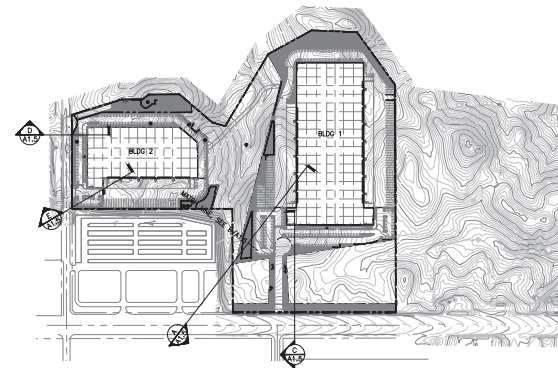


KEYPLAN



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Project:

Sycamore Hills
Distribution Center

Riverside, CA.

Consultants:

CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER
WATER HANDLING

Title: SiteSection

Project Number: 13332
Drawn by: MLL
Date: 08/15/19
Revision:

Sheet:

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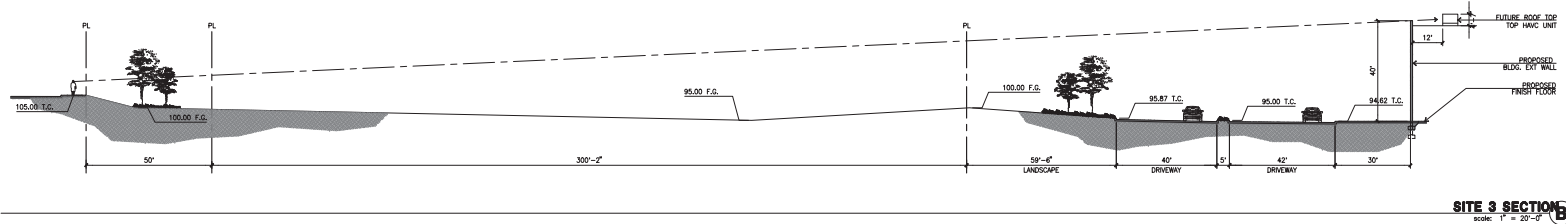
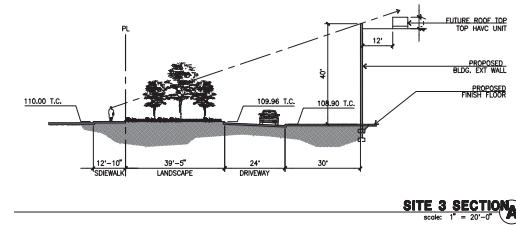
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PLUMBING	
ELECTRICAL	VALS ELECTRIC
LANDSCAPE	HUNTER
FIRE PROTECTION	
SOILS ENGINEER	
MATERIAL HANDLING	

Title: SiteSection

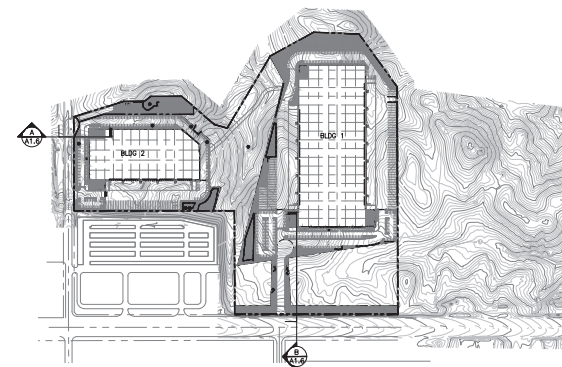
Project Number: 13332
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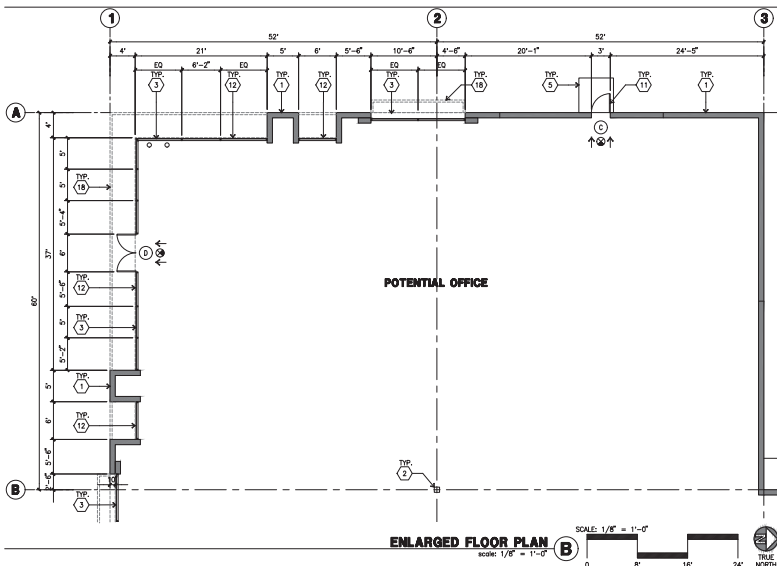
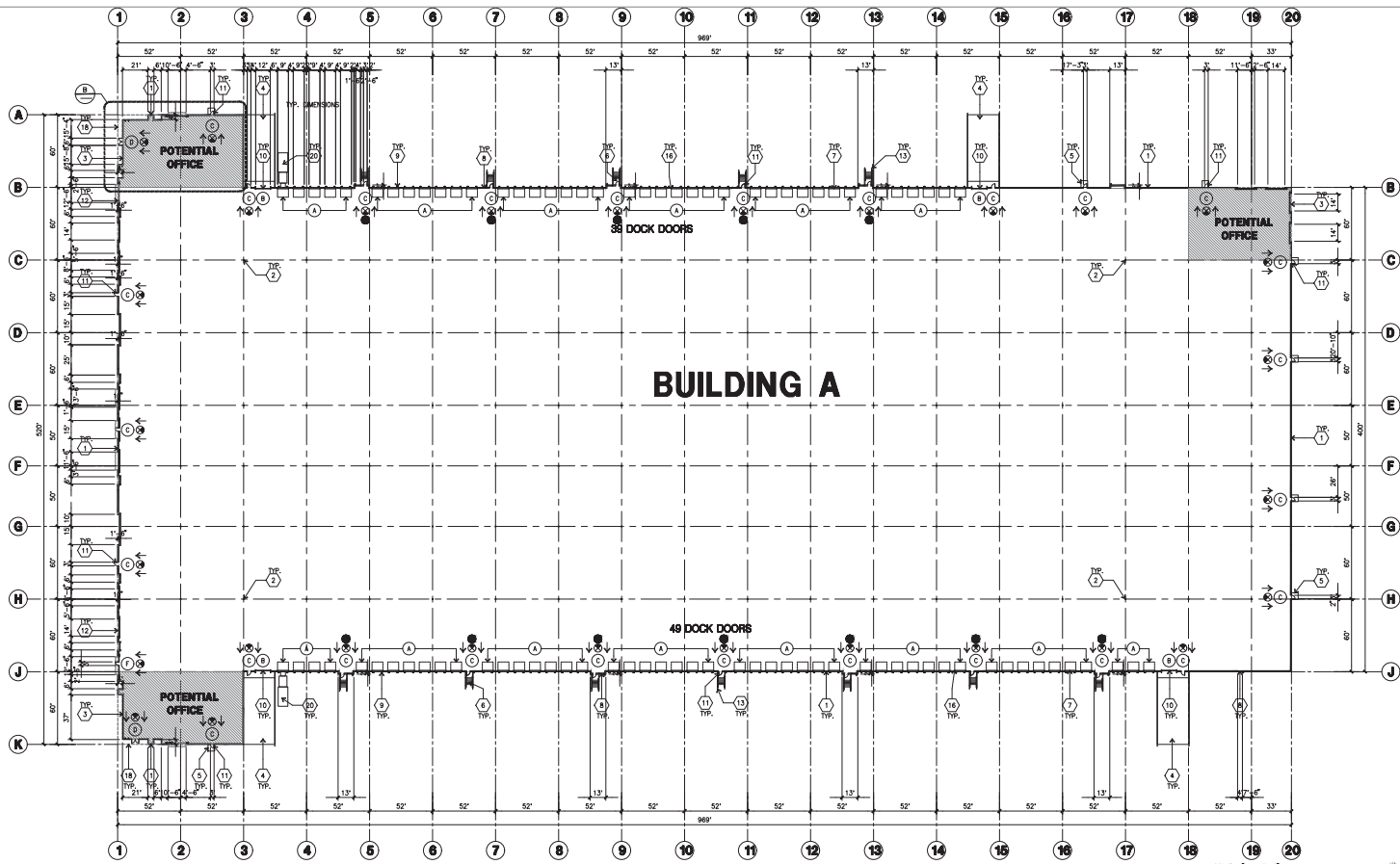
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KEYPLAN





FLOOR PLAN KEYNOTES

1. CONCRETE TILT-UP PANEL.
2. TYPICAL STIFFENING SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATION.
3. CONCRETE PUMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF PUMP.
4. 5'-4" X 5'-4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDINGS AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
5. EXTERIOR CONCRETE STAIR W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF STAIR.
6. 9' X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD GRADE.
7. 4' X 8' LOUVERED OPENING FOR VENTILATION.
8. DOCK DOOR BUMPER TYPICAL.
9. 12' X 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE.
10. 3' X 7' HOLLOW METAL EXTERIOR MAIN DOOR.
11. SLOTTED LINE ABOVE.
12. CONC. FILLED GUARD POST, 6" DIA. U.N.G., 42"H.
13. EMPLOYEE BREAK/SHOWING AREA.
14. PRE-CAST CONCRETE WHEEL STOP.
15. 2' GUARD.
16. APPROXIMATE LOCATION OF ELECTRICAL ROOM.
17. METAL CANOPY ABOVE.
18. INTERIOR BIKE RACK TYPICAL.
19. TRASH COMPACTOR.

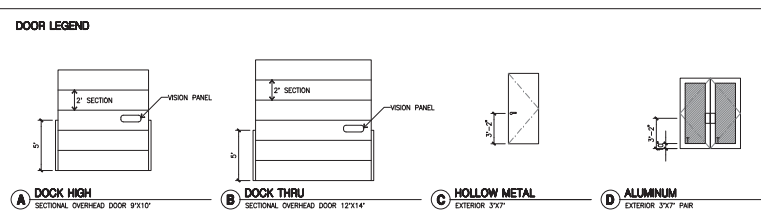
FLOOR PLAN GENERAL NOTES

1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAIN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY MACHINING/CONCRETE SYSTEM.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL O.P. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO CORNER.
5. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
6. ALL LANDINGS ARE TO THE FACE OF CONCRETE PANEL WALL, GROUNDLINE, OR FACE OF STUD U.N.G.
7. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
8. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET -. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
9. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DAMPERED INCLUDING CARS AND TRUCKS.
10. ALL EXIT MAIN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HANGING.
11. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
12. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 80" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
13. NON-ACCESSIBLE DOOR PROVIDE WARNING SIGN LOCATED IN THE INTERIOR VIEW. SEE A/A-1 OFFICE SECTION.
14. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW. SEE A/A-1 OFFICE SECTION.

FLOOR SLAB & POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS.
1. FLOOR COMPACTION - 90S.
 2. FRENCH COMPACTION - 90S.
 3. BUILDING FLOOR SLAB:
 - A. 4" THICK MIN. UN-REINFORCED CONCRETE, OVER COMPACTED SOILS.
 - B. 5/4" - 16" LONG @ 12" O.C. DOWELS AT ALL CONSTRUCTION JOINTS.
 - C. 3/4" - 16" LONG @ 24" O.C. DOWELS IN DOWEL BASKET AT ALL CONTROL JOINTS.
 - D. 4,000 P.S.I. REQUIREMENT.
 - E. SLUMP TO BE 4" +/- 1".
 - F. JOINT SPACING PER A.C.I. 302-4R-96.
 - G. 5/8" CURT. DEPTH 1/4" T. SORT SAW-CUTTING WITHIN 2 HRS OF FINISHING.
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-4R-96.
 5. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
 6. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLAP FOR 7 DAYS MIN.
 7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DAMPERED.
 8. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 9. SLAB TO BE F700 PLUS MEASURED WITHIN 24 HOURS.
 10. NO FLY ASH IN THE CONCRETE.
 11. WHERE INDICATED, PROVIDE VAPOR BARRIER (15ML STEGO OR EQUAL) UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOLS ENGINEER OR MANUFACTURER'S RECOMMENDATION.
 12. CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER WOLVEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLAP, CURING COMPOUND, OR RELEASE AGENT.
 13. CONTROL/CONSTRUCTION JOINTS SHALL NOT BE FILLED WITH MM-80 JOINT FILLER IN FUTURE OFFICE AREAS.
 14. SEE CONCRETE SLAB W/ "UP/SLOTTED" SCALER.

NOTE: NO 2ND FLOOR OR MEZZANINE IS PROPOSED



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Distribution Center

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Consultants:

CIVIL
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MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
FIRE PROTECTION
SOLS ENGINEER
INTERIOR HANGING

Title: Overall Floor Plan

Project Number: 13332
Drawn by: MLL
Date: 08/15/19
Revision:

Sheet:

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SOLS ENGINEER
INTERNAL HANDLING

Title: Overall Roof Plan

Project Number: 13332

Drawn by: MLL

Date: 08/15/19

Revision:

Sheet:

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ROOF PLAN KEYNOTES

1. CONCRETE PARAPET, SEE "C" DRAWINGS FOR THICKNESS.
2. A/C UNIT, SEE "M" DRAWINGS, PROVIDE SUPPORT & ROOF AS REQUIRED.
3. 4" X 8" CURB MOUNTED SKYLIGHT/SMOKE HATCH.
4. ROOF ADDRESS PAINTED BLACK 4" HIGH W/ 1" WIDE STROKE PER LETTER.
5. PROVIDE 4-PLY BUILT-UP ROOFING OVER ROOF SHEATHING OVER ROOF FRAMING. UNLESS NOTED, ROOFING TO BE 30-24 CAP ROOFING BY JOHNS-MANVILLE OR EQUAL (CLASS A RATED), 10 YEAR NO DOLLAR LIMIT WARRANTY AND 3 YEAR LABOR GUARANTEE.
6. APPROXIMATE LOCATION OF EXHAUST FAN.
7. APPROXIMATE LOCATION OF ROOF HATCH.
8. INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
9. PARAPET RETURN.
10. STRUCTURAL JOIST, SEE "S" DRAWINGS.
11. EXTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
12. INTERIOR DRAIN.

ROOF PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, GRISELINE, OR FACE OF STUD. (U.N.O.)
2. VERIFY THAT ALL ROOF AREAS HAVE POSITIVE DRAINAGE (1/4" FT.) PRIOR TO ROOF INSULATION INSTALLATION.
3. REFER TO "S" DRAWINGS FOR ROOF HEIGHT ELEVATIONS IN REGARDS TO ROOF DRAINAGE.
4. CONTRACTOR TO VERIFY AND COORDINATE WITH ALL SUBCONTRACTORS, ALL LOCATIONS AND SIZES OF ROOF OPENINGS.
5. FOR TYP. ROOF PENETRATIONS, SEE DETAIL 6, 9, 10/ADJ. CONTRACTOR TO VERIFY ALL LOCATIONS WITH MECHANICAL AND PLUMBING DRAWINGS.
6. CONTRACTOR TO VERIFY ALL ROOF DRAIN DEPRESSIONS W/ "S" DRAWINGS.
7. CONTRACTOR TO COORDINATE EXACT SKYLIGHT LOCATION W/ FIRE SPRINKLER AND ROOF FLASHING SUBCONTRACTORS, LOCATIONS ON DRAWINGS ARE APPROXIMATE.
8. ALL SKYLIGHTS TO BE DESIGNED PER WIND SPEED DESIGN CRITERIA W/ STRENGTHENED FRAMES, SUPPORTS AND ZONES, MANUFACTURER TO CONFORM IN WRITING.
9. ROOF DRAINS AND OVERFLOW DRAINS TO BE A MIN. 6" DIA., SEE "P" DRAWINGS FOR EXACT SIZE.
10. PROVIDE SHAVED CRACKS AS REQUIRED FOR PROPER ROOF DRAINAGE OF 1/4" PER FOOT (MIN.).
11. BUILT-UP ROOFING TO BE DESIGNED FOR 1 BD AND TO BE A U.L. CLASS A ROOF, FLASHING: 56" TYP. 5MB MODIFIED AP SHEET, U.L. TYPE 63 BUR.
12. ALL ROOFING FASTENERS SHALL MEET ALL CODE AND REGULATION REQUIREMENTS. PROPER REQUIREMENTS ARE IN PROJECTS JURISDICTION AND ALSO, FACTORY MUTUAL (FM) WIND UPLIFT PRESSURE REQUIREMENTS.
13. ALL SKYLIGHTS TO BE PLACED A MIN. OF 18"-0" FROM INSIDE FACE OF PARAPET.
14. USE WHITE SCOM FOIL INSULATION IN THE WAREHOUSE AREA.
15. SMOKE VENTS SHALL BE REQUIRED IF AREAS FOR "POTENTIAL OFFICES" SHALL BE USED FOR HIGH PILE COMBUSTIBLE STORAGE.
16. ROOF DRAINS, OVERFLOW DRAINS AND RAINWATER PIPING WITHIN THE INTERIOR OF THE BUILDING SHALL BE TESTED IN ACCORDANCE WITH THE PROVISIONS OF THE PLUMBING CODE FOR TESTING DRAIN, WASTE AND VENT SYSTEMS.
17. ROOF DRAINS, OVERFLOW PIPING WITHIN THE BUILDING SHALL UTILIZE APPROVED DRAINAGE FITTINGS.
18. MANUFACTURED ROOF DRAINS AND OVERFLOWS (STURTEVANT) SHALL BE HPWD LISTED.

ROOF LEGEND

- 4" X 8" CURB MOUNTED SKYLIGHT
- ROOF JOIST LINE SEE "S" DRAWINGS
- BUILDING PARAPET LINE
- INTERIOR ROOF DRAIN W/ OVERFLOW SCUPPER
- EXTERIOR METAL DOWNSPOUT W/ OVERFLOW SCUPPER

SKYLIGHT CALCULATION

PROJECT CLEAR HEIGHT IN WAREHOUSE ARE = 36 FT. CLEAR

REQUIRED

BUILDING FOOTPRINT = 400.00 S.F.

SKYLIGHTS REQUIRED = 3.0% = 12,000 S.F. (374 EA)

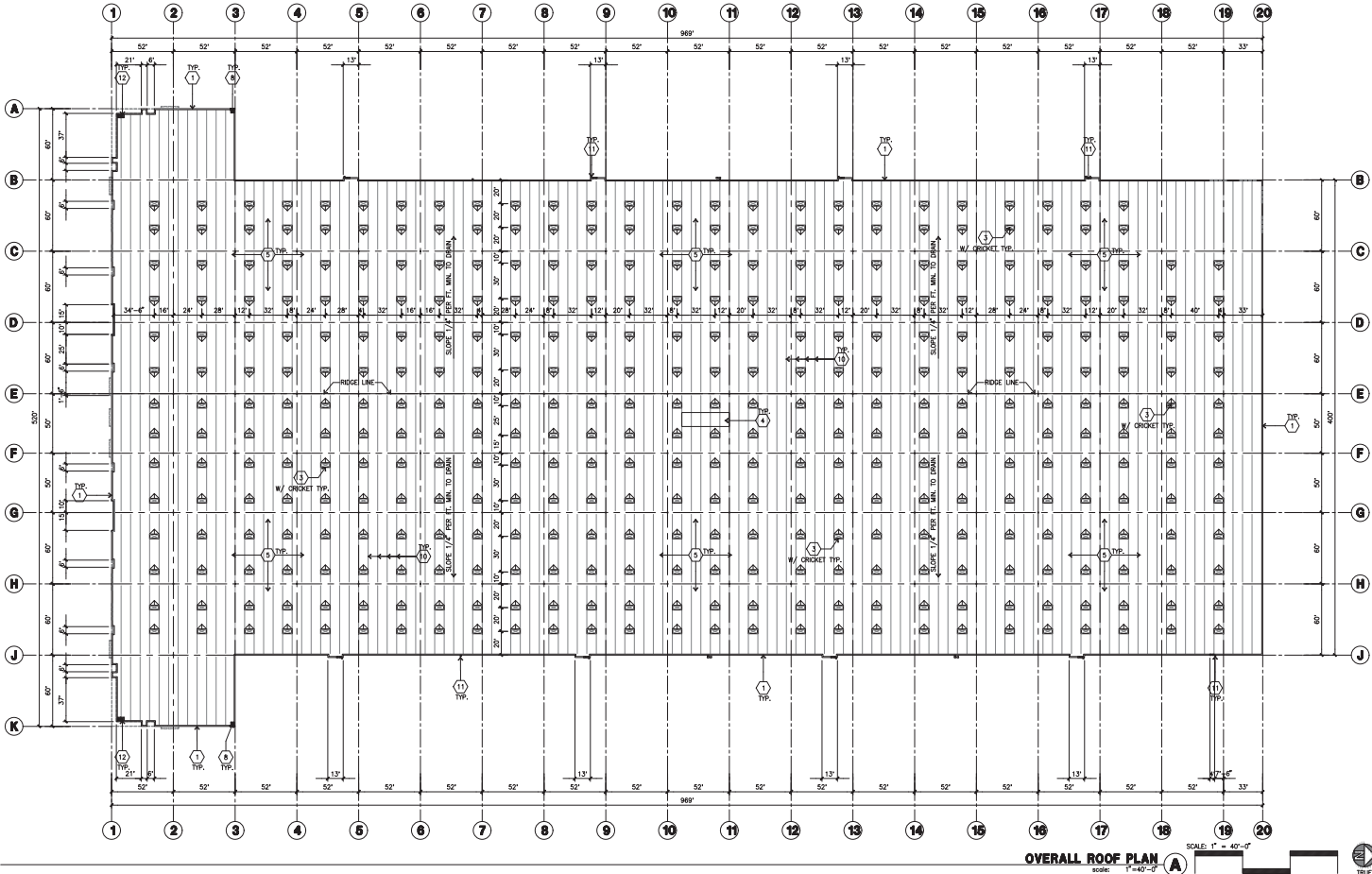
PROVIDED

SKYLIGHTS PROVIDED = 3.0% = 11,868 S.F. (374 EA)

MODEL

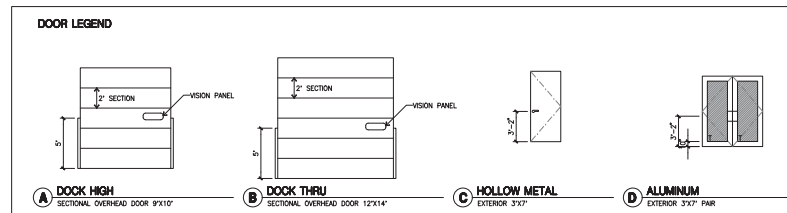
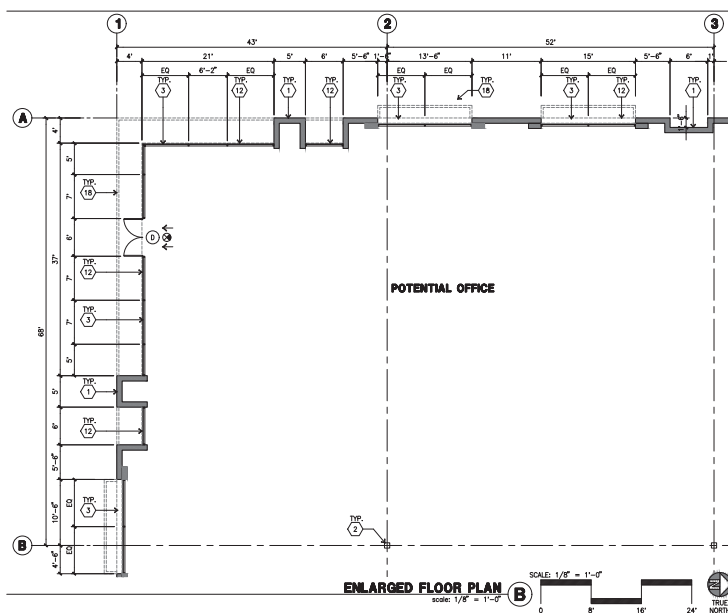
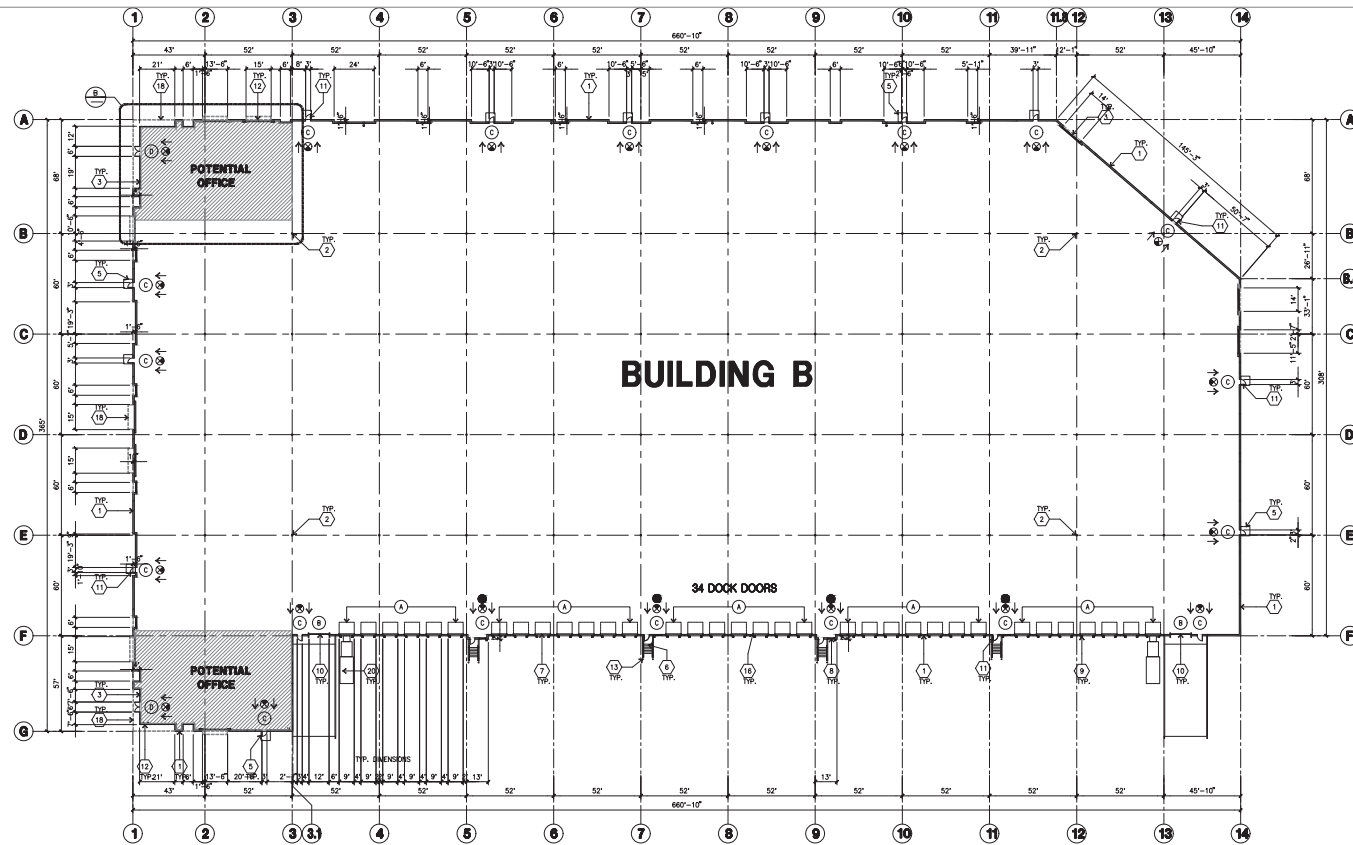
SKYLIGHT MODEL MANUFACTURED BY BRISTOLITE DAYLIGHTING SYSTEM MODEL # 1480B-S3-DM-1-HGT OR EQUAL ICC-ES E-3177

BURGULAR BAR REQUIRED



OVERALL ROOF PLAN
Scale: 1"=40'-0"





FLOOR PLAN KEYNOTES

1. CONCRETE TILT-UP PANEL.
2. STRUCTURAL STEEL COLUMN.
3. TYPICAL STOREROOM SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATION.
4. CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF RAMP.
5. 5'-0" x 4'-0" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO UNCOVERED AREAS. FINISH TO BE MEDIUM BRUSH FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
6. EXTERIOR CONCRETE STAIR W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF RAMP.
7. 9' x 10' TRUCK DOOR. SECTIONAL O.H., STANDARD GRADE.
8. 4' x 8' LOUVERED OPENING FOR VENTILATION.
9. DOCK DOOR BUMPER TYPICAL.
10. 12' x 14' DRIVE THRU. SECTIONAL O.H., STANDARD GRADE.
11. 3' x 7' HOLLOW METAL EXTERIOR MAIN DOOR.
12. SLOTTED LINE ABOVE.
13. CONC. FILLED GUARD POST. 6" DIA. U.L.O. 42"H.
14. EMPLOYEE BREAK/SMOKING AREA.
15. PRE-CAST CONCRETE WHEEL STOP.
16. 2' GUARD.
17. APPROXIMATE LOCATION OF ELECTRICAL ROOM.
18. METAL CANOPY ABOVE.
19. INTERIOR BICYCLE RACK TYPICAL.
20. TRASH COMPACTOR.

FLOOR PLAN GENERAL NOTES

1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAIN DOORS AT 100' MINIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE POWER ONLY (G.P.). SEE WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MAINDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP ELEVATIONS.
6. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, OR DUNE, OR FACE OF STUD U.L.O.
7. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTIL. LOCATIONS, PLUMBING/ELECTRICAL COORDINATION.
8. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET -- NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
9. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DAMPED REQUIRED DANG AND TRUCKS.
10. ALL EXIT MAIN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
11. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
12. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LINES TO THE CENTER OF THE SIGN.
13. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11332.1.1.1.
14. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW. SEE A/M-1 OFFICE SECTION.

FLOOR SLAB & POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS.
1. FLOOR COMPACTION -- 90%.
 2. TRENCH COMPACTION -- 90%.
 3. BUILDING FLOOR SLAB:
 - A. 6" THICK MIN. UN-REINFORCED CONCRETE OVER COMPACTED SOILS
 - B. 3/4" -- 1" LONG @ 12" O.C. DOWELS AT ALL CONSTRUCTION JOINTS
 - C. 3/4" -- 1" LONG @ 24" O.C. DOWELS IN DOWEL BASKET AT ALL CONTROL JOINTS.
 - D. SLUMP TO BE 4" +/- 1"
 - E. JOINT SPACING PER A.C.I. 302-R-96
 - F. SAW-CUT DEPTH 1/4" X 2" SLOTTED SAW-CUTTING WITHIN 2 HRS OF FINISHING.
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-R-96.
 5. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
 6. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS MIN.
 7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DAMPED.
 8. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVY WILL BE PLACED ON THE SLAB.
 9. SLAB TO BE F750 (F350) MEASURED WITHIN 24 HOURS.
 10. NO FLY ASH IN THE CONCRETE.
 11. WHERE INDICATED, PROVIDE VAPOR BARRIER (15ML STEAD OR EQUIV.) UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION.
- CONCRETE SLAB IN FUTURE OFFICE AREAS WHERE SAND OVER VOLUMEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURNING, CURING COMPOUND, OR RELEASE AGENTS.
- CONTROL/CONSTRUCTION JOINTS SHALL NOT BE FILLED WITH MM-80 JOINT FILLER IN FUTURE OFFICE AREAS.
12. SEAL CONCRETE SLAB W/ "LIPDOUT" SEALER.

NOTE: NO 2ND FLOOR OR MEZZANINE IS PROPOSED



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LANDSCAPE
PROTECTION
SOILS ENGINEER
WATER HANDLING

Title: Overall Floor Plan

Project Number: 13332
Drawn by: MLL
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Revision:

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LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER
INTERIOR ARCHITECT

Title: Overall Roof Plan

Project Number: 13332
Drawn by: MLL
Date: 08/15/19
Revision:

Sheet:

A2.2A

ROOF PLAN KEYNOTES

1. CONCRETE PARAPET, SEE "S" DRAWINGS FOR THICKNESS.
2. A/C UNIT, SEE "M" DRAWINGS, PROVIDE SUPPORT ○ ROOF AS REQUIRED.
3. 4" X 8" CURB MOUNTED SKYLIGHT/SMOKE HATCH.
4. ROOF ADDRESS PAINTED BLACK 4" HIGH W/ 1" WIDE STROKE PER LETTER.
5. PROVIDE 4-PLY BUILT-UP ROOFING OVER ROOF SHEATHING OVER ROOF FRAMING. IN ALL ROOFING TO BE 10-24 CAP ROOFING BY JOHNS-MANVILLE OR EQUAL (CLASS A RATED), 10 YEAR NO DOLLAR LIMIT WARRANTY AND 2 YEAR LEAK GUARANTEE.
6. APPROXIMATE LOCATION OF EXHAUST FAN.
7. APPROXIMATE LOCATION OF ROOF HATCH.
8. INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
9. PARAPET RETURN.
10. STRUCTURAL JOIST, SEE "S" DRAWINGS.
11. EXTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
12. INTERIOR DRAIN.

ROOF PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, OUTLINE, OR FACE OF STUD. (U.N.O.)
2. VERIFY THAT ALL ROOF AREAS HAVE POSITIVE DRAINAGE (1/4" FT.) PRIOR TO ROOF INSULATION INSTALLATION.
3. REFER TO "S" DRAWINGS FOR ROOF HEIGHT ELEVATIONS IN REGARDS TO ROOF DRAINAGE.
4. CONTRACTOR TO VERIFY AND COORDINATE WITH ALL SUBCONTRACTORS, ALL LOCATIONS AND SIZES OF ROOF OPENINGS.
5. FOR TYP. PARAPETS, SEE DETAIL 6, 8, 10/AD-3 CONTRACTOR TO VERIFY ALL LOCATIONS WITH MECHANICAL AND PLUMBING DRAWINGS.
6. CONTRACTOR TO VERIFY ALL ROOF DRAIN DEPRESSIONS W/ "S" DRAWINGS.
7. CONTRACTOR TO COORDINATE EXACT SKYLIGHT LOCATION W/ FIRE SPRINKLER AND ROOF FRAMING SUBCONTRACTORS, LOCATIONS ON DRAWINGS ARE APPROXIMATE.
8. ALL SKYLIGHTS TO BE DESIGNED PER WIND SPEED DESIGN CRITERIA W/ STRONGER FRAMES, SUPPORTS AND JOINTS. MANUFACTURER TO CONFORM IN WRITING.
9. ROOF DRAINS AND OVERFLOW DRAINS TO BE A MIN. 8" DIA., SEE "P" DRAWINGS FOR EXACT SIZE.
10. PROVIDE SHAPED CRICKETS AS REQUIRED FOR PROPER ROOF DRAINAGE OF 1/4" PER FOOT (MIN.).
11. BUILT UP ROOFING TO BE DESIGNED FOR 1.80 AND TO BE A U.L. CLASS A ROOF. FLASHING: GAF TYPE SMB MOPPED AP SHEET, U.L. TYPE 63 BUR.
12. ALL ROOFING FASTENERS SHALL MEET ALL CODE AND REGULATION REQUIREMENTS. PROPER REQUIREMENTS ARE IN PROJECTS JURISDICTION AND ALSO, FACTORY MUTUAL (FM) WIND UPLIFT PRESSURE REQUIREMENTS.
13. ALL SKYLIGHTS TO BE PLACED A MIN. OF 18"-0" FROM INSIDE FACE OF PARAPET.
14. USE WHITE SCRM FOIL INSULATION IN THE WAREHOUSE AREA.
15. SMOKE VENTS SHALL BE REQUIRED IF AREAS FOR "POTENTIAL OFFICES" WILL BE USED FOR HIGH PILE COMBUSTIBLE STORAGE.
16. ROOF DRAINS, OVERFLOW DRAINS AND RAINWATER PIPING WITHIN THE INTERIOR OF THE BUILDING SHALL BE TESTED IN ACCORDANCE WITH THE PROVISIONS OF THE PLUMBING CODE FOR TESTING DRAIN, WASTE AND VENT SYSTEMS.
17. ROOF DRAINS, OVERFLOW PIPING WITHIN THE BUILDING SHALL UTILIZE APPROVED DRAINAGE FITTINGS.
18. MANUFACTURED ROOF DRAINS AND OVERFLOWS(FITURES) SHALL BE WPMO LISTED.

ROOF LEGEND

- 4" X 8" CURB MOUNTED SKYLIGHT
- ROOF JOIST LINE SEE "S" DRAWINGS
- BUILDING PARAPET LINE
- INTERIOR ROOF DRAIN W/ OVERFLOW SCUPPER
- EXTERIOR METAL DOWNPOUT W/ OVERFLOW SCUPPER

SKYLIGHT CALCULATION

PROJECT: CLEAR HEIGHT IN WAREHOUSE ARE = 36 FT. CLEAR

REQUIRED

BUILDING FOOTPRINT = 203,100 S.F.
SKYLIGHTS REQUIRED = 3.028 = 6,093 S.F. (190 EA)

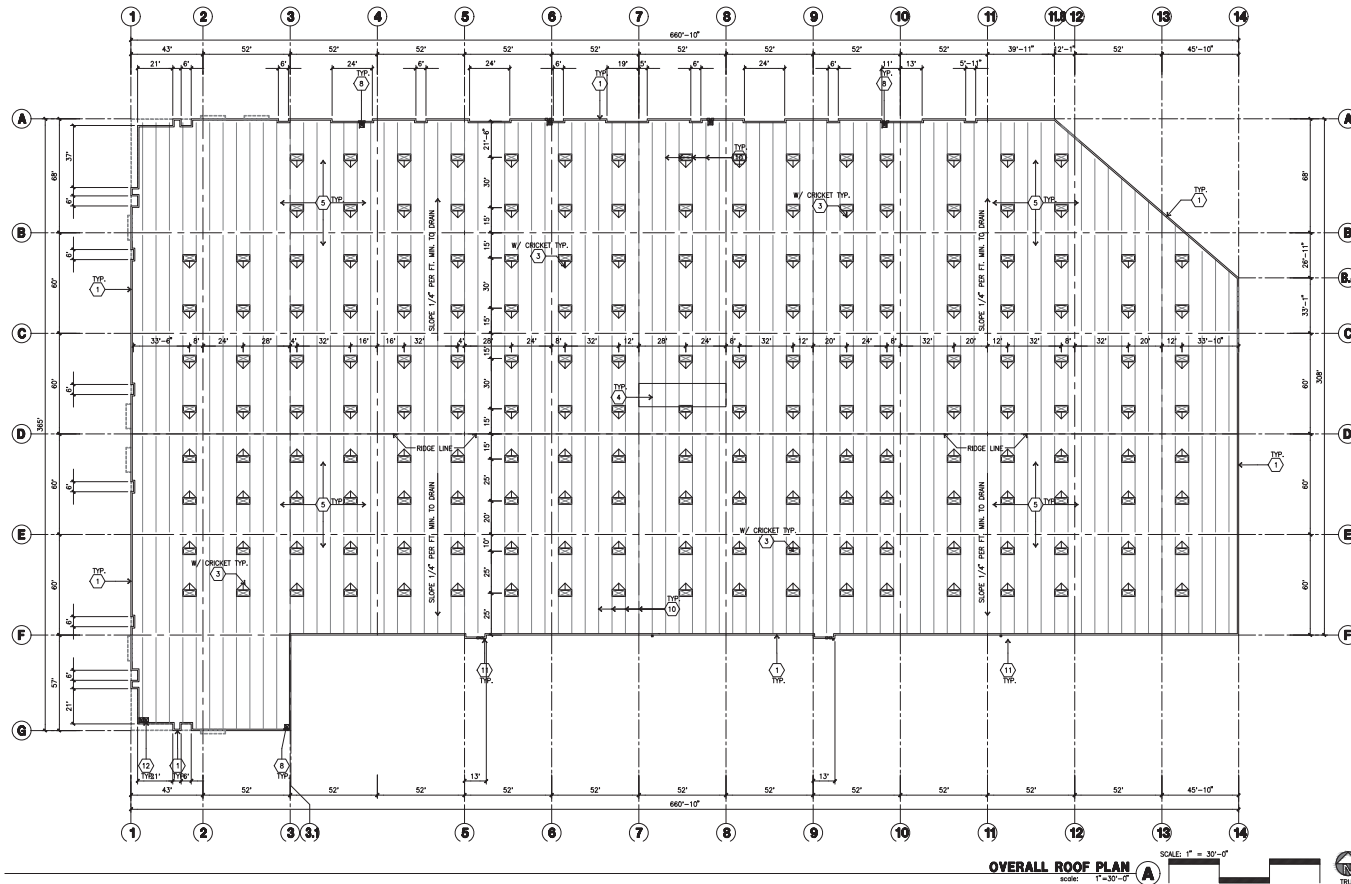
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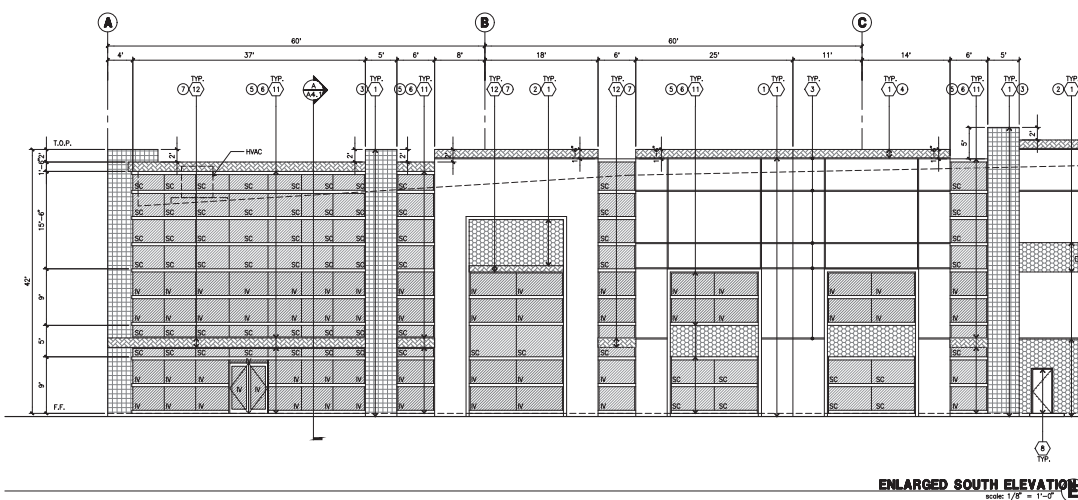
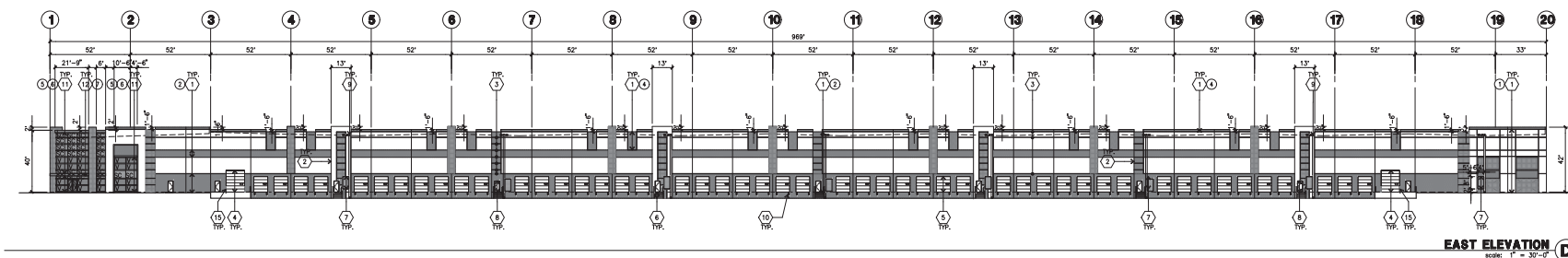
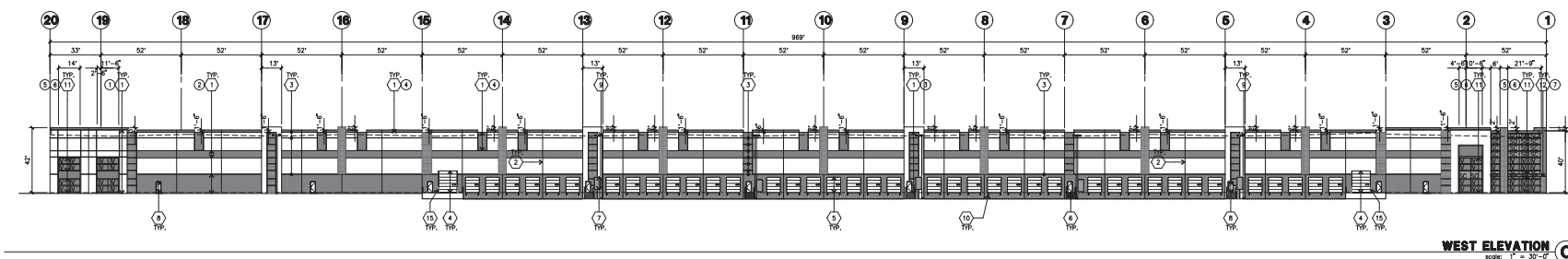
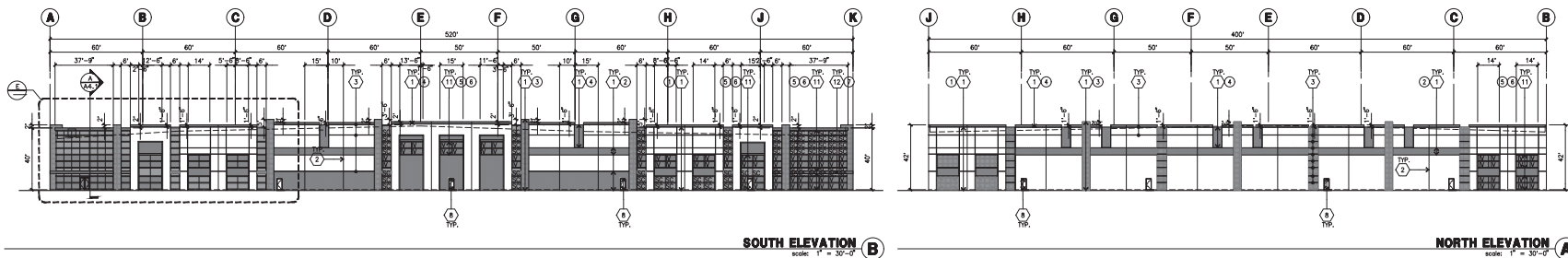
SKYLIGHTS PROVIDED = 3.028 = 5,952 S.F. (186 EA)

MODEL

SKYLIGHT MODEL MANUFACTURED BY BRISTOLITE DAYLIGHTING SYSTEM
MODEL # 14886-S-108-1-HET OR EQUAL
ICC-ES E-3177

BURGULAR BAR REQUIRED





ELEVATION KEYNOTES

1. CONCRETE TILT-UP PANEL.
2. PANEL JOINT.
3. PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER.
4. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR (UNL).
5. 12" X 14" OVERHEAD DOOR & DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
6. 8' X 12' OVERHEAD DOOR & DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
7. CONCRETE STAIR LANDING AND CORRIDOR. W/ METAL PIPE HANDRAIL. PROVIDE NON SKID TISSUE TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 2" WIDE RUNNING STRIPS. INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
8. 4' X 8' METAL LOUVER OPENING FOR VENTILATION. PAINT TO MATCH BUILDING COLOR.
9. ALUMINUM DOORS. PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR.
10. EXTERIOR DOWN SPOUTS W/ 2 OVERFLOW SCUPPERS.
11. DOOR DOOR BUMPER TYPICAL.
12. ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SELECTED ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
13. METAL CANOPY.
14. WINDOW OUT PANEL.
15. INTERIOR ROOF DRAIN W/ 2 OVERFLOW SCUPPERS.
16. CONC. FILLED GUARD POST. 6" DIA. UNL.O. 42"H.

ELEVATION COLOR LEGEND/SCHED.

1. CONCRETE TILT-UP PANEL. COLOR: SW7526 MASON BLANCHE
2. CONCRETE TILT-UP PANEL. COLOR: SW7719 FRESCO CREAM
3. CONCRETE TILT-UP PANEL. COLOR: SW7519 MEXICAN SAND
4. CONCRETE TILT-UP PANEL. COLOR: SW7518 OAK CREEK
5. GLAZING COLOR: BLUE REFLECTIVE GLAZING
6. MULLIONS COLOR: BLACK ANODIZED
7. CANOPY COLOR: SW ACRYLIC LATEX SYSTEMS HIGH GLOSS/HIGH PERFORMANCE IN COLOR: SW7518 OAK CREEK
8. DOOR COLORS: MATCH BUILDING COLOR

ELEVATION GENERAL NOTES

1. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
3. T.O.P. EL. = TOP OF PARAPET ELEVATION.
4. F.F. = FINISH FLOOR ELEVATION.
5. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND UNITS SHALL BE DESIGNED TO RESIST - WIND EXPOSURE TO WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
8. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

GLAZING LEGEND

NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.

- IV - INSULATED VISION GLASS
- 1/4" VISTACOL, PACIFICA + 1/4" SOLARBAN 80 CLEAR
- U: 0.27 SHGC: 0.51 TO BE 0.42 PER 2019 CEC TABLE 140.3-B
- SC - SPANDREL WITH CONCRETE BEHIND
- 1/4" VISTACOL, PACIFICA WITH HARMONY BLUE OPACICAT PAINTED ON REFLECTIVE
- INSTALLED ON CONCRETE.
- V - VISION GLASS
- 1/4" VISTACOL, PACIFICA
- S - SPANDREL
- 1/4" CLEAR WITH VISTACOL, PACIFICA OPACICAT PAINTED ON REFLECTIVE
- INSTALLED ON OPENINGS.
- MULLIONS: ANODIZED CLEAR.



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Darrell Butler

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Suite 118
Costa Mesa, CA, 92626
tel: (949) 632-9892

Project:

Sycamore Hills
Distribution Center

Riverside, CA.

Consultants:

CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
PROTECTION
SUS ENGINEER
INTERIOR FINISHING

Title: BLDG A Elevations

Project Number: 13332
Drawn by: MLL
Date: 08/15/19
Revision:

Sheet:

A3.1



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Project:

Sycamore Hills
Distribution Center

Riverside, CA.

Consultants:

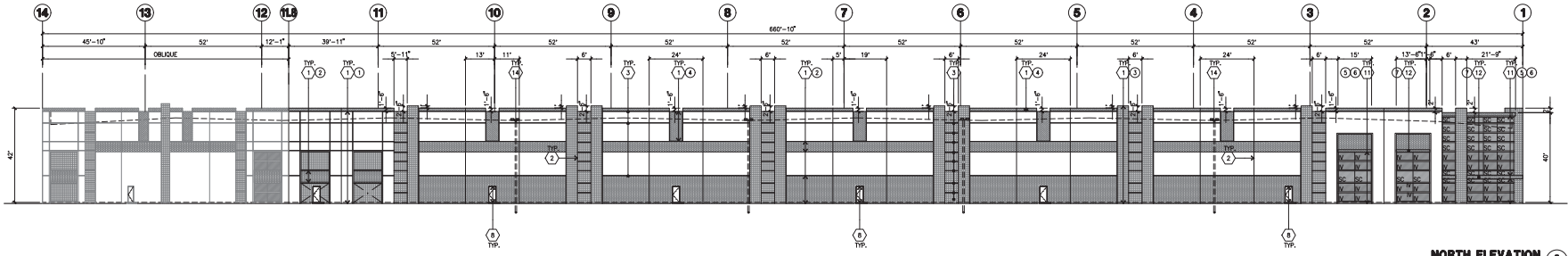
CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
PROTECTION
CIVIL ENGINEER
MECHANICAL ENGINEER
ELECTRICAL ENGINEER
LANDSCAPE ARCHITECT

Title: BLDG B Elevations

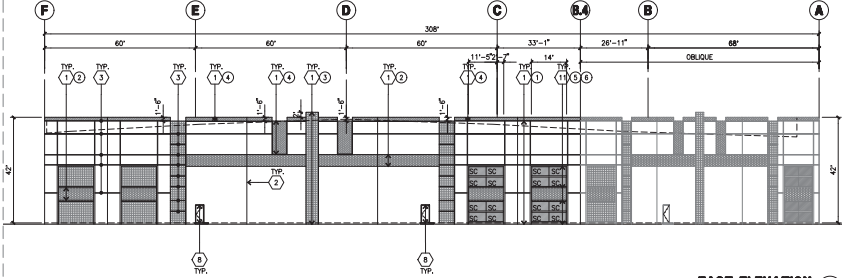
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Drawn by: MLL
Date: 08/15/19
Revision:

Sheet:

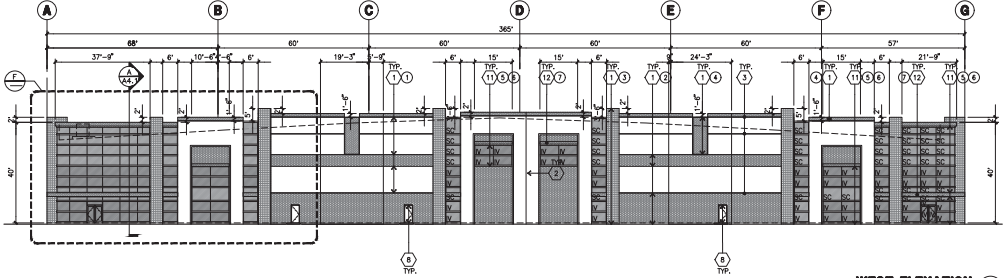
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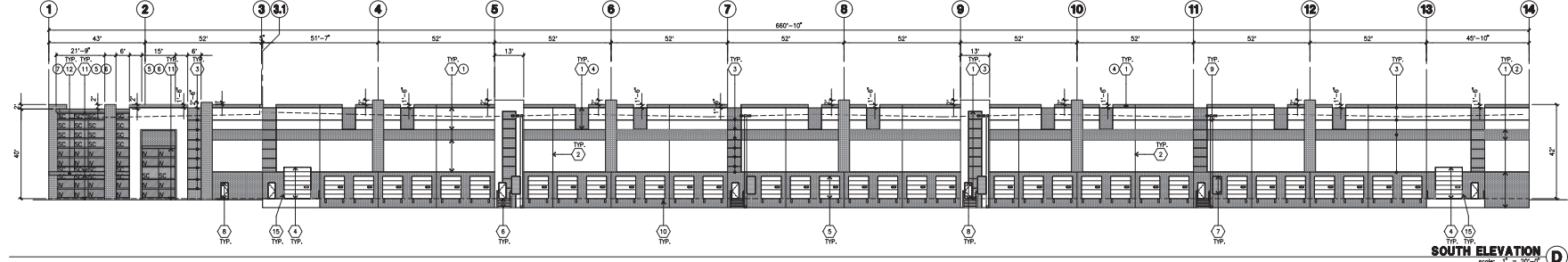
NORTH ELEVATION
scale: 1" = 20'-0"



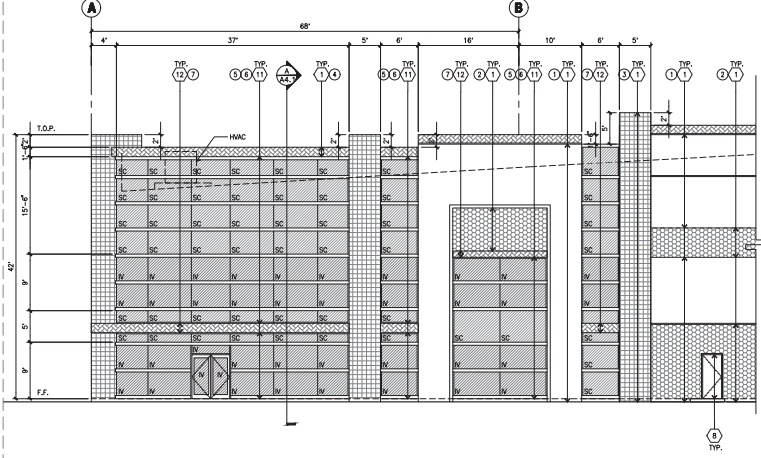
EAST ELEVATION
scale: 1" = 20'-0"



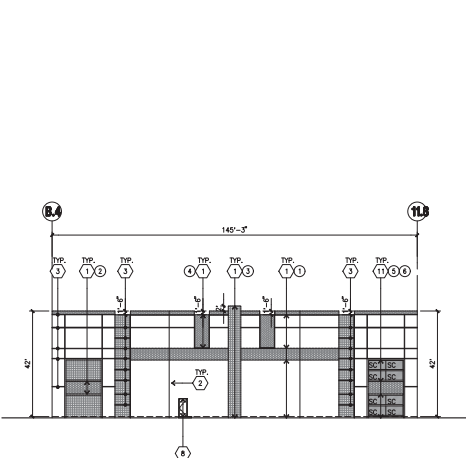
WEST ELEVATION
scale: 1" = 20'-0"



SOUTH ELEVATION
scale: 1" = 20'-0"



ENLARGED WEST ELEVATION
scale: 1/8" = 1'-0"



NORTHEAST ELEVATION
scale: 1" = 20'-0"

ELEVATION KEYNOTES

- CONCRETE TILT-UP PANEL.
- PANEL JOINT.
- REVEAL. REVEAL ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER.
- REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR (UNO).
- 1" x 1" OVERHEAD DOOR & DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 2" x 10" OVERHEAD DOOR & DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- CONCRETE STAIR LANDING AND CORNER. W/ METAL PIPE HANDRAIL. PROVIDE NON SKID NOSE TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 2" WIDE WARNING STRIPS. INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 4" x 8" METAL LOWER OPENING FOR VENTILATION. PAINT TO MATCH BUILDING COLOR.
- HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR.
- EXTERIOR DOWN SPOUTS W/ 2 OVERFLOW SCUPPERS.
- DOOR DOOR BUMPER TYPICAL.
- ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. ISOLATES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- METAL CANOPY.
- KNOCK OUT PANEL.
- INTERIOR ROOF DRAIN W/ 2 OVERFLOW SCUPPERS.
- CONC. FILLED GUARD POST. 6" DIA. UNO. 42".

ELEVATION COLOR LEGEND/SCHED.

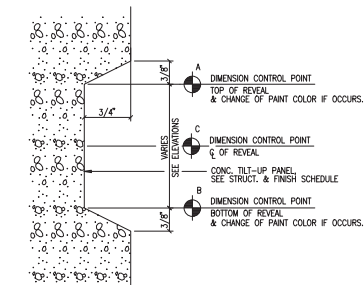
- CONCRETE TILT-UP PANEL COLOR : SW7528 MASON BLANCHE
- CONCRETE TILT-UP PANEL COLOR : SW7719 FRESCO CREAM
- CONCRETE TILT-UP PANEL COLOR : SW7519 MEDIAN SAND
- CONCRETE TILT-UP PANEL COLOR : SW7718 OAK CREEK
- GLAZING COLOR : BLUE REFLECTIVE GLAZING
- MULLIONS COLOR : BLACK ANODIZED
- CANOPY COLOR : SW ACRYLIC LATEX SYSTEMS HIGH GLOSS/HIGH PERFORMANCE IN COLOR: SW7718 OAK CREEK
- DOOR COLORS : MATCH BUILDING COLOR

ELEVATION GENERAL NOTES

- ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- T.O.P. EL. = TOP OF PARAPET ELEVATION.
- F.F. = FINISH FLOOR ELEVATION.
- STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST - WIND EXPOSURE 12 WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

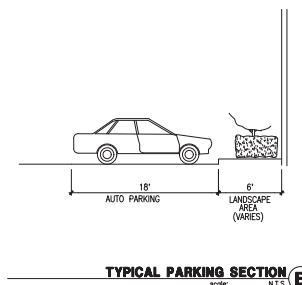
GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- INSULATED VISION GLASS
 - SPANDREL GLAZING WITH CONCRETE BEHIND
 - SPANDREL GLASS
 - INSULATED VISION GLASS
 - 1/4" VISTACOL PACIFICA + 1/4" SOLARBAN 80 CLEAR
 - 0.27 SHGC, 0.51 U-VALUE PER 2016 CEC TABLE 140.3-B
 - MAINTAIN VIT TO BE 0.42 PER 2016 CEC TABLE 140.3-B
 - SC : SPANDREL WITH CONCRETE BEHIND
 - 1/4" VISTACOL PACIFICA WITH HARMONY BLUE OPACIOPANT PAINTED ON REFLECTIVE
 - INSTALLED ON CONCRETE.
 - V : VISION GLASS
 - 1/4" VISTACOL PACIFICA
 - S : SPANDREL
 - 1/4" CLEAR WITH VISTACOL PACIFICA OPACIOPANT PAINTED ON REFLECTIVE.
 - INSTALLED ON OPENINGS.
 - MULLIONS : ANODIZED CLEAR.

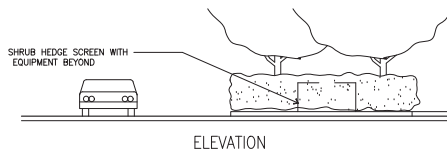


- NOTES:
1. DIMENSION CONTROL POINTS AT REVEALS AND EDGE OF CONCRETE OPENINGS WHERE OCCUR, SEE WALL SECTIONS.
 2. PAINT COLOR CHANGES TO ALWAYS OCCUR AT CONTROL POINT "A" OR "B"

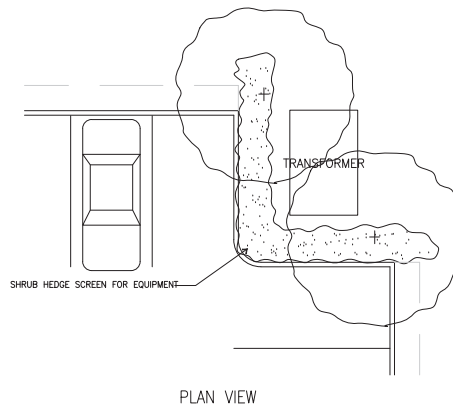
TYP. CONCRETE REVEAL C
scale: N.T.S.



TYPICAL PARKING SECTION B
scale: N.T.S.

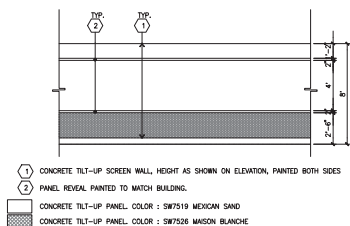


ELEVATION

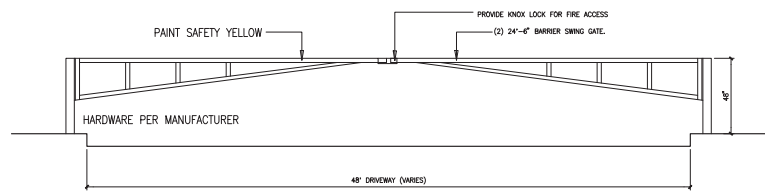


PLAN VIEW

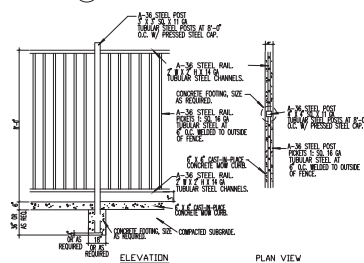
GROUND MOUNTED EQUIPMENT SCREENING, TYP. D
scale: N.T.S.



SCREENWALL H
scale: 1/4"=1'-0"

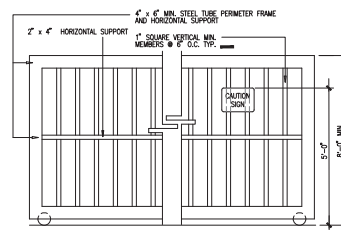


ARM GATE E
scale: 1/2"=1'-0"



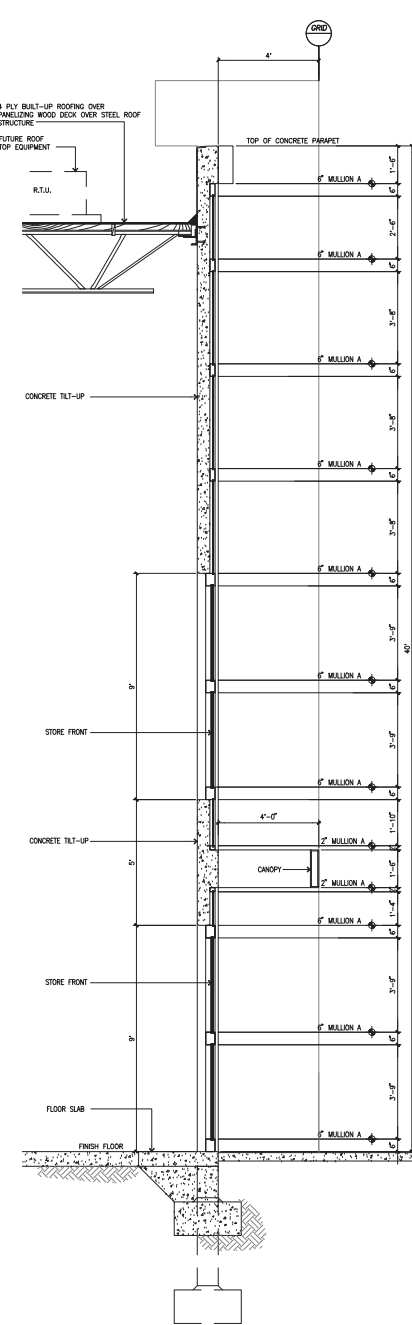
- NOTES:
1. ALL TERMINAL POSTS TO BE 3/4" x 3/4" x 11GA STEEL TUBES W/ PRESSED STEEL CAP.
 2. ALL FENCE COMPONENTS TO BE PRIME AND POWDER COATED TO MATCH BLDG.
 3. CONCRETE NOW CURB IS REQUIRED WHEN FENCE IS ADJACENT TO TURF AREAS ONLY.
 4. SAND AND GRIND ALL WELDS SMOOTH.

FENCE G
scale: N.T.S.



- NOTES:
1. SAND AND GRIND ALL WELDS SMOOTH.

METAL GATE F
scale: N.T.S.



WALL SECTION & WINDOWS A
scale: 1/2"=1'-0"



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Consultants:

CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
FIRE PROTECTION
WALLS ENGINEER
INTERNAL HANDLING

Title: Section

Project Number: 13332
Drawn by: M.J.L.
Date: 08/15/19
Revision:

Sheet:

A4.1