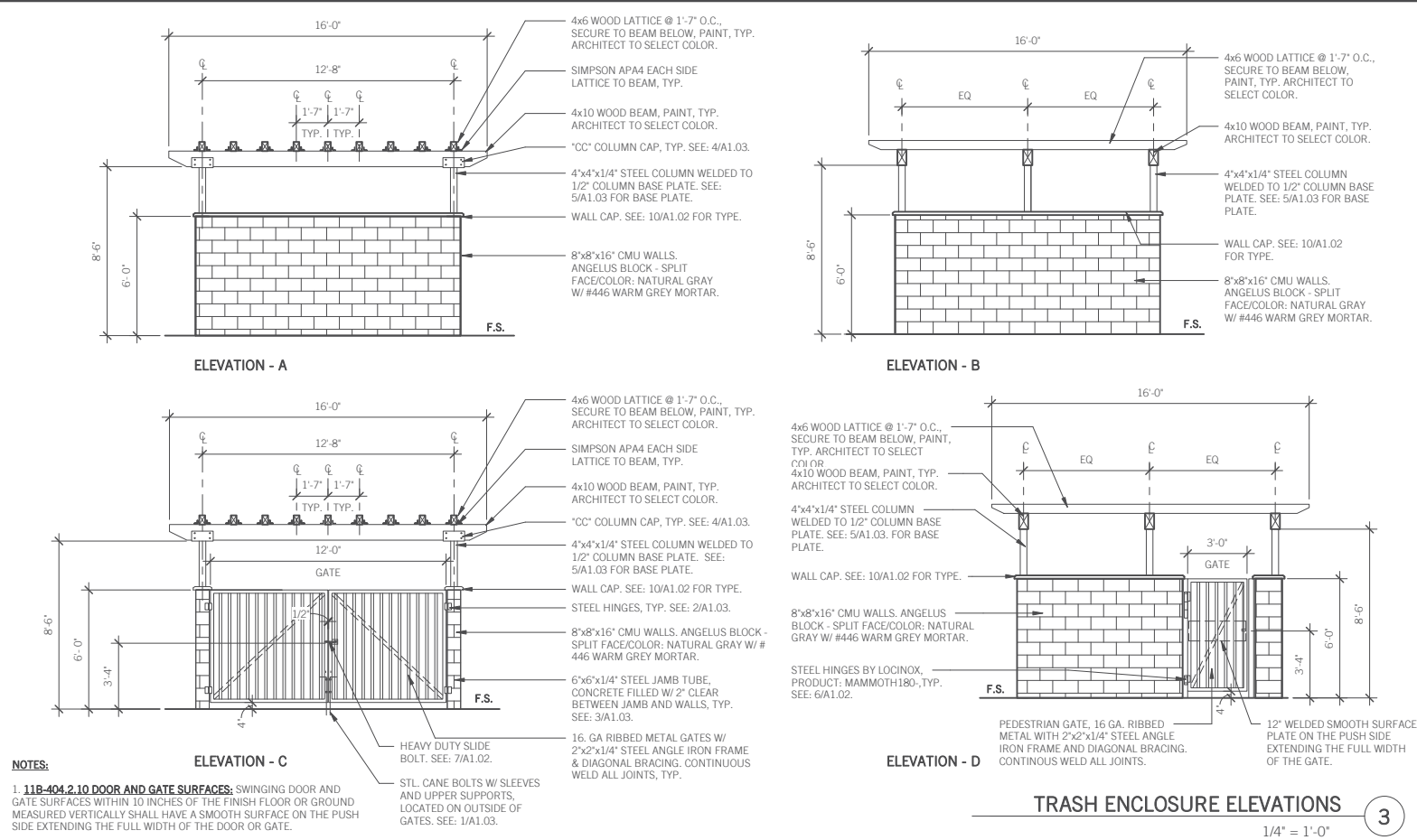
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START OF DOCUMENT	01-01-19	MAB
ISSUED FOR		
1ST PLAN CHECK	00-00-00	MAB

REVISIONS	DATE	BY

Sheet Title:  
**TRASH ENCLOSURE  
PLANS, ELEVATIONS &  
DETAILS**

Project No:  
**704004.19**  
Drawn By: PM/LR  
Checked By: MAB/JM  
Date: 11/18/19

Sheet Designation:  
**A1.02**



PLOT DATE: 11/18/2019 7:15:37AM PLOTTED BY: LR

**Building relationships,  
transforming environments.**

Architect's Seal: Architect's vCard:



Consultant Info & Seal:

Project Title/Client/Address:  
**MULBERRY STREET COTTAGES**  
HABITAT FOR HUMANITY - RIVERSIDE  
2825 Mulberry Street  
Riverside, CA 92501



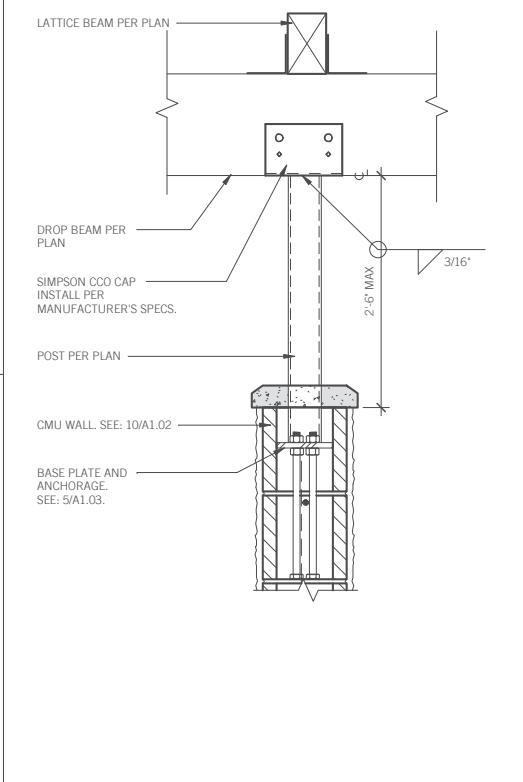
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ISSUED FOR	DATE	BY
1ST PLAN CHECK	00-00-00	MAB

REVISIONS	DATE	BY

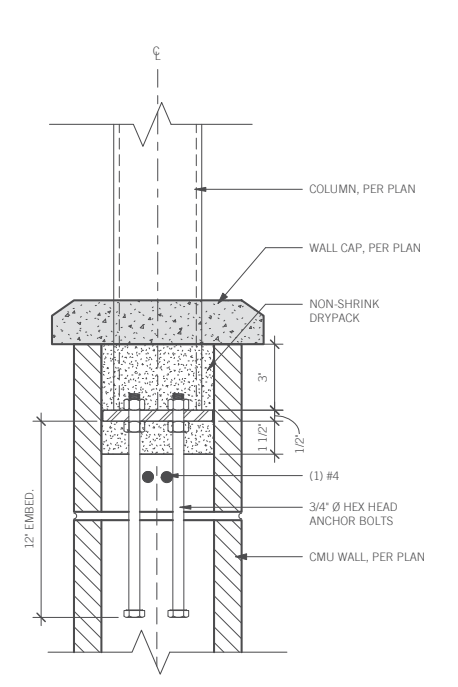
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DETAILS**

Project No:  
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Checked By: MAB/JM  
Date: 11/18/19

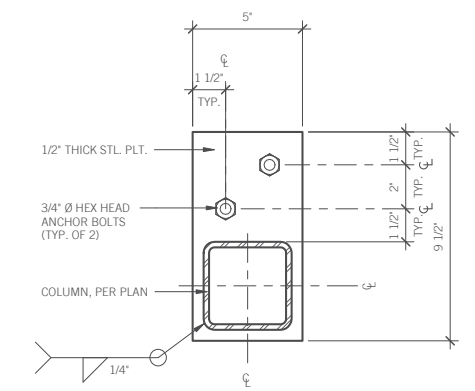
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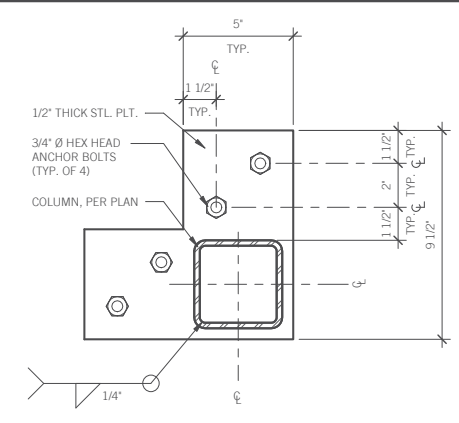
**COLUMN TO BEAM**  
1 1/2" = 1'-0"



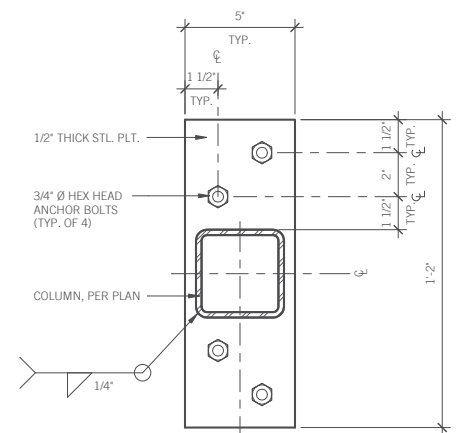
**COLUMN BASE SECTION**



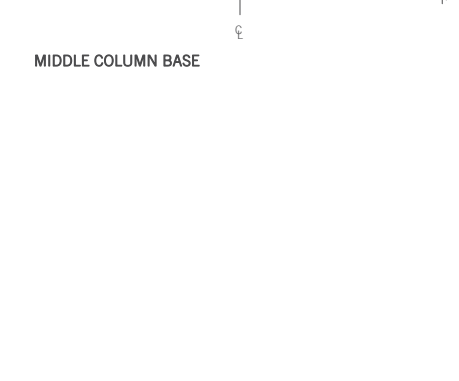
**END COLUMN BASE**



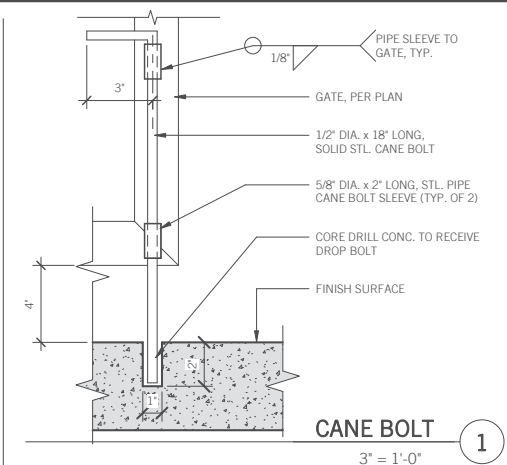
**CORNER COLUMN BASE**



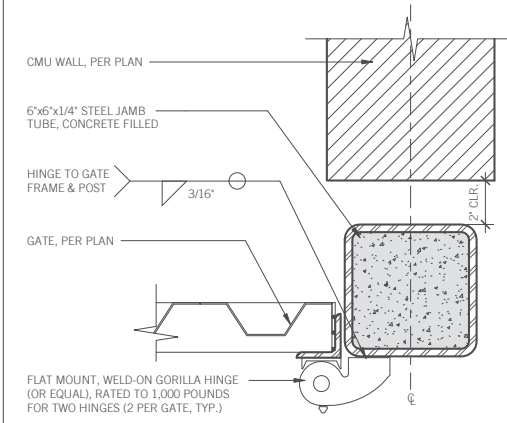
**MIDDLE COLUMN BASE**



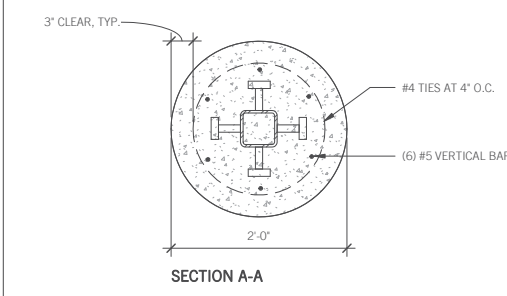
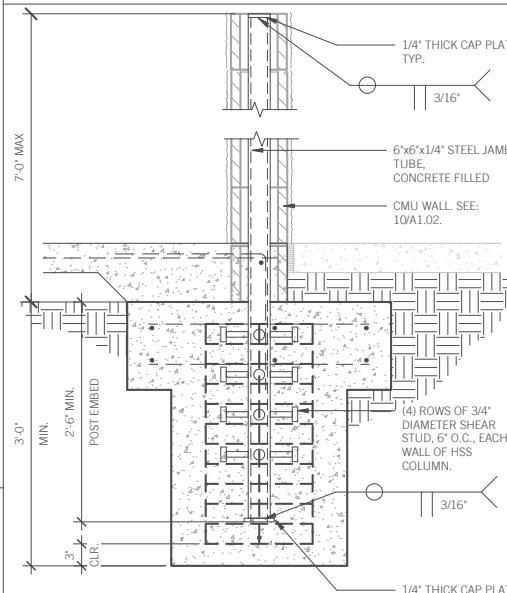
**COUMN BASE PLATE**  
3" = 1'-0"



**CANE BOLT**  
3" = 1'-0"

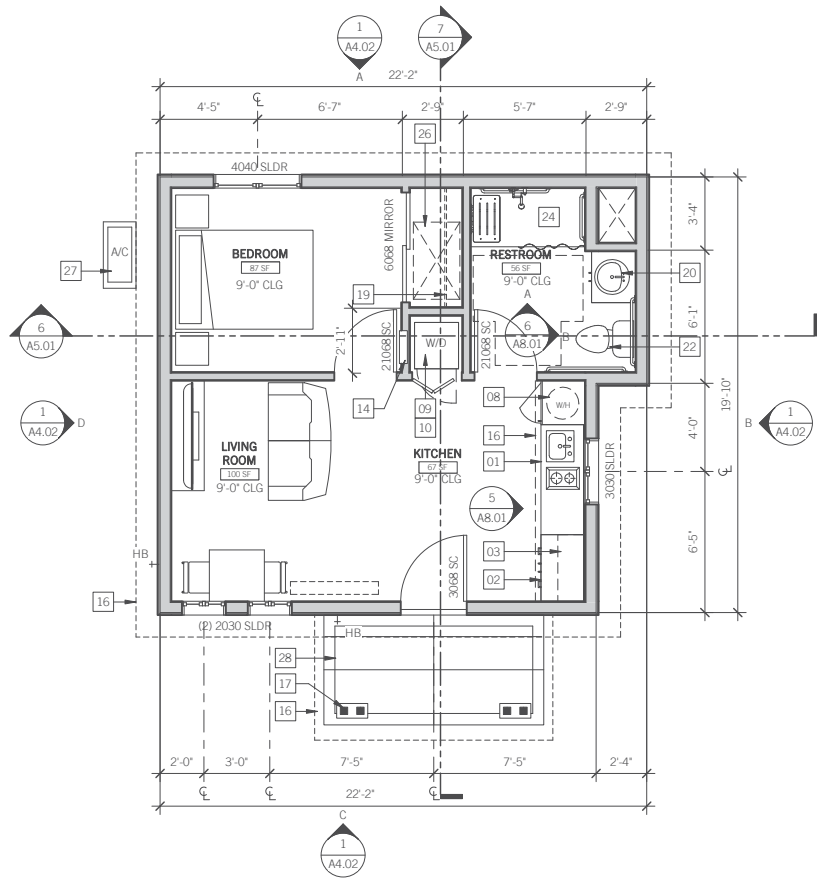


**STEEL GATE HINGE**  
3" = 1'-0"

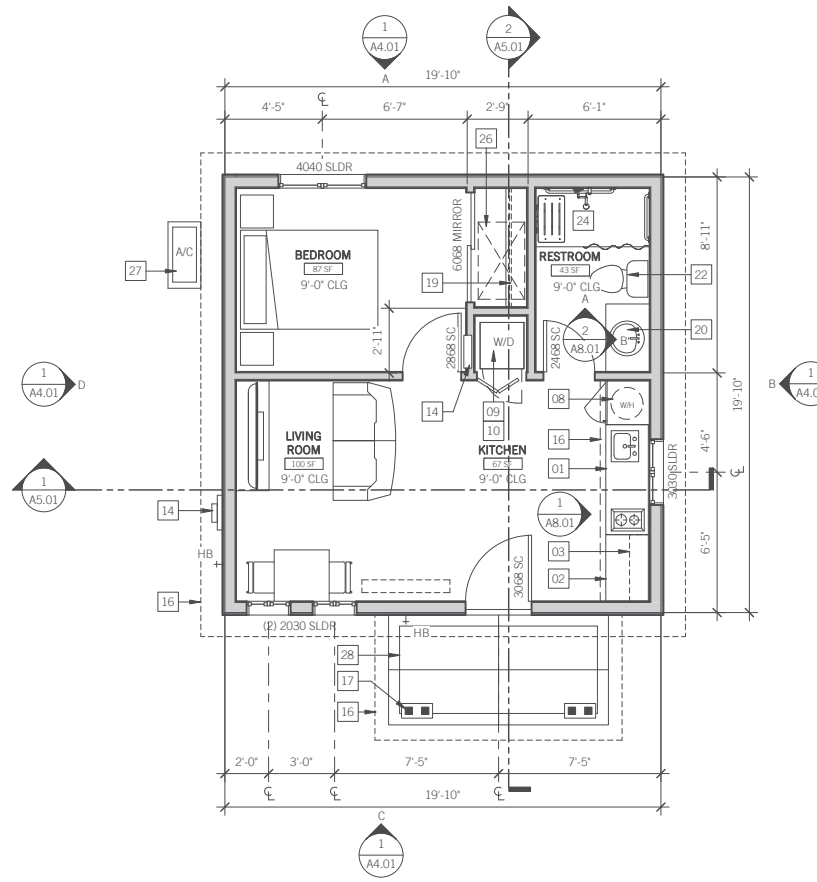


**SECTION A-A**  
**GATE POST FOOTING**  
1" = 1'-0"

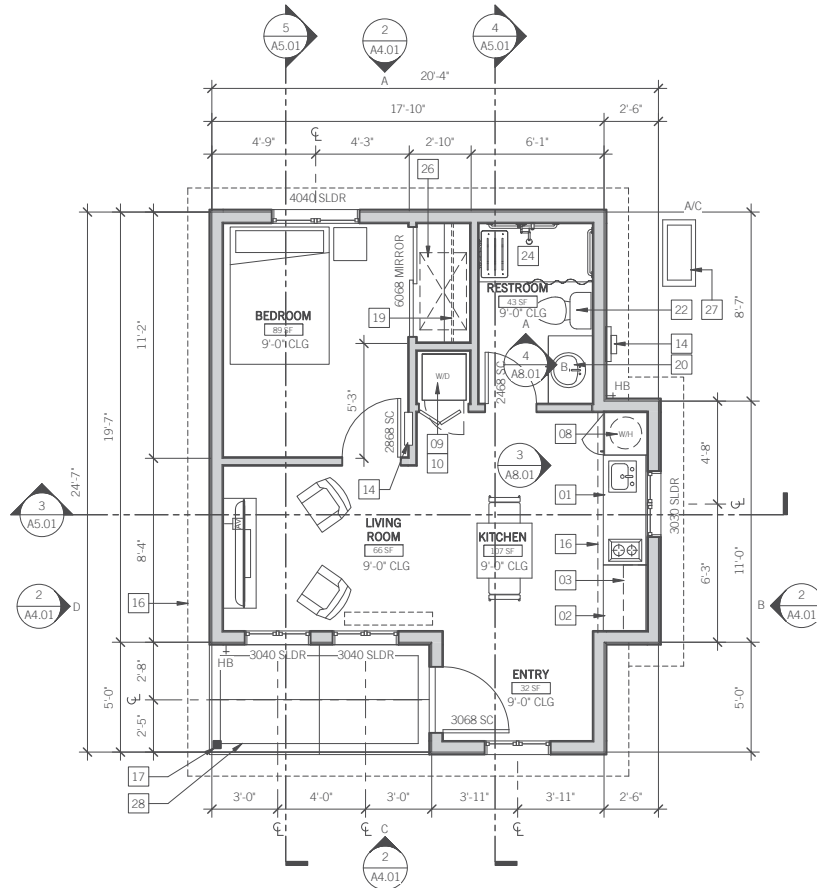
PLOT DATE: 11/18/2019 7:15:38AM PLOTTED BY: LR



**FLOOR PLAN (MODEL C - ADA)** 3  
425 TOTAL SQ. FT. 1/4" = 1'-0"



**FLOOR PLAN (MODEL A)** 1  
402 TOTAL SQ. FT. 1/4" = 1'-0"



**FLOOR PLAN (MODEL B)** 2  
425 TOTAL SQ. FT. 1/4" = 1'-0"

**FLOOR PLAN KEYNOTES** 00

01. 60" WIDE, KITCHENETTE, VERIFY DIMENSIONS AND INSTALL PER MANUFACTURER.
02. TYPICAL KITCHEN BASE CABINET WITH COUNTERTOP AND SPLASH, SEE: INTERIOR ELEVATIONS.
03. TYPICAL UPPER CABINET, SEE: INTERIOR ELEVATIONS.
08. STANDARD 30-GALLON WATER HEATER ON 32" COUNTER HIGH PLATFORM. PROVIDE SEISMIC STRAP AND "B" VENT AS REQUIRED BY CODE AND MANUFACTURER SEE: A/A6.01.
09. WASHER SPACE, PROVIDE PLUMBING CONNECTIONS (WATER AND WASTE) RECESSED IN WALL.
10. DRYER SPACE - PROVIDE VENT TO OUTSIDE AIR.
14. INTERIOR ELECTRIC SERVICE, BREAKER /SUB PANEL, VERIFY LOCATION WITH ELECTRIC COMPANY. PROVIDE 6" UTILITY WALL IF REQUIRED.
15. 4" CONC. SLAB (2,000 PSI), W/ MEDIUM BROOM FINISH.
16. LINE OF SOFFIT ABOVE, SEE: ROOF PLANS.
17. WOOD POST (3-PLACES), SEE: STRUCTURAL DRAWINGS.
19. WARDROBE CLOSET WITH SHELF AND POLE.
20. TYPICAL BATHROOM BASE CABINET WITH COUNTERTOP AND SPLASH, PROVIDE RECESSED LAVATORY(S) AND FULL-LENGTH MIRROR OVER SPLASH, SEE: INTERIOR ELEVATIONS.
22. STANDARD WATER-SAVER WATER CLOSET, LOCATED IN CLEAR SPACES NOT LESS THAN 30" IN WIDTH AND 24" IN FRONT OF WATER CLOSET, SEE: UTILITY PLAN.
24. 32"x60" ROLL IN SHOWER, VERIFY DIMENSIONS AND INSTALL PER MANUFACTURER. PROVIDE WALL MOUNTED ACCESSIBLE SHOWER HEAD AND CONTROL, GRAB BAR AND ADA SHOWER SEAT, SEE: INTERIOR ELEVATIONS.
26. 30"x24" ATTIC ACCESS, WEATHERSTRIP ALL FOUR SIDES, F.A.U. IN ATTIC, SEE: UTILITY PLANS.
27. 36"x18"x3" HIGH, FIBERGLASS/CONCRETE POLYMER AC CONDENSER MOUNTING PAD, SEE: SITE PLAN AND CIVIL PLANS FOR PAD LOCATION.
28. CONTROL JOINTS

**DOOR / WINDOW NOTES**

WINDOWS: U-FACTOR 0.28 SHGC 0.23  
SLIDING GLASS DOORS: U-FACTOR 0.28 SHGC 0.23

\* **MINIMUM 28-STC RATING** FOR ALL WINDOWS & SLIDING GLASS DOORS.

**SQUARE FOOTAGE**

MODEL	LIVING SPACE	FRONT PORCH	TOTAL
<b>MODEL A</b>	402 SF	50 SF	452 SF
<b>MODEL B</b>	425 SF	50 SF	475 SF
<b>MODEL C</b>	425 SF	50 SF	475 SF

**MATERIAL NOTES**

1. WASTE LINES SHALL BE SCHEDULE 40 ABS
2. WATER LINES SHALL BE PEX IN HOUSE
3. WATER LINES FROM METER TO HOUSE SHALL BE SCHEDULE 80 PVC.



3080 12th Street, Suite 105  
Riverside, California 92507  
O: 951.530.8778  
E: info@formillus.com  
W: formillus.com

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transforming environments.*

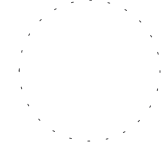
Architect's Seal:



Architect's vCard:



Consultant Info & Seal:



Project Title/Client/Address:

**MULBERRY STREET COTTAGES**  
HABITAT FOR HUMANITY - RIVERSIDE  
2825 Mulberry Street  
Riverside, CA 92501



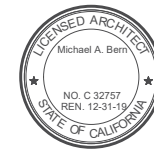
DOCUMENTATION	DATE	BY
START OF DOCUMENT	01-01-19	MAB
ISSUED FOR		
1ST PLAN CHECK	00-00-00	MAB

REVISIONS	DATE	BY

Sheet Title:  
**FIRST FLOOR PLAN**

Project No: **704004.19**  
Drawn By: PM/LR  
Checked By: MAB/JM  
Date: 11/18/19  
Sheet Designation:  
**A2.01**

PLOT DATE: 11/18/2019 7:15:40AM PLOTTED BY: LR



DOCUMENTATION	DATE	BY
START OF DOCUMENT	01-01-19	MAB
ISSUED FOR	DATE	BY
1ST PLAN CHECK	00-00-00	MAB

REVISIONS	DATE	BY

Sheet Title:  
**ROOF PLAN**

Project No:  
**704004.19**  
Drawn By: PM/LR  
Checked By: MAB/JM  
Date: 11/18/19

Sheet Designation:  
**A3.01**

**ATTIC VENTILATION NOTES**

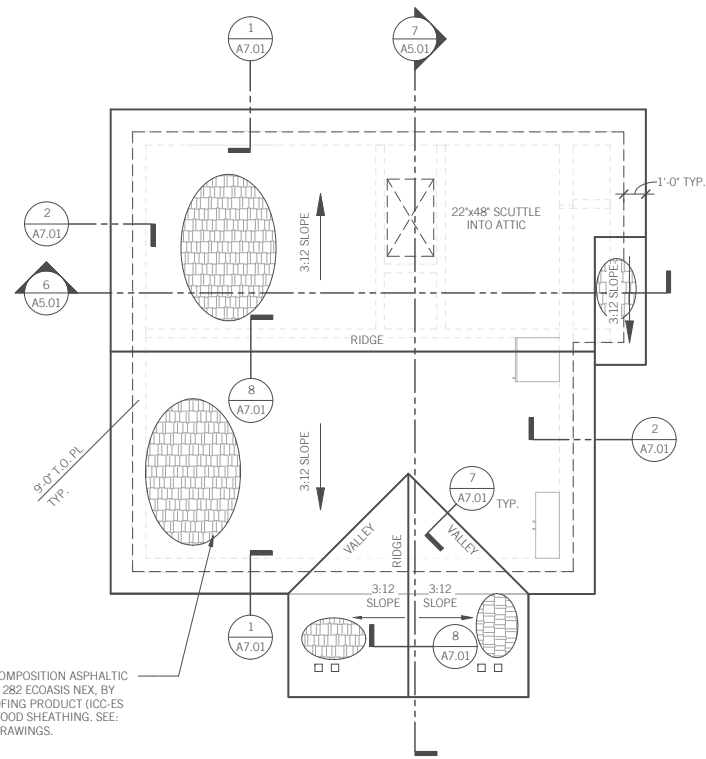
- ALL VENT OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH OPENINGS OF 1/4 INCH IN DIMENSION.
- DORMER VENTS SHALL BE LOW VENTILATION AND SHALL BE 3 FEET BELOW THE GABLE VENTS.
- PROVIDE 1 SQ. FT. (144 SQ. IN.) OF NET FREE VENTILATION AREA FOR EACH 150 SQ. FT. ATTIC AREA PER **2016 CBC 1203.4.1.**
- ROOFING CONTRACTOR TO PROVIDE AND INSTALL ALL DORMER VENTS, ROOF TO WALL FLASHING AND COUNTER FLASHING.
- ROOFING CONTRACTOR TO PAINT ALL DORMER VENTS, ROOF FLASHING AND VENTS TO MATCH ROOF COLOR.

**REQUIRED ROOF VENTILATION:**

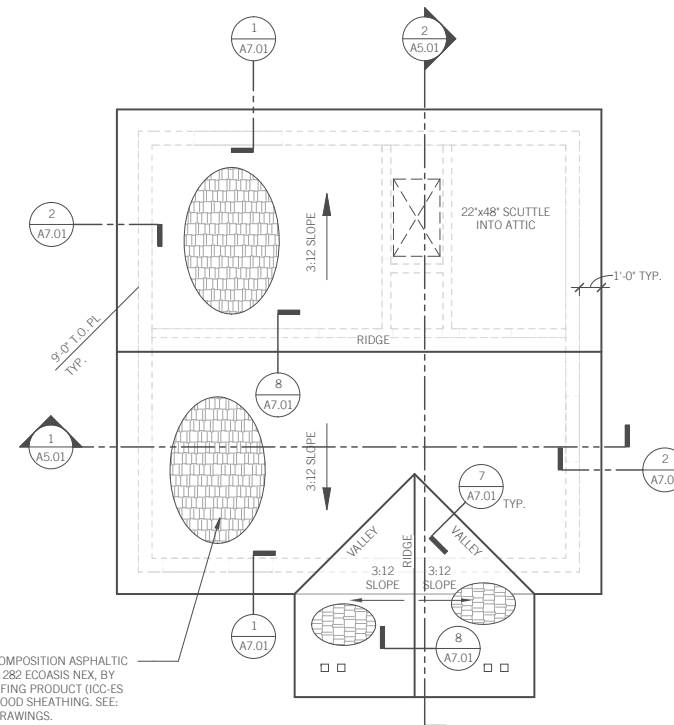
- BUILDING A**  
TOTAL VENTILATION REQUIRED  
537 SQ. FT. (ATTIC AREA) / 150 = 3.58 SQ. FT.  
1.33 SQ. FT. X 144 = **258 SQ. IN. OF VENTING REQUIRED**
- BUILDING B**  
TOTAL VENTILATION REQUIRED  
521 SQ. FT. (ATTIC AREA) / 150 = 3.47 SQ. FT.  
1.33 SQ. FT. X 144 = **251 SQ. IN. OF VENTING REQUIRED**
- BUILDING C**  
TOTAL VENTILATION REQUIRED  
564 SQ. FT. (ATTIC AREA) / 150 = 3.76 SQ. FT.  
1.33 SQ. FT. X 144 = **271 SQ. IN. OF VENTING REQUIRED**

**ACTUAL VENTILATION PROVIDED:**

- MODEL A**  
AIN ROOF GABLE (GABLE END VENT)\* 400 SQ. IN. VENT W/ 110 SQ. IN. FREE PER VENT 14"x18" GABLE VENT (2 TOTAL VENTS)  
\* PROVIDE 22"x48" SCUTTLE THROUGH MAIN ROOF SHEATHING SEE ROOF PLAN.  
TOTAL VENTILATION PROVIDED: (2\*110)+63 = **283 SQ. IN.**
- MODEL B**  
AIN ROOF GABLE (GABLE END VENT)\* 400 SQ. IN. VENT W/ 154 SQ. IN. FREE PER VENT 14"x22" GABLE VENT (2 TOTAL VENTS)  
\* PROVIDE 22"x48" SCUTTLE THROUGH MAIN ROOF SHEATHING SEE ROOF PLAN.  
TOTAL VENTILATION PROVIDED: (2\*154) = **308 SQ. IN.**
- MODEL C**  
AIN ROOF GABLE (GABLE END VENT)\* 400 SQ. IN. VENT W/ 154 SQ. IN. FREE PER VENT 14"x22" GABLE VENT (2 TOTAL VENTS)  
\* PROVIDE 22"x48" SCUTTLE THROUGH MAIN ROOF SHEATHING SEE ROOF PLAN.  
TOTAL VENTILATION PROVIDED: (2\*154) = **308 SQ. IN.**

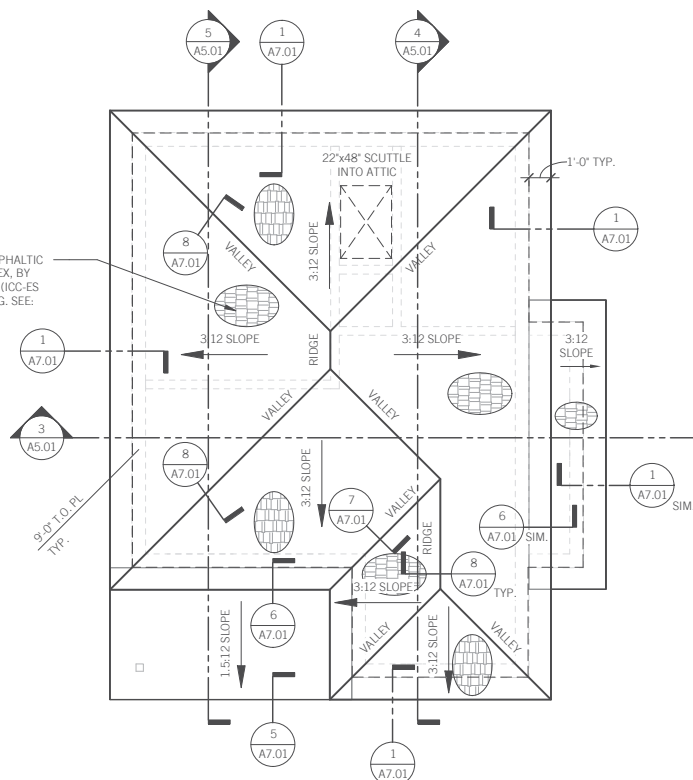


**ROOF PLAN (MODEL C) ADA**  
1/4" = 1'-0" 3



**ROOF PLAN (MODEL A)**  
1/4" = 1'-0" 1

DIMENSIONAL COMPOSITION ASPHALTIC SHINGLE ROOF, 282 ECOASIS NEX, BY MALARKEY ROOFING PRODUCT (ICC-ES AC438) OR PLYWOOD SHEATHING. SEE STRUCTURAL DRAWINGS.



**ROOF PLAN (MODEL B)**  
1/4" = 1'-0" 2





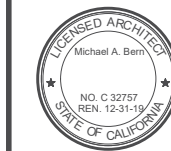
**Formillus**  
ARCHITECTURE

3080 12th Street, Suite 105  
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**MULBERRY STREET COTTAGES**  
HABITAT FOR HUMANITY - RIVERSIDE

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Sheet Title:  
**EXTERIOR ELEVATIONS**

Project No:  
**704004.19**  
Drawn By: PM/LR  
Checked By: MAB/JM  
Date: 11/18/19

Sheet Designation:  
**A4.01**

**KEYNOTES**

**MATERIAL LEGEND**

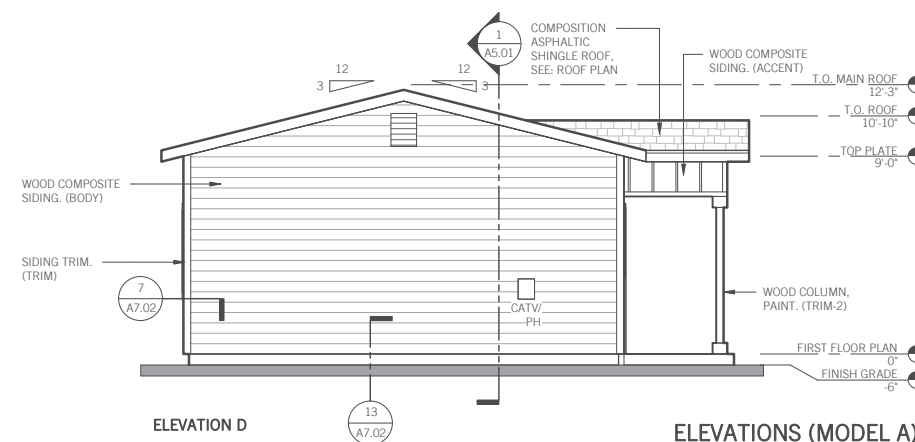
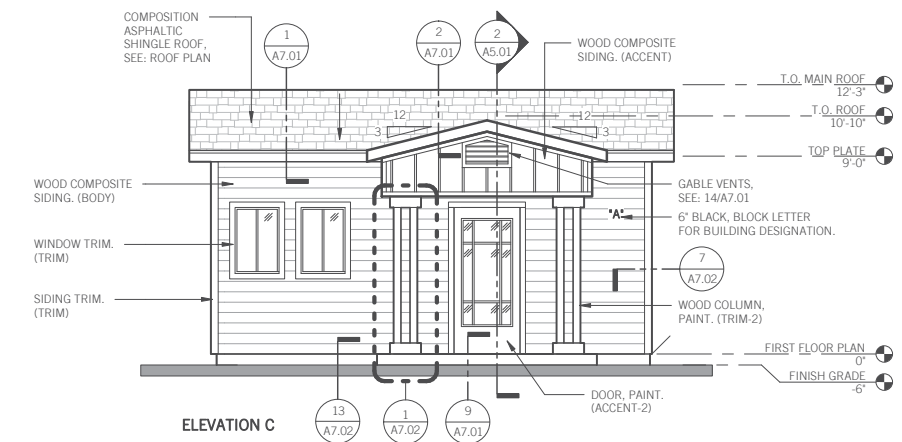
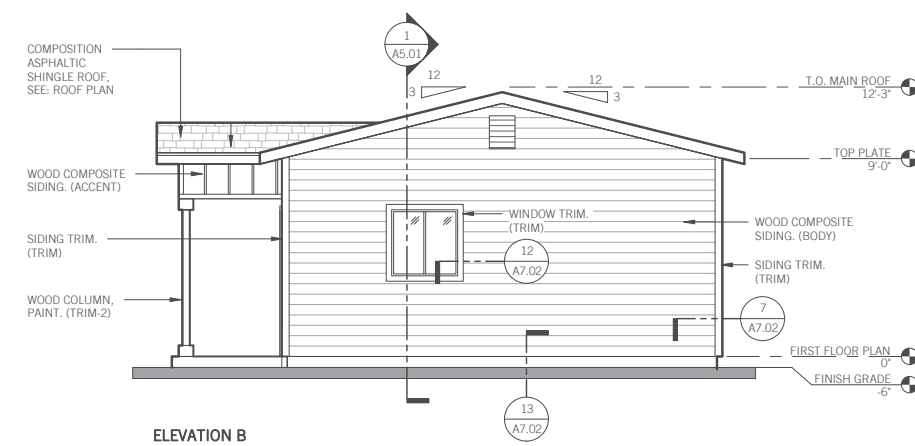
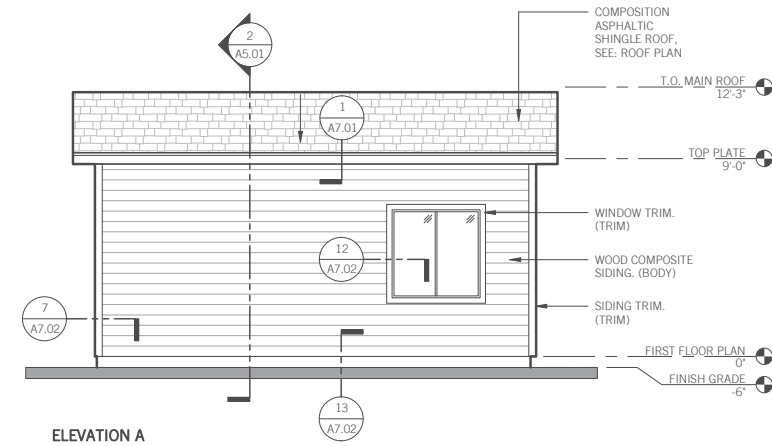
- INTEGRAL COLOR ACRYLIC CEMENT PLASTER, LIGHT DASH FINISH, PAINTED.
- WOOD SIDING
- METAL ROOFING
- INSULATED GLAZING AND FRAME ASSEMBLY

**DRAWING SYMBOLS**

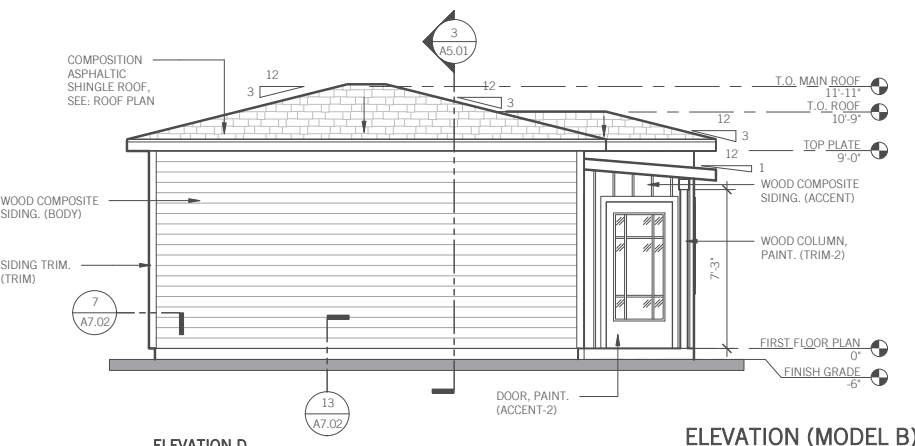
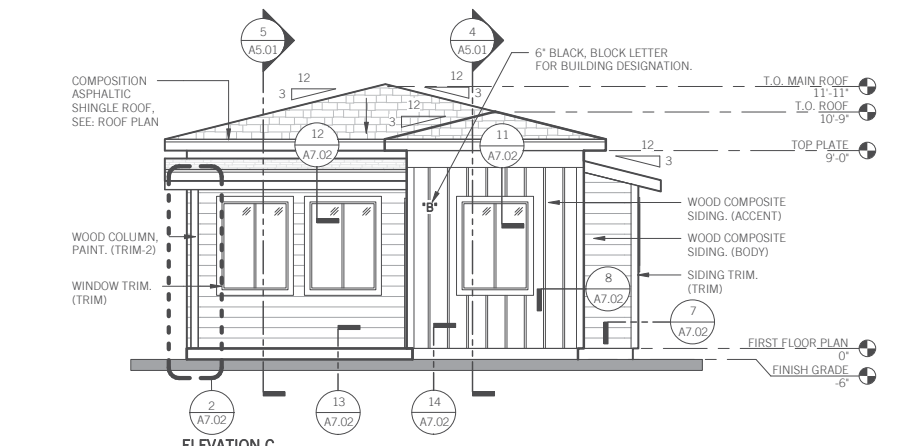
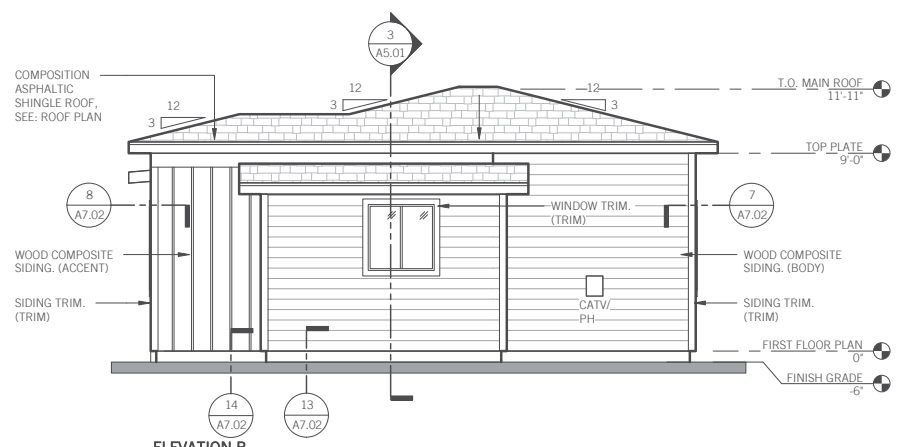
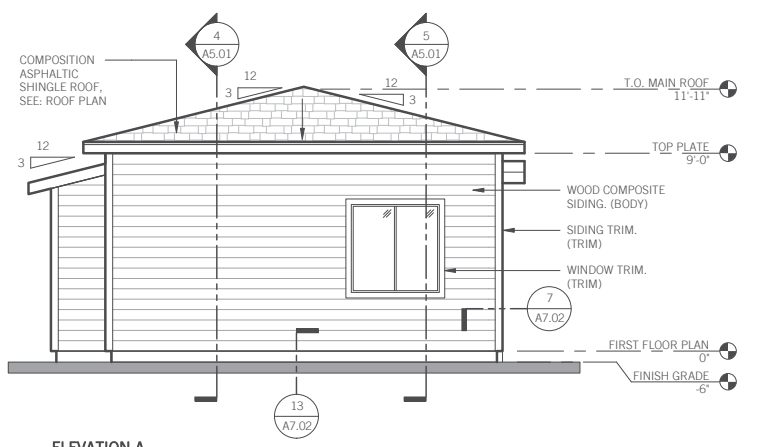
- ALIGNMENT TAG
- WINDOW OR GLAZING TAG. SEE: WINDOW TYPES & DETAILS.
- COLOR & MATERIAL TAG. SEE: FINISH LEGEND ON A10.01.
- TRANSITIONAL MARK

**GENERAL NOTES**

- ALL METAL FLASHING SHALL BE PAINTED TO MATCH ADJACENT SURFACE, TYP.
- ALL INTERIOR GLAZING TO BE 1/4", (U.N.O.).
- CONTROL JOINTS SHALL BE CONTINUOUS ABOVE SILLS, UNDER SOFFITS, AND AROUND CORNERS. CONTROL JOINTS TO BE PAINTED. ARCHITECT TO SELECT COLOR.
- ALL GLAZING TO BE TEMPERED.
- COORDINATE ALL CONTROL JOINTS, REVEALS AND MATERIAL FINISHES THAT REQUIRE ALIGNMENT WITH OPENINGS PRIOR TO FRAMING.
- CONTROL JOINTS SHALL EXTEND UNDER FLASHINGS, AROUND CORNERS AND UNDER SOFFITS. PAINT ALL PLASTER CONTROL JOINTS TO MATCH WALL COLOR.



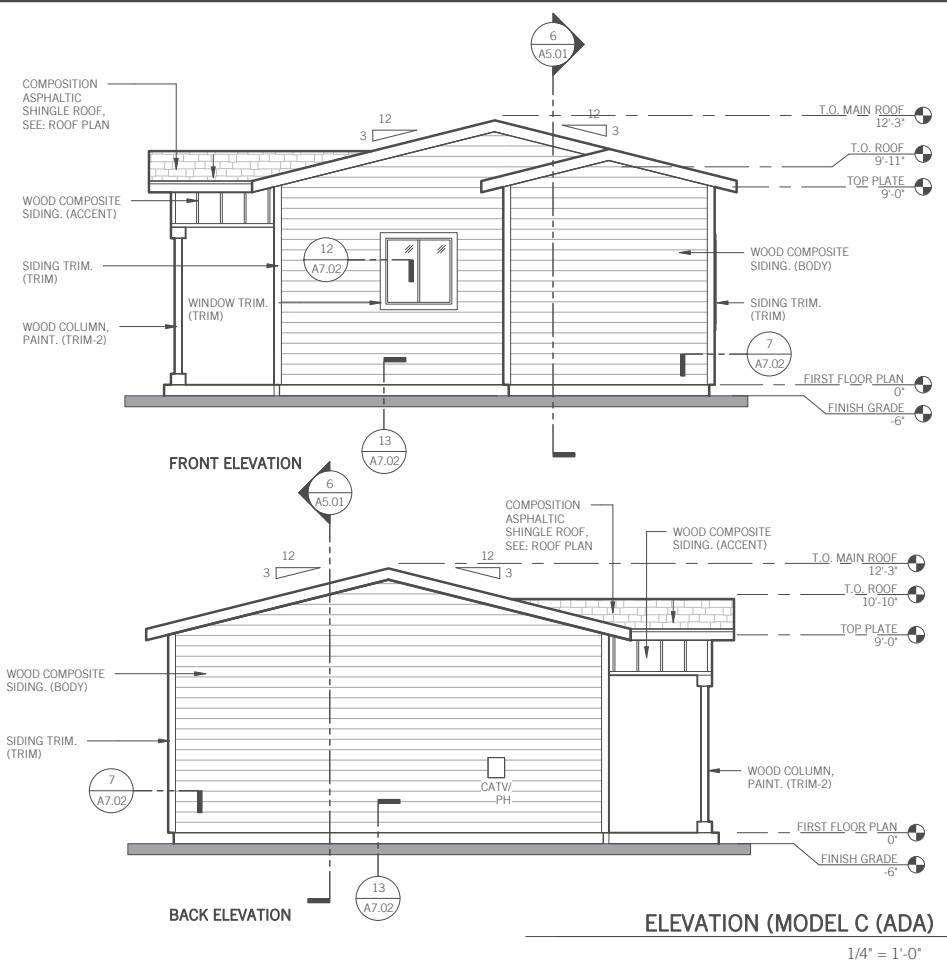
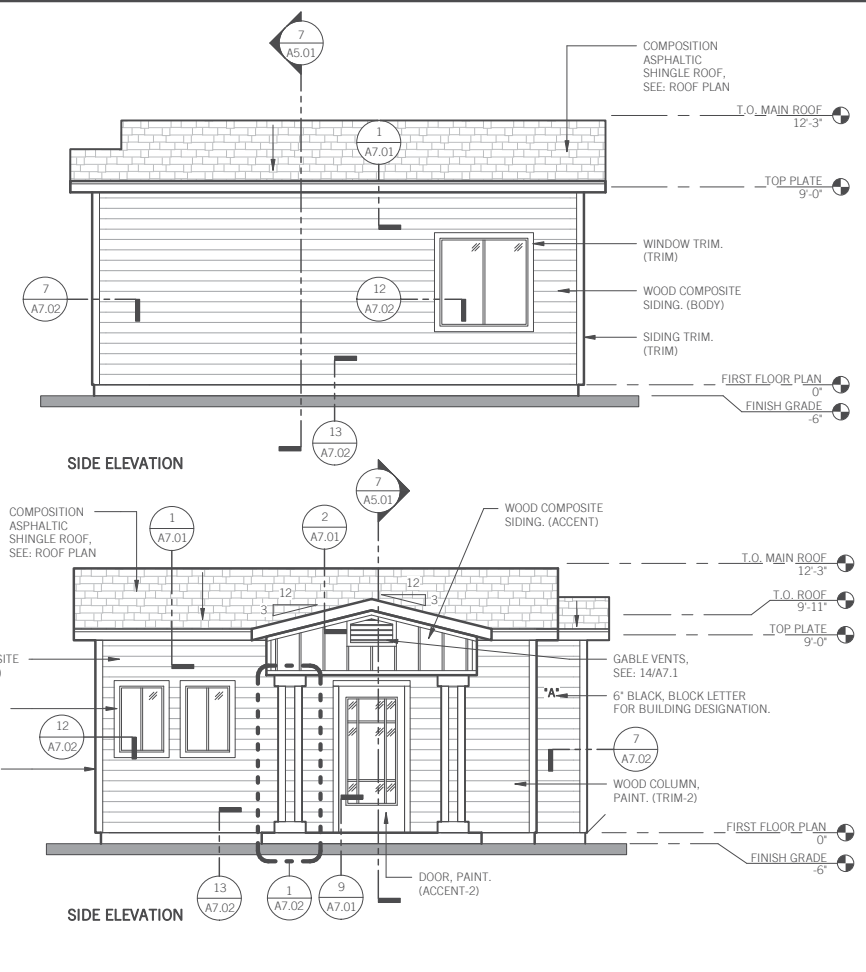
**ELEVATIONS (MODEL A)** 1  
1/4" = 1'-0"



**ELEVATION (MODEL B)** 2  
1/4" = 1'-0"

PLOT DATE: 11/18/2019 7:15:45AM PLOTTED BY: LR

PLOT DATE: 11/18/2019 7:15:47 AM PLOTTED BY: LR



ELEVATION (MODEL C (ADA)) 1  
1/4" = 1'-0"

KEYNOTES [00]

MATERIAL LEGEND

- [Symbol] INTEGRAL COLOR ACRYLIC CEMENT PLASTER, LIGHT DASH FINISH, PAINTED.
- [Symbol] WOOD SIDING
- [Symbol] METAL ROOFING
- [Symbol] INSULATED GLAZING AND FRAME ASSEMBLY

DRAWING SYMBOLS

- [Symbol] ALIGNMENT TAG
- [Symbol] WINDOW OR GLAZING TAG. SEE: WINDOW TYPES & DETAILS.
- [Symbol] COLOR & MATERIAL TAG. SEE: FINISH LEGEND ON A10.01.
- [Symbol] TRANSITIONAL MARK

GENERAL NOTES

1. ALL METAL FLASHING SHALL BE PAINTED TO MATCH ADJACENT SURFACE, TYP.
2. ALL INTERIOR GLAZING TO BE 1/4", (U.N.O.).
3. CONTROL JOINTS SHALL BE CONTINUOUS ABOVE SILLS, UNDER SOFFITS, AND AROUND CORNERS. CONTROL JOINTS TO BE PAINTED. ARCHITECT TO SELECT COLOR.
4. ALL GLAZING TO BE TEMPERED.
5. COORDINATE ALL CONTROL JOINTS, REVEALS AND MATERIAL FINISHES THAT REQUIRE ALIGNMENT WITH OPENINGS PRIOR TO FRAMING.
6. CONTROL JOINTS SHALL EXTEND UNDER FLASHINGS, AROUND CORNERS AND UNDER SOFFITS. PAINT ALL PLASTER CONTROL JOINTS TO MATCH WALL COLOR.



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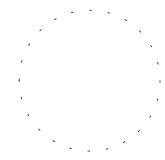
Architect's Seal:



Architect's vCard:



Consultant Info & Seal:



Project Title/Client/Address:

**MULBERRY STREET COTTAGES**  
HABITAT FOR HUMANITY - RIVERSIDE  
2825 Mulberry Street  
Riverside, CA 92501



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Sheet Title:  
**EXTERIOR ELEVATIONS**

Project No: **704004.19**  
 Drawn By: PM/LR  
 Checked By: MAB/JM  
 Date: 11/18/19

Sheet Designation:  
**A4.02**



**ELECTRICAL - PHOTOMETRIC PLAN OUTDOOR**

SCALE: 1/8"=1'-0"

Symbol	Label	Quantity	Manufacturer	Model Number	Description	Height	Beam Angle	Footcandle @ 10'	Footcandle @ 20'	Footcandle @ 30'	Footcandle @ 40'	Footcandle @ 50'	Footcandle @ 60'	Footcandle @ 70'	Footcandle @ 80'	Footcandle @ 90'	Footcandle @ 100'
□	A	2	LED ARCHITECTURAL LIGHTING	SPRINKLED IN-GLASS DOWN-LIGHT	SPRINKLED IN-GLASS DOWN-LIGHT, LED, 100W, 4000K, 120V, 100LM, 100MM DIA. CLEAR PLASTIC OPTIC BELLON EACH AND CLEAR PLASTIC BELLON LENS.	100	120	100	25	10	5	3	2	1.5	1	0.7	0.5
⬆	B	2	LED ARCHITECTURAL LIGHTING	SPRINKLED IN-GLASS DOWN-LIGHT	SPRINKLED IN-GLASS DOWN-LIGHT, LED, 100W, 4000K, 120V, 100LM, 100MM DIA. CLEAR PLASTIC OPTIC BELLON EACH AND CLEAR PLASTIC BELLON LENS.	100	120	100	25	10	5	3	2	1.5	1	0.7	0.5
⬆	C	4	LED ARCHITECTURAL LIGHTING	SPRINKLED IN-GLASS DOWN-LIGHT	SPRINKLED IN-GLASS DOWN-LIGHT, LED, 100W, 4000K, 120V, 100LM, 100MM DIA. CLEAR PLASTIC OPTIC BELLON EACH AND CLEAR PLASTIC BELLON LENS.	100	120	100	25	10	5	3	2	1.5	1	0.7	0.5
⬆	D	4	LED ARCHITECTURAL LIGHTING	SPRINKLED IN-GLASS DOWN-LIGHT	SPRINKLED IN-GLASS DOWN-LIGHT, LED, 100W, 4000K, 120V, 100LM, 100MM DIA. CLEAR PLASTIC OPTIC BELLON EACH AND CLEAR PLASTIC BELLON LENS.	100	120	100	25	10	5	3	2	1.5	1	0.7	0.5
⬆	E	10	Street Lighting	LED LED FT. 50' OF ROAD TO	LED LED, PERFORMANCE RANGE 100W, 4000K, 120V, 100LM, 100MM DIA. CLEAR PLASTIC OPTIC BELLON EACH AND CLEAR PLASTIC BELLON LENS.	100	120	100	25	10	5	3	2	1.5	1	0.7	0.5

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
1. Main Right of way	+	2.8 fc	8.2 fc	0.3 fc	27.3:1	9.3:1
2. Exterior rear walkways		2.4 fc	5.2 fc	0.6 fc	8.7:1	3.9:1

REVISIONS		
NO.	DATE	DESCRIPTION

SEAL:

**GMEP ENGINEERS**  
26488 Rambo Pkwy. S. Ste 120  
Lake Forest, CA 92550  
Tel 949-287-9085

PROJECT NAME: **MULBERRY STREET COTTAGES**  
2825 MULBERRY STREET  
RIVERSIDE, CA 92501

SHEET TITLE: **ELECTRICAL PHOTOMETRICS OUTDOOR**

DRAWN	GMEP
CHECKED	GMEP
DATE	11/04/19
SCALE	AS NOTED
JOB NO.	19-457
SHEET	E-3.0