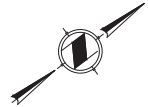
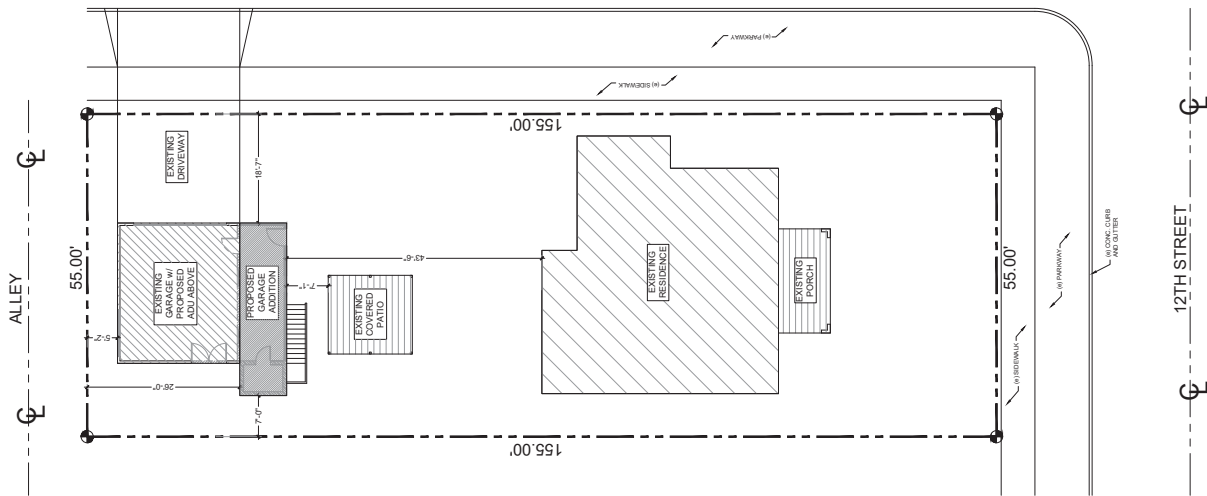


1. CONTRACTOR SHALL, PRIOR TO COMMENCEMENT OF WORK, LOCATE EVERY EXISTING PROJECT CONSTRUCTION, INCLUDING DIMENSIONS AND VERTICAL ELEVATIONS.
2. FIELD INFORMATION OF DISCREPANCIES SHALL BE RECORDED ON AN APPROPRIATE FORM AND SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.
3. COORDINATION AND NECESSARY RESOLUTION PRIOR TO CONTINUING WORK SHALL BE OBTAINED FROM THE ARCHITECT.
4. CONCLUDING THESE MEASUREMENTS AND RECONCILING ALL WORK AND MATERIALS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS. DO NOT SCALE ANY DIMENSIONS PRIOR TO CONTINUING.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING BUILDINGS, CURBS, UTILITIES, AND ADJACENT PROPERTIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL APPLICABLE BUILDING CODES, THE AGREEMENT WITH UTILITY UTILITIES, AS WELL AS ALL OTHER LOCAL, STATE, AND FEDERAL REGULATIONS.
8. ALL ELECTRICAL MECHANICAL, AND PLUMBING WORK SHALL CONFORM TO THE FOLLOWING: THE NATIONAL ELECTRICAL CODE, THE NATIONAL MECHANICAL CODE, THE NATIONAL PLUMBING CODE, THE GENERAL BUILDING PRACTICE, AND PLUMBING AND THE OWNER AND SECURED BY THE CITY AND COUNTY OF LOS ANGELES.
9. ALL REQUIRED CITY AND COUNTY LICENSES SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
10. CONTRACTOR SHALL HAVE VALID CERTIFICATES OF WORKMAN COMPENSATION ON FILE WITH THE CITY AND COUNTY OF LOS ANGELES.
11. CONTRACTOR SHALL ASSIST OWNER IN OBTAINING FINAL APPROVAL OF LOCAL HEALTH DEPARTMENT FOR THE INSTALLATION OF THE MECHANICAL AND ELECTRICAL WORK.
12. CONTRACTOR SHALL PROVIDE BACKLOG FOR SUPPORT OF ALL FIELD, GENERAL AND SPECIALIZED WORK, INCLUDING THE PROTECTION OF EXISTING UTILITIES, AND TELEPHONE, COORDINATE LOCAL ORDINANCES AND REQUIREMENTS WITH THE PLUMBING, ELECTRICAL, MECHANICAL, AND PLUMBING DEPARTMENTS.
13. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN OR NOT, AND TO PROTECT THEM FROM DAMAGE TO THE UTILITY AND TO THE PROPERTY DURING THE OPERATION OF CONSTRUCTION.
14. CONTRACTOR SHALL PROVIDE PROTECTION TO AGREEEMENT WITH APPLICABLE BUILDING CODES, THE AGREEMENT WITH UTILITY UTILITIES, AS WELL AS ALL OTHER LOCAL, STATE, AND FEDERAL REGULATIONS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES, AND TO THE PROPERTY DURING THE OPERATION OF CONSTRUCTION, BUT NOT LIMITED TO SHOWING, BRACING, AND ALL OTHER SUPPORTS AND STRUCTURES OF THE BUILDING SYSTEMS, INCLUDING TO MAINTAIN THE EXISTING INTEGRITY OF THE BUILDING.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES, AND TO THE PROPERTY DURING THE OPERATION OF CONSTRUCTION, BUT NOT LIMITED TO SHOWING, BRACING, AND ALL OTHER SUPPORTS AND STRUCTURES OF THE BUILDING.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES, AND TO THE PROPERTY DURING THE OPERATION OF CONSTRUCTION, BUT NOT LIMITED TO SHOWING, BRACING, AND ALL OTHER SUPPORTS AND STRUCTURES OF THE BUILDING.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES, AND TO THE PROPERTY DURING THE OPERATION OF CONSTRUCTION, BUT NOT LIMITED TO SHOWING, BRACING, AND ALL OTHER SUPPORTS AND STRUCTURES OF THE BUILDING.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES, AND TO THE PROPERTY DURING THE OPERATION OF CONSTRUCTION, BUT NOT LIMITED TO SHOWING, BRACING, AND ALL OTHER SUPPORTS AND STRUCTURES OF THE BUILDING.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES, AND TO THE PROPERTY DURING THE OPERATION OF CONSTRUCTION, BUT NOT LIMITED TO SHOWING, BRACING, AND ALL OTHER SUPPORTS AND STRUCTURES OF THE BUILDING.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES, AND TO THE PROPERTY DURING THE OPERATION OF CONSTRUCTION, BUT NOT LIMITED TO SHOWING, BRACING, AND ALL OTHER SUPPORTS AND STRUCTURES OF THE BUILDING.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES, AND TO THE PROPERTY DURING THE OPERATION OF CONSTRUCTION, BUT NOT LIMITED TO SHOWING, BRACING, AND ALL OTHER SUPPORTS AND STRUCTURES OF THE BUILDING.

EXISTING AND PROPOSED SQ. FOOTAGES:	
(e) GARAGE:	488.5 SQ. FT.
(n) GARAGE:	235.5 SQ. FT.
(n) ADJ. LIVING SPACE:	688.5 SQ. FT.
(e) DETACHED PATIO:	520 SQ. FT.
(e) RESIDENCE FOOTPRINT:	50 SQ. FT.
TOTAL ALL AREA (AREA USED TO CALCULATE LOT COVERAGE):	1,925 SQ. FT.
LOT AREA:	8,276 SQ. FT.
(n) LOT COVERAGE:	35.08 %

NOTE: CONSTRUCTION FOR WORK FOR WHICH A PERMIT IS REQUIRED SHALL BE SUBJECT TO ALL RELEVANT BUILDING CODES AND ORDINANCES AND TO ALL CITY ORDINANCES WORK SHALL BE SUBJECT TO ALL RELEVANT BUILDING CODES AND ORDINANCES AND TO ALL CITY ORDINANCES. APPROVAL AS A RESULT OF AN INSPECTION SHALL NOT BE CONSTRUED TO BE AN APPROVAL OF A VIOLATION OF THE PROVISIONS OF THE PROVISIONS OF THE JURISDICTION CODE OR OF OTHER ORDINANCES OF THE INSPECTIONS PRESUMING TO GIVE AUTHORITY TO VIOLATE OR CANCEL. APPLICANT TO CAUSE THE WORK TO REMAIN ACCESSIBLE AND EXPOSED FOR INSPECTION PURPOSES. NEITHER THE BUILDING OFFICIAL NOR THE JURISDICTION OFFICIAL SHALL BE REQUIRED TO ALLOW INSPECTIONS. NO REMOVAL OR REPLACEMENT OF ANY MATERIAL REQUIRED TO ALLOW INSPECTIONS.

- [illegible]



PLOT PLAN

1. RE-CONSTRUCT EXTERIOR GARAGE WALLS TO REMAIN
2. ADD 235.5 SQ.FT ADDITION TO EXISTING GARAGE
3. ADD SQ.FT. 689.5 ADU OVER DETACHED GARAGE

<u>CONSTRUCTION TYPE:</u>	
BUILDING:	
GARAGE:	V-B
	V-B
<u>OCCUPANCY:</u>	
BUILDING:	R-3
GARAGE:	U
<u>BUILDING CODES:</u>	
	2019 CBC, CEC, CPC, OMC, CFC, CPC, C955SC & CALIFORNIA ENERGY STANDARDS
<u>NUMBER OF STORIES:</u>	
BUILDING:	2
GARAGE:	1
<u>FIRE SPRINKLER:</u>	
	NO

LOT:	1
BLOCK:	172
TRACT:	-
MAP BOOK:	005/164
CITY:	RIVERSIDE
COUNTY:	RIVERSIDE
STATE:	CALIFORNIA
A.P.N.:	215-172-001

T-1	PLOT PLAN
A-1	FLOOR PLANS
A-2	ELEVATIONS

08/02/22	HISTORIC REVISIONS
10/14/21	1st PLANNING SUBMITTAL
DATE	REVISION

PROJECT DESIGNER:
 Amanda Busby
 (951) 990-4467

PROJECT ENGINEER:

SHEET:

44

GARAGE RE-BUILT AND ADDITION
w/ ADU ABOVE
4392 12th STREET
RIVERSIDE, CA 92501

MR. AND MRS. HARMAN

SHEET TITLE:

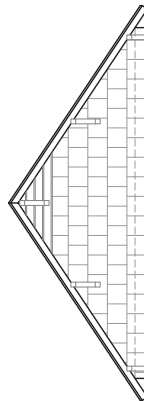
PLOT PLAN

3

SCALE: 1/4"=1'-0"



SCALE: 1/4"=1'-0"



SCALE: 1/4"=1'-0"



SCALE: 1/4"=1'-0"



SHEET TITLE:

DINNER:

PROJECT:

PROJECT DESIGNER:
Amanda Busby
(951) 990-4467

6/02/22	HISTORIC REVISIONS
0/14/21	1st PLANNING

01/14/21	1st PLANNING
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01/14/21	1st PLANNING
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