



REVISIONS	DATE	DESCRIPTION
1	1/11/20	ISSUED FOR PERMIT
2	1/11/20	ISSUED FOR PERMIT
3	1/11/20	ISSUED FOR PERMIT
4	1/11/20	ISSUED FOR PERMIT
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7	1/11/20	ISSUED FOR PERMIT
8	1/11/20	ISSUED FOR PERMIT
9	1/11/20	ISSUED FOR PERMIT
10	1/11/20	ISSUED FOR PERMIT

QUICK QUACK CAR WASH
 5000 SAUSALITO BLVD
 SUITE 100
 SAUSALITO, CA 94965

COLORADO BUILDING
 ELEVATIONS

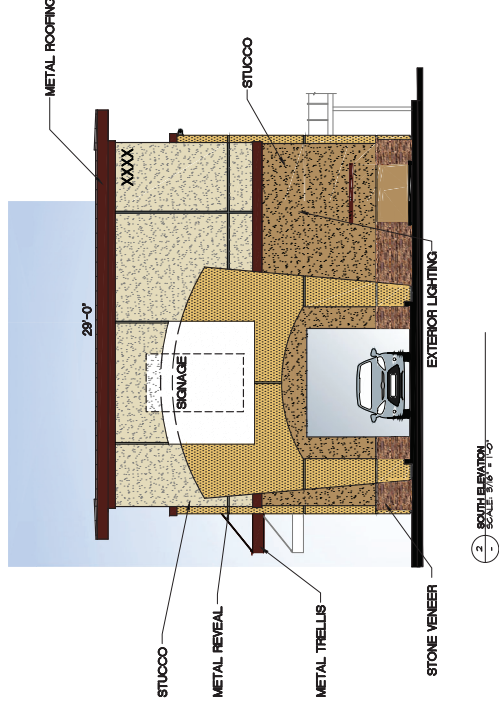
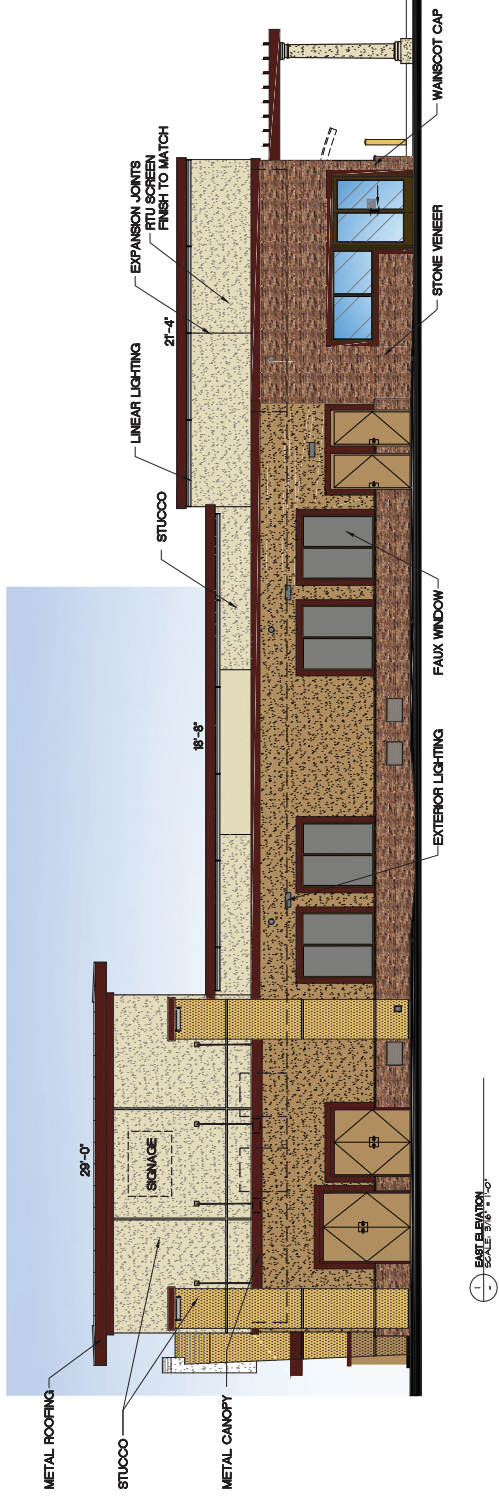
DATE: JANUARY 2020
 CDR PROJECT #:

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PLANNING DOCUMENTS

A4.5





REVISIONS	DATE	DESCRIPTION
1	1/1/20	ISSUED FOR PERMIT
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3	1/1/20	ISSUED FOR PERMIT
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6	1/1/20	ISSUED FOR PERMIT
7	1/1/20	ISSUED FOR PERMIT
8	1/1/20	ISSUED FOR PERMIT
9	1/1/20	ISSUED FOR PERMIT
10	1/1/20	ISSUED FOR PERMIT

QUICK QUACK CAR WASH
 3000 S. HARBOR BLVD.
 RIVERSIDE, CA 92508

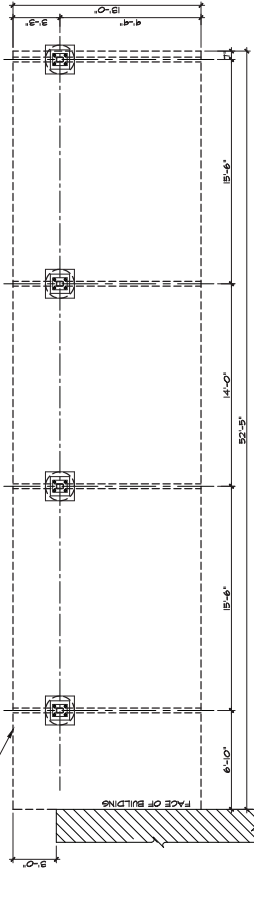
PAY CANOPY

DATE	JANUARY 2020
PROJECT #	2020
DESIGNED BY	CRM ARCHITECTS & PLANNERS, INC.
CHECKED BY	CRM ARCHITECTS & PLANNERS, INC.
APPROVED BY	CRM ARCHITECTS & PLANNERS, INC.

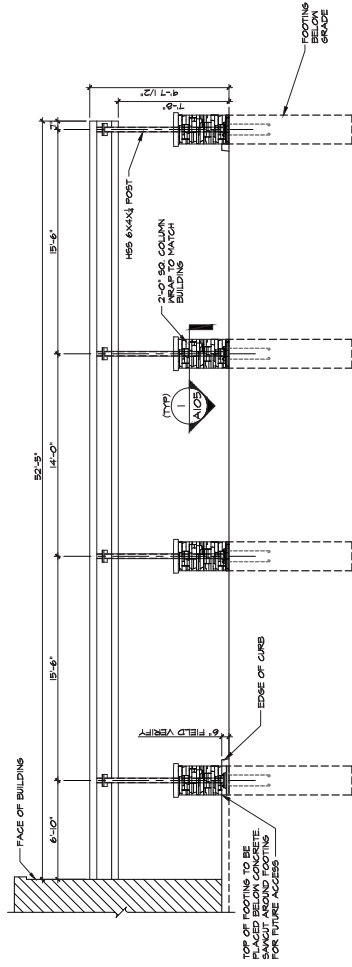


PLANNING DOCUMENTS

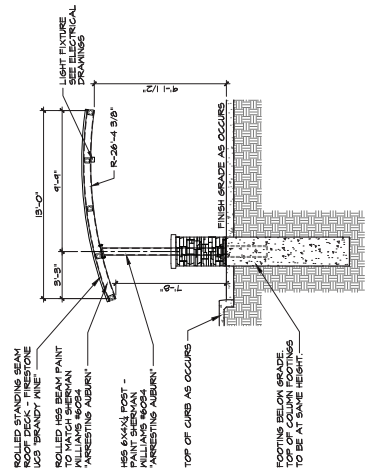
A5.0



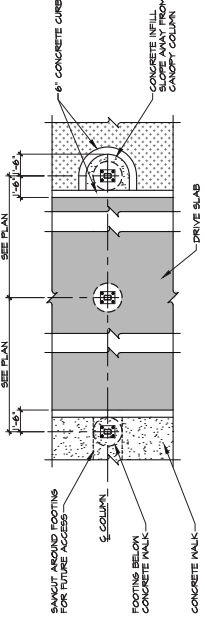
1 PAY STATION CANOPY PLAN
 SCALE: 1/4" = 1'-0"



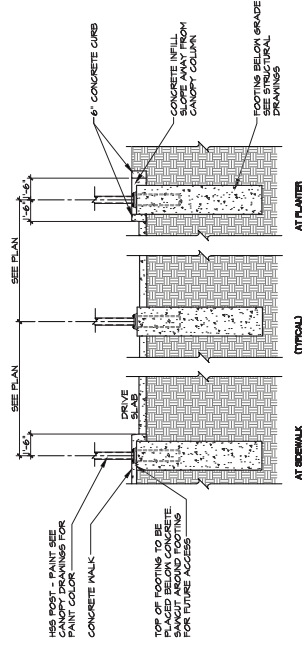
2 PAY STATION CANOPY ELEVATION
 SCALE: 1/4" = 1'-0"



A-A TYPICAL CANOPY SECTION
 SCALE: 1/4" = 1'-0"

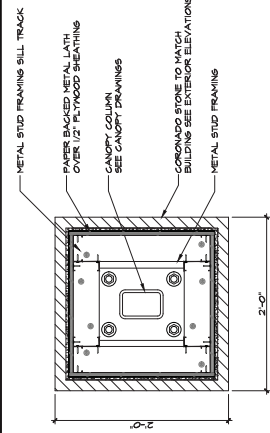


3 TYPICAL CANOPY CROSS SECTION PLAN VIEW
 SCALE: 1/4" = 1'-0"

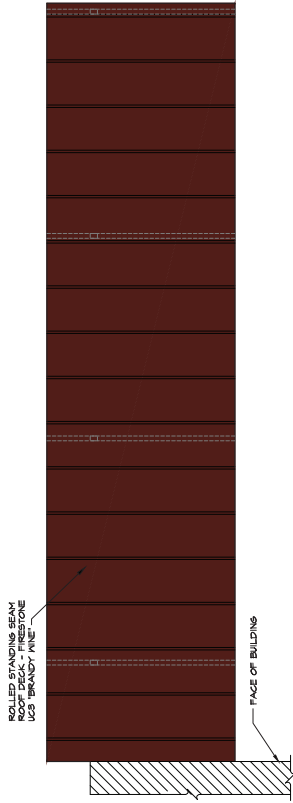


4 TYPICAL CANOPY CROSS SECTION
 SCALE: 1/4" = 1'-0"

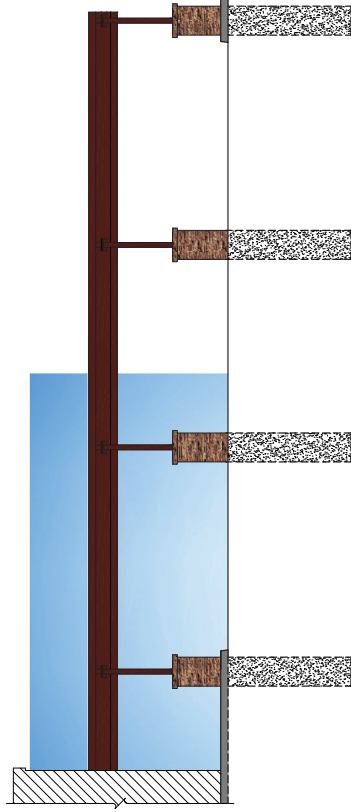
- CANOPY FOOTING NOTES:
- FOOTING SHALL BE CONCRETE OR MASONRY, THE TOP OF EACH FOOTING SHALL BE THE SAME ELEVATION.
 - THE ELEVATION OF EACH SET OF FOOTINGS SHALL BE DETERMINED BY THE FINISHED GRADE OF THE ADJACENT DRIVEWAY AND SIDEWALK.
 - THE FINISHED GRADE OF THE ADJACENT DRIVEWAY AND SIDEWALK SHALL BE THE HIGHEST ADJACENT FINISHED CONCRETE PAVEMENT GRADE.



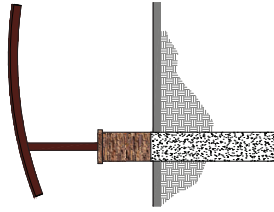
1 SCALE: 1/2" = 1'-0"
 FILE: 02-004 TYPICAL CANOPY COLUMN WRAP



1. PAY STATION COLOR PLAN VIEW
SCALE: 1/4" = 1'-0"



2. PAY STATION CANOPY COLOR ELEVATION
SCALE: 1/4" = 1'-0"



3. PROPOSED CANOPY SIDE ELEVATION
SCALE: 1/4" = 1'-0"



REVISIONS	DATE	DESCRIPTION
1	1/1/2020	1. INITIAL DESIGN
2	1/1/2020	2. REVISED DESIGN
3	1/1/2020	3. REVISED DESIGN
4	1/1/2020	4. REVISED DESIGN
5	1/1/2020	5. REVISED DESIGN
6	1/1/2020	6. REVISED DESIGN
7	1/1/2020	7. REVISED DESIGN
8	1/1/2020	8. REVISED DESIGN
9	1/1/2020	9. REVISED DESIGN
10	1/1/2020	10. REVISED DESIGN

QUICK QUACK CAR WASH
3000 SYCAMORE RANCH BLVD
ROCKLIN, CA 95765
RIVERVIEW, CA 92508

PAY CANOPY
COLOR ELEVATIONS

DATE: JANUARY 2020
CRM PROJECT #: 2020
CRM PROJECT NAME: PAY CANOPY COLOR ELEVATIONS
CRM PROJECT LOCATION: 3000 SYCAMORE RANCH BLVD, ROCKLIN, CA 95765
CRM PROJECT OWNER: QUICK QUACK CAR WASH
CRM PROJECT ARCHITECT: CRM ARCHITECTS & PLANNERS, INC.
CRM PROJECT DATE: JANUARY 2020



PLANNING DOCUMENTS

A5.1



REVISIONS	DATE	DESCRIPTION
1	1/1/20	ISSUED FOR PERMIT
2	1/1/20	ISSUED FOR PERMIT
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6	1/1/20	ISSUED FOR PERMIT
7	1/1/20	ISSUED FOR PERMIT
8	1/1/20	ISSUED FOR PERMIT
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QUICK QUACK CAR WASH
3000 S. AIRPORT BLVD.
SUITE 100
RIVERSIDE, CA 92508

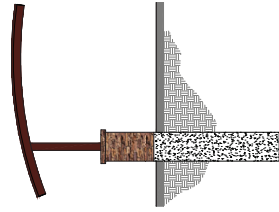
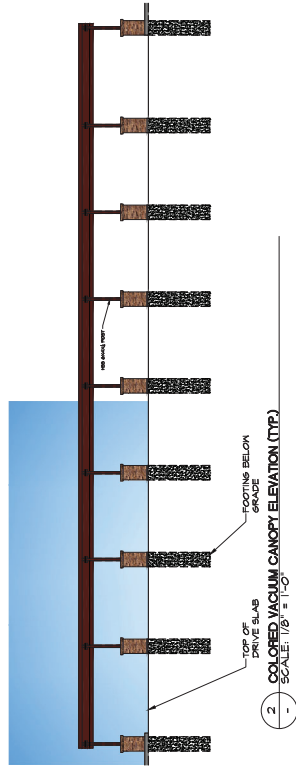
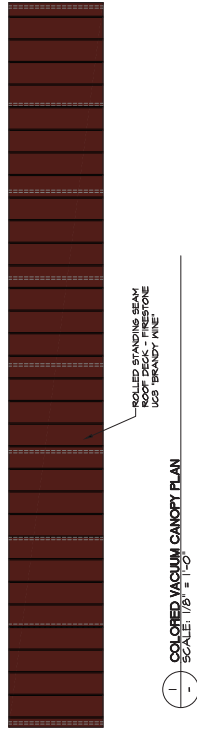
VACUUM CANOPY
COLOR ELEVATIONS

DATE	JANUARY 2020
CRM PROJECT #	2020



PLANNING DOCUMENTS

A5.4



3 COLORED TYPICAL CANOPY SIDE ELEVATION
SCALE: 1/4\"/>



REVISIONS	DATE	DESCRIPTION
1	1/1/20	ISSUED FOR PERMIT
2	1/1/20	REVISED FOR COMMENTS
3	1/1/20	REVISED FOR COMMENTS
4	1/1/20	REVISED FOR COMMENTS
5	1/1/20	REVISED FOR COMMENTS
6	1/1/20	REVISED FOR COMMENTS
7	1/1/20	REVISED FOR COMMENTS
8	1/1/20	REVISED FOR COMMENTS
9	1/1/20	REVISED FOR COMMENTS
10	1/1/20	REVISED FOR COMMENTS

QUICK QUACK CAR WASH
310 W. BAYVIEW BLVD
RIVERSIDE, CA 92508

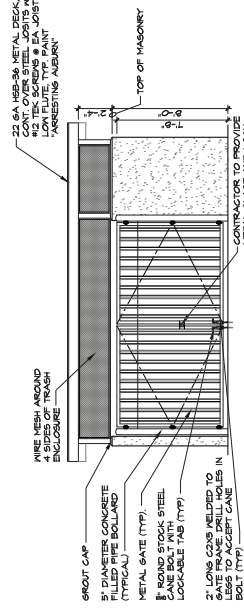
SITE ELEMENTS

DATE	JANUARY 2020
PROJECT #	2000
PROJECT NAME	QUICK QUACK CAR WASH
PROJECT ADDRESS	310 W. BAYVIEW BLVD RIVERSIDE, CA 92508
PROJECT OWNER	QUICK QUACK
PROJECT ARCHITECT	CRM ARCHITECTS & PLANNERS, INC.
PROJECT ENGINEER	CRM ARCHITECTS & PLANNERS, INC.

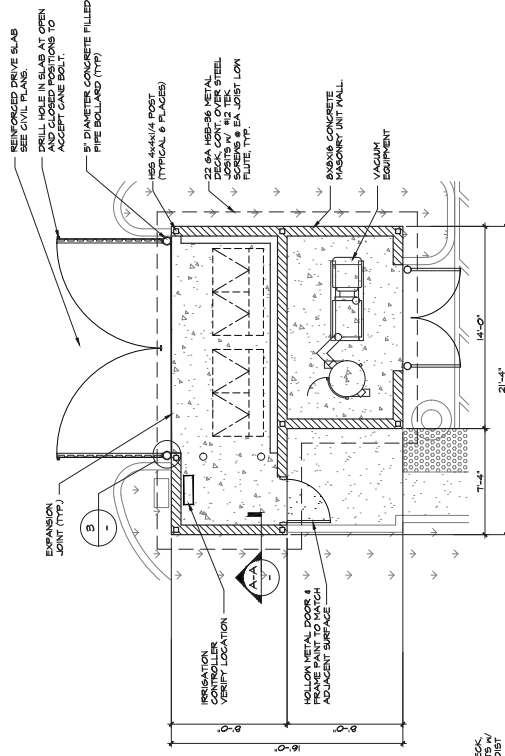


PLANNING DOCUMENTS

A6.0

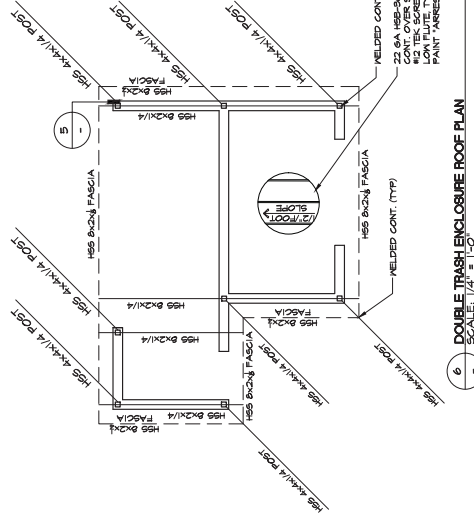


MASONRY ENCLOSURE FRONT ELEVATION

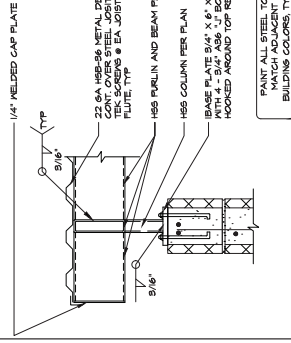


MASONRY ENCLOSURE REAR ELEVATION

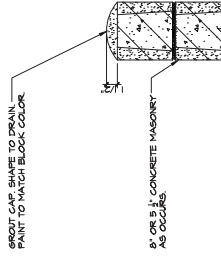
MESH DETAIL
SCALE: 1/2" = 1'-0"



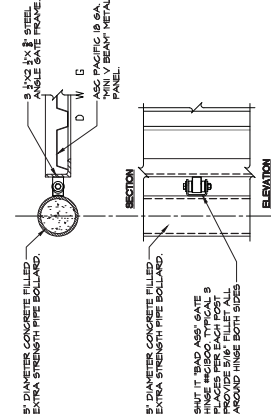
DOUBLE TRASH ENCLOSURE ROOF PLAN
SCALE: 1/4" = 1'-0"



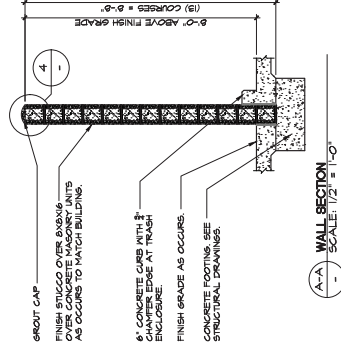
SLEEVE HINGE DETAIL
SCALE: 1/2" = 1'-0"



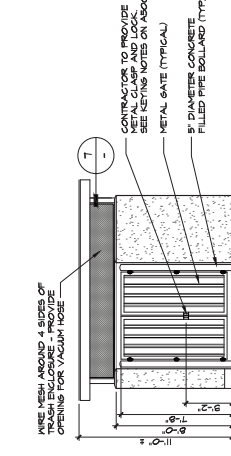
WALL CAP DETAIL
SCALE: 1/2" = 1'-0"



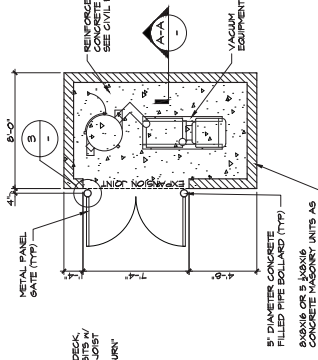
GATE HINGE DETAIL
SCALE: 1/2" = 1'-0"



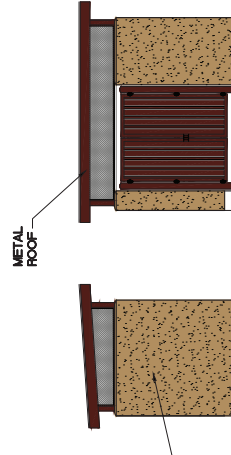
WALL SECTION
SCALE: 1/2" = 1'-0"



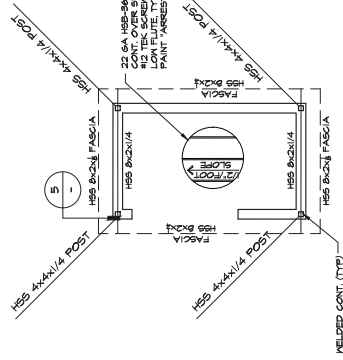
VACUUM ENCLOSURE FRONT ELEVATION



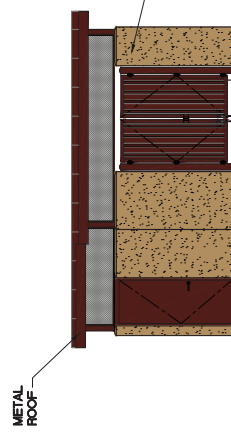
SOUTH MASONRY VACUUM ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



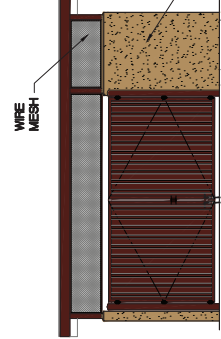
VACUUM ENCLOSURE FRONT ELEVATION



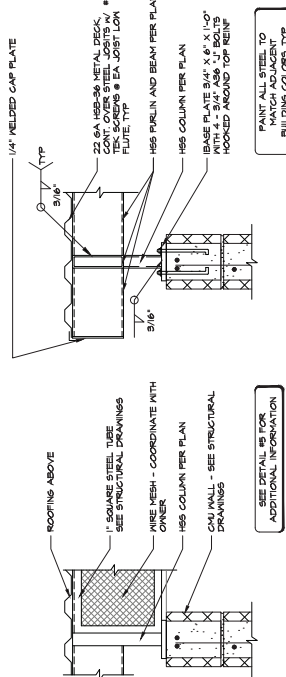
2 DOUBLE TRASH ENCLOSURE ROOF PLAN
SCALE: 1/4" = 1'-0"



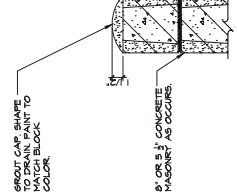
MASONRY ENCLOSURE REAR ELEVATION



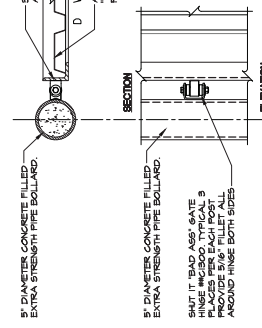
MASONRY ENCLOSURE FRONT ELEVATION



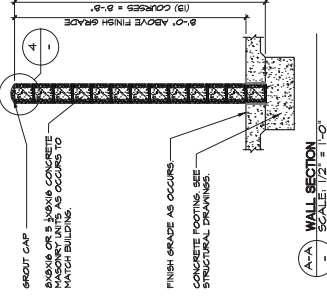
7. **MESH DETAIL**
SCALE: $1/2" = 1'-0"$



4 WALL CAP DETAIL
SCALE: 1/2" = 1'-0"



3 GATE HINGE DETAIL
SCALE: 1/2" = 1'-0"



A-A WALL SECTION
SCALE: 1/2" = 1'-0"



REVISIONS	DATE	DESCRIPTION
1		
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QUICK QUACK CAR WASH
 145-202
 145-202
 RIVERIDE, CA 92008

CONSTRAINTS
 MAP

DATE: JANUARY 2020
 CDM PROJECT #:

THE INFORMATION ON THIS PLAN WAS OBTAINED FROM THE RECORD DRAWINGS AND FIELD SURVEY. THE ENGINEER HAS NOT CONDUCTED A VISUAL INSPECTION OF THE PROJECT SITE. THE ENGINEER HAS NOT CONDUCTED A VISUAL INSPECTION OF THE PROJECT SITE.

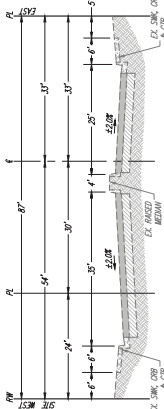
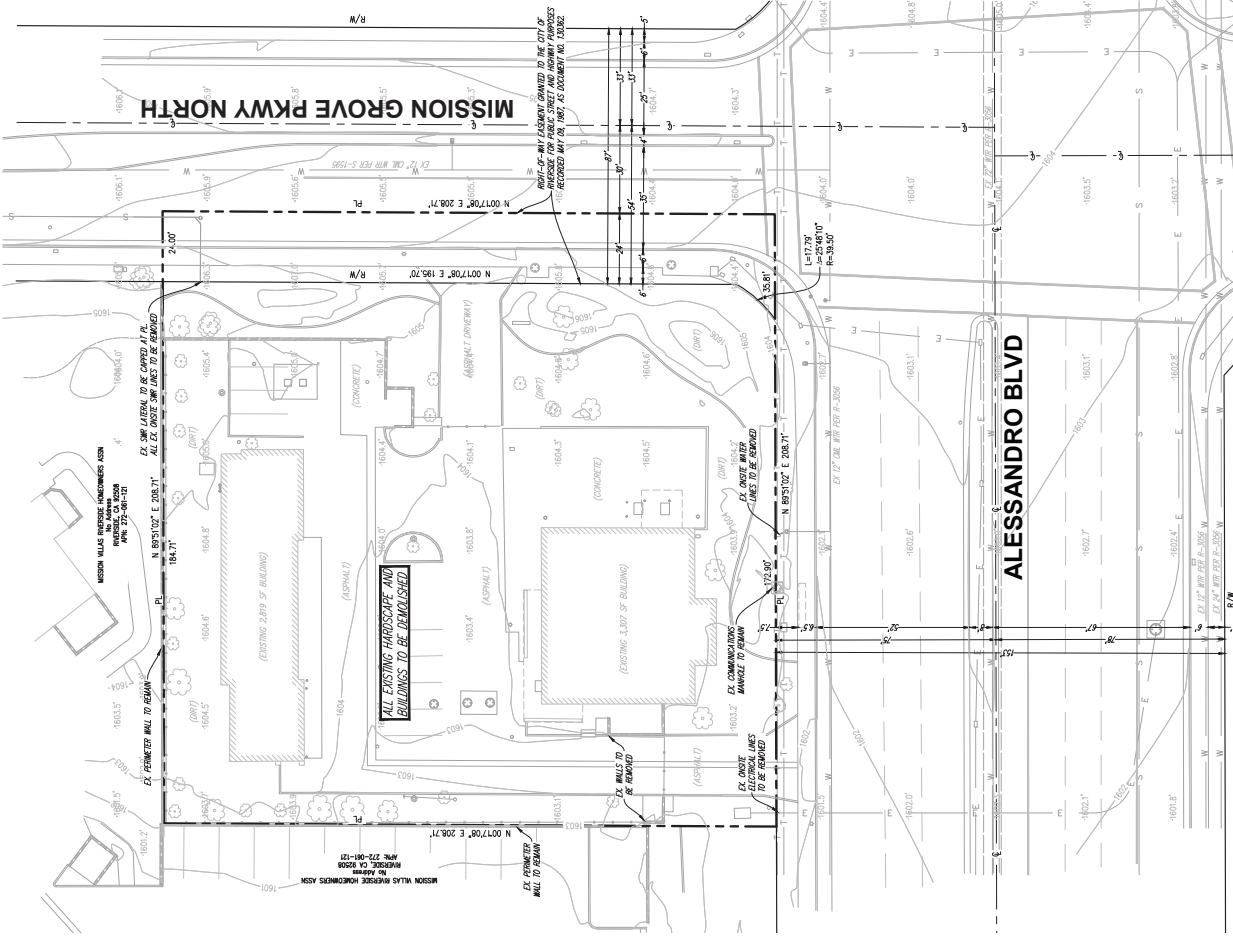
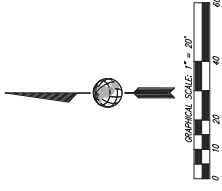


PLANNING DOCUMENTS

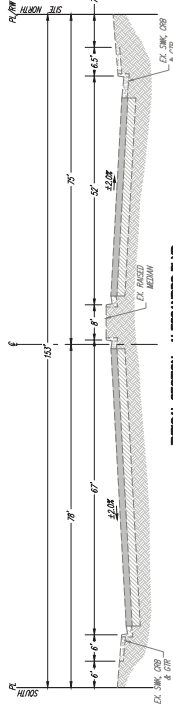
C1.0

EXISTING LEGEND

PROPERTY LINE	---
EXTREME	---
RIGHT-OF-WAY	---
EX. RETAINING WALL	---
EX. CORP. & OUTLET	---



TYPICAL SECTION - MISSION GROVE PKWY NORTH
 NOT TO SCALE



TYPICAL SECTION - ALESSANDRO BLVD
 NOT TO SCALE



SEAN M. SAWAGE, P.E., 70677

DATE



REVISIONS	DATE	DESCRIPTION
1		
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QUICK QUACK CAR WASH
STORE #4-202
306 ALESSANDRO BLVD
RIVERSIDE, CA. 92508

PRELIMINARY
GRADING PLAN

DATE:	JANUARY 2022
CRM PROJECT #:	2022

The information contained herein is not intended to constitute an offer of insurance or any other financial product. Insurance coverage is provided by members of the American International Group, Inc. (AIG), a member of the American International Group, Inc. (AIG) family of companies. Insurance coverage is provided by members of the American International Group, Inc. (AIG) family of companies. Insurance coverage is provided by members of the American International Group, Inc. (AIG) family of companies.

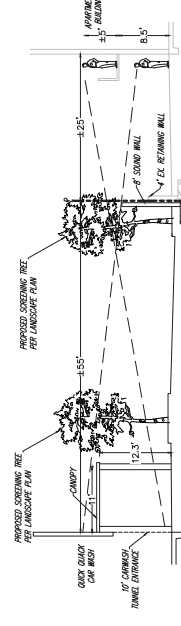
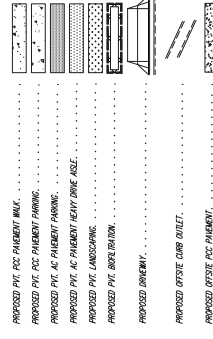
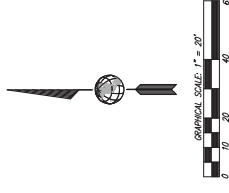


PLANNING DOCUMENTS

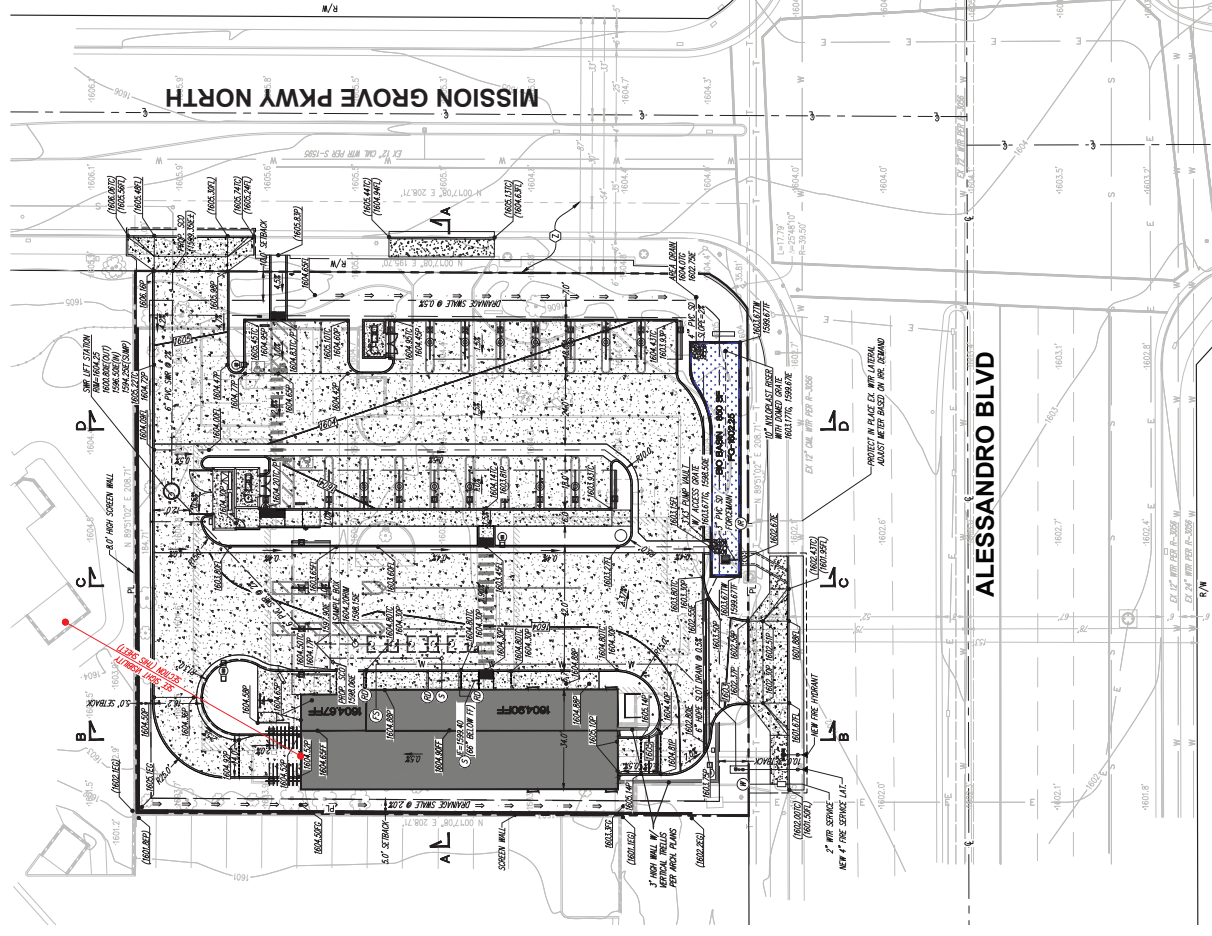
C2.0

GRADING INFORMATION		EXISTING LEGEND	
CUT TO FINISH SURFACE	500 CY	VEN	SEWER
FILL TO FINISH SURFACE	404 CY	PROPERTY LINE	---
ROAD & LANDSCAPING	612 CY	CONTRIBUTOR	---
UNDERDRAIN	842 CY	RIGHT-OF-WAY	---
EXPORT (WILLIAMS)	478 CY	EX. CONTIGUOUS	---
		EX. CORNER & OTHER	---

EASEMENTS		PROPOSED LEGEND	
① RIGHT-OF-WAY EASEMENT GRANTED TO THE CITY OF PHOENIX FOR PUBLIC STREET AND RIGHT-OF-WAY PURPOSES REQUIRED WITH A 50% TO EASEMENT FILL LINE.		VEN	SEWER



SIGHT VISIBILITY SECTION
SCALE 1"=20'





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DATE: JANUARY 2021

DMA MAP

QUICK QUACK CAR WASH
STORE #4-202
306 ALESSANDRO BLVD
RIVERSIDE, CA. 92508

REVISIONS	DATE	DESCRIPTION
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SOURCE CONTROL BMP NOTES

- [illegible]

ENGINEERED SOIL MEDIA NOTES

SOIL MEDIA SHALL BE COMPRISED OF 85% MINERAL COMPONENT AND 15% ORGANIC COMPONENT, BY VOLUME, DRUM MIXED PRIOR TO PLACEMENT. THE MINERAL COMPONENT SHALL BE A CLASS A SANDY LOAM TOPSOIL THAT MEETS THE SPECIFIED RANGE. THE ORGANIC COMPONENT SHALL BE NITROGEN STABILIZED COMPOST SUCH THAT NITROGEN DOES NOT LEACH FROM THE MEDIA.

IMPERMEABLE LINER NOTES

1. IMPERMEABLE LINER SHALL BE CONTRERA LINER 807 (30 MIL THICKNESS)
2. ALL SEAMS REQUIRED TO BE HEAT WELDED
3. LINER SHALL HAVE 20-YR WARRANTY

DMA & BMP DATA TABLE

DMA-NO.	AREA (SF)	PERVIOUS (SF)	IMPERVIOUS (SF)	% PERVIOUS	% IMPERVIOUS	EFFECTIVE IMP %	DCV PROP (CF)	DCV RECD (CF)	PROP BRO AREA (SF)	RECD FOOTPRINT (SF)
DMA-1	38,464	9,962	28,522	26%	74%	77%	1,275	1,194	850	796

ROOF DRAIN LOCATION

APPROXIMATE ROOF DRAINS SHOWN. LOCATIONS ARE SUBJECT TO CHANGE DURING
MINISTERIAL REVIEW

BIORETENTION INSPECTION SCHEDULE NOTES

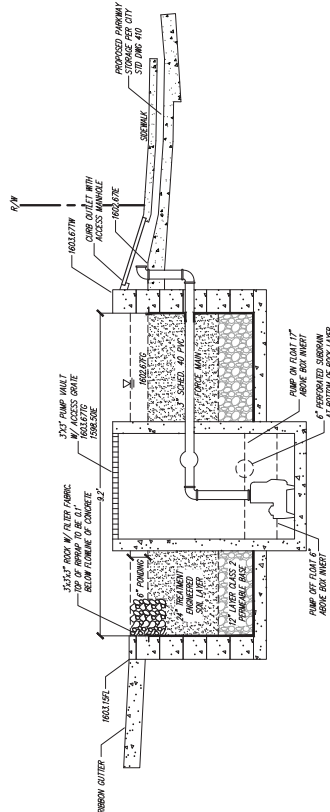
CONTRACTOR MUST CONTACT ENGINEER FOR INSPECTION OF BMPs AT THE FOLLOWING STAGES OF CONSTRUCTION:

- PRIOR TO START OF CONSTRUCTION OF BOREVENTION AREA
- PRIOR TO CONSTRUCTION OF OUTLET STRUCTURES
- AFTER GRADING OF THE BASIN AREA FOR CERTIFICATION
- AFTER PLACEMENT OF IMPERMEABLE LINER (W/ EXTRA LENGTH FOR EMBEDEDMENT)
- AFTER PLACEMENT OF SUB-DRAIN
- AFTER THE PLACEMENT OF GRAVEL DRAINAGE LAYER
- AFTER PLACEMENT OF TREATMENT SOIL
- AFTER APPLICATION AND LANDSCAPING ACTIVITIES

AGENCY STATES WILL BE AVAILABLE FOR CLOW AND CUREN ASSISTANCE

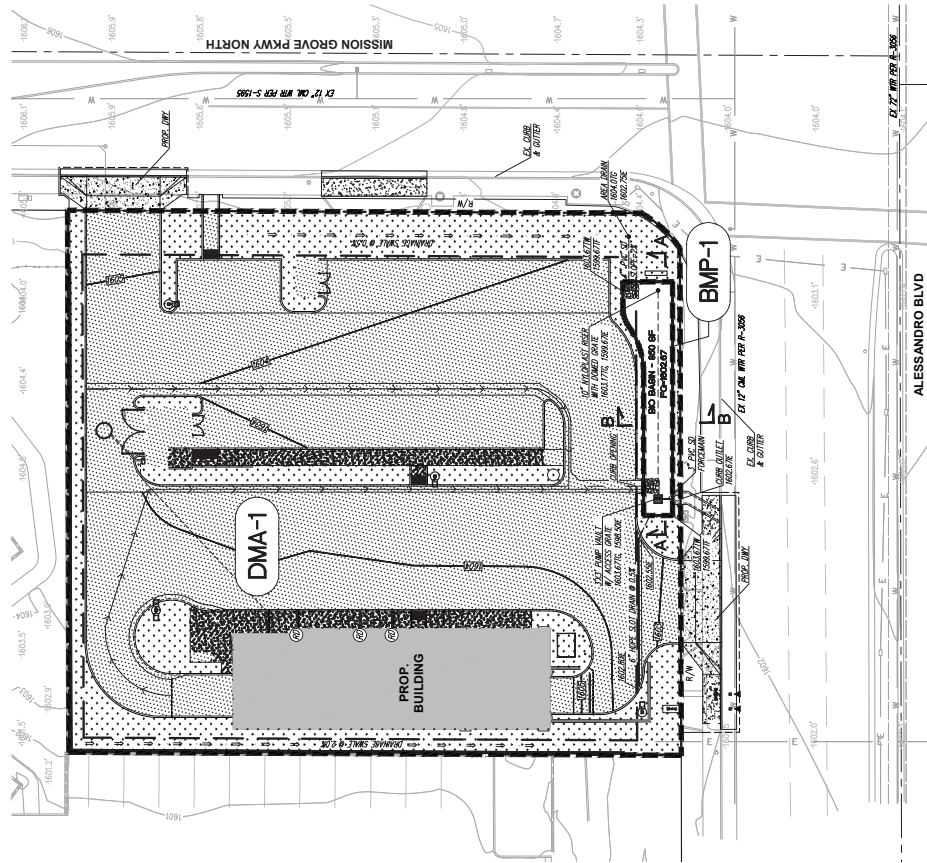
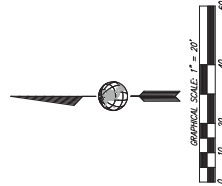
ROOF DRAIN LOCATION

APPROXIMATE ROOF DRAINS SHOWN. LOCATIONS ARE SUBJECT TO CHANGE DURING
MINISTERIAL REVIEW



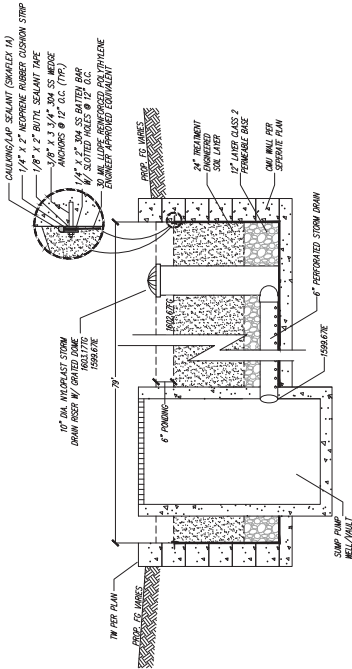
BMP-1, BIORETENTION FACILITY SECTION B-B

NOT TO SCALE



BMP-1 BIORETENTION FACTIVITY SECTION A-A

1100 W. 20th St.
Wichita, KS 67203





REVISIONS	DATE	DESCRIPTION
1		
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QUICK QUACK CAR WASH
STONE #4-202
30155 LINDSEY RD BLVD
RIVERSIDE, CA 92508

PRELIMINARY
SECTIONS

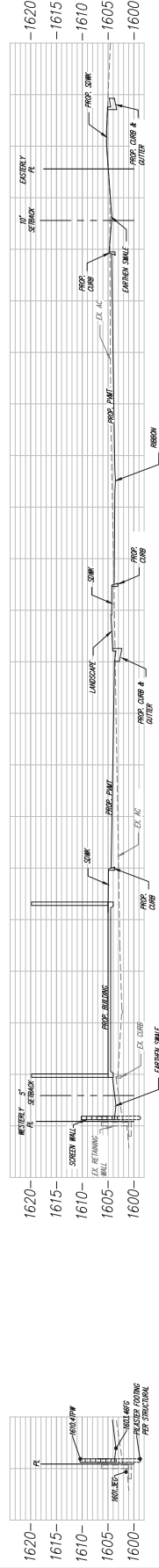
DATE	JANUARY 2020
CON PROJECT #	2020

THESE PRELIMINARY SECTIONS ARE FOR INFORMATION ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THESE SECTIONS WILL BE MADE BY THE ARCHITECT AND THE ENGINEER.

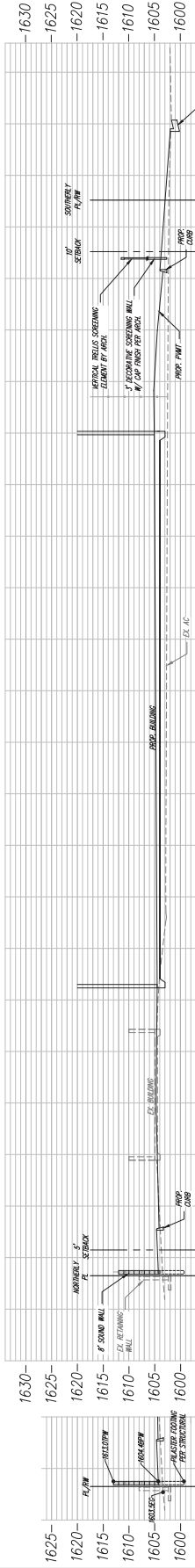


PLANNING DOCUMENTS

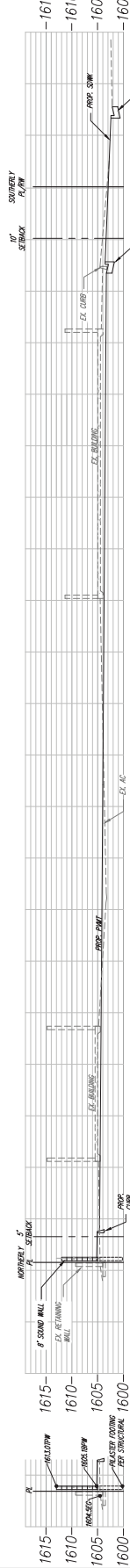
C4.0



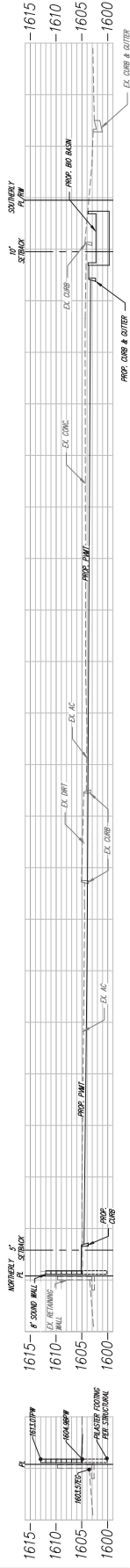
SECTION A-A
HORIZONTAL SCALE: 1"=10'
VERTICAL SCALE: 1"=10'



SECTION B-B
HORIZONTAL SCALE: 1"=10'
VERTICAL SCALE: 1"=10'



SECTION C-C
HORIZONTAL SCALE: 1"=10'
VERTICAL SCALE: 1"=10'



SECTION D-D
HORIZONTAL SCALE: 1"=10'
VERTICAL SCALE: 1"=10'



SEAN M. SHAUVE R.C.E. 75677

DATE



REVISIONS	DATE	DESCRIPTION
1		
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QUICK QUACK CAR WASH
STORE #4-202
8015 ALESSANDRO BLVD
RIVERSIDE, CA 92508

ONSITE CIRCULATION
& TRUCK TURNING

DATE: JANUARY 2020
CITY PROJECT #:

THE INFORMATION ON THIS PLAN WAS PREPARED BY THE ENGINEER OR ARCHITECT AND IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ENGINEER OR ARCHITECT. THE ENGINEER OR ARCHITECT DOES NOT ASSUME ANY LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR ANY OTHER PARTY.

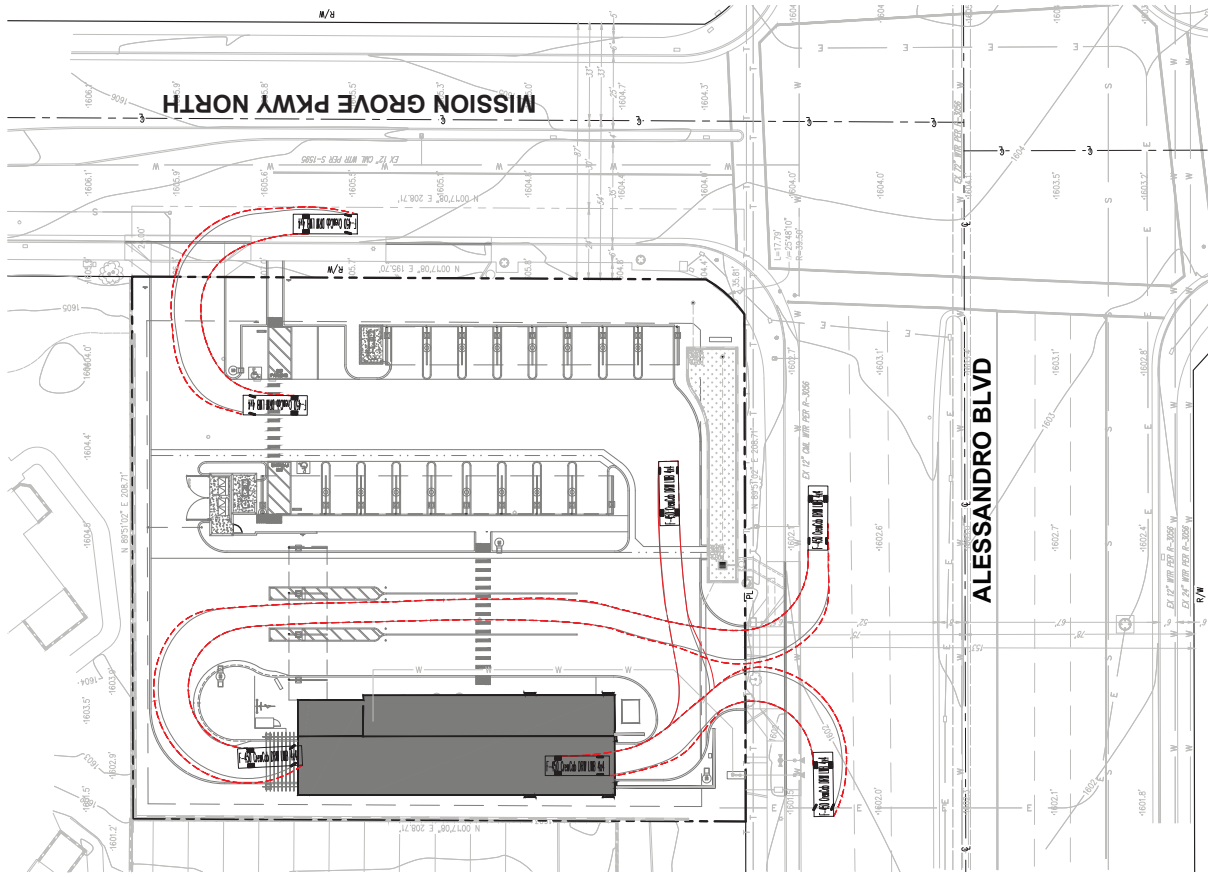


PLANNING DOCUMENTS

C5.0



SEAN M. SHIME R.C.E. 79677 DATE





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DATE	JANUARY 2021
CRM PROJECT #	2020

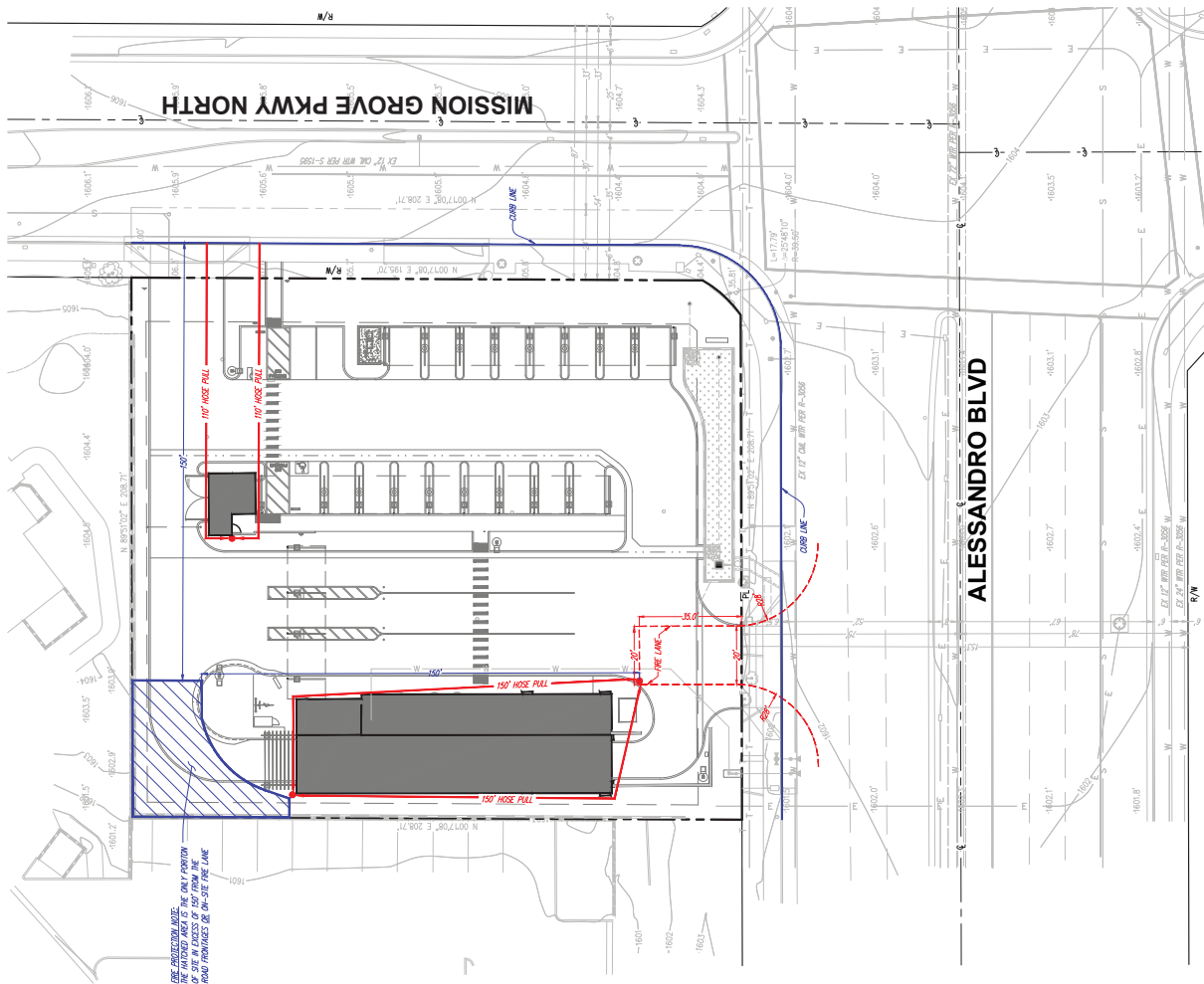
FIRE LANE & HOSE PULL

QUICK QUACK CAR WASH
STORE #4-202
306 ALESSANDRO BLVD
RIVERSIDE, CA. 92508

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ENGINEERING CONSULTANTS
4340 VIEWRIDGE AVE., SUITE B
SAN DIEGO, CA 92123
PH: (858) 634-8620 FAX: (858)-634-8627



GRAPHICAL SCALE: 1" = 20'

DATE
SEAN M. SAVAGE R.C.E. 75677

DATE _____

ALLENNAME: P:\DMG\DMGCA\0598 ALESSANDRO RIVERSIDE SITE\ACAD\DISC0598\0598-00-05-TURNING EXHIBITS.DWG DATE: 9/7/2021 5:19:42 PM



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QUICK QUACK CAR WASH
STORE #4-202
8015 ALESSANDRO BLVD
RIVERSIDE, CA 92508

TRUCK TURNING

DATE: JANUARY 2020
CITY PROJECT #:

THE INFORMATION ON THIS PLAN WAS OBTAINED FROM A VISUAL SURVEY OF THE SITE AND THE INFORMATION WAS NOT OBTAINED FROM A FIELD SURVEY. THE INFORMATION IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

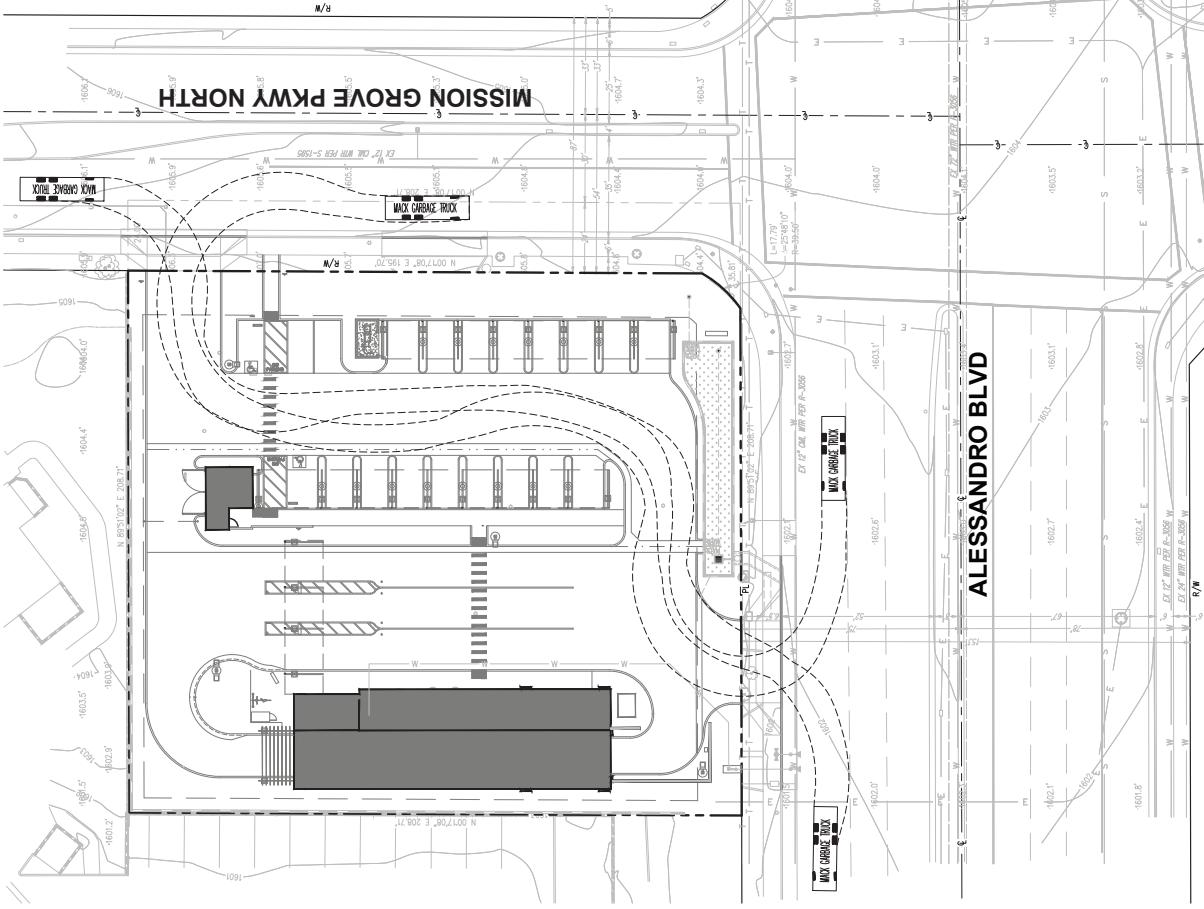


PLANNING DOCUMENTS

C7.0



SEAN M. SHIME R.C.E. 79577 DATE





February 7, 2021

RE: Proposed Quick Quack Carwash
360 East Alessandro Blvd.
Riverside, CA. 92508
APN #272-060-004-7

Quick Quack Car Wash Operating Statement

3 minutes fast & no waiting! Quick Quack is a growing chain of exterior-only, soft cloth car washes in California, Texas, Colorado, Utah, Arizona and Nevada. We take pride in being environmentally friendly by conserving & recycling water. Quick Quack's reclaim system uses as little as twelve to fifteen gallons of fresh water per car and the environmentally friendly shampoos are biodegradable and non-corrosive. Quick Quack does not use any of the acids or other corrosive materials that touchless car washes employ. Besides being more environmentally friendly than traditional commercial car washes, Quick Quack wants to pull people out of their driveway. A person washing their own car in their driveway uses 50-150 gallons of fresh water. That water mixes with harmful detergents that go down the storm drains that lead to streams and rivers. Many communities have banned driveway car washing not just because of the wasted water, but because of the phosphates and other harmful detergents and chemicals going into fresh water systems. Quick Quack is a proud member of Water Savers, a car wash industry program dedicated to raising awareness for water conservation and environmentally friendly practices at professional car washes. ***DontDriveDirty.com***

- QUICK QUACK ONCE AGAIN NAMED ONE OF THE TOP 50 CARWASHES IN THE COUNTRY
- QUICK QUACK VOTED "BEST CAR WASH" IN SACRAMENTO, COLORADO SPRINGS & AMARILLO

1. Hours of operation:

- a. 7am - 7pm during normal business hours
- b. 7am - 9pm during summer hours
- c. 7 days a week

- #### 2. Water Usage:
- 100% of the water used is reclaimed from the tunnel and recycled. The water is pumped back into tunnel and through cleaning and filtering equipment, then back to the wash equipment again to be re-used. On average, we are discharging about 12-15 gallons of water per vehicle back into the sewer system. The soaps that we use are water-soluble, biodegradable and environmentally friendly.

- #### 3. How long does it take to get a car wash?
- Unlike carwashes typically found at gas stations, Quick Quack Car Wash uses a conveyor that keeps cars moving even if there are a few cars in line. The entire wash cycle lasts no longer than **THREE MINUTES** and since there is no waiting for the car in front of you to finish, you will rarely spend more than **five minutes** from the time you pull in to when you are back on your way.

Carissimi Rohrer McMullen Architects & Planners, Inc.

5800 Stanford Ranch Road, #720 Rocklin CA 95765 PH: 916.451.1500 FAX: 916.451.1600

www.crmarchitects.com

PR-2021-001023 (GPA, RZ, CUP, VR, DR), Exhibit 7 - Project Plans

4. **Company Values:** Why do Quick Quack team members wear ties? Cleanliness is one of our company values and we believe that this extends beyond just a clean car. We feel that our facilities and team members should also represent the highest standards of appearance. Unlike full service car washes or other automotive service centers where employees might be more hands-on, our team members are primarily cashiers and customer service professionals who greet customers with a friendly smile and clean appearance. Quick Quack Car Wash's state-of-the-art car wash equipment does the heavy lifting and the "dirty work". Our signature duck ties have become an important part of our brand image that the majority of our customers appreciate and have come to expect and love. The Core Values of the Company are: Be FAST, Be CLEAN, Be HONEST, Be CONSISTENT, Be ACCOUNTABLE, Become a LEADER, Work as a TEAM, Show RESPECT, WORK hard, Have FUN!
5. **Traffic and Parking:** At any given time, there are two or three employees on site; they have their own parking stalls including one accessible stall apart from the customer vacuum stalls. We are an express wash and our desired site size for each location is +/- 1 acre. We are really a convenience stop for most of our customers; they are expecting to be in and out quickly. We offer individual, varied washes, or we also offer an unlimited program. With the unlimited program, those customers are waved through the line and can visit the wash as many times as they want per month.
6. **Sound and Equipment:** We have 35 operating stores and have always complied with local requirements relative to noise standards. All our equipment is contained inside the building and we take care to do our best to design so that whatever sound is coming out of the building is directed away from any areas that we consider a conflict. Most of the wash equipment in the showroom is hydraulic except for the blowers that dry the car, which are electric. The hydraulic pumps are contained inside of our equipment room that remains closed during unless we are completing some type of maintenance. The blowers are also contained inside the building and are typically compliant with sound guidelines at the property line. Our target is to keep the dB level at 60 or lower at the nearest property line. Since our latest hours of operation are at 9PM, we are usually closed by the time allowable dB levels drop for most municipalities.
7. **Being a Good Neighbor:** Our goal is to always be a good neighbor. We employ people who live in the community, and we do our best to contribute to the community in a positive and kind way for all our customers, team members and neighbors.

Sincerely,



Mark McIlvain

CRM Architects



COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION

VARIANCE JUSTIFICATION FORM

PLEASE TYPE OR PRINT CLEARLY

Project Description: Site Grading for Proposed Carwash

Project Location: 306 East Alessandro Boulevard, Riverside, CA 92508

Assessor's Parcel Number (APN): 272-060-004-7

VARIANCES REQUESTED – State variance(s) requested specifically and in detail. Please attach separate sheets(s) as necessary.

Requesting a variance to the wall height limit. This variance seeks to have the wall height limit raised from 6' to 8'. Based on the sound study provided for this project an 8' screen wall at the North and West property lines would be necessary.

REQUIRED FINDINGS – Answer each of the following questions yes or no and then explain your answer in detail. Questions 1 and 2 must be answered “yes” and 3 and 4 “no” to justify granting of a variance. Attach written details if insufficient space is provided on this form. Economic hardship is not an allowable justification for a variance.

1. Will the strict application of the provisions of the Zoning Code result in practical difficulties or unnecessary hardships inconsistent with the general purpose and intent of the Zoning Code? Explain in detail. Yes. The strict application of the zoning code would not permit the 8 ft high sound wall at the project perimeter. This would result in isolated locations where the combined noise levels would impact the adjacent residential project site. With the extra 2 ft height of wall the noise levels generated from the car wash tunnel would be adequately mitigated to below current ambient sound levels. The car wash opening has already been reduced to the minimum size in order to limit the noise.
2. Are there special circumstances or conditions applicable to your property or to the intended use or development of your property that do not apply generally to other property in the vicinity and under the identical zoning classification? Explain in detail. Yes, the operation will generate most noise at the car wash tunnel openings. Given the high existing ambient noise levels there is no room for increase to the existing noise levels. The dimensions of the lot are such that we cannot shift the building openings further away from the property line. Due to these factors the extra 2 ft of wall height is requested as a means to mitigate the sound to at or below the current ambient sound levels.
3. Will the granting of such variance prove materially detrimental to the public welfare or injurious to the property or improvements in the zone or neighborhood in which your property is located? Explain in detail. No. The granting of this variance will not be harmless to the public welfare and should be considered beneficial to the neighbors. The proposed sound wall will effectively mitigate site generated noise propagating to the property north and west of the site as well as provide a screening buffer of the car wash operations. The wall will be of enhance materials as provided and the site design also includes an enhanced landscaping component to provide an elevated aesthetic appeal.
4. Will the granting of such variance be contrary to the objectives of any part of the General Plan? Explain in detail. No, the granting of a variance for the additional 2 ft of wall height would not be in contrary to the objectives of the General Plan as this wall is proposed to be constructed from enhanced materials and will be setback from the Alessandro Scenic Corridor. The site design meets all of the design guidelines and incorporates enhanced landscaping along both the entire project frontage and along the wall.



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

May 13, 2021

Ms. Candice Assadzadeh, Project Planner
City of Riverside Community & Economic Development Department
3900 Main Street, 3rd Floor
Riverside, CA 92552

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Palm Springs

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Steve Manos
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Barbara Santos

County Administrative Center
4080 Lamon St., 14th Floor
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW

File No.: ZAP1457MA21
Related File Nos.: PR-2021-001023 (General Plan Amendment, Rezone,
Conditional Use Permit, Design Review)
Compatibility Zones: Zone C2
APNs: 272-060-004

Dear Ms. Assadzadeh:

On May 13, 2021, the Riverside County Airport Land Use Commission (ALUC) found City of Riverside Case No. PR-2021-001023 (General Plan Amendment, Rezone, Conditional Use Permit, Design Review), a proposal to construct a 3,590 square foot drive-thru carwash building on 0.89 acres, located on the northwest corner of Mission Grove Parkway and Alessandro Boulevard, and to amend the site's General Plan land use designation from Office (O) to Commercial (C) and change the site's zoning from Office (O) to Commercial General (CG), **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions:

CONDITIONS:

1. Any new outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use or activity which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use or activity which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers