

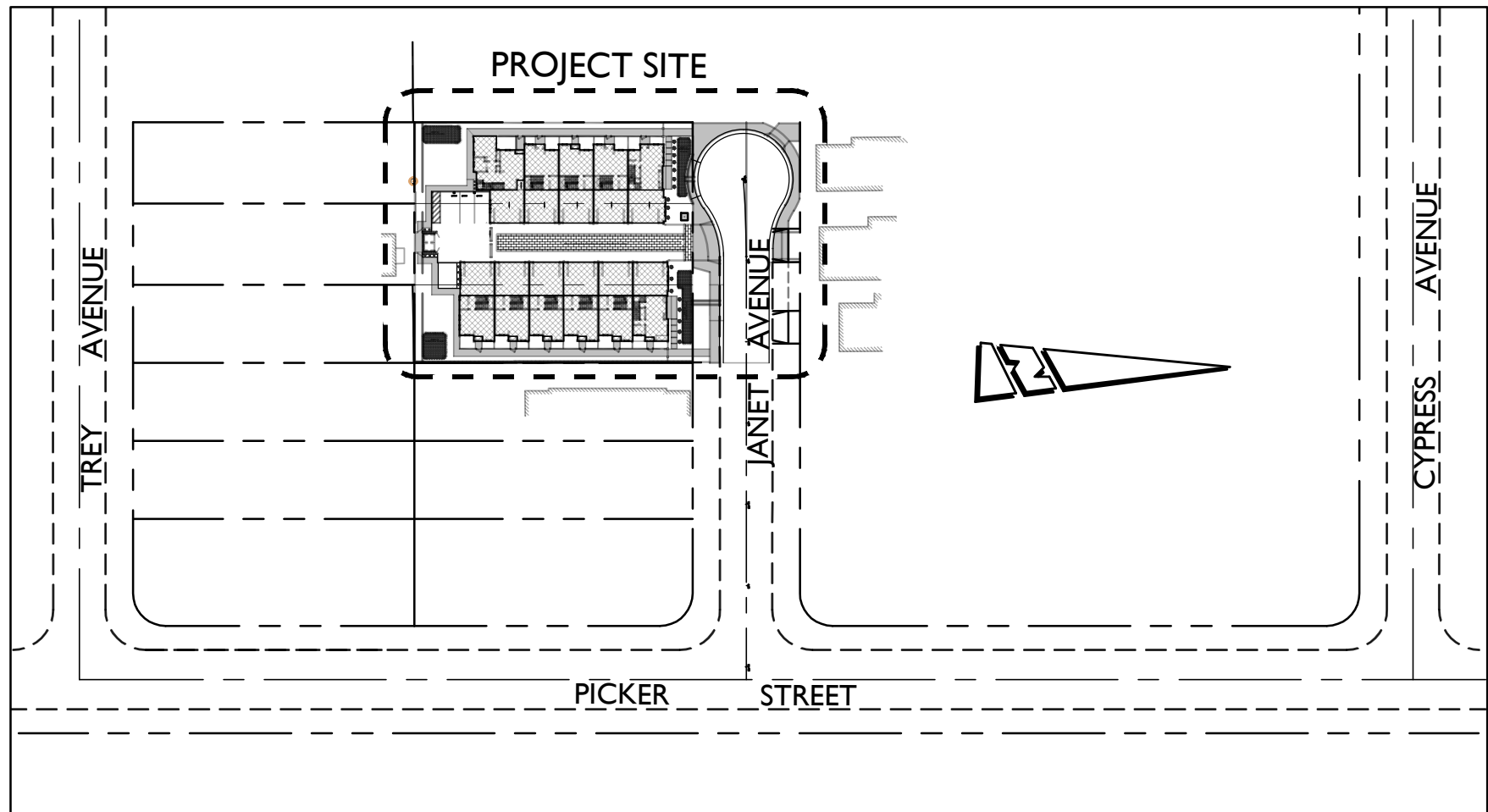
GRADING NOTES:

1. ALL GRADING SHALL CONFORM TO THE RIVERSIDE MUNICIPAL CODE, TITLE 17 CITY-ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE.
2. ALL PROVISIONS OF THE PRELIMINARY SOILS REPORT PREPARED BY GEOBODEN INC. DATED 03/12/2020 SHALL BE COMPLETED WITH DURING GRADING OPERATIONS. CITY BUSINESS TAX CERTIF. NO. _____, EXP. DATE _____.
3. THIS PLAN IS FOR GRADING PURPOSES ONLY AND IS NOT TO BE USED FOR THE PURPOSE OF CONSTRUCTING ON-SITE OR OFF-SITE IMPROVEMENTS. ISSUANCE OF A PERMIT BASED ON THIS PLAN DOES NOT CONSTITUTE APPROVAL OF DRIVEWAY LOCATIONS OR SIZES, PARKING LOT STRUCTURAL SECTIONS OR LAYOUT, ADA-RELATED REQUIREMENTS, BUILDING LOCATIONS OR FOUNDATIONS, WALLS, CURBING, OFF-SITE DRAINAGE FACILITIES OR OTHER ITEMS NOT RELATED DIRECTLY TO THE BASIC GRADING OPERATION. ON-SITE IMPROVEMENTS SHALL BE CONSTRUCTED FROM APPROVED BUILDING PERMIT PLANS. OFF-SITE IMPROVEMENTS SHALL BE CONSTRUCTED FROM PLANS APPROVED FOR THIS PURPOSE BY THE PUBLIC WORKS DEPARTMENT.
4. CERTIFICATION FROM THE REGISTERED (CIVIL ENGINEER/ARCHITECT/LANDSCAPE ARCHITECT) STATING THAT THE GRADING HAS BEEN COMPLETED PER THE APPROVED PLAN, AND A COMPACTION REPORT FROM THE SOIL ENGINEER FOR FILL AREAS ARE REQUIRED PRIOR TO BUILDING PERMITS BEING ISSUED.
5. CONTRACTOR IS RESPONSIBLE FOR EROSION, DUST AND TEMPORARY DRAINAGE CONTROL DURING GRADING OPERATIONS
- a. ALL MANUFACTURED SLOPES IN EXCESS OF 5 FEET IN VERTICAL HEIGHT ARE TO BE PROTECTED FROM EROSION DURING ROUGH GRADING OPERATIONS AND, THEREAFTER, UNTIL INSTALLATION OF FINAL GROUND COVER. (SEE LANDSCAPE PLANS FOR FINAL GROUND COVER).
- b. ALL SLOPE PROTECTION SWALES TO BE CONSTRUCTED AT THE SAME TIME AS BANKS ARE GRADED.
- c. THE DEVELOPER AND HIS CONTRACTOR ARE RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN AND SWPPP AND ALSO TO PROVIDE ANY ADDITIONAL EROSION CONTROL MEASURES (E.G., HYDROSEEDING, MULCHING OF STRAW, SAND-BAGGING, DIVERSION DITCHES, RETENTION BASINS, ETC.) DICTATED BY FIELD CONDITIONS TO PREVENT EROSION AND/OR THE INTRODUCTION OF DIRT, MUD OR DEBRIS INTO EXISTING PUBLIC STREETS AND/OR ONTO ADJACENT PROPERTIES DURING ANY PHASE OF CONSTRUCTION OPERATIONS. SPECIAL ATTENTION SHALL BE GIVEN TO ADDITIONAL EROSION CONTROL MEASURES NOTED ABOVE DURING THE PERIOD OCTOBER 1 TO MAY 31.
- d. AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS AND CHECK DAMS. SILT AND DEBRIS SHALL BE REMOVED FROM CITY OF RIVERSIDE STREETS. THIS REQUIREMENT SHALL REMAIN IN EFFECT UNTIL CITY ACCEPTANCE OF THIS PROJECT.
6. ANY ON-SITE RETAINING WALLS SHOWN ON THIS PLAN THAT ARE UNDER 3 FEET IN HEIGHT AND SUPPORT A SURCHARGE OR THAT ARE OVER 3 FEET IN HEIGHT REQUIRE SEPARATE REVIEW, APPROVAL AND A BUILDING PERMIT FROM THE BUILDING DIVISION, PLANNING DEPARTMENT. ANY NECESSARY RETAINING WALLS ON THE PERIMETER OF THIS SITE SHALL BE IN PLACE AND APPROVED BY THE BUILDING INSPECTOR PRIOR TO ISSUANCE OF THE GRADING PERMIT. APPROVED SEQUENCED GRADING WITH 1 1/2:1 MAXIMUM SLOPES TO WITHIN 2 FEET OF THE ADJACENT PROPERTY LINE MAY BE ACCEPTABLE TO ALLOW FOR ISSUANCE OF A GRADING PERMIT PRIOR TO COMPLETION OF ANY NECESSARY PERIMETER RETAINING WALLS. (IF NO RETAINING WALLS ARE SHOWN ON THE PLAN, DO NOT PUT THIS NOTE ON PLAN.)
7. ANY IMPROVEMENTS CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE A SEPARATE CONSTRUCTION PERMIT AND INSPECTION FROM THE PUBLIC WORKS DEPARTMENT.
8. ANY WALLS, FENCES, STRUCTURES AND/OR APPURTENANCES ADJACENT TO THIS PROJECT ARE TO BE PROTECTED IN PLACE. IF GRADING OPERATIONS DAMAGE OR ADVERSELY AFFECT SAID ITEMS IN ANY WAY, THE CONTRACTOR AND/OR DEVELOPER IS RESPONSIBLE FOR WORKING OUT AN ACCEPTABLE SOLUTION TO THE SATISFACTION OF THE AFFECTED PROPERTY OWNER(S).
9. THE CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR ENSURING THAT RETAINING WALLS DO NOT INTERFERE WITH PROVISION OF UTILITIES.
10. IT IS THE GRADING CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ADEQUATE COMPACTION HAS BEEN ATTAINED ON THE ENTIRE GRADING SITE, INCLUDING FILL AREAS OUTSIDE THE BUILDING PADS AND ON ALL FILL SLOPES.
11. IT IS THE SOIL ENGINEER'S RESPONSIBILITY TO OBSERVE AND PERFORM COMPACTION TESTS DURING THE GRADING TO EVALUATE THE PREPARATION OF THE NATURAL GROUND SURFACE TO RECEIVE THE FILL AND THE COMPACTION ATTAINED IN THE FILL, INCLUDING FILL AREAS OUTSIDE THE BUILDING PADS AND ON ALL FILL SLOPES.
12. EARTHWORK QUANTITIES ARE SHOWN FOR GRADING PERMIT PURPOSES ONLY, AND THE CITY OF RIVERSIDE IS NOT RESPONSIBLE FOR THEIR ACCURACY.
13. FOR GRADING OF AREAS OF 1 ACRE OR MORE, A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE KEPT ON-SITE AND MADE AVAILABLE UPON REQUEST OF A REPRESENTATIVE OF THE REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) - SANTA ANA REGION AND/OR THE CITY OF RIVERSIDE.
14. GRADING OPERATIONS SHALL BE LIMITED TO BETWEEN THE HOURS OF 7 A.M. AND 7 P.M. ON WEEKDAYS AND BETWEEN 8 A.M. AND 5 P.M. ON SATURDAYS. NO GRADING WILL BE PERMITTED ON SUNDAY OR FEDERAL HOLIDAYS. (RIVERSIDE MUNICIPAL CODE, 7.35.010, ORDINANCE NO. 6273)

ABBREVIATIONS:

AC	- ASPHALT CONCRETE
APN	- ASSESSOR'S PARCEL NUMBER
BLDG	- BUILDING
BW	- BACK OF WALK
C	- CONCRETE OR CIVIL
C&G	- CURB AND GUTTER
CL	- CENTER LINE OR CLASS
CO	- CLEANOUT
CONC	- CONCRETE
CY	- CUBIC YARD
DI	- DROP INLET
DWG	- DRAWING
DWY	- DRIVEWAY
EP	- EDGE OF PAVEMENT
ELEV	- ELEVATION
EX., Exist.	- EXISTING
FDC	- FIRE DEPARTMENT CONNECTION
FF	- FINISHED FLOOR
FG	- FINISHED GRADE
FH	- FIRE HYDRANT
FL	- FLOW LINE
FS	- FINISHED SURFACE
FT	- FOOT
GB	- GRADE BREAK
HP	- HIGH POINT
INV	- INVERT ELEVATION
LIP	- LIP OF GUTTER
LP	- LOW POINT
MAX	- MAXIMUM
MIN	- MINIMUM
MB	- MAILBOX
N	- NORTH
NO	- NUMBER
NTS	- NOT TO SCALE
PCC	- PORTLAND CEMENT CONCRETE
PL	- PROPERTY LINE
PP	- POWER POLE
PVC	- POLYVINYL CHLORIDE PIPE
R/W	- RIGHT OF WAY
SD	- STORM DRAIN
SS	- SANITARY SEWER
STD	- STANDARD
S/W	- SIDEWALK
TC	- TOP OF CURB
TYP	- TYPICAL
WM	- WATER METER

CITY OF RIVERSIDE
PRECISE GRADING PLAN
THE JANET GARDEN TOWNHOMES



SURVEY INFORMATION

SURVEY PERFORMED BY: T & M SURVEYING, INC. SURVEY DATE: 10/6/2020
531 E TRENTON AVE.
ORANGE, CA 92667 US
(714) 906-8771
Email: ty@tnmsurveying.com

SURVEYS' NOTES:

1. DISTANCE SHOWN ARE IN FEET AND DECIMALS THEREOF.
2. NO DISTANCES OR ANGLES SHOWN HEREON MAY BE ASSUMED BY SCALING.
3. NO EVIDENCE OF EARTHMOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WERE OBSERVED ON THIS SITE. UNLESS THIS PLAN HAS THE SEAL AND SIGNATURE OF THE SURVEYOR RESPONSIBLE FOR ITS PREPARATION, THIS IS NOT AN AUTHENTIC COPY OF THE ORIGINAL SURVEY AND SHALL NOT BE DEEMED RELIABLE.

LEGAL DESCRIPTION: LOT(S) 46, 47 AND 48 OF CAMP ANZA SUBDIVISION NO. 1, IN THE CITY OF RIVERSIDE, CALIFORNIA, STATE OF CALIFORNIA, AS SHOWN ON MAP ON FILE IN BOOK 22 PAGE(S) 81 AND 82 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

BASIC OF BEARINGS: THE CENTERLINE OF PICKER STREET AS SHOWN ON PARCEL MAP 16,742 PMB 93/99 BEING: NORTH 0°30'30" EAST

CONTRACTOR'S RESPONSIBILITY FOR SAFETY

IN SUBMITTING A BID FOR THIS WORK, THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, THE ENGINEER AND THE CITY OF EL MONTE HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT THE EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS" OF THE U.S. DEPARTMENT OF LABOR AND WITH "CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTOR OR SUBCONTRACTOR'S COMPLIANCE WITH SAID REGULATION AND ORDERS.

ENGINEER'S NOTICE TO CONTRACTOR

THE INFORMATION SHOWN ON THESE PLANS REGARDING THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES IS BASED UPON A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THE UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE ALL THAT EXIST, THE ENGINEER ASSUMES NO LIABILITY FOR ANY UTILITY, STRUCTURES OR IRRIGATION LINE AND ITS LOCATION, WHETHER SHOWN OR NOT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY AND IRRIGATION COMPANIES PRIOR TO START OF CONSTRUCTION, TO DETERMINE EXACT LOCATION OF ALL LINES AFFECTING THIS WORK, WHETHER OR NOT SHOWN HEREON, AND FOR ANY DAMAGE OR PROTECTION OF THESE PLANS.

THE CONTRACTOR SHALL CALL IN A LOCATION REQUEST TO UNDERGROUND SERVICE ALERT (U.S.A.) PHONE 1-800-422-4133 TWO WORKING DAYS BEFORE DIGGING. PUBLIC WORKS DEPARTMENT CONSTRUCTION PERMIT, INVOLVING UNDERGROUND FACILITIES, ARE NOT VALID UNLESS THE APPLICANT HAS ANY AN INQUIRY IDENTIFICATION NUMBER ISSUED BY THE U.S.A.

THE CONTRACTOR SHALL AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

UTILITY LINES SHOWN ON THESE PLANS WERE LOCATED FROM THE PUBLIC RECORDS WHEN POSSIBLE FROM THE RESPECTIVE UTILITY'S OFFICE AND HAVE BEEN ASSUMED RELIABLE. HOWEVER, LAND DEVELOPMENT CONSULTANTS ASSUMES NO LIABILITY FOR THE DAMAGE OF UNDERGROUND UTILITIES DURING OR AFTER CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF EXCAVATION TO ARRANGE FOR FIELD LOCATION OF UTILITY LINES. CALL 1-800-422-4133 FOR THIS SERVICE WHICH IS PROVIDED FREE OF CHARGE. ANY UTILITY NOT SUBSCRIBING TO THIS SERVICE SHALL BE CONTACTED DIRECTLY. IT SHALL BE THE CONTRACTOR'S DUTY TO DETERMINE WHETHER ALL UTILITIES HAVE BEEN NOTIFIED. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT ALL UTILITY LINES HEREON AND ANY OTHER UTILITY LINES OTHERWISE LOCATED.

SHOULD THE CONTRACTOR, CITY/COUNTY ENGINEER, COUNTY INSPECTOR, OR ANY OTHER INDIVIDUAL USING THESE PLANS FOR ANY REASON, NOTICE BE MADE AWARE OF OR ENCOUNTER CONDITIONS CONTRARY TO THOSE SHOWN OR SPECIFIED IN THESE PLANS OR SHOULD CIRCUMSTANCES CHANGE SINCE THE DATE OF PREPARATION OF THESE PLANS CALL THE ENGINEER. THANH NGUYEN SHALL BE NOTIFIED IMMEDIATELY AT 909.534.7760.

PROJECT DISTURBED AREA, IMPERVIOUS AREA AND EARTHWORK QUANTITIES:

TOTAL PROJECT AREA:	25,312	SQ. FT.
DISTURBED AREA:	25,312	SQ. FT.
Post-Development IMPERVIOUS AREA:	14,128	SQ. FT.
PERVIOUS AREA:	11,184	SQ. FT.
Pre-Development IMPERVIOUS AREA:	6,300	SQ. FT.
PERVIOUS AREA:	19,012	SQ. FT.

CUT	0	CY
FILL	673	CY
OVER EXCAVATION	1,160	CY
OVER EXCAVATION SHRINKAGE (10%)	116	CY
REQUIRED FILL	789	CY

NOTE: THE SQUARE FOOTAGE SHOWN HEREON IS FOR PERMIT AND BONDING PURPOSES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING OF THE QUANTITIES.

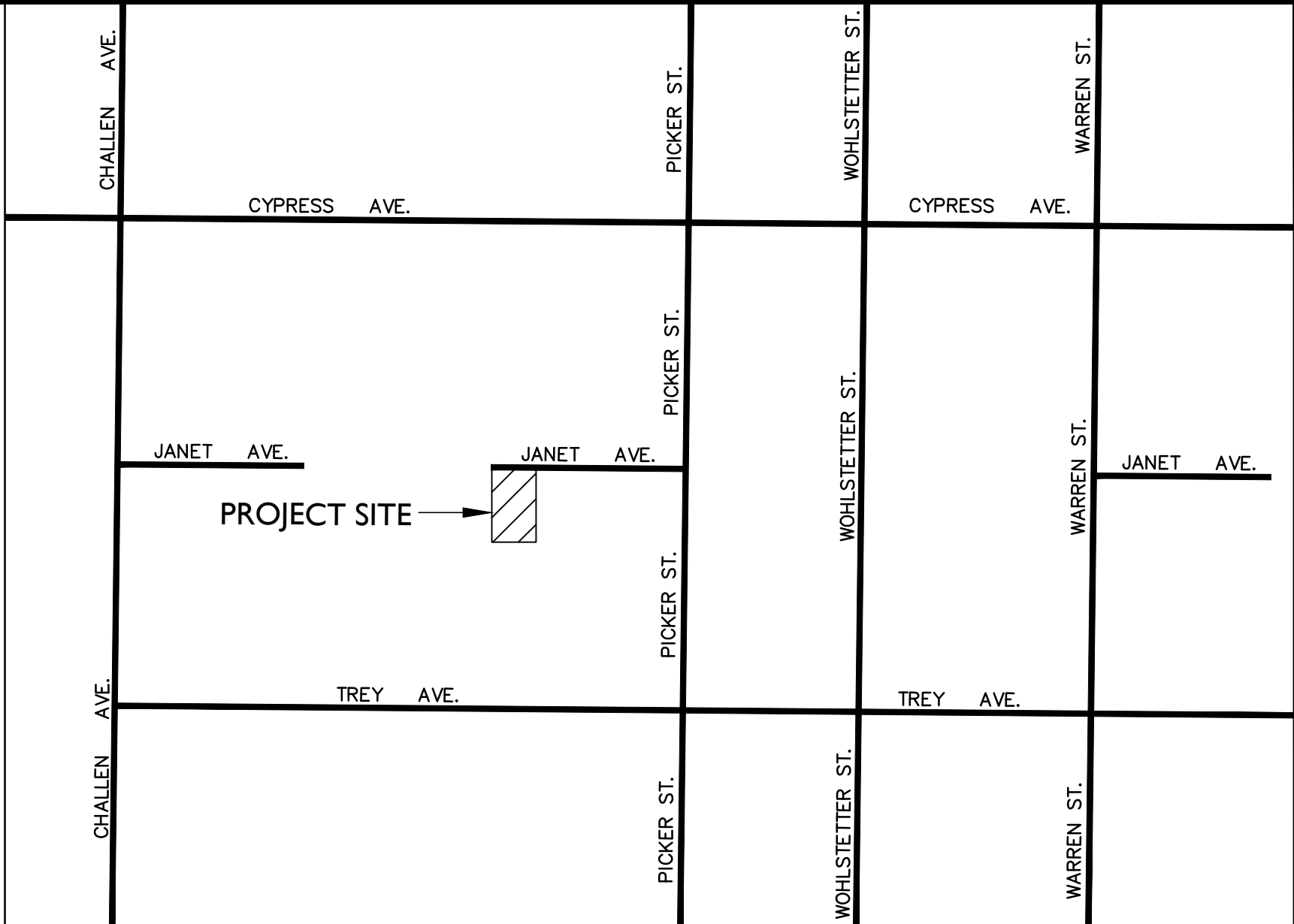
SHEET INDEX		
SHEET NUMBER	DESCRIPTION	SHEET NAME
1	TITLE SHEET	1 OF 6
2	TYPICAL CROSS SECTION	2 OF 6
3	CONSTRUCTION DETAILS	3 OF 6
4	HORIZONTAL CONTROL PLAN	4 OF 6
5	PRECISE GRADING PLAN	5 OF 6
6	EROSION CONTROL PLAN	6 OF 6

NOTES:

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AS WRITTEN AND PROMULGATED BY THE LATEST EDITION OF SOUTHERN CALIFORNIA CHAPTER OF THE A.P.W.A. A G.C.C. JOINT COOPERATIVE COMMITTEE HEREIN REFERRED TO AS THE STANDARD SPECIFICATIONS AND THE CITY OF SANTA ANA STANDARD PLANS & SPECIFICATIONS (UNLESS SPECIFICALLY NOTED OTHERWISE OR IN THE SPECIAL PROVISIONS FOR THIS PROJECT).

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY OR STRUCTURE SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. NO CERTIFICATION IS MADE AS TO ACCURACY OR THOROUGHNESS OF THESE RECORDS. APPROVAL OF THIS PLAN BY THE CITY OF SANTA ANA DOES NOT CONSTITUTE AN EXISTENCE OR NONEXISTENCE OF ANY UNDERGROUND UTILITY OR SUBSTRUCTURE WITHIN THE LIMITS OF THIS PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES (BY POTHOLES OR OTHER MEANS). THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (1-800-422-4133) 48 HOURS BEFORE ANY EXCAVATION.

THESE CONSTRUCTION DOCUMENTS WERE CREATED FROM DIGITIZED BASE INFORMATION PROVIDED BY THE CITY OF SANTA ANA. EXACT LAYOUTS OF ALL LANDSCAPE ELEMENTS MAY NEED TO BE MODIFIED AND SOME FIELD ADJUSTMENTS MAY BE NECESSARY. THE CONTRACTOR SHALL INCLUDE AS PART OF THE BID, TIME AND LABOR FOR ANY MODIFICATIONS NECESSARY TO IMPLEMENT THE INTENT OF THE DRAWINGS.



PROJECT CONTACTS:

OWNER/ DEVELOPER:
JOHNNY VU

1228 VILLAGE WAY #A
SANTA ANA, CA 92705
CONTACT: TONY VU
Tel: (714) 866-9931
EMAIL: Tonyvusa@yahoo.com

STRUCTURAL ENGINEER & T-24:
TRUONG DONG

10892 SILVER CIRCLE
GARDEN GROVE, CA 92843
Contact: (714) 204-2874
Email: Truongdong@gmail.com

ARCHITECT/CIVIL ENGINEER:
ND Engineering, Inc.

8781 Jennrich Ave.
Westminster, CA 92683
Contact: Thanh Nguyen
Tel: (909) 534-7760;
Email: Thanh.cpe20@gmail.com

SOIL ENGINEER:
CYRUS RADVAR

5 HODGENVILLE
IRVINE, CA 92620
Contact: (949) 872-9565
Email: Geoboden@geobodenninc.com

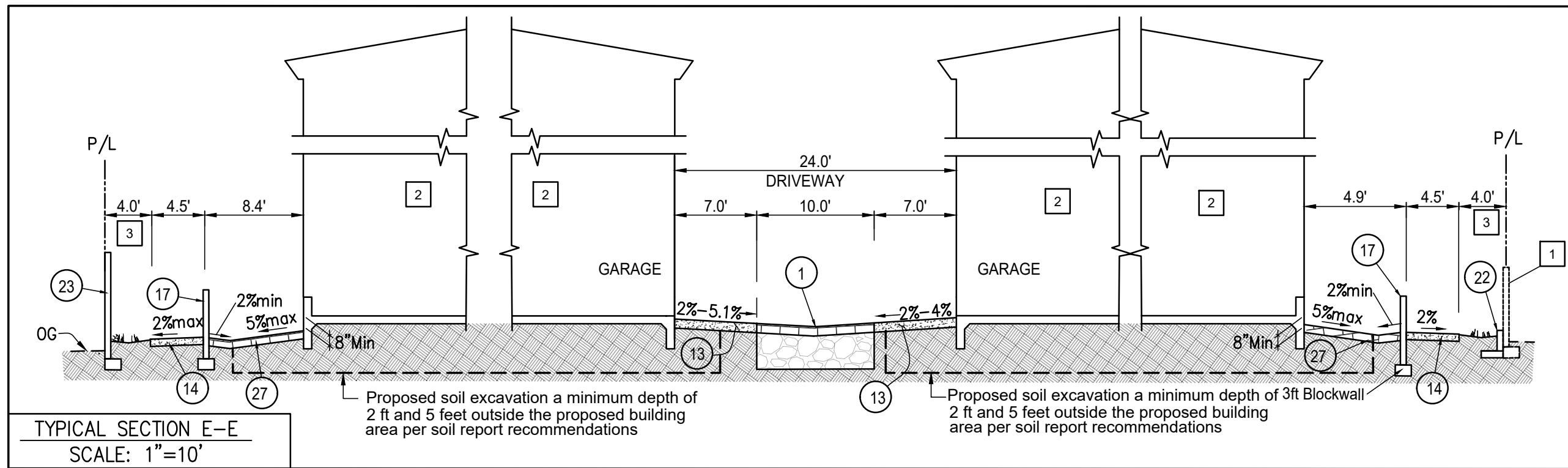
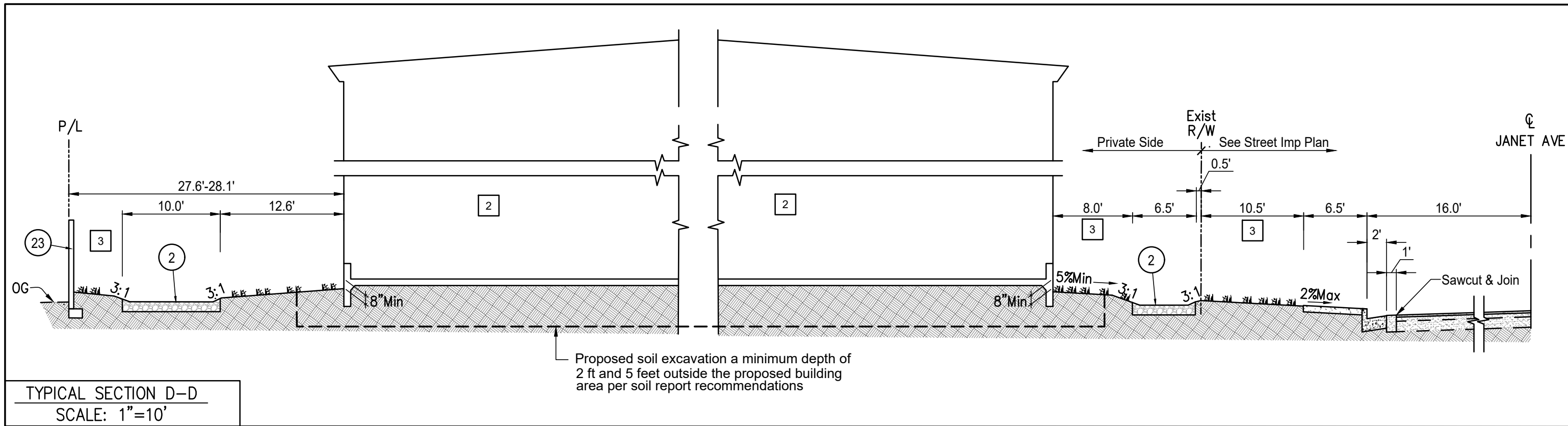
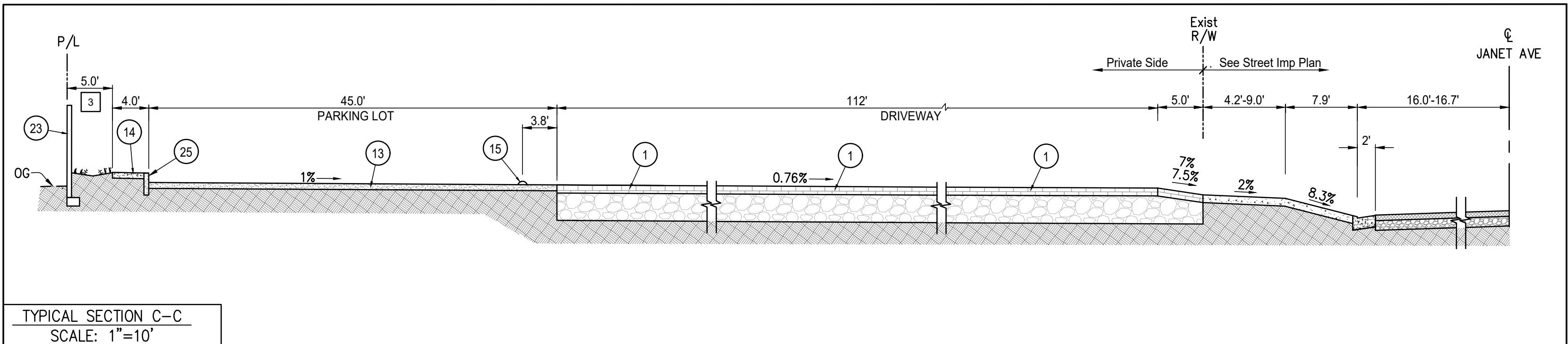
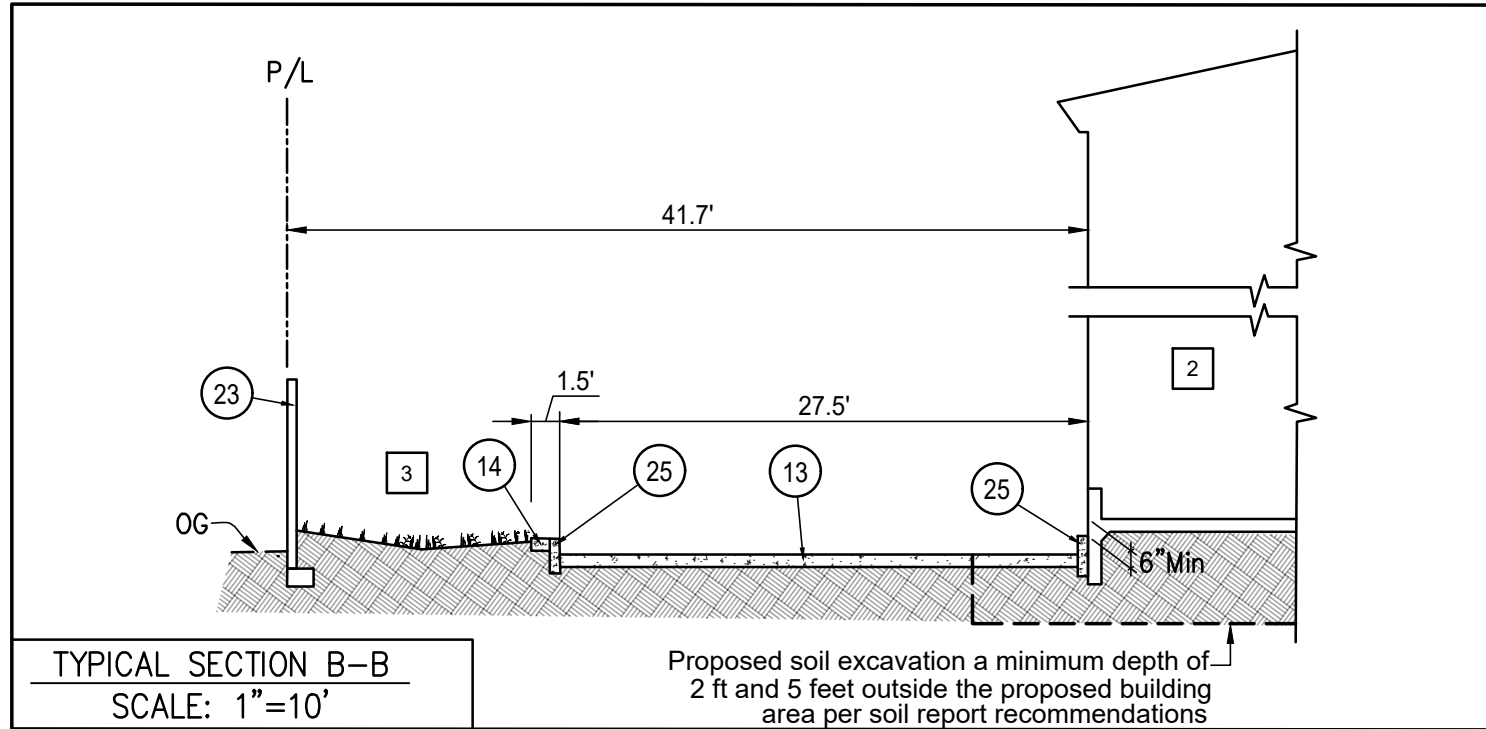
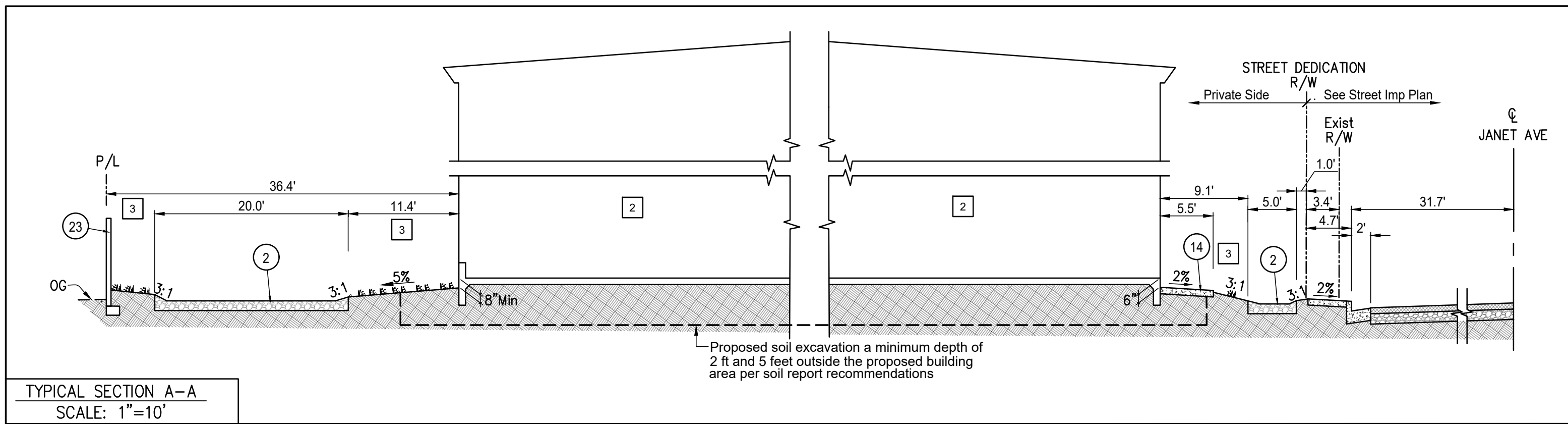
KEY NOTES:

- 1 PROTECT EXISTING BLOCKWALL IN PLACE
- 2 BUILDING STRUCTURE PER ARCHITECTURAL & STRUCTURAL PLANS
- 3 LANDSCAPED AREA, SEE LANDSCAPE PLAN
- 4 PROTECT EXISTING POWER POLE IN PLACE
- 5 TRASH ENCLOSURE PER ARCH PLAN AND SEPARATE PERMIT

CONSTRUCTION NOTES:

- 1 CONSTRUCT PERMEABLE PAVERS PER DETAIL ON SHEET 3
- 2 CONSTRUCT INFILTRATION TRENCH PER DETAIL ON SHEET 3
- 3 CONSTRUCT STORM DRAIN CLEANOUT PER DETAIL ON SHEET 3
- 4 CONSTRUCT CONCRETE INLET BOX STRUCTURE PER DETAIL ON SHEET 3
- 5 INSTALL 6" PVC RISER W/ATRIUM GATE INLET PER DETAIL ON SHEET 3
- 6 INSTALL RGS CATCH BASIN INSERT MODEL RGS-CB304 (TYPE CB24)
- 7 INSTALL SD13 STORMWATER MANAGEMENT SIGN PER DETAIL ON SHEET 3
- 8 DOWNSPOUT W/ SPLASH BLOCK PER DETAIL ON SHEET 3
- 9 INSTALL 4" PVC SCHEDULE 40 PIPE
- 10 INSTALL 6" PVC SCHEDULE 40 PIPE
- 11 CONSTRUCT AREA DRAIN INLET PER DETAIL ON SHEET 3
- 12 WOOD FENCE CUTOUT PER DETAIL ON SHEET 3
- 13 CONSTRUCT 6" PCC CONCRETE DRIVEWAY PER DETAIL ON SHEET 3
- 14 CONSTRUCT 4" PCC CONCRETE WALKWAY PER DETAIL ON SHEET 3
- 15 CONSTRUCT ASPHALT CONCRETE BERM (TYPE III-ROLLED) PER CITY STANDARD PLAN 250
- 16 INSTALL 3" PVC SCHEDULE 40 PIPE
- 17 CONSTRUCT 6 FEET WOOD FENCE/GATE
- 18 4.25 IN. X 3 IN. BEND-A-DRAIN DOWNSPOUT ADAPTOR BY ADVANCED DRAINAGE SYSTEMS
- 19 CONSTRUCT 4" PCC CONCRETE PAD FOR TRANSFORMER
- 20 INSTALL BIO-CLEAN CURB/INLET GUARD (MODEL #BC-CG2) PER DETAIL ON SHEET 3
- 21 CONSTRUCT 6" CURB TYPE II PER CITY STANDARD PLAN 200
- 22 CONSTRUCT RETAINING/GARDEN REINFORCED CONCRETE CURB PER DETAIL ON SHEET 3
- 23 CONSTRUCT 6" HIGH C.M.U BLOCK WALL WITH ATOP 2.5' MAX RETAINING WALL PER SEPARATE PERMIT
- 24 CONSTRUCT 3.5' C.M.U BLOCK WALL PER SEPARATE PERMIT
- 25 INSTALL "NO PARKING ON WASTE COLLECTION DAYS FROM 8 A.M. TO 4 P.M." SIGN
- 26 INSTALL 4'X8' WOOD PERGOLA PER SEPARATE BUILDING PERMIT
- 27 CONSTRUCT PERMEABLE PAVERS PER DETAIL-2 ON SHEET 3

	BENCHMARK: G3-N3; ELEVATION = 737.942		CITY OF BUSINESS TAX CERT. No.12363946, EXP. 12/31/22	MARK	REVISIONS	APPR. DATE	DESIGNED BY _____ DRAWN BY _____ CHECKED BY _____	PLANNING DIVISION ENVIRONMENTAL REVIEW REQUIRED	APPROVED BY: _____ DATE _____	TITLE SHEET for THE JANET GARDEN TOWNHOMES 8390 JANET AVENUE	GP2021-21787		
	NAVD88 (1997 ADJ) P.K. NAIL AND CITY ENGINEER TAG IN THE NORTHWEST CORNER OF A CATCH BASIN ALONG THE NORTHERLY CURB OF CYPRESS AVENUE AT THE NORTHWEST CURB RETURN OF CYPRESS AVENUE AND WOHLSETER STREET. SET AND ADJUSTED AS PART OF THE BRYANT PARK PROJECT		ADDRESS: 14572 HARPER STREET MIDWAY CITY, CA 92655 TEL. No. (909) 534-7760 PLANS PREPARED UNDER THE SUPERVISION OF THANH C. NGUYEN, R.C.E. No.: 81016 EXP.: 09/30/23									4/15/22 DATE	
PR-2020-000190 (TTM, DR, VR) – Exhibit 8 – Project Plans								HORIZONTAL SCALE: AS SHOWN				VERTICAL SCALE: AS SHOWN	

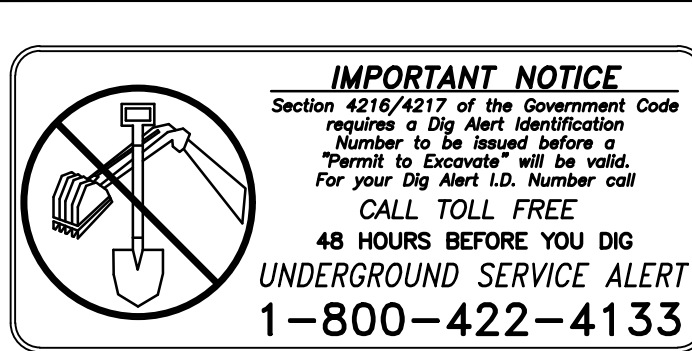


KEY NOTES:

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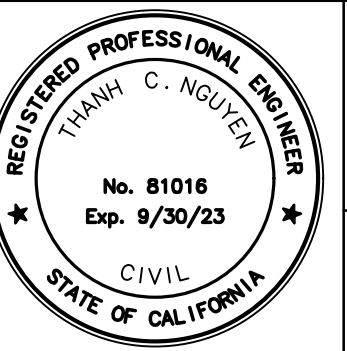
CONSTRUCTION NOTES:

- 1 CONSTRUCT PERMEABLE PAVERS PER DETAIL "A", SEE SHEET 3
- 2 CONSTRUCT INFILTRATION TRENCH PER DETAIL "B", SEE SHEET 3
- 13 CONSTRUCT 6" PCC CONCRETE DRIVEWAY PER DETAIL "M", SEE SHEET 3
- 14 CONSTRUCT 4" PCC CONCRETE WALKWAY PER DETAIL "N", SEE SHEET 3
- 15 CONSTRUCT ASPHALT CONCRETE BERM (TYPE III-ROLLED) PER CITY STANDARD PLAN 250
- 17 CONSTRUCT 3 FEET HIGH CMU WALL PER SEPARATE PERMIT
- 22 CONSTRUCT RETAINING/GARDEN REINFORCED CONCRETE CURB PER DETAIL "O" ON SHEET 3
- 23 CONSTRUCT 6' HIGH C.M.U BLOCK WALL WITH ATOP 2.5' MAX RETAINING WALL PER SEPARATE PERMIT
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BENCHMARK: C3-N3;
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NAVD88 (1997 ADJ)
P.K. NAIL AND CITY ENGINEER TAG IN
THE NORTHWEST CORNER OF A CATCH
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AS PART OF THE BRYANT PARK PROJECT



CITY OF BUSINESS TAX CERT. No.12363946, EXP. 12/31/22

ND ENGINEERING, INC.
ADDRESS: 14572 HARPER STREET
MIDWAY CITY, CA 92655
TEL. No. (909) 534-7760

PLANS PREPARED UNDER THE SUPERVISION OF
THANH C. NGUYEN, R.C.E. No.: 81016
EXP.: 09/30/23

4/15/22
DATE

MARK	REVISIONS	APPR.	DATE

PLANNING DIVISION
ENVIRONMENTAL REVIEW REQUIRED

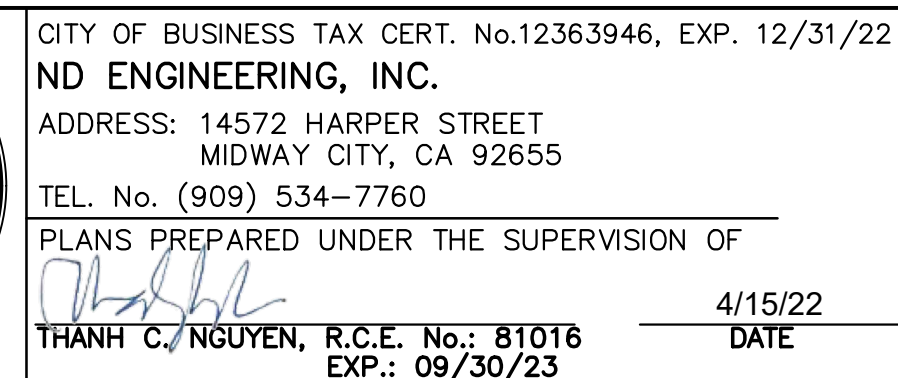
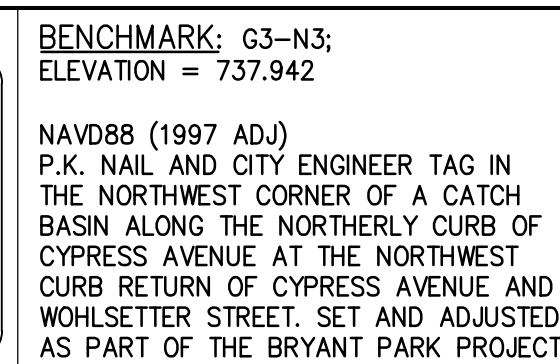
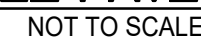
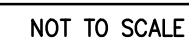
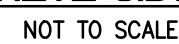
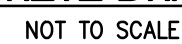
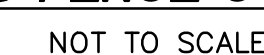
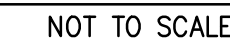
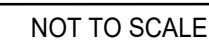
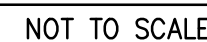
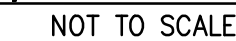
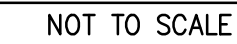
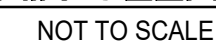
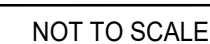
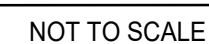
APPROVED BY: _____ DATE _____

TYPICAL CROSS SECTION for
THE JANET GARDEN TOWNHOMES
8390 JANET AVENUE

HORIZONTAL SCALE: AS SHOWN
VERTICAL SCALE: AS SHOWN

GP2021-21787

SHEET 2 OF 6



MARK	REVISIONS			APPR.
				DAT
DESIGNED BY _____ DRAWN BY _____ CHECKED BY _____				

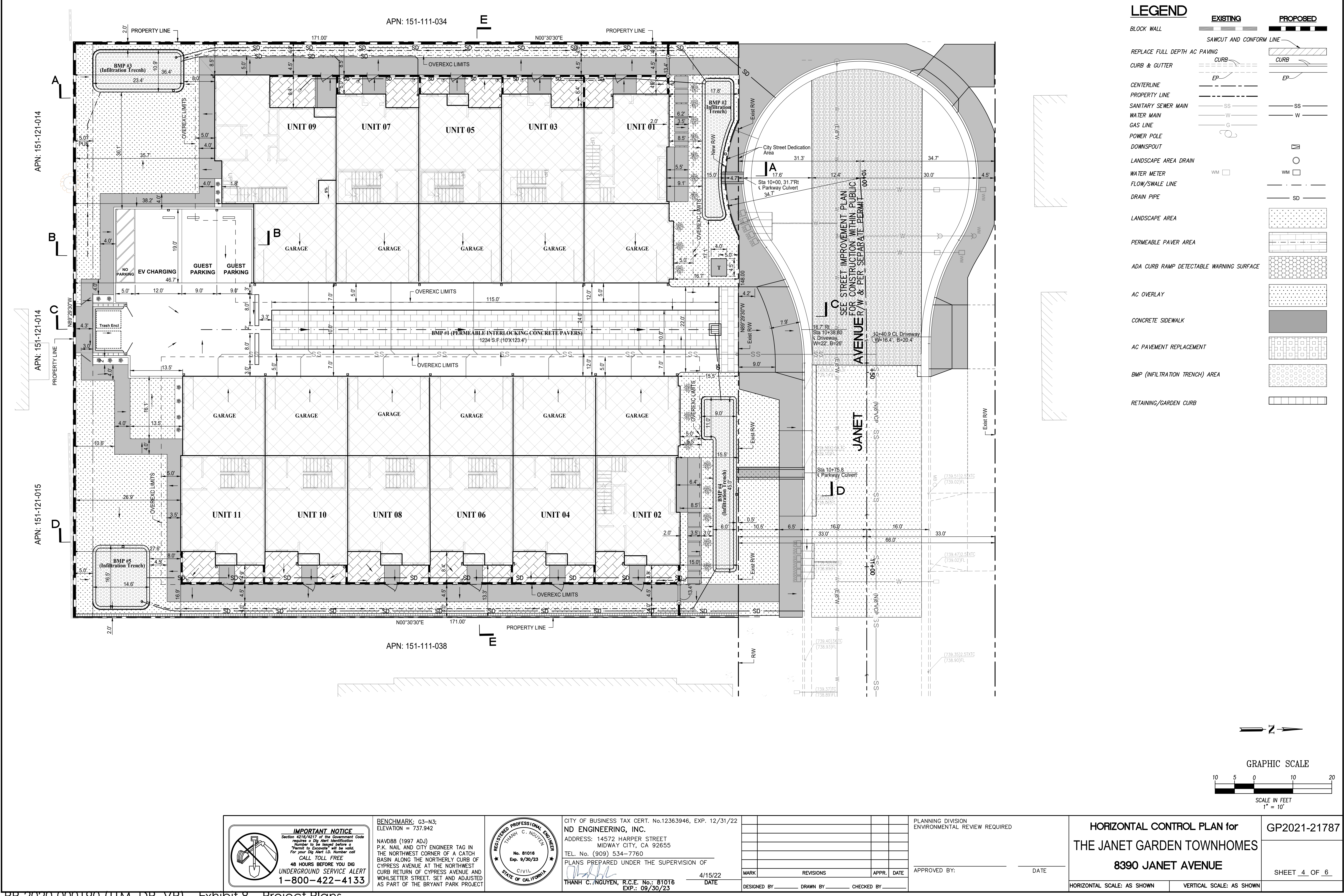
APPROVED BY:

DATE _____

HORIZONTAL SCALE: AS SHOWN

VERTICAL SCALE: AS SHOWN

SHEET 3 OF 6



IMPORTANT NOTICE
Section 4216/4217 of the Government Code requires a Dig Alert Identification Number to be issued before a "Permit to Excavate" will be valid. For your Dig Alert ID Number call CALL TOLL FREE 48 HOURS BEFORE YOU DIG UNDERGROUND SERVICE ALERT 1-800-422-4133

BENCHMARK: G3-N3;
ELEVATION = 737.942

NAVDB8 (1997 ADJ)
P.K. NAIL AND CITY ENGINEER TAG IN THE NORTHWEST CORNER OF A CATCH BASIN ALONG THE NORTHERLY CURB OF CYPRESS AVENUE AT THE NORTHWEST CURB RETURN OF CYPRESS AVENUE AND WOHLSETTER STREET. SET AND ADJUSTED AS PART OF THE BRYANT PARK PROJECT



CITY OF BUSINESS TAX CERT. No.12363946, EXP. 12/31/22

ND ENGINEERING, INC.
ADDRESS: 14572 HARPER STREET
MIDWAY CITY, CA 92655
TEL. No. (909) 534-7760

PLANS PREPARED UNDER THE SUPERVISION OF

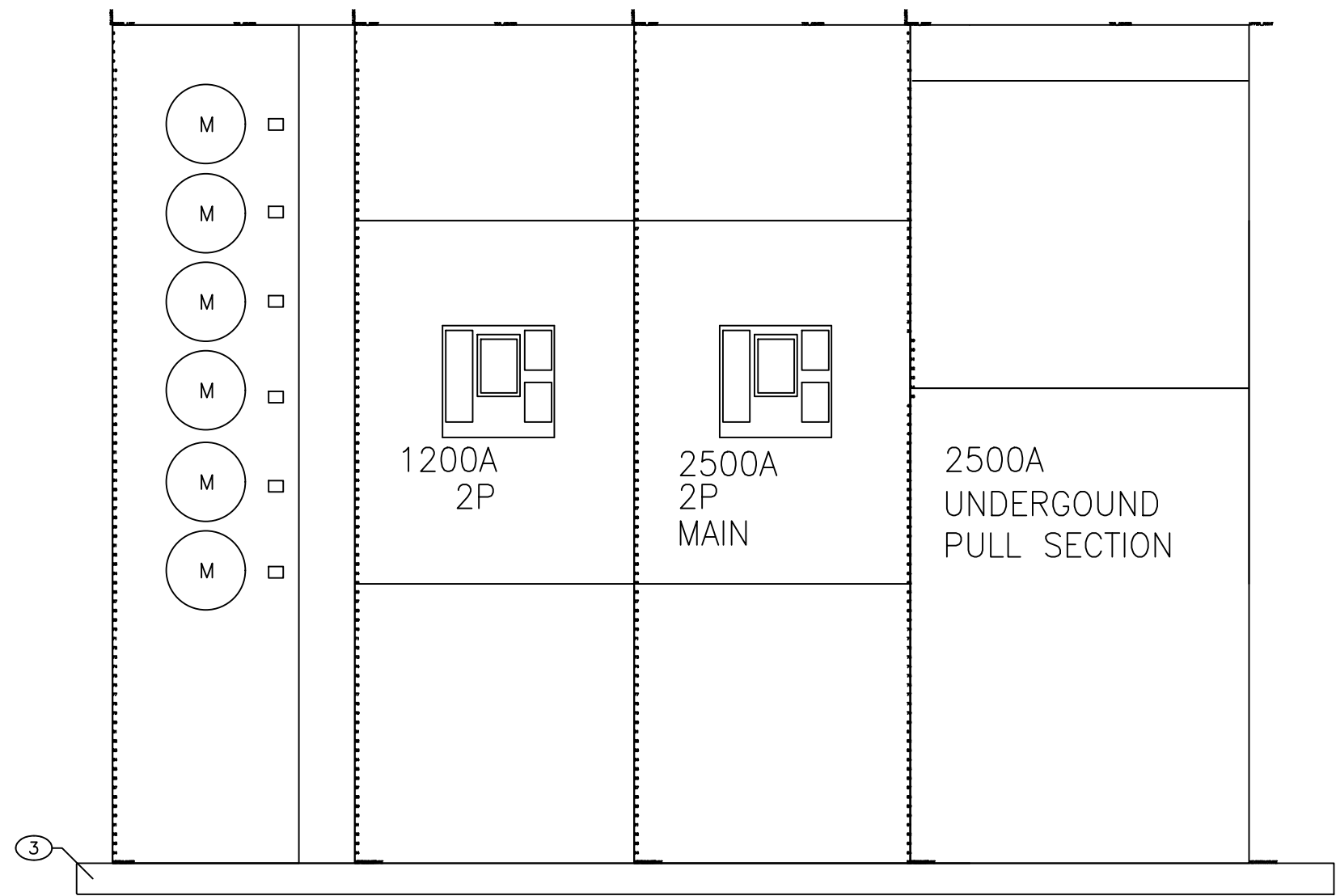
THANH C. NGUYEN, R.C.E. No.: 81016
EXP.: 09/30/23

MARK	REVISIONS	APPR.	DATE

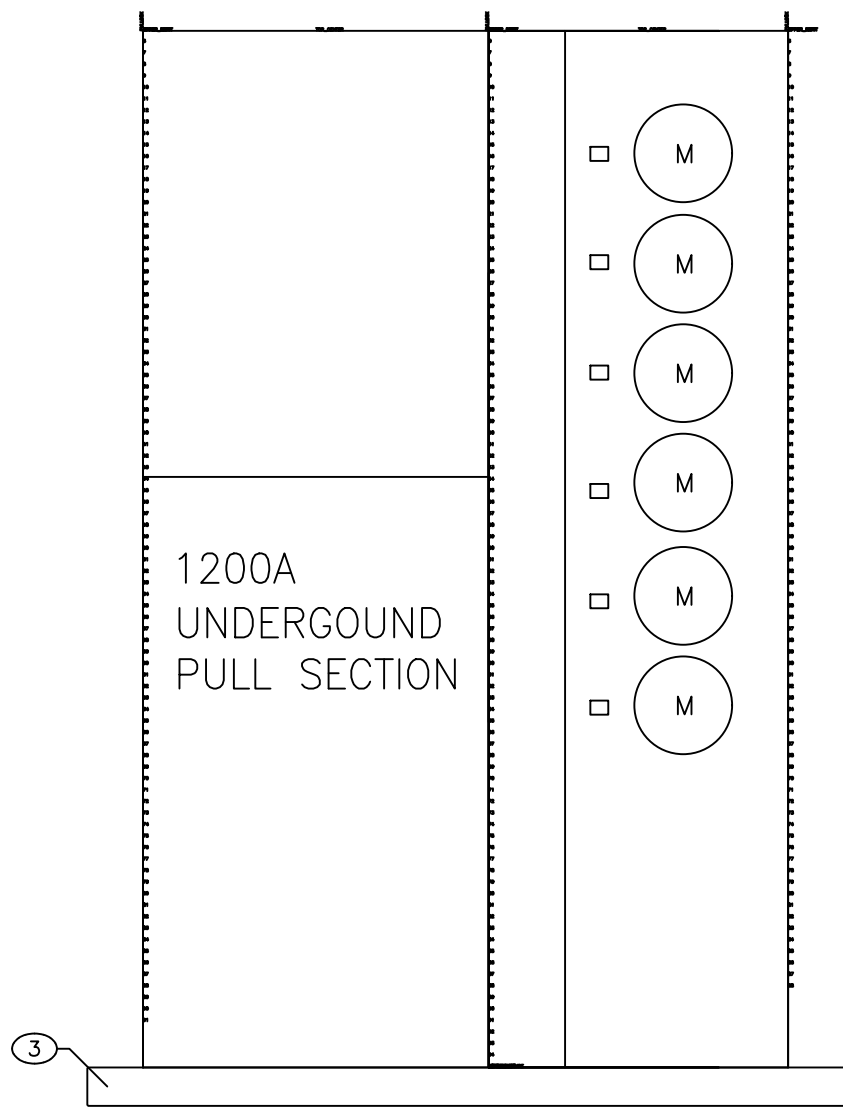
PLANNING DIVISION
ENVIRONMENTAL REVIEW REQUIRED

APPROVED BY: _____ DATE _____

HORIZONTAL CONTROL PLAN for THE JANET GARDEN TOWNHOMES 8390 JANET AVENUE		GP2021-21787
HORIZONTAL SCALE: AS SHOWN		VERTICAL SCALE: AS SHOWN
SHEET 4 OF 6		



ELEVATION "MSB"
NOT TO SCALE



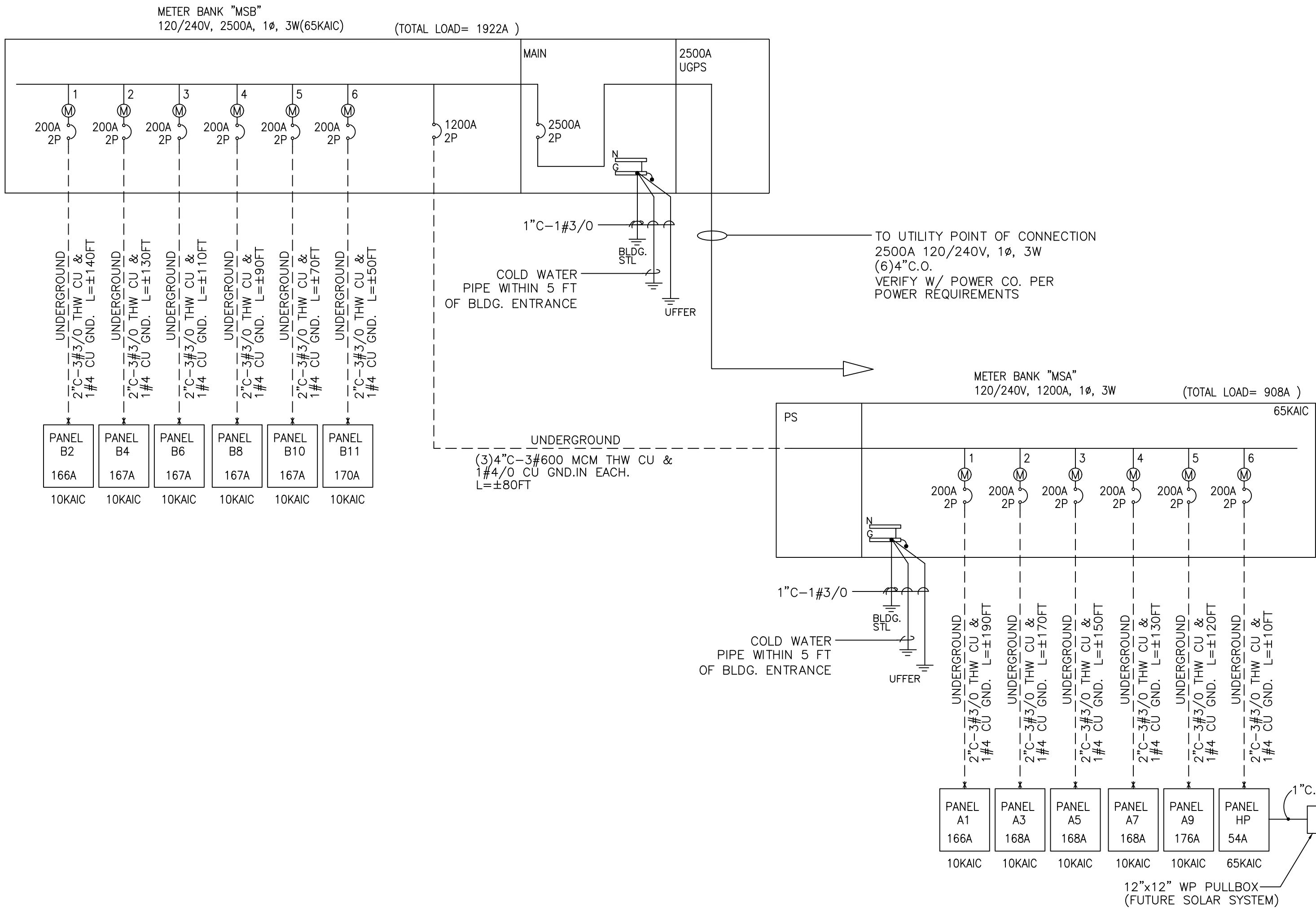
ELEVATION "MSA"
NOT TO SCALE

GENERAL NOTES

1. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATION OF MECHANICAL EQUIPMENT.
2. FEEDER LENGTH SHOWN ON THE SINGLE LINE DIAGRAM IS AN ESTIMATION USE FOR CALCULATION PURPOSE ONLY, NOT FOR PRICING. CONTRACTOR SHALL FIELD COORDINATE AND DETERMINE FEEDER ROUTING AND VERIFY FEEDER LENGTH. UPDATE INFORMATION ON SINGLE LINE DIAGRAM.
3. ALL TERMINATIONS AND ENCLOSURES TO BE RATED FOR USE WITH 75 DEGREES C CONDUCTORS.
4. ALL FUSE TYPES SHALL BE VERIFIED WITH EQUIPMENT MANUFACTURER. ALL FUSE HOLDERS SHALL HAVE REJECTION CLIPS. FUSE TYPE SHALL BE DUAL ELEMENT TIME DELAY.
5. ALL AIC RATINGS INDICATED ARE MINIMUM. ALL EQUIPMENT TO BE FULLY RATED, SERIES RATED EQUIPMENT IS NOT ACCEPTED.
6. SWITCHBOARDS, PANELBOARDS, CONTROL PANELS AND MOTOR CONTROL CENTERS AND HVAC UNITS WILL NEED TO BE FIELD MARKED BY CONTRACTOR TO WARN QUALIFIED PERSONNEL OF THE POTENTIAL ARC FLASH HAZARDS AND THE APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT (PPE) PER 02 NEC ART 110-16 AND NFPA 70E-1250. THE MARKINGS SHALL BE LOCATED SO AS TO BE CLEARLY VISIBLE TO QUALIFIED PERSONS BEFORE EXAMINATION, ADJUSTMENT, SERVICING, OR MAINTENANCE OF THE EQUIPMENT.
7. NO PIPING, DUCTS OR EQUIPMENT FOREIGN TO ELECTRICAL EQUIPMENT SHALL BE PERMITTED TO BE LOCATED WITHIN THE DEDICATED SPACE ABOVE THE ELECTRICAL EQUIPMENT.
8. EQUIPMENT MANUFACTURER SHALL BE SIEMENS OR APPROVED EQUAL.
9. UNLESS LISTED OTHERWISE, THE AMPACITY OF 600 VOLTS OR LESS CONDUCTORS SHALL BE BASED ON THE TERMINALS NOT TO EXCEED 60°C (140°F) FOR CONDUCTORS SIZE 14 THROUGH 1AWG OR 75°C (167°F) FOR CONDUCTORS SIZES OVER 1AWG.

KEYED NOTES

1. PROVIDE CONCRETE ENCASED GROUNDING ELECTRODE CONSISTING OF MINIMUM 20FT OF #3/0 AWG BARE COPPER INSTALLED PER CEC ARTICLE 250.52(A)(3).
2. NOT USED.
3. PROVIDE 4" HOUSE KEEPING PAD FOR MAIN SWITCHBOARD.



"MSB"LOAD CALCULATION

PANEL"B2"	=	166A
PANEL"B4"	=	167A
PANEL"B6"	=	167A
PANEL"B8"	=	167A
PANEL"B10"	=	169A
PANEL"B11"	=	170A
METER BANK "MSA"	=	908A
25% OF LARGEST MOTOR	=	8A
TOTAL LOAD	=	1922A

"MSA"LOAD CALCULATION

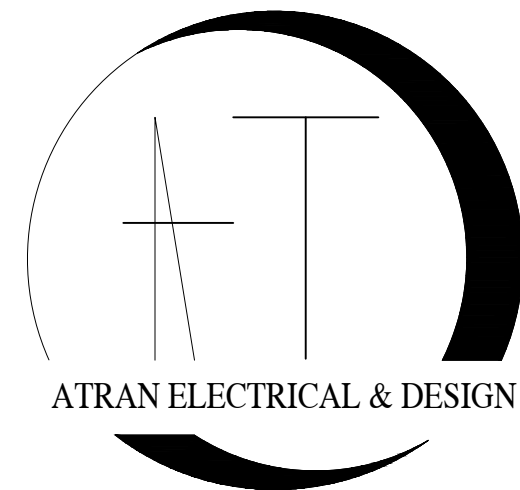
HOUSE PANEL "HP"	=	54A
PANEL"A1"	=	166A
PANEL"A3"	=	168A
PANEL"A5"	=	168A
PANEL"A7"	=	168A
PANEL"A9"	=	176A
25% OF LARGEST MOTOR	=	8A
TOTAL LOAD	=	908A

SINGLE LINE DIAGRAM

N.T.S.

SHORT CIRCUIT DUTY NOTES:

- ◇ SERIES RATED CIRCUIT BREAKER – PROVIDE MARKING IN ACCORDANCE WITH NEC SECTION 110-22. MARKING SHALL READ "CAUTION – SERIES RATED SYSTEM 100,000AMPS AVAILABLE. IDENTIFIED REPLACEMENT COMPONENT REQUIRED." DISTRIBUTION BREAKERS SHALL PROTECT ALL DOWNSTREAM PANELBOARD BREAKERS. SERIES RATED CIRCUIT BREAKER SHALL BE AS FOLLOWING OR EQUAL :



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ANDREW TRAN

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SUBMITAL

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DESIGN
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ADDRESS

8390 JANET AVE.
RIVERSIDE, CA 92503



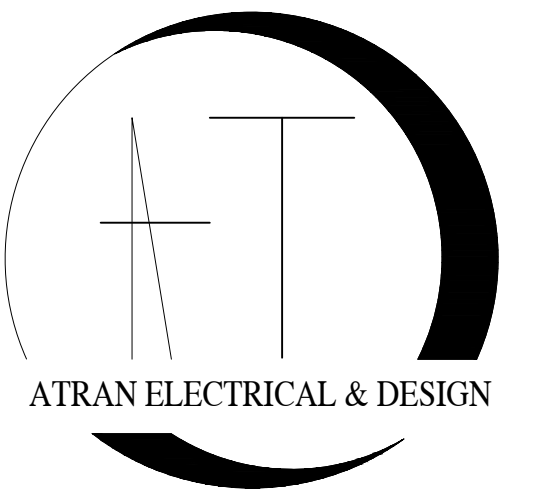
STAMP:

SHEET TITLE:

SINGLE LINE
DIAGRAM
NOTES

SHEET NO.:

E-0.1



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ADDRESS

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RIVERSIDE, CA
92503



STAMP:

SHEET TITLE:

**FIRST FLOOR
POWER
PLAN**

SHEET NO.:

E-1.1

UNIT 1
1ST FLOOR PLAN
FOR UNIT 1 POWER PLAN
REFER TO SHEET E-1.3

UNIT 3
1ST FLOOR PLAN
FOR UNIT 3 POWER PLAN
REFER TO SHEET E-1.3

UNIT 5
1ST FLOOR PLAN
SAME AS UNIT 3 POWER PLAN
REFER TO SHEET E-1.3

UNIT 7
1ST FLOOR PLAN
SAME AS UNIT 3 POWER PLAN
REFER TO SHEET E-1.3

UNIT 9
1ST FLOOR PLAN
FOR UNIT 9 POWER PLAN
REFER TO SHEET E-1.3

WP HOUSE
PANEL "HPA"
120/240V-1Ø-3W
200A

WP METER "MSA"
1200A-120/240V-1Ø-3W

FIRST FLOOR POWER PLAN
SCALE: 1/8" = 1'-0"

UNIT 2
1ST FLOOR PLAN
FOR UNIT 2 POWER PLAN
REFER TO SHEET E-1.4

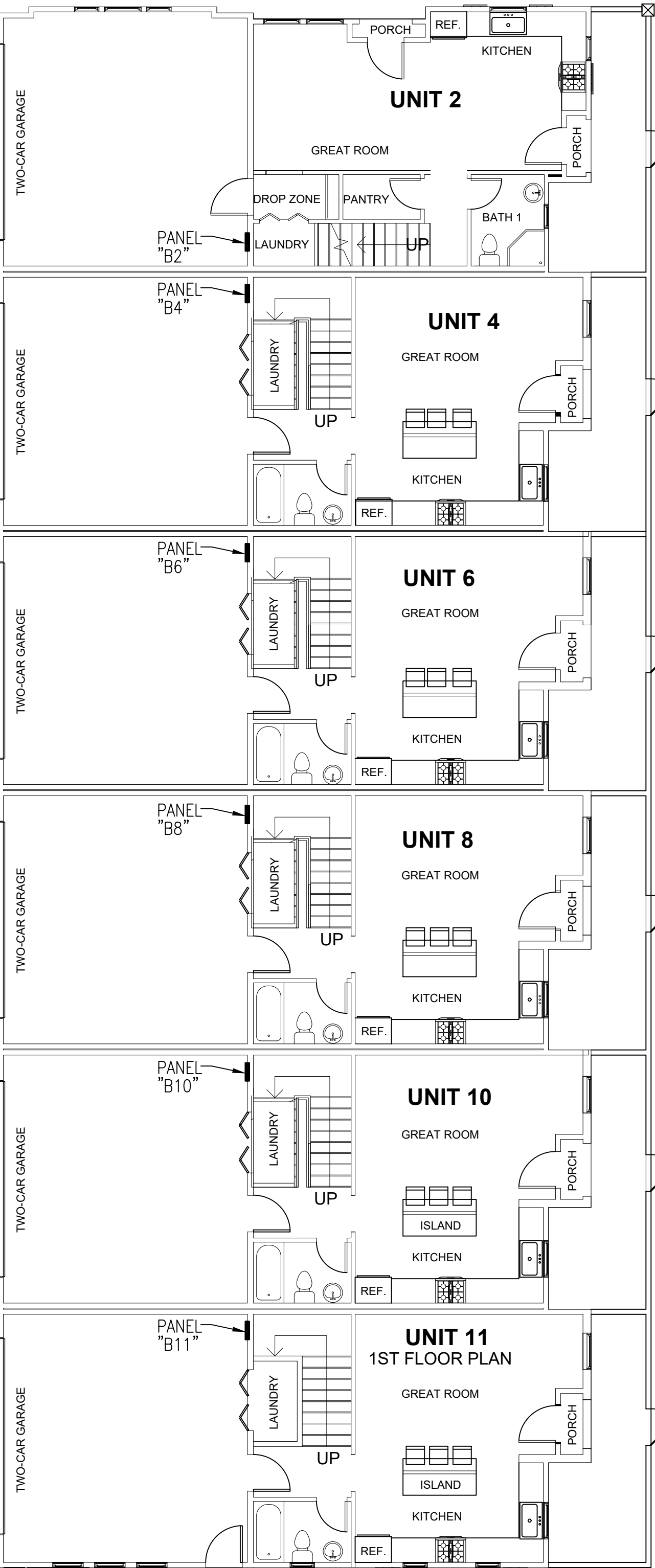
UNIT 4
1ST FLOOR PLAN
FOR UNIT 4 POWER PLAN
REFER TO SHEET E-1.4

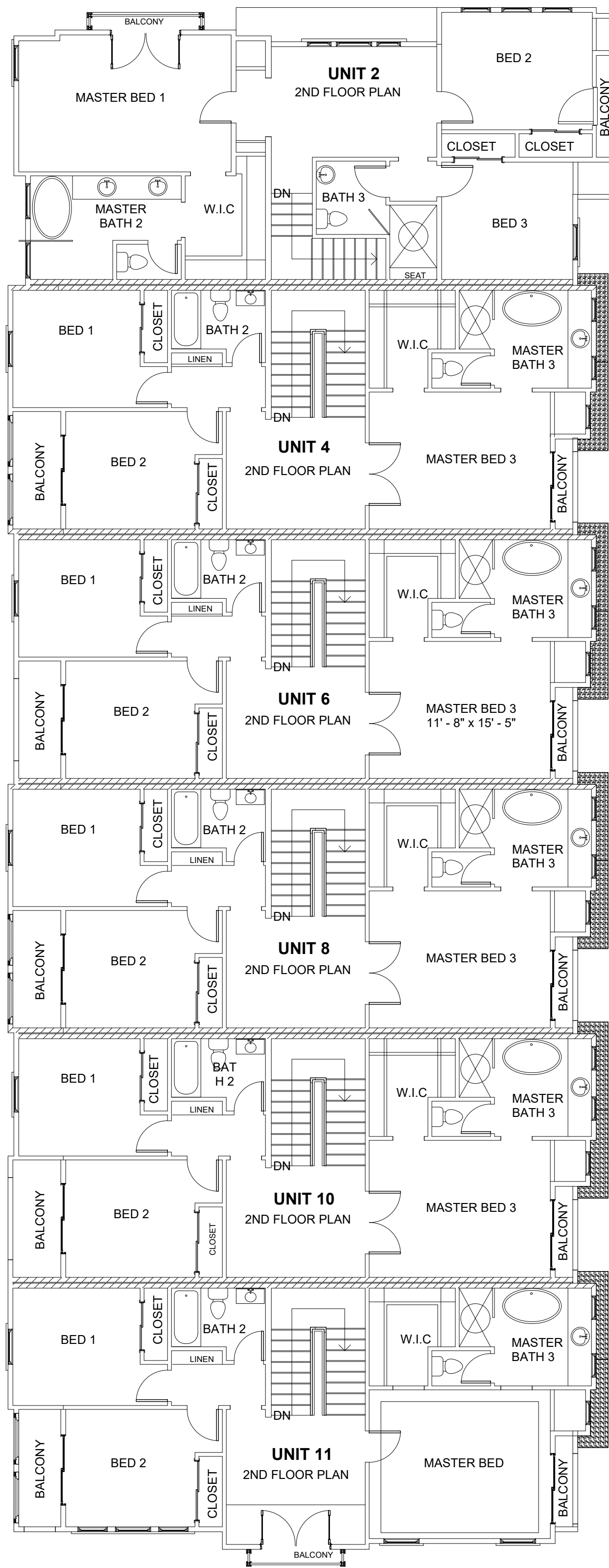
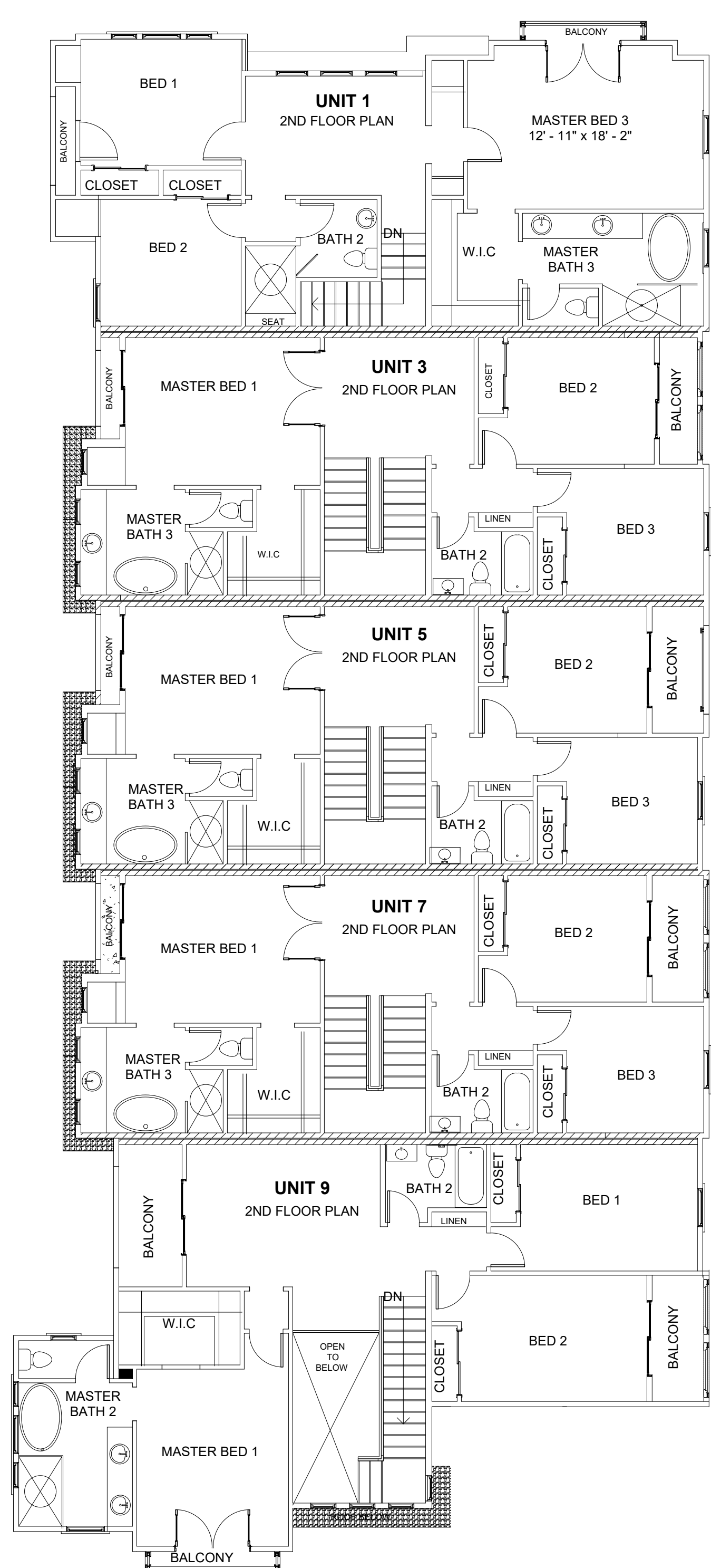
UNIT 6
1ST FLOOR PLAN
SAME AS UNIT 4 POWER PLAN
REFER TO SHEET E-1.4

UNIT 8
1ST FLOOR PLAN
SAME AS UNIT 4 POWER PLAN
REFER TO SHEET E-1.4

UNIT 10
1ST FLOOR PLAN
SAME AS UNIT 4 POWER PLAN
REFER TO SHEET E-1.4

LOT 11
1ST FLOOR PLAN
FOR LOT 11 POWER PLAN
REFER TO SHEET E-1.4





UNIT 1
2ND FLOOR PLAN
FOR UNIT 1 POWER PLAN
REFER TO SHEET E-1.3

UNIT 3
2ND FLOOR PLAN
FOR UNIT 3 POWER PLAN
REFER TO SHEET E-1.3

UNIT 5
2ND FLOOR PLAN
SAME AS UNIT 3 POWER PLAN
REFER TO SHEET E-1.3

UNIT 7
2ND FLOOR PLAN
SAME AS UNIT 3 POWER PLAN
REFER TO SHEET E-1.3

UNIT 9
2ND FLOOR PLAN
FOR UNIT 9 POWER PLAN
REFER TO SHEET E-1.3

UNIT 2
2ND FLOOR PLAN
FOR UNIT 2 POWER PLAN
REFER TO SHEET E-1.4

UNIT 4
2ND FLOOR PLAN
FOR UNIT 4 POWER PLAN
REFER TO SHEET E-1.4

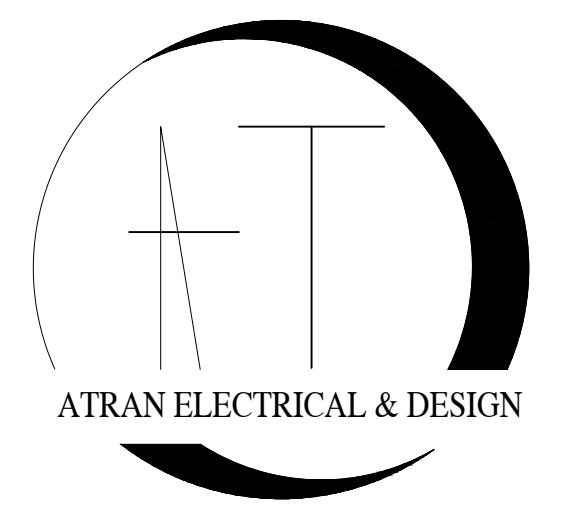
UNIT 6
2ND FLOOR PLAN
SAME AS UNIT 4 POWER PLAN
REFER TO SHEET E-1.4

UNIT 8
2ND FLOOR PLAN
SAME AS UNIT 4 POWER PLAN
REFER TO SHEET E-1.4

UNIT 10
2ND FLOOR PLAN
SAME AS UNIT 4 POWER PLAN
REFER TO SHEET E-1.4

UNIT 11
2ND FLOOR PLAN
FOR UNIT 11 POWER PLAN
REFER TO SHEET E-1.4

SECOND FLOOR POWER PLAN
SCALE: 1/8" = 1'-0"



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**ELECTRICAL
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11 UNTS TOWNHOUSE**

ADDRESS

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RIVERSIDE, CA
92503



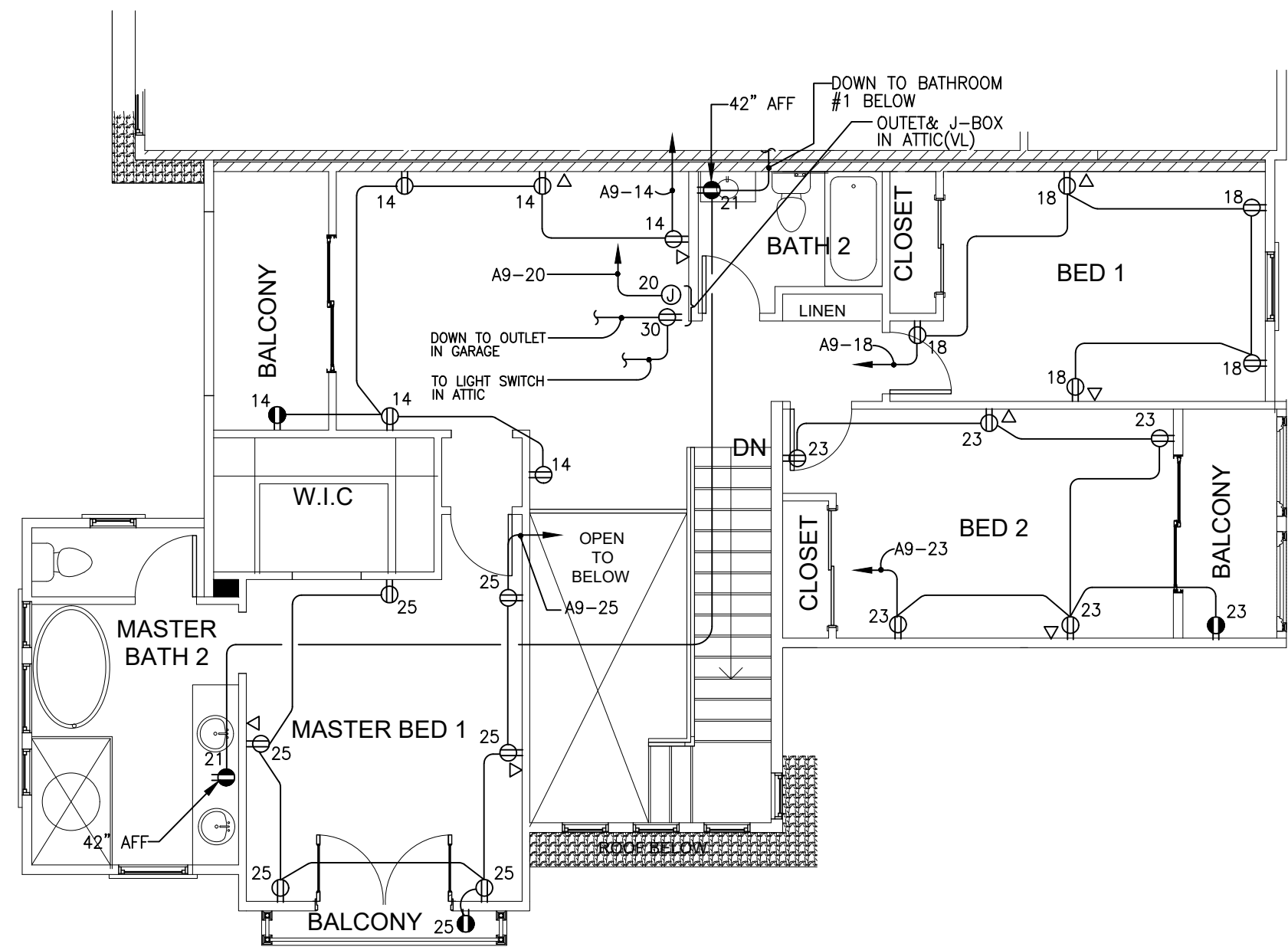
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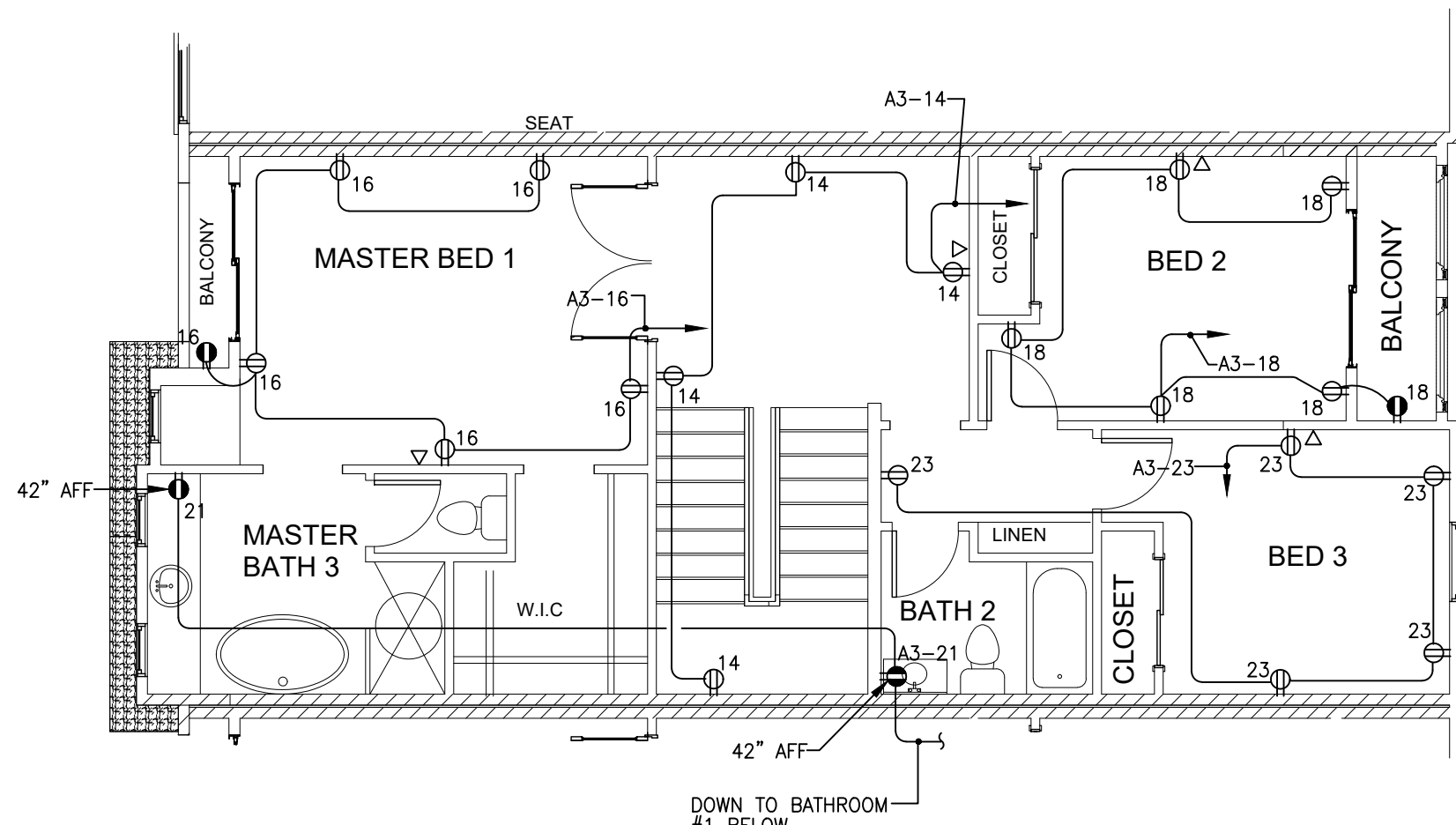
**SECOND FLOOR
POWER
PLAN**

SHEET NO.:

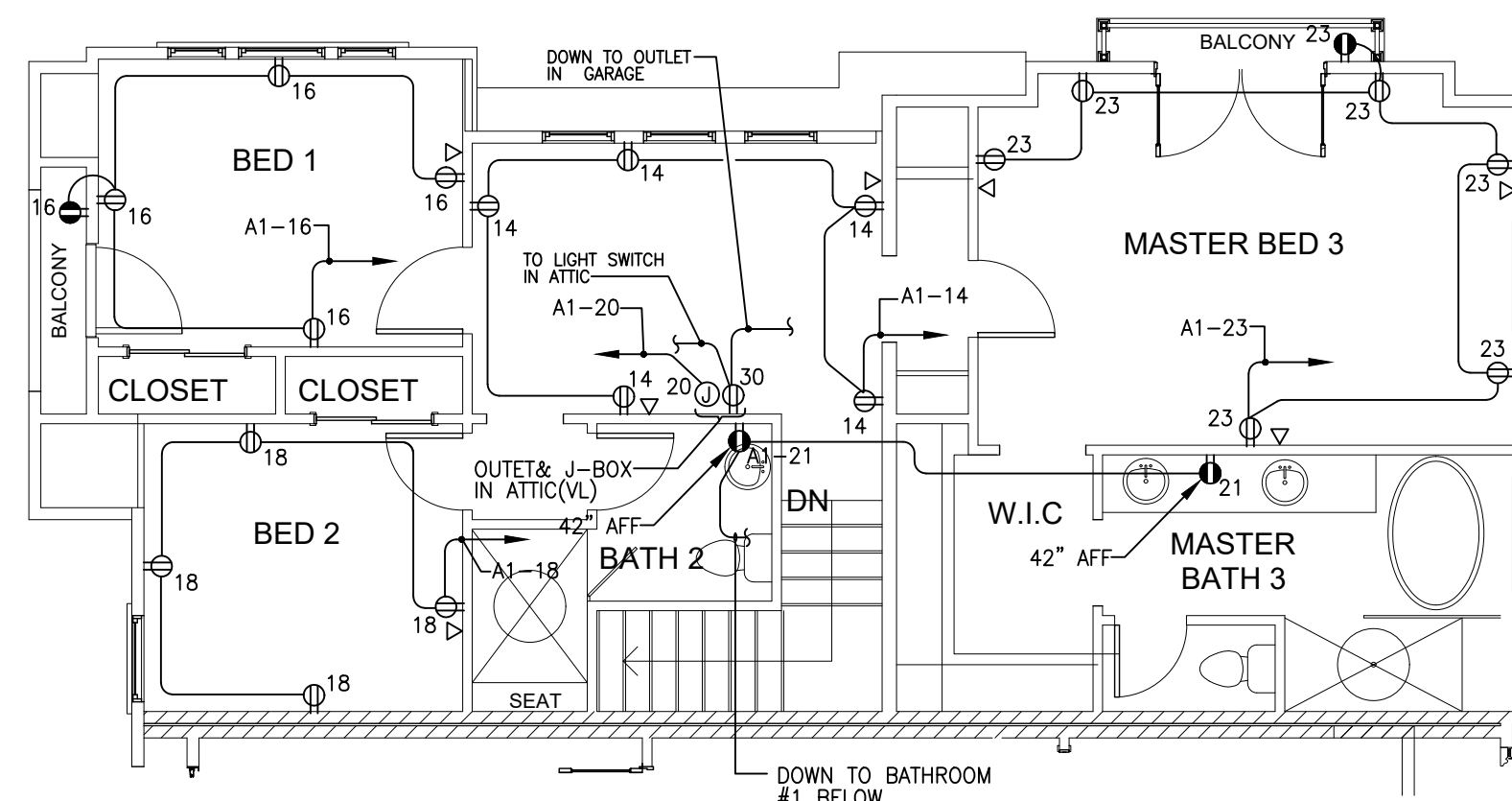
E-1.2



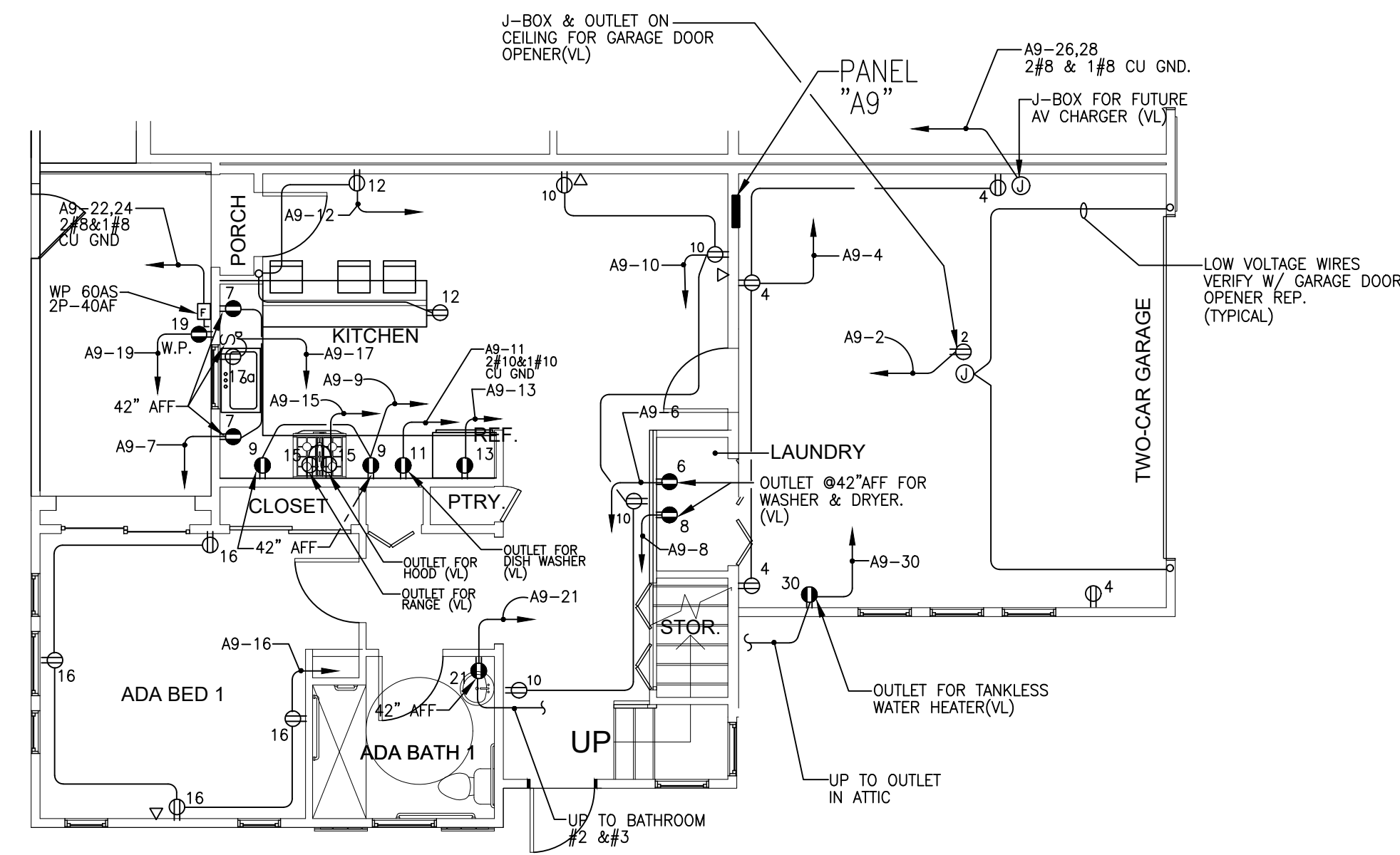
UNIT #9
SECOND FLOOR POWER PLAN
SCALE:3/16" = 1'-0"



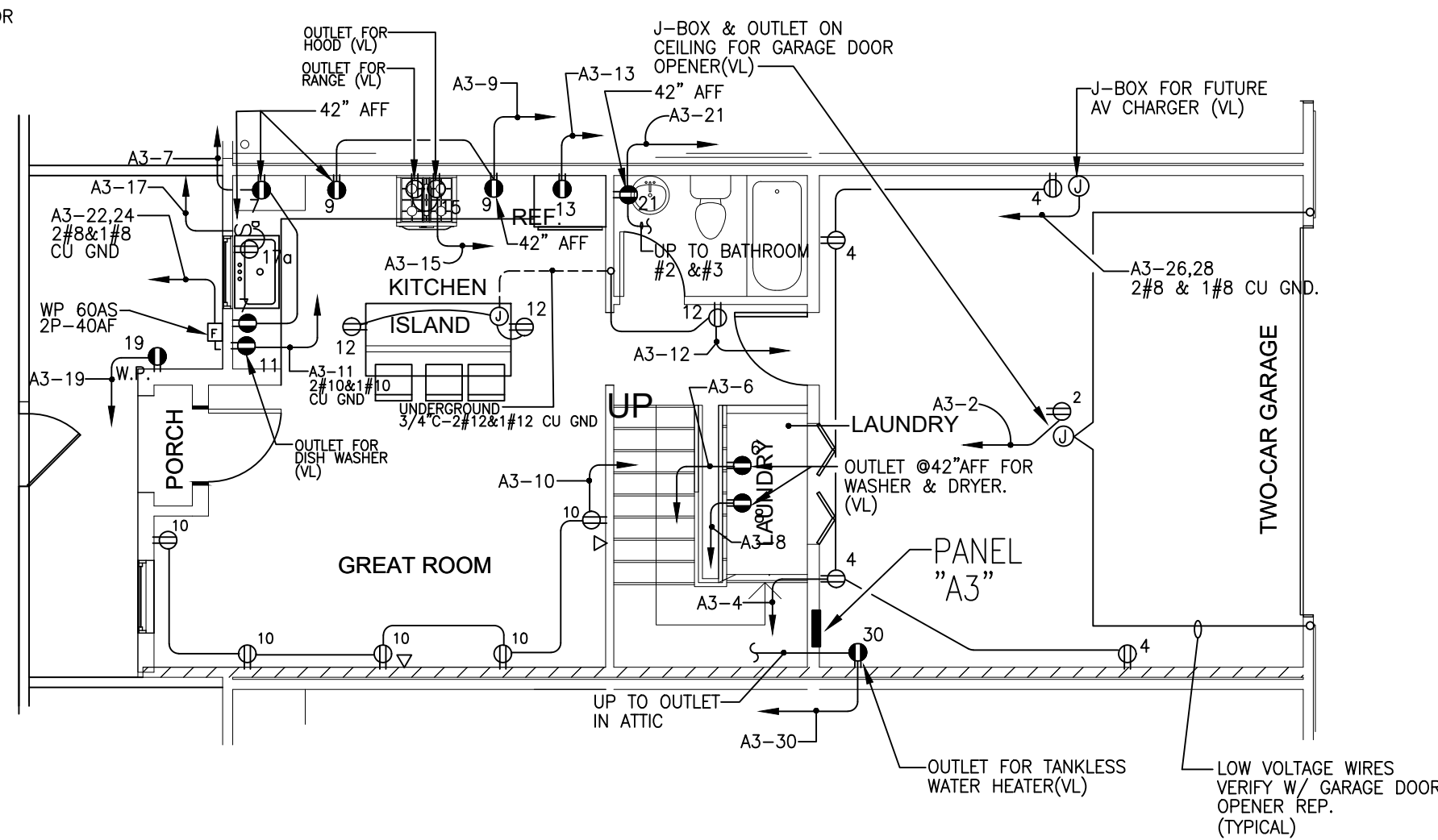
UNIT #3
SECOND FLOOR POWER PLAN
SCALE:3/16" = 1'-0"
(TYPICAL FOR UNIT#5 & UNIT#7)



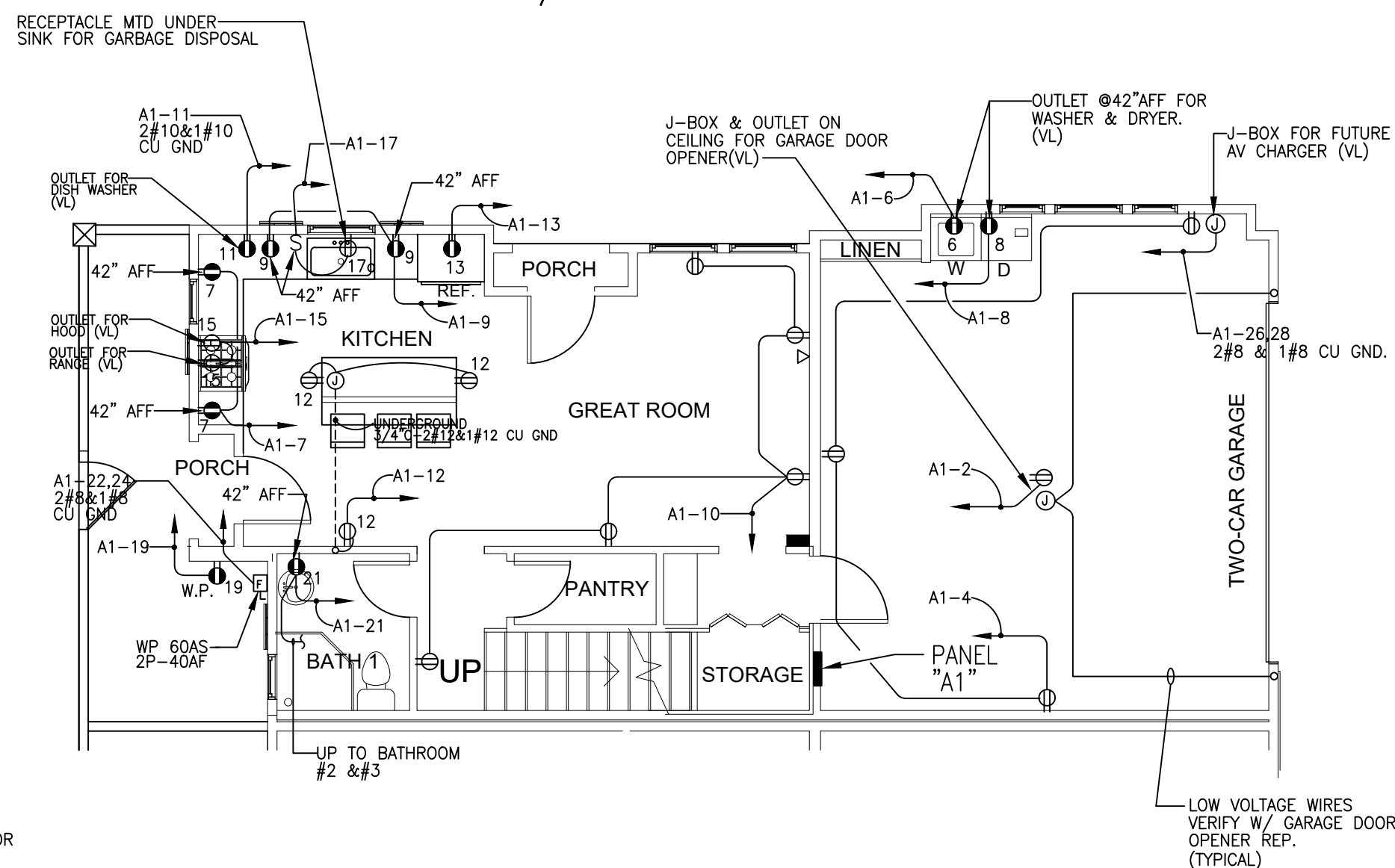
UNIT #1
SECOND FLOOR POWER PLAN
SCALE:3/16" = 1'-0"



UNIT #9
FIRST FLOOR POWER PLAN
SCALE:3/16" = 1'-0"



UNIT #3
FIRST FLOOR POWER PLAN
SCALE:3/16" = 1'-0"
(TYPICAL FOR UNIT#5 & UNIT#7)



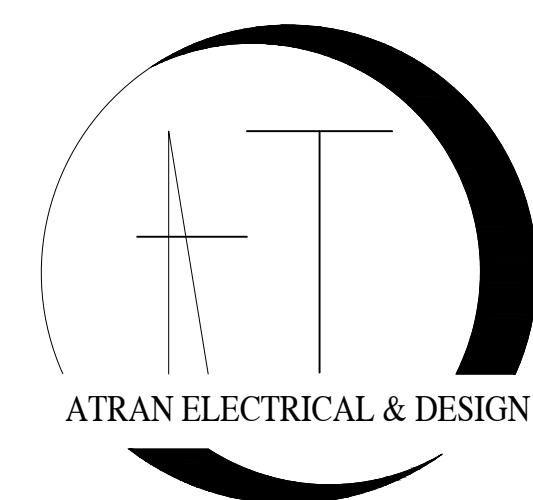
UNIT #1
FIRST FLOOR POWER PLAN
SCALE:3/16" = 1'-0"

NOTES

1. PROVIDE TAMPER RESISTANT RECEPTACLES FOR ALL NEW RECEPTACLES PER CEC 406.12(A)
2. PROVIDE AFCI REQUIREMENTS: ALL 120VOLT, SINGLE PHASE, 15A & 20AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, DINING ROOMS, FAMILY ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, LAUNDRY AREAS, HALLWAYS AND SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT, PER CEC210.12

ELECTRICAL LEGEND

- W.P. NEW 30 CKTS ELECTRICAL PANEL A
- W.P. DISCONNECTED AND FUSES
- 4" RECESSED LED LIGHT FIXTURE ON CEILING(11W)
- NEW WALL MOUNTED EXTERIOR LED LT(16W)
- EXH. FAN (ENERGY STAR)
- SWITCH
- SMOKE ALARMS/ CARBON MONOXIDE ALARM
- RECEPTACLE WITH G.F.C.I
- 20A-1 PHASE OUTLET WITH ARC-FAULT CIRCUIT- INTERRUPTER PROTECTION
- TELE/DATA OUTLET VERIFY LOCATION W/ ARCHITECT.
- HOMERUN TO PANEL



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ELECTRICAL DESIGN 11 UNTS TOWNHOUSE

ADDRESS

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92503



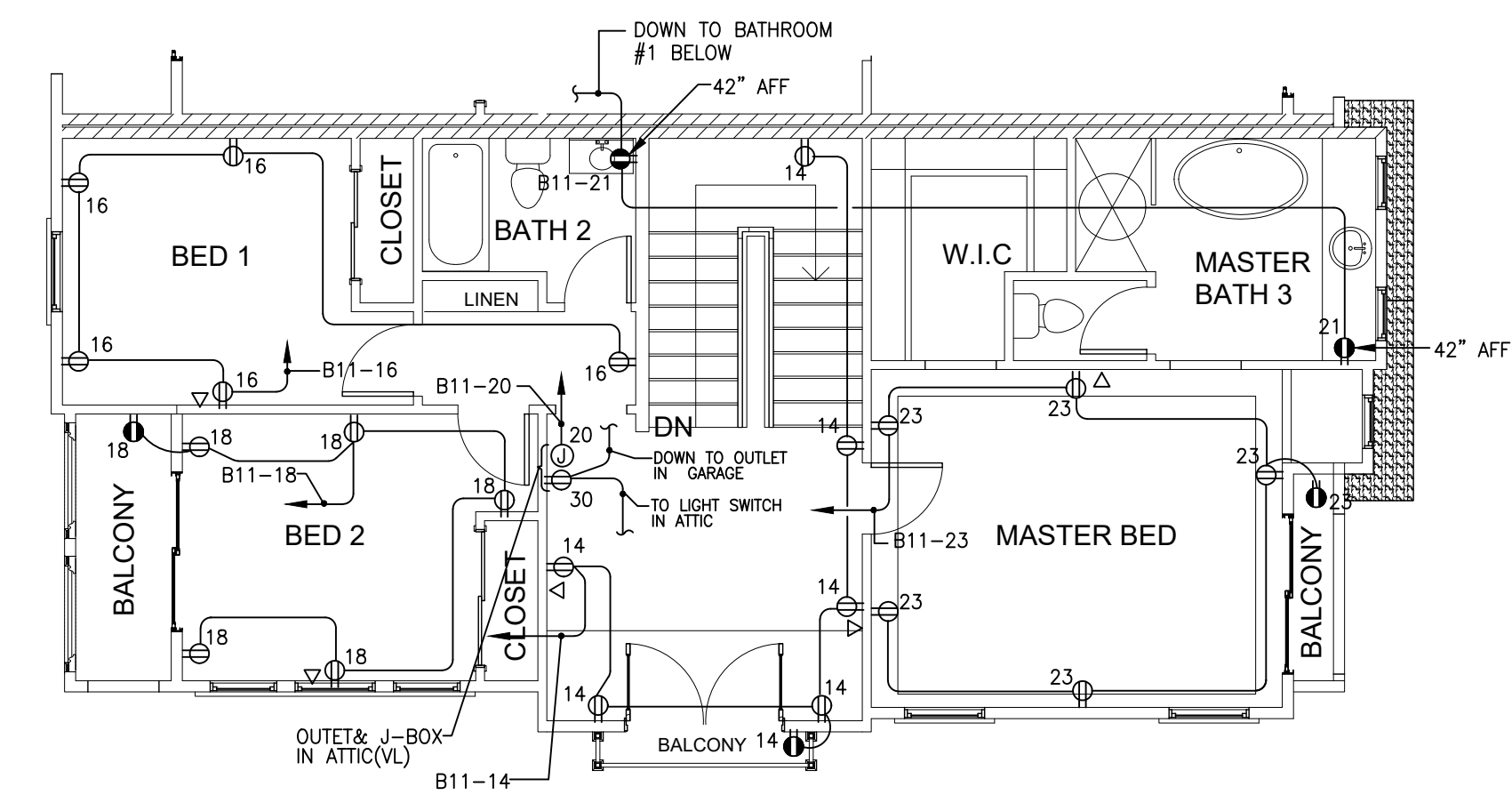
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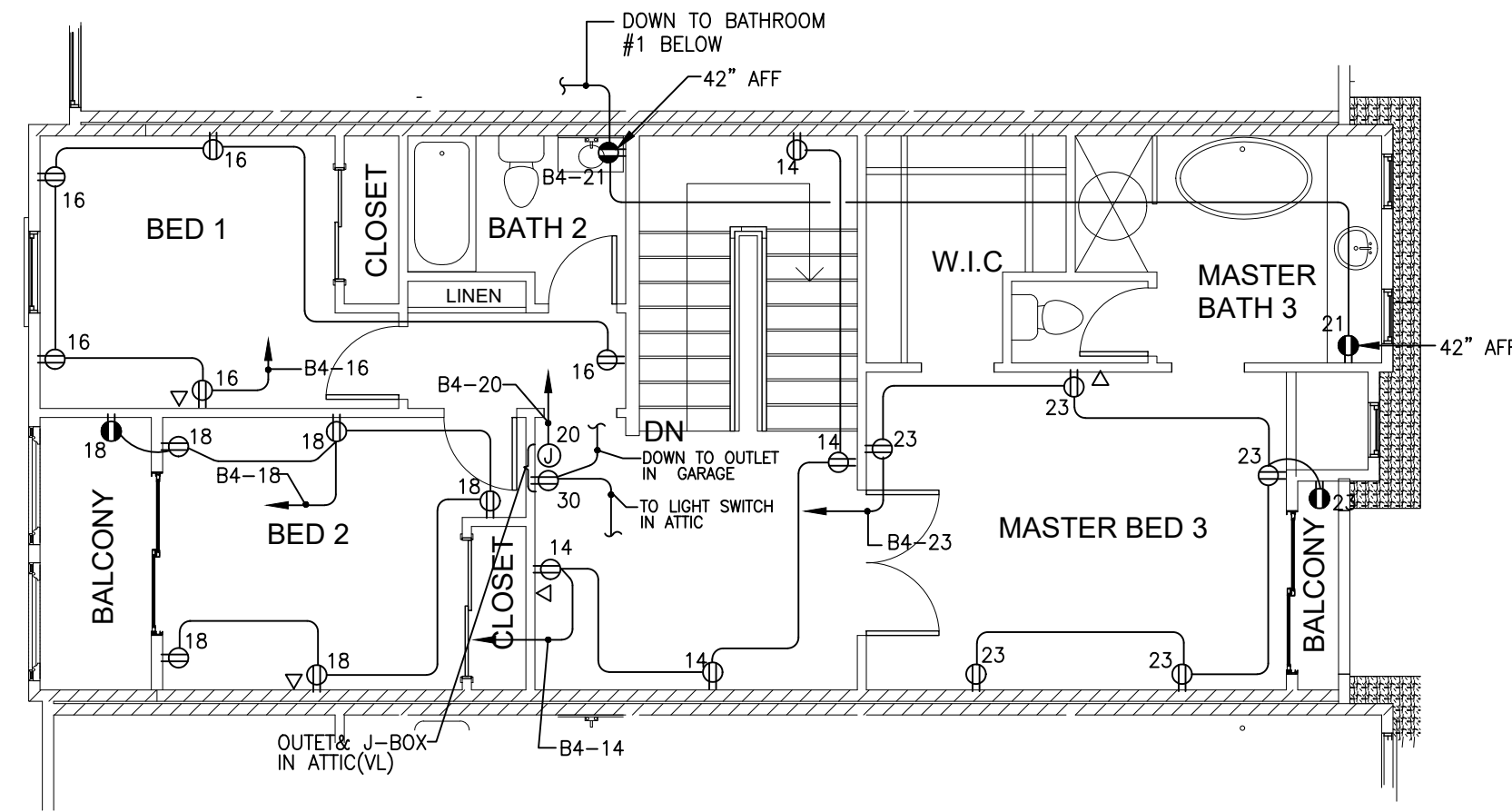
UNIT 1,UNIT 3,
UNIT 9 FIRST &
SECOND FLOOR
POWER PLAN

SHEET NO.:

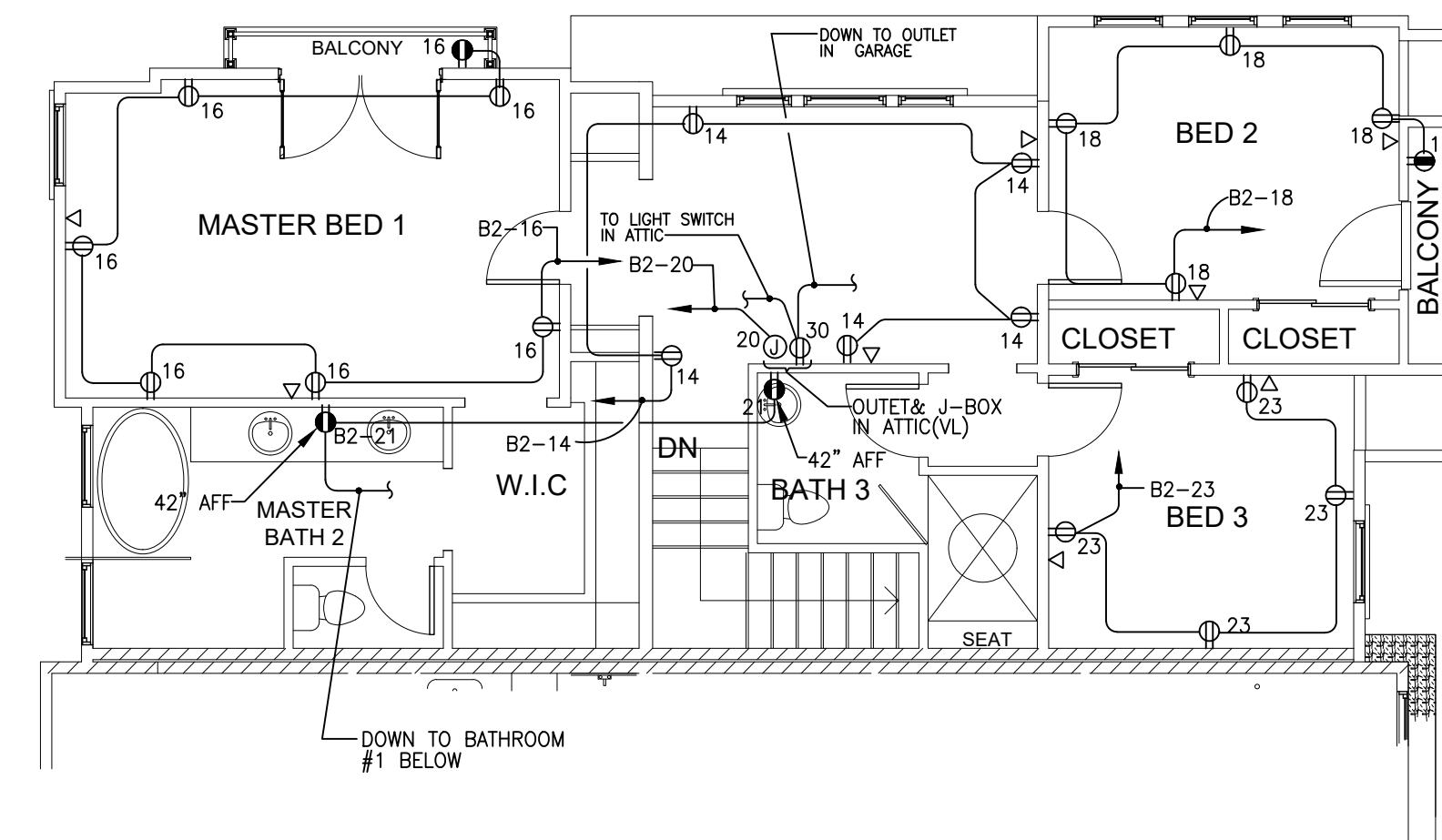
E-1.3



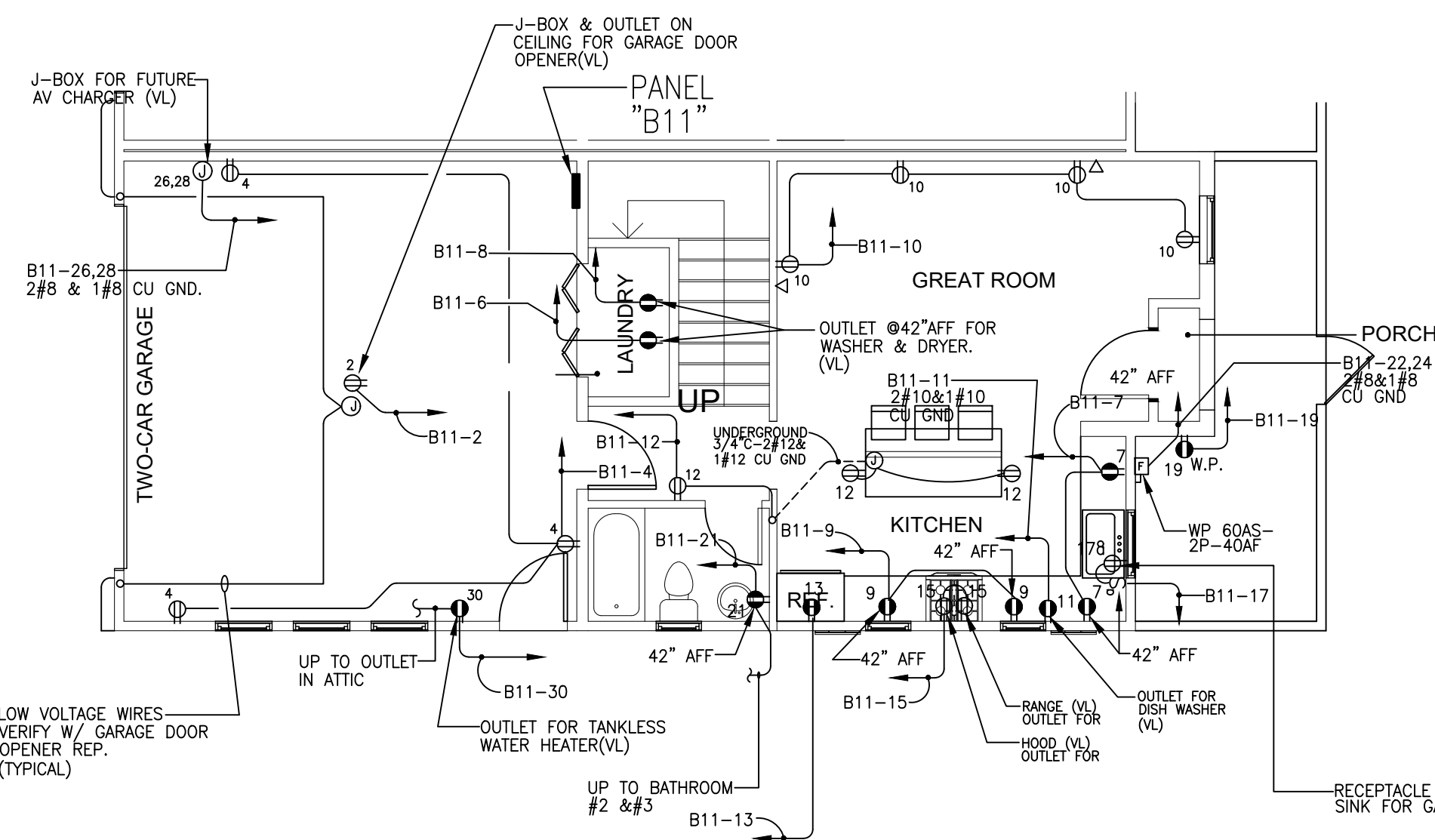
UNIT #11
SECOND FLOOR POWER PLAN
SCALE:3/16" = 1'-0"



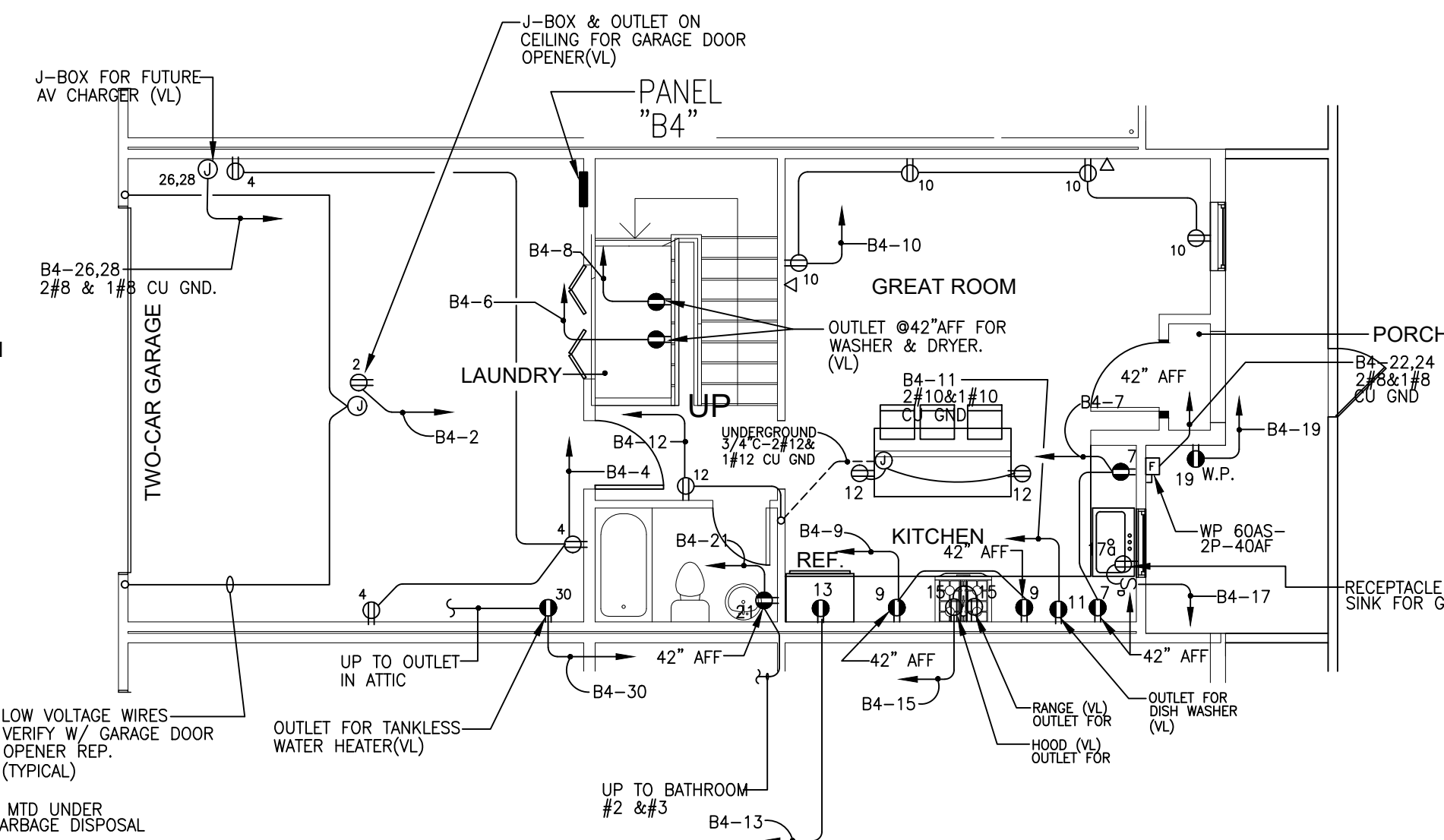
UNIT #4
SECOND FLOOR POWER PLAN
SCALE:3/16" = 1'-0"
(TYPICAL FOR LOT#6, LOT#8 & LOT#10)



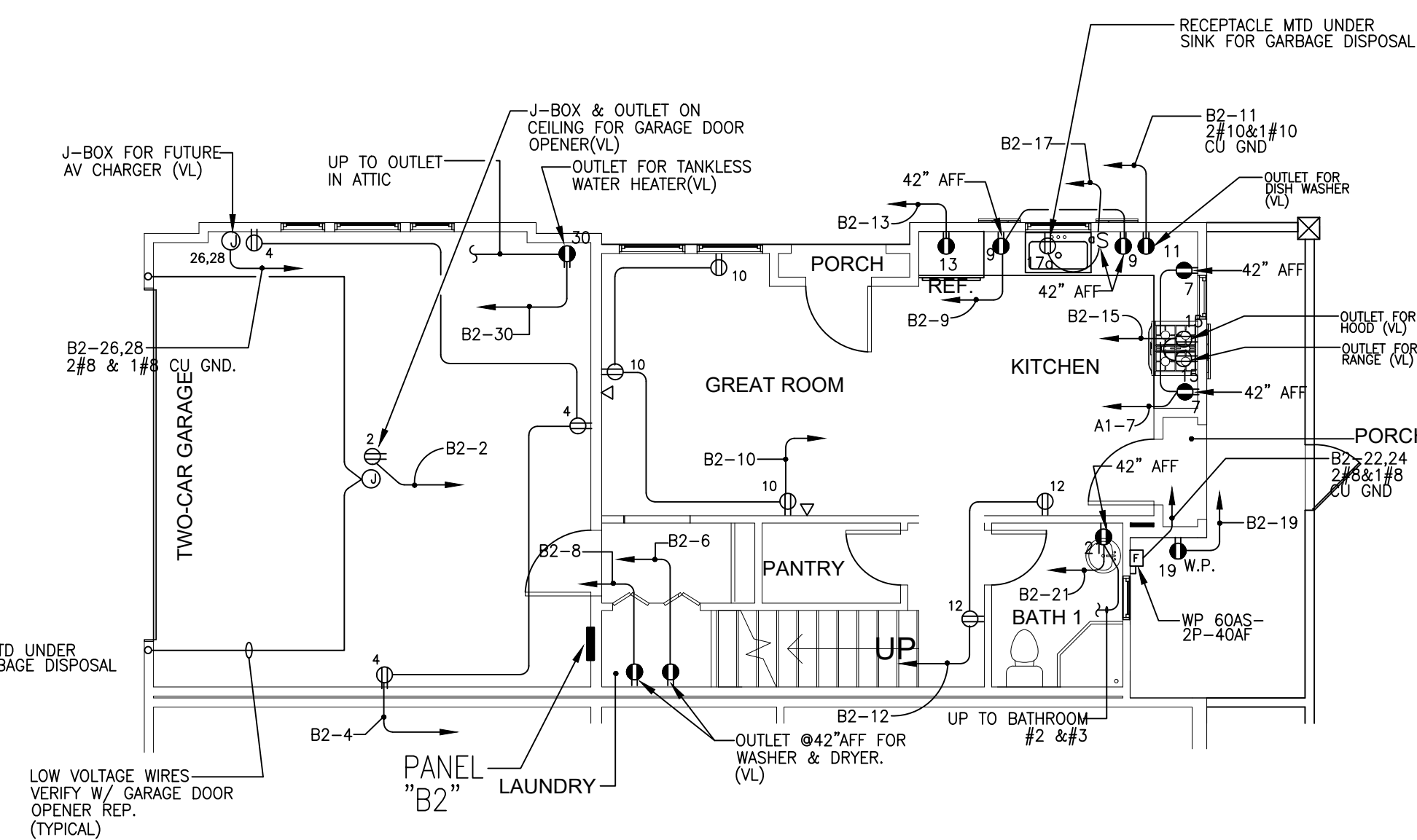
UNIT #2
SECOND FLOOR POWER PLAN
SCALE:3/16" = 1'-0"



UNIT #11
FIRST FLOOR POWER PLAN
SCALE:3/16" = 1'-0"



UNIT #4
FIRST FLOOR POWER PLAN
SCALE:3/16" = 1'-0"
(TYPICAL FOR LOT#6, LOT#8 & LOT#10)



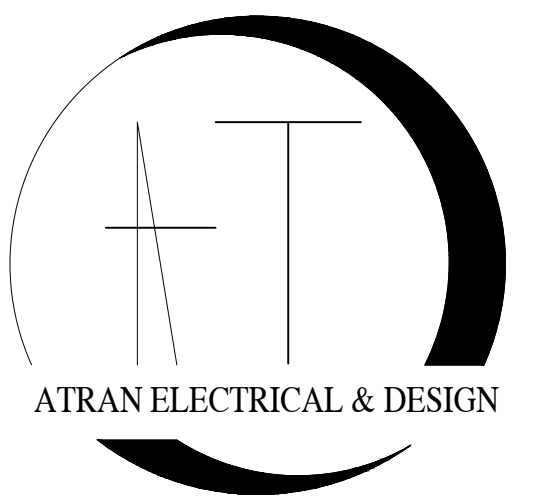
UNIT #2
FIRST FLOOR POWER PLAN
SCALE:3/16" = 1'-0"

NOTES

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2. PROVIDE AFCI REQUIREMENTS: ALL 120VOLT, SINGLE PHASE, 15A & 20AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, DINING ROOMS, FAMILY ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, LAUNDRY AREAS, HALLWAYS AND SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT, PER CEC210.12

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- EXH. FAN (ENERGY STAR)
- SWITCH
- SMOKE ALARMS/ CARBON MONOXIDE ALARM
- RECEPTACLE WITH G.F.C.I
- 20A-1 PHASE OUTLET WITH ARC-FAULT CIRCUIT- INTERRUPTER PROTECTION
- TELE/ DATA OUTLET VERIFY LOCATION W/ ARCHITECT.
- HOMERUN TO PANEL



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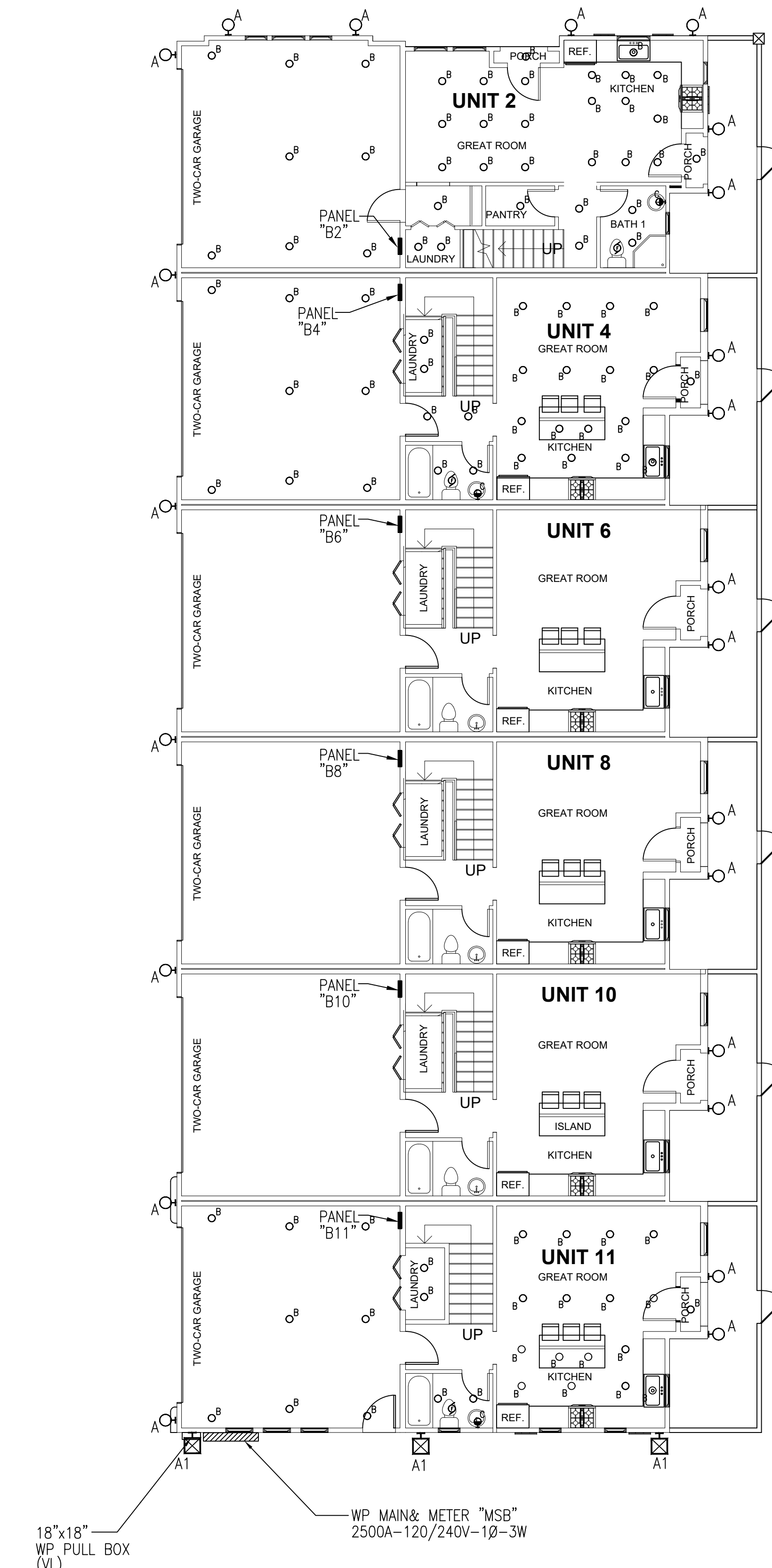
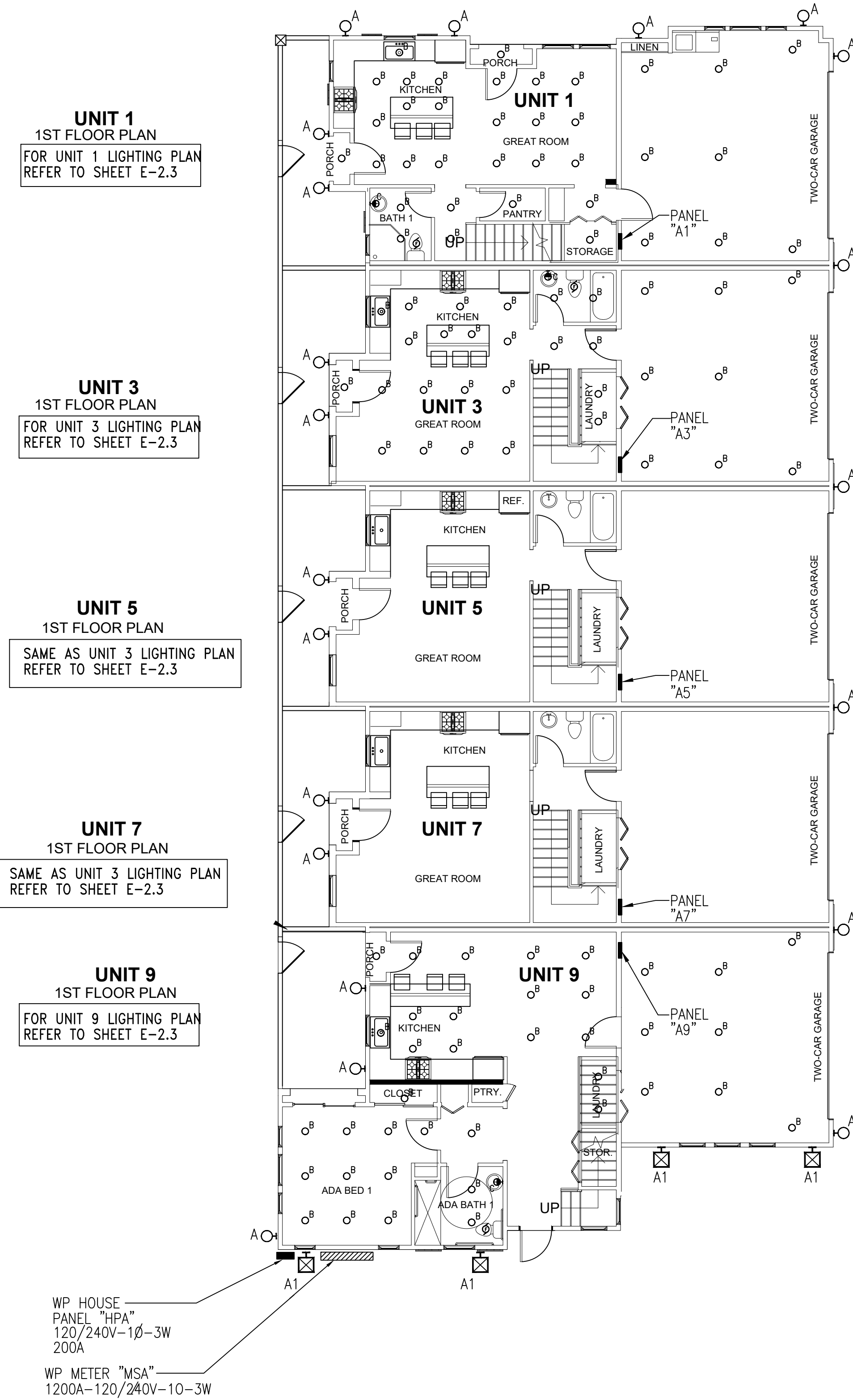
STAMP:

SHEET TITLE:

UNIT2, UNIT4,
UNIT 11 FIRST &
SECOND FLOOR
POWER PLAN

SHEET NO.:

E-1.4



LIGHTING FIXTURE SCHEDULES	
	EXTERIOR WALL MOUNTED LIGHT LITHONIA LIGHTING DSXW1-LED-10C-350-30K-T3M-MVOLT-PE (13.3W-LED)PHOTOSENSOR (OR EQUAL)
	EXTERIOR WALL MOUNTED LIGHT LITHONIA LIGHTING DSXW2-LED-20C-350-30K-TFTM-MVOLT (25W-LED)PHOTOSENSOR & MOTION SENSOR (OR EQUAL)
	4" RECESSED DOWN LIGHT RECESSED IN DRYWALL LITHONIA LDN4-40/15-L04AR-LSS-120-EZ10 (17.5W-LED)
	WALL MOUNTED DECORATIVE LIGHT ABOVE MIRROR (SELECTED BY OWNER) (60W-LED)

UNIT 1
1ST FLOOR PLAN
FOR UNIT 1 LIGHTING PLAN
REFER TO SHEET E-2.3

UNIT 3
1ST FLOOR PLAN
FOR UNIT 3 LIGHTING PLAN
REFER TO SHEET E-2.3

UNIT 5
1ST FLOOR PLAN
SAME AS UNIT 3 LIGHTING PLAN
REFER TO SHEET E-2.3

UNIT 7
1ST FLOOR PLAN
SAME AS UNIT 3 LIGHTING PLAN
REFER TO SHEET E-2.3

UNIT 9
1ST FLOOR PLAN
FOR UNIT 9 LIGHTING PLAN
REFER TO SHEET E-2.3

UNIT 2
1ST FLOOR PLAN
FOR UNIT 2 LIGHTING PLAN
REFER TO SHEET E-2.4

UNIT 4
1ST FLOOR PLAN
FOR UNIT 4 LIGHTING PLAN
REFER TO SHEET E-2.4

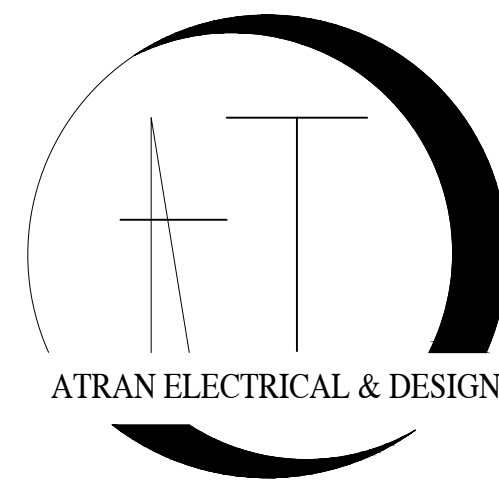
UNIT 6
1ST FLOOR PLAN
SAME AS UNIT 4 LIGHTING PLAN
REFER TO SHEET E-2.4

UNIT 8
1ST FLOOR PLAN
SAME AS UNIT 4 LIGHTING PLAN
REFER TO SHEET E-2.4

UNIT 10
1ST FLOOR PLAN
SAME AS UNIT 4 LIGHTING PLAN
REFER TO SHEET E-2.4

UNIT 11
1ST FLOOR PLAN
FOR UNIT 11 LIGHTING PLAN
REFER TO SHEET E-2.4

FIRST FLOOR LIGHTING PLAN
SCALE: 1/8" = 1'-0"



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ANDREW TRAN

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DESIGN
11 UNTS TOWNHOUSE**

ADDRESS

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RIVERSIDE, CA
92503



STAMP:

SHEET TITLE:
**FIRST FLOOR
LIGHTING
PLAN
LIGHTING
FIXTURE
SCHEDULES**

SHEET NO.:

E-2.1

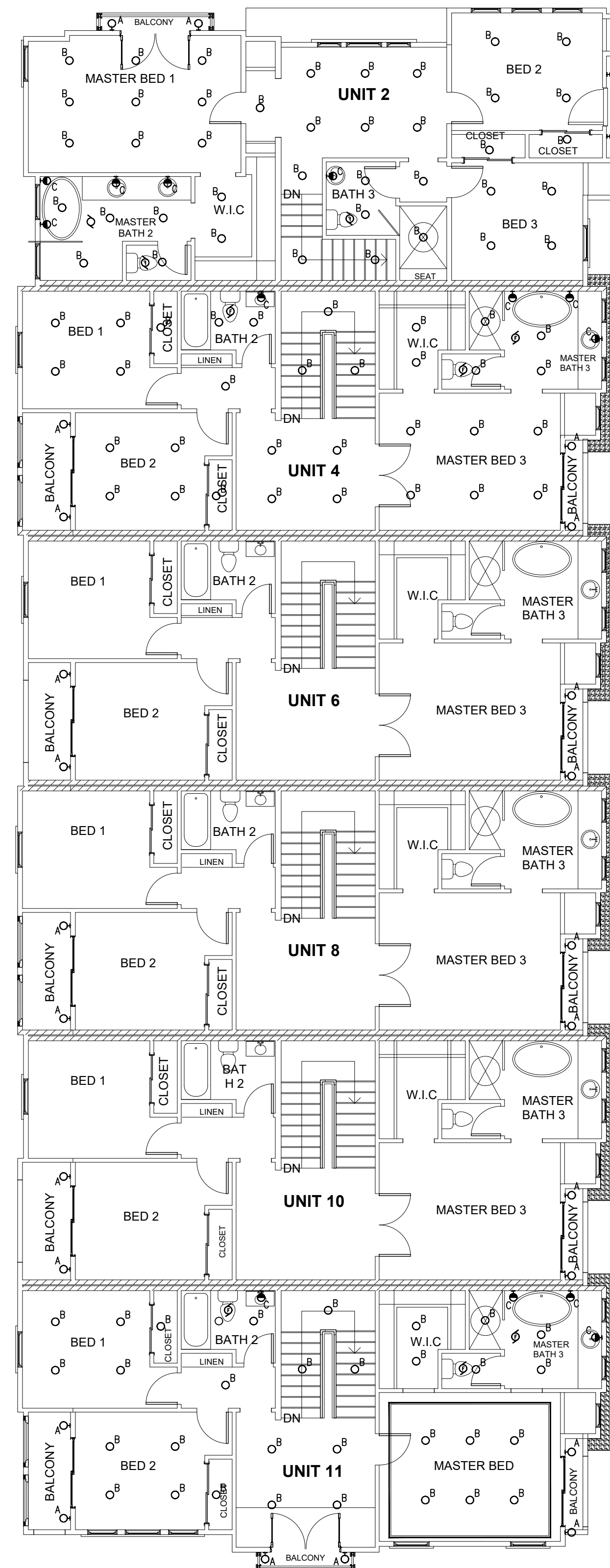
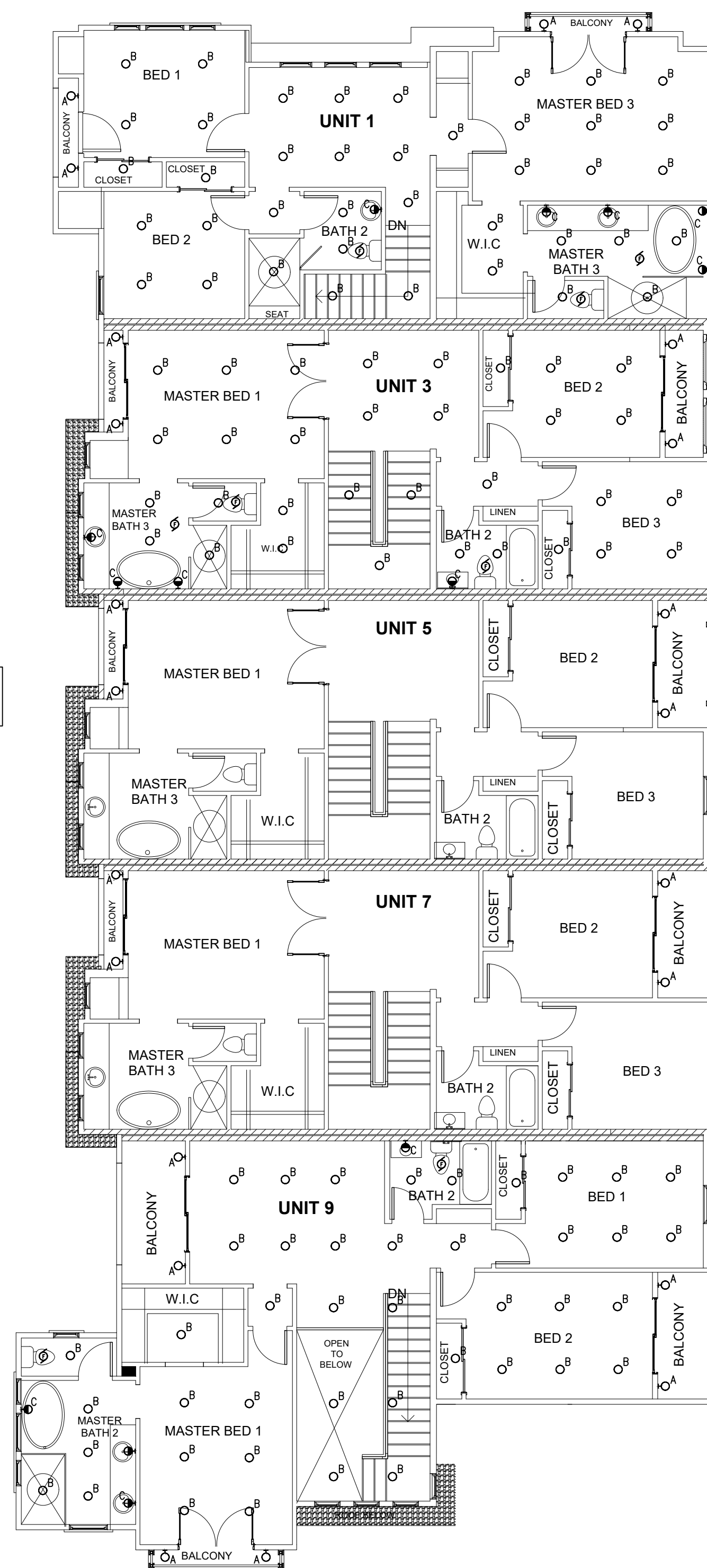
UNIT 1
2ND FLOOR PLAN
FOR UNIT 1 LIGHTING PLAN
REFER TO SHEET E-2.3

UNIT 3
2ND FLOOR PLAN
FOR UNIT 3 LIGHTING PLAN
REFER TO SHEET E-2.3

UNIT 5
2ND FLOOR PLAN
SAME AS UNIT 3 LIGHTING PLAN
REFER TO SHEET E-2.3

UNIT 7
2ND FLOOR PLAN
SAME AS UNIT 3 LIGHTING PLAN
REFER TO SHEET E-2.3

UNIT 9
2ND FLOOR PLAN
FOR UNIT 9 LIGHTING PLAN
REFER TO SHEET E-2.3



UNIT 2
2ND FLOOR PLAN
FOR UNIT 2 LIGHTING PLAN
REFER TO SHEET E-2.4

UNIT 4
2ND FLOOR PLAN
FOR UNIT 4 LIGHTING PLAN
REFER TO SHEET E-2.4

UNIT 6
2ND FLOOR PLAN
SAME AS UNIT 4 LIGHTING PLAN
REFER TO SHEET E-2.4

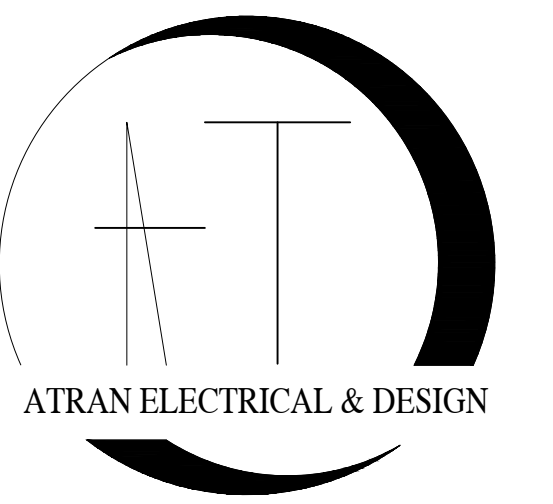
UNIT 8
2ND FLOOR PLAN
SAME AS UNIT 4 LIGHTING PLAN
REFER TO SHEET E-2.4

UNIT 10
2ND FLOOR PLAN
SAME AS UNIT 4 LIGHTING PLAN
REFER TO SHEET E-2.4

UNIT 11
2ND FLOOR PLAN
FOR UNIT 11 LIGHTING PLAN
REFER TO SHEET E-2.4

SECOND FLOOR LIGHTING PLAN
SCALE: 1/8" = 1'-0"

FOR LIGHTING FIXTURE SCHEDULE
REFER TO SHEET E-2.1



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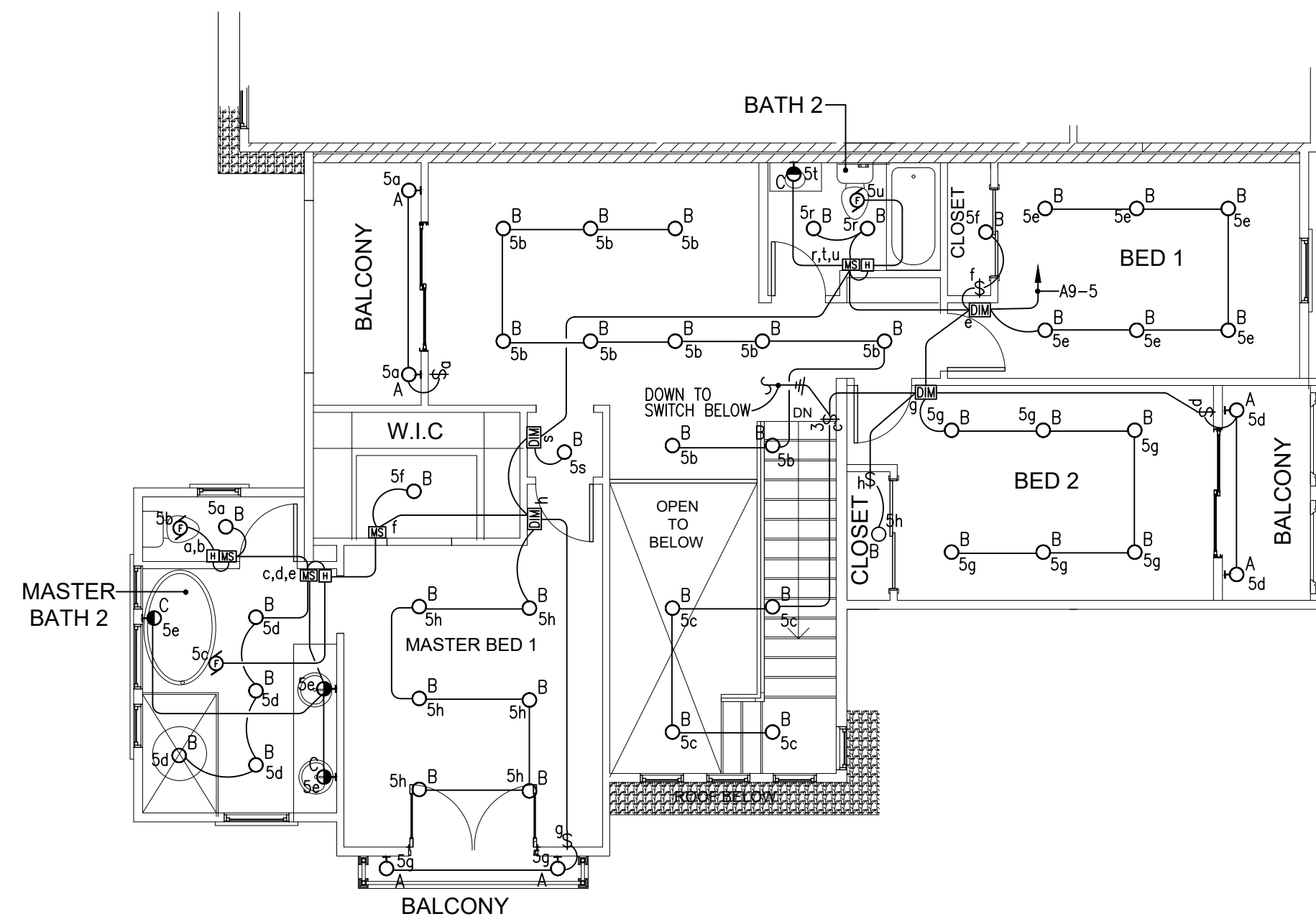
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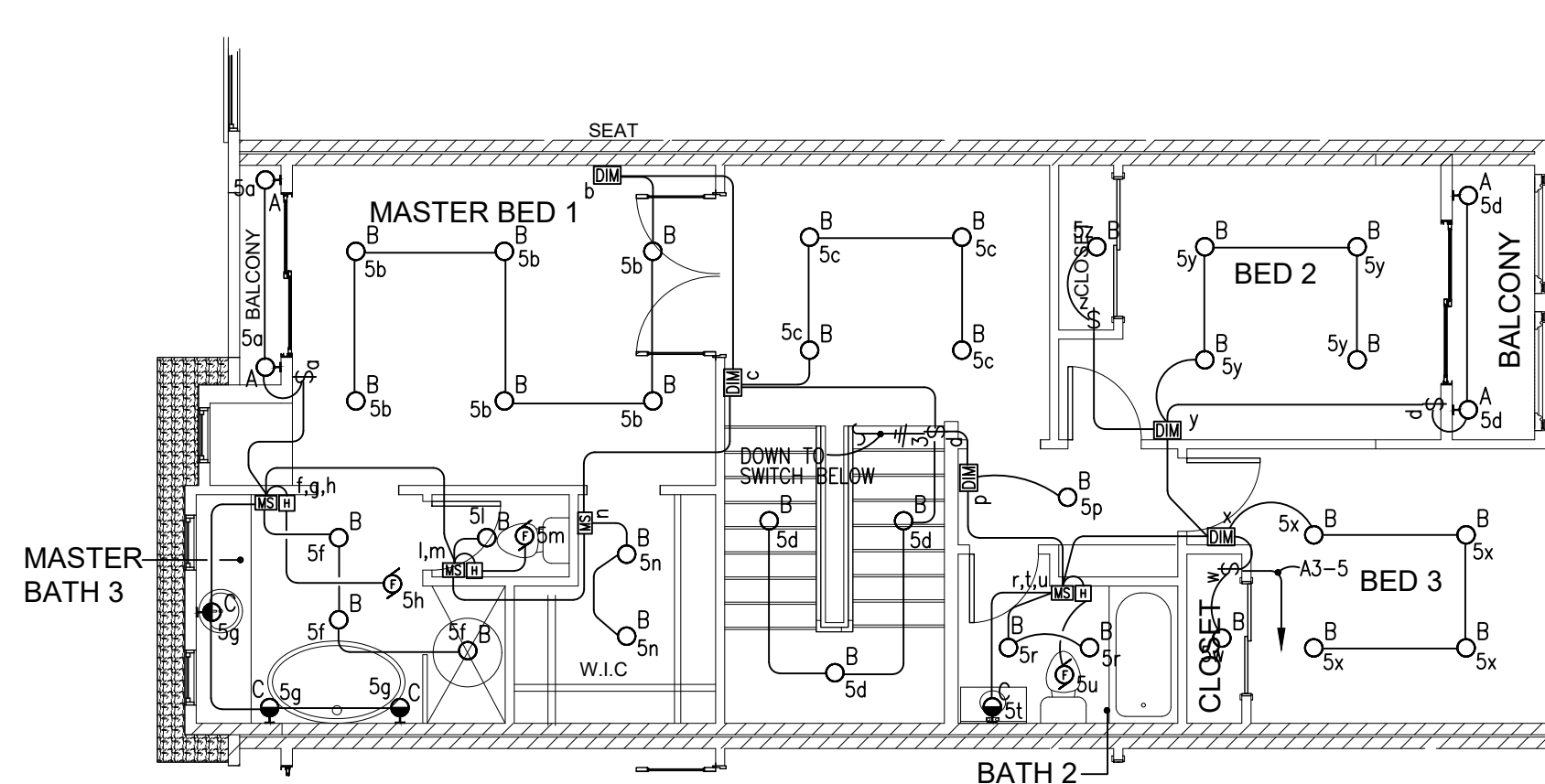
SECOND FLOOR
LIGHTING
PLAN

SHEET NO.:

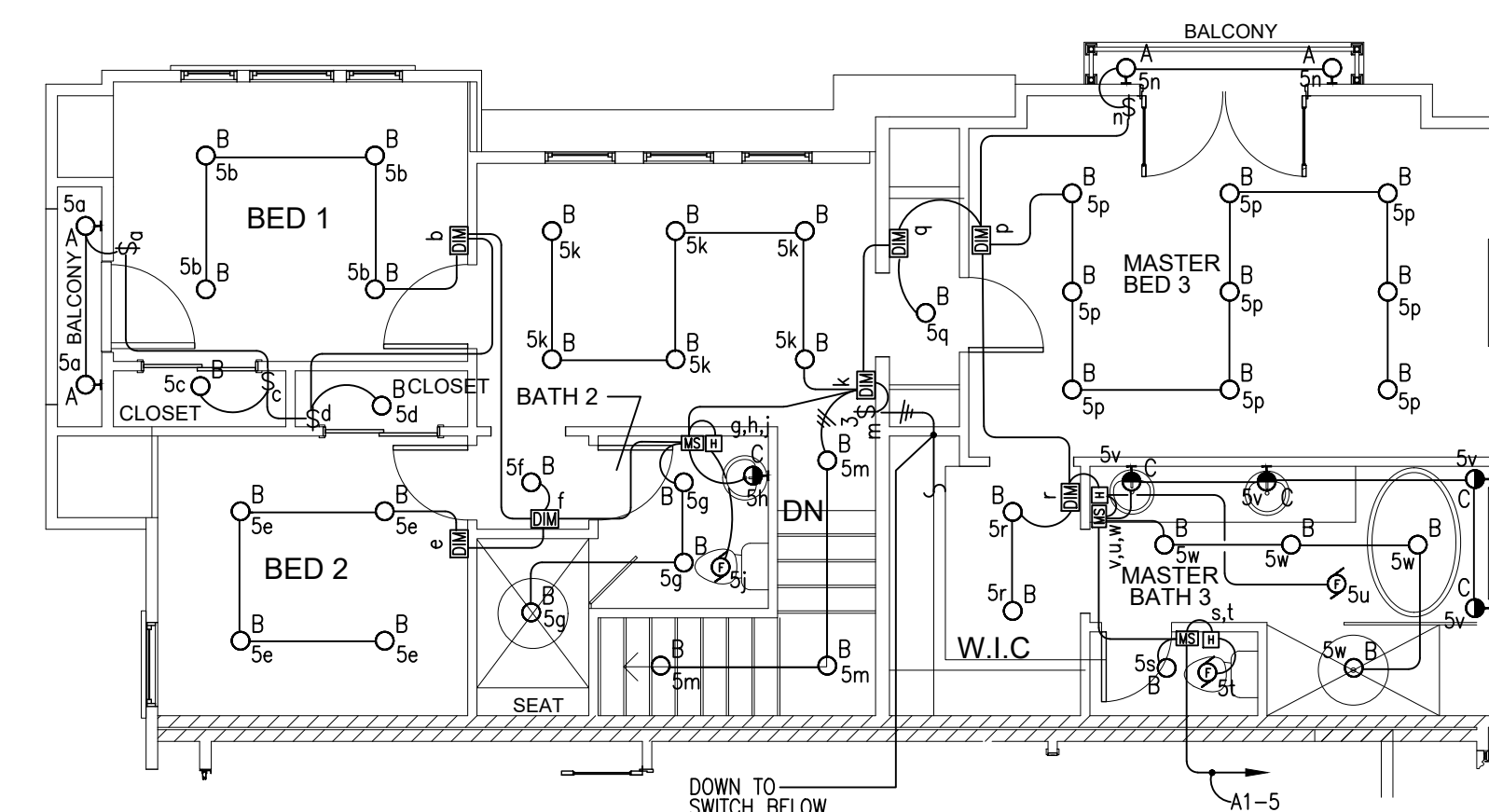
E-2.2



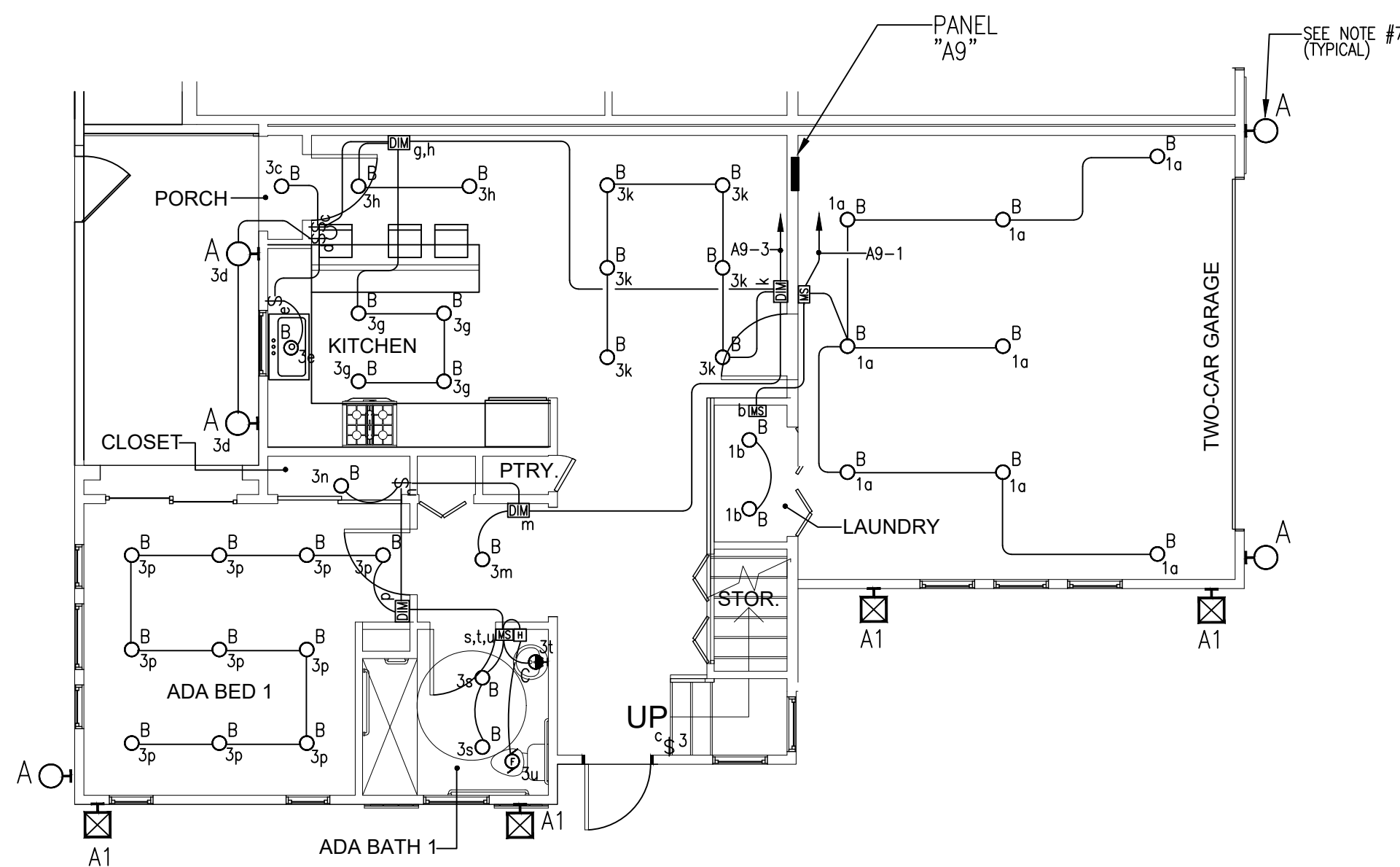
UNIT #9
SECOND FLOOR LIGHTING PLAN
SCALE:3/16" = 1'-0"



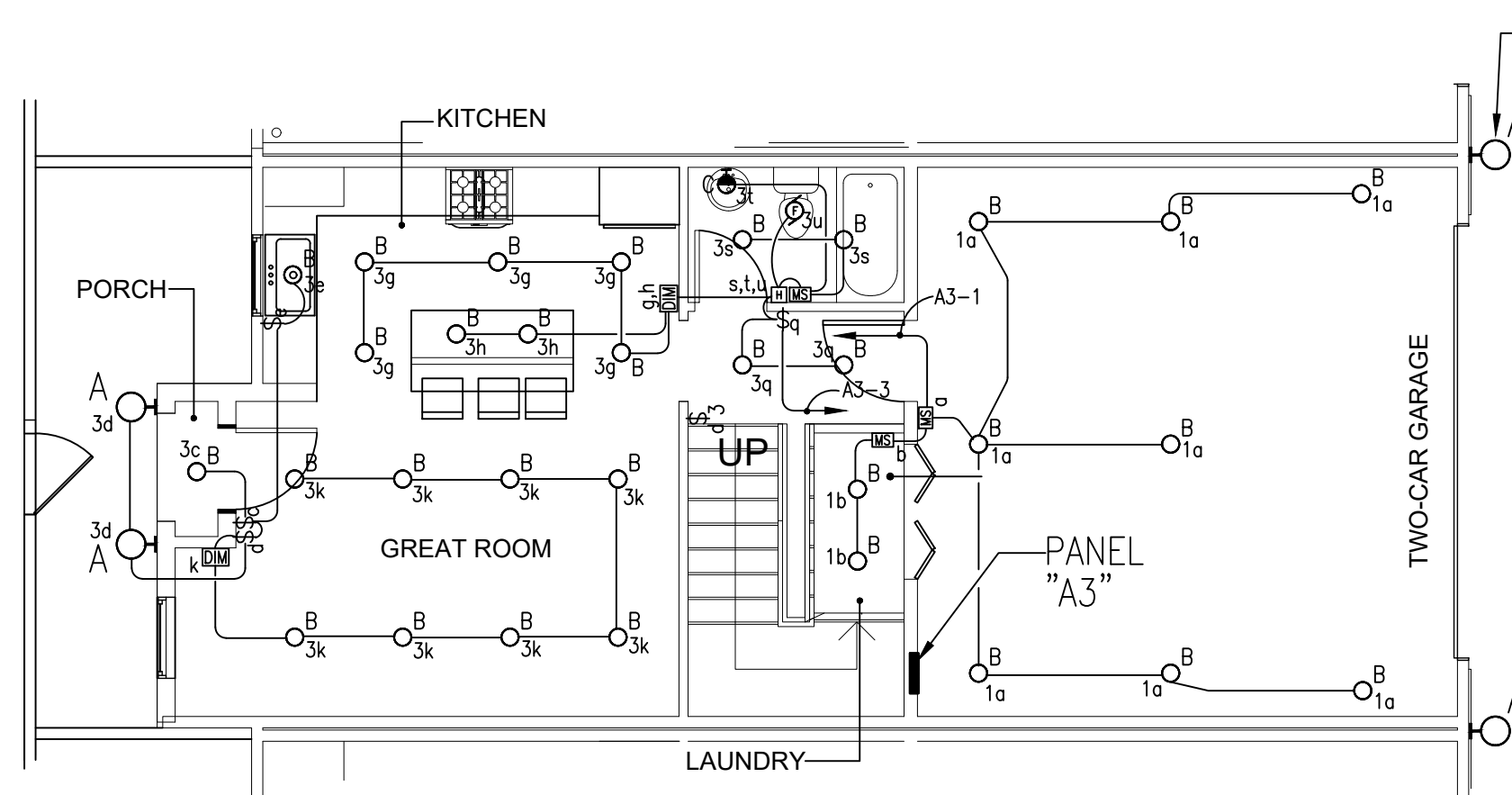
UNIT #3
SECOND FLOOR LIGHTING PLAN
SCALE:3/16" = 1'-0"
(TYPICAL FOR LOT#5, LOT#7)

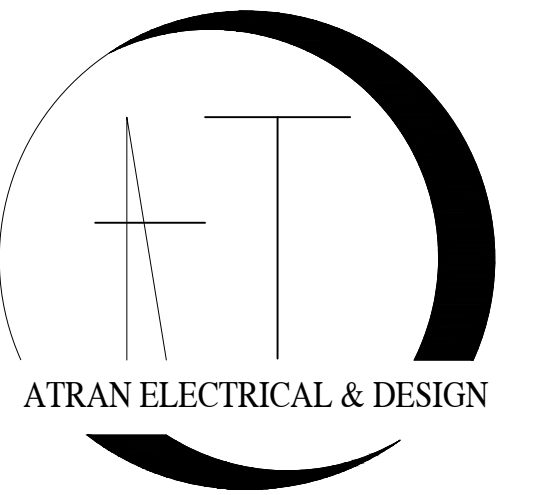


UNIT #1
SECOND FLOOR LIGHTING PLAN
SCALE:3/16" = 1'-0"



UNIT #9
FIRST FLOOR LIGHTING PLAN
SCALE:3/16" = 1'-0"





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STAMP:

SHEET TITLE:

UNIT#2,UNIT# 4 &
UNIT#11
FIRST & SECOND
FLOOR LIGHTING
PLAN

SHEET NO.:

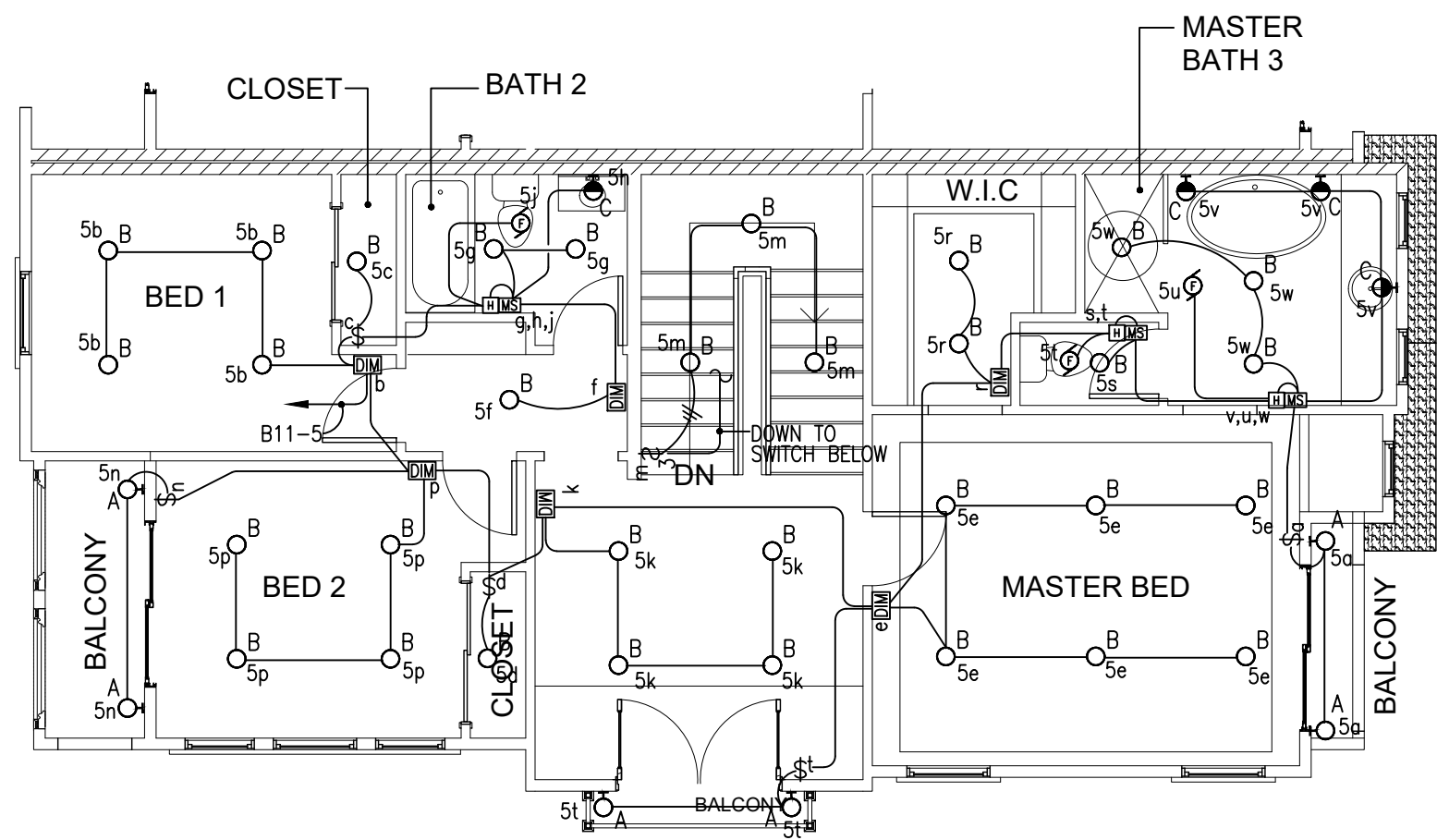
E-2.4

CONTROL LEGEND

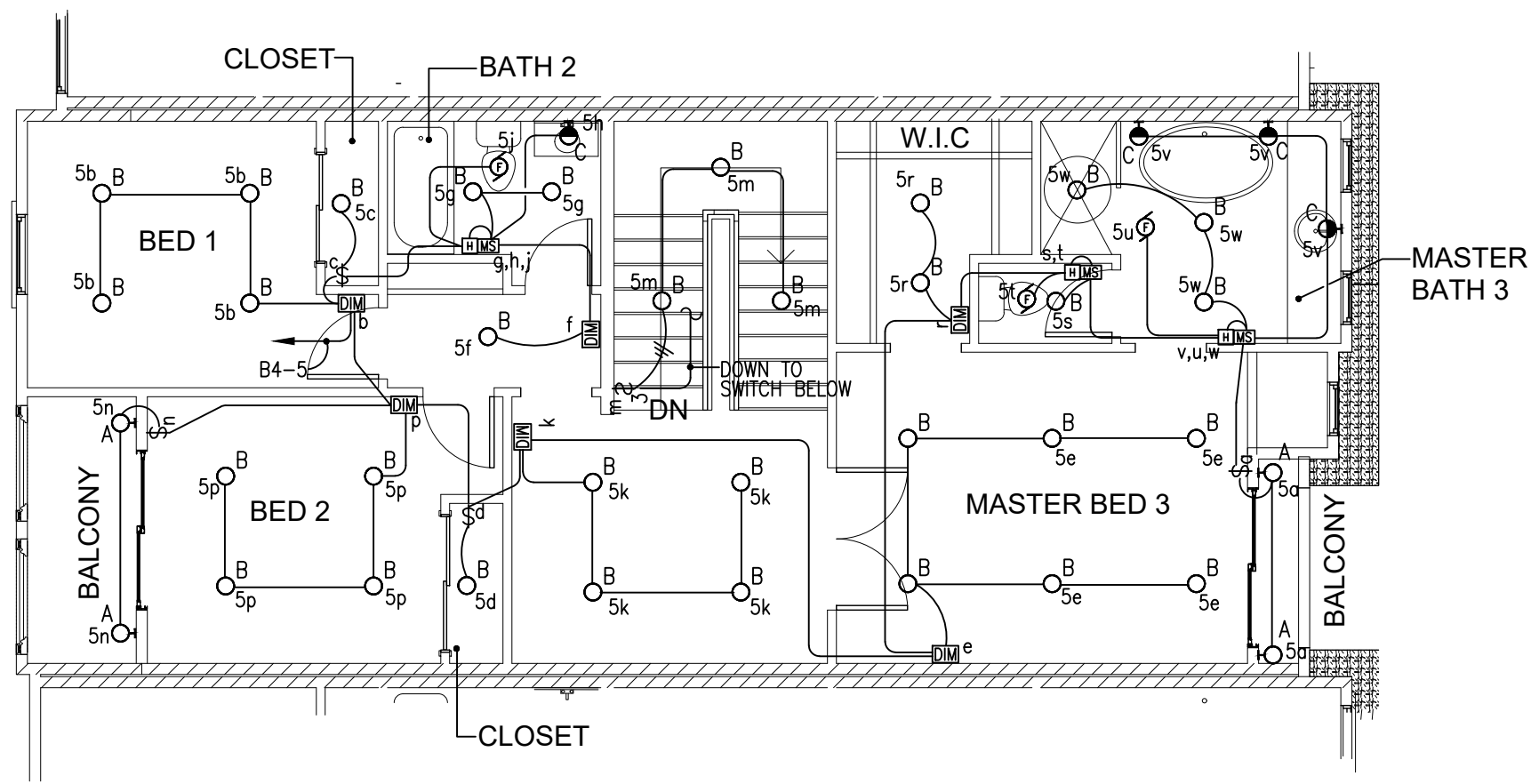
- WS WALL SWITCH SENSOR. (LUTRON OR EQUAL)
DS DIMMER/SWITCH (LUTRON OR EQUAL)
\$ ON OFF SWITCH.
HS HUMINITY SENSOR/ ON OFF SWITCH

NOTES

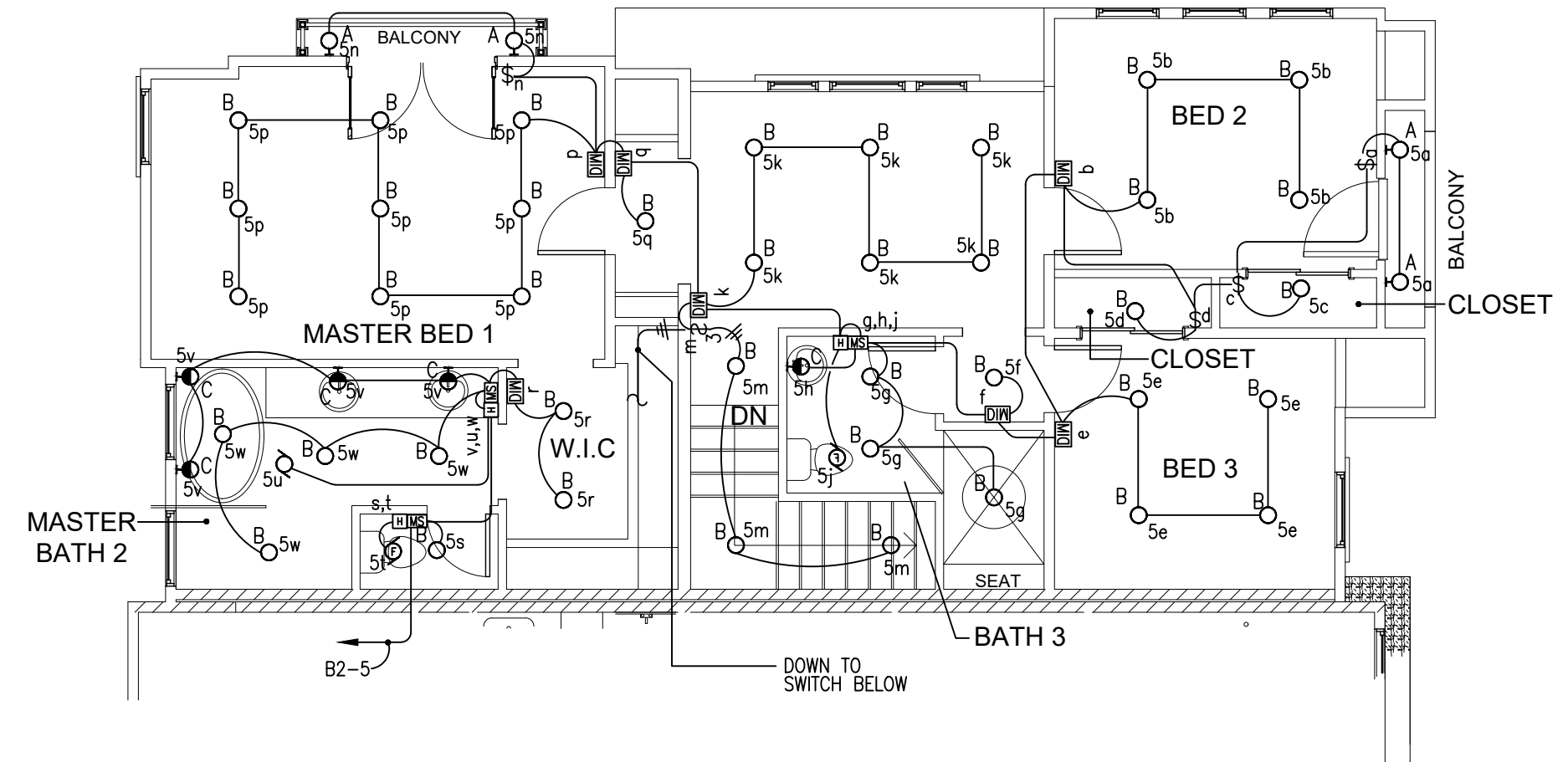
- ALL LIGHTING (4" RECESSED LED FOR INTERIOR AND EXTERIOR LED WALL MOUNTED LIGHT FIXTURES) SHALL BE HIGH EFFICACY PER CEC TABLE 150.0(k)1A
- PROVIDE THE INTERMITTENT LOCAL EXHAUST AIRFLOW RATES OF 50 CFM FOR BATHROOM.
- ALL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON AND ONE OF THE FOLLOWING: CONTROLLED BY PHOTOCELL AND MOTION SENSOR, PHOTO CONTROL AND AUTOMATIC SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM.
- LUMINAIRES LOCATED WITHIN THE ACTUAL OUTSIDE DIMENSION OF THE BATHTUB OR SHOWER TO A HEIGHT OF 8 FEET VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER THRESHOLD SHALL BE MARKED FOR DAMP LOCATIONS OR MARKED FOR WET LOCATIONS WHERE SUBJECTED TO SHOWER SPRAY.
- REFER TO SHEET SE-2 FOR CIRCUITING



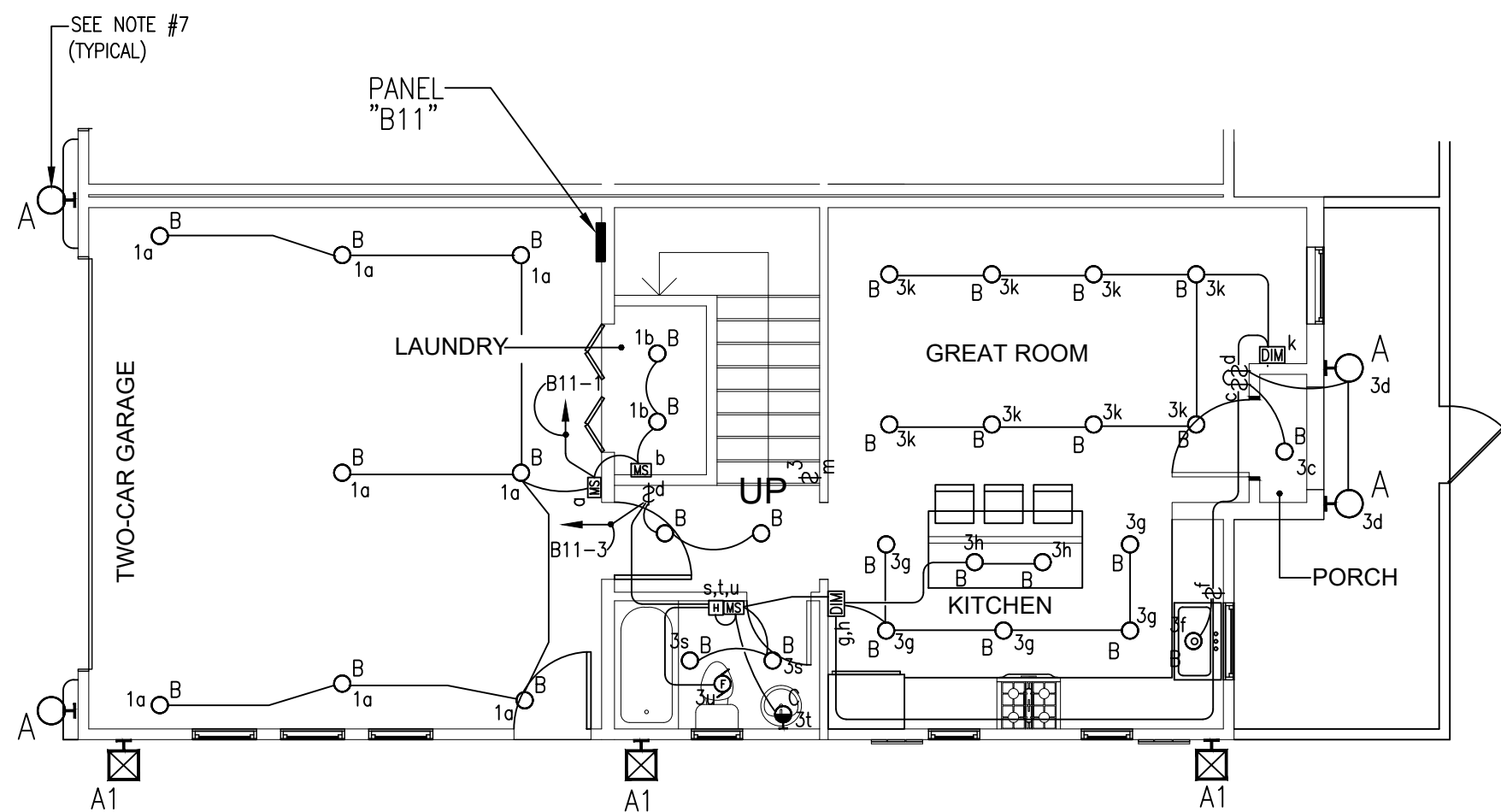
UNIT #11
SECOND FLOOR LIGHTING PLAN
SCALE:3/16" = 1'-0"



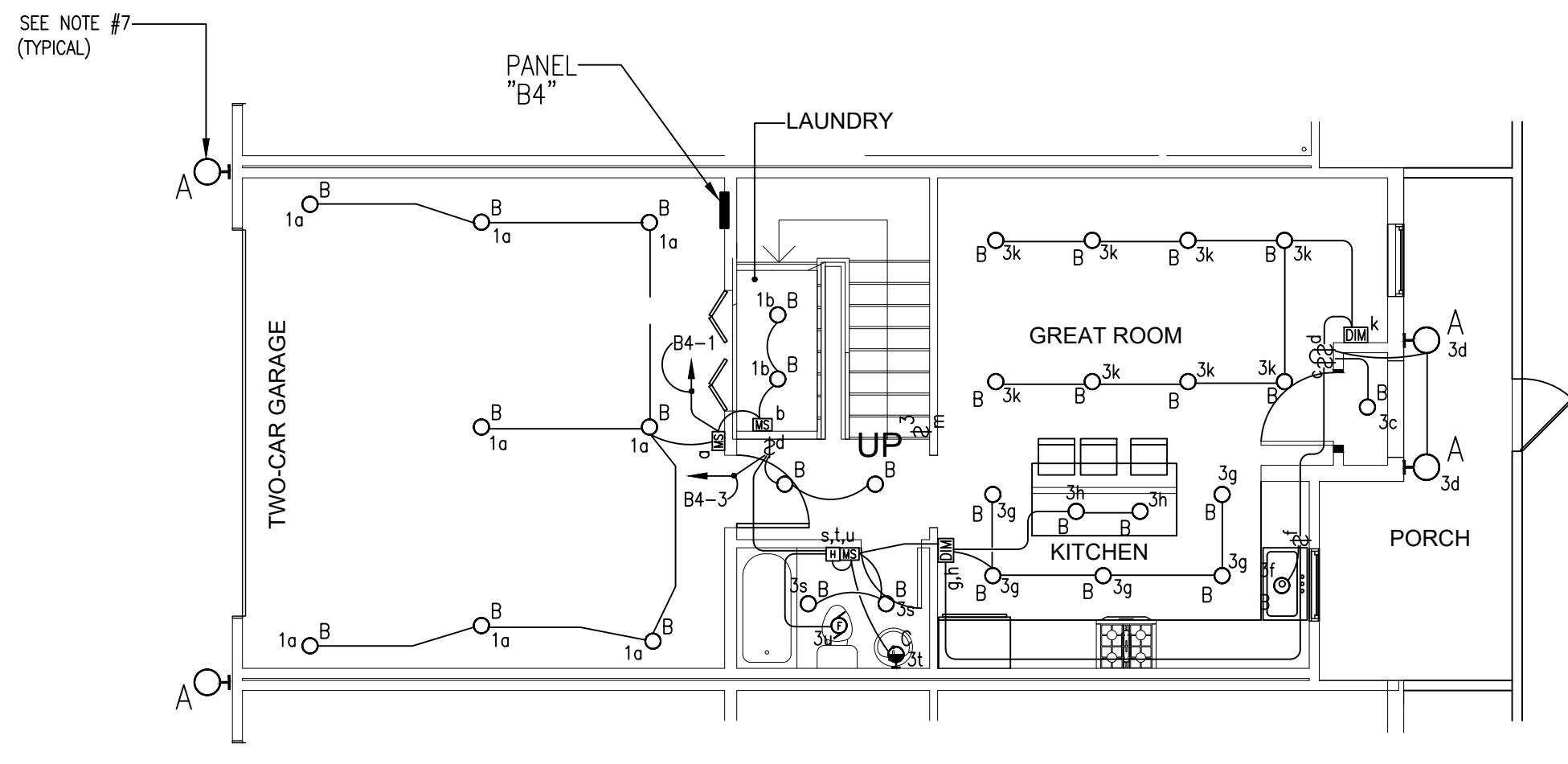
UNIT #4
SECOND FLOOR LIGHTING PLAN
SCALE:3/16" = 1'-0"
(TYPICAL FOR LOT#6,LOT#8 &LOT#10)



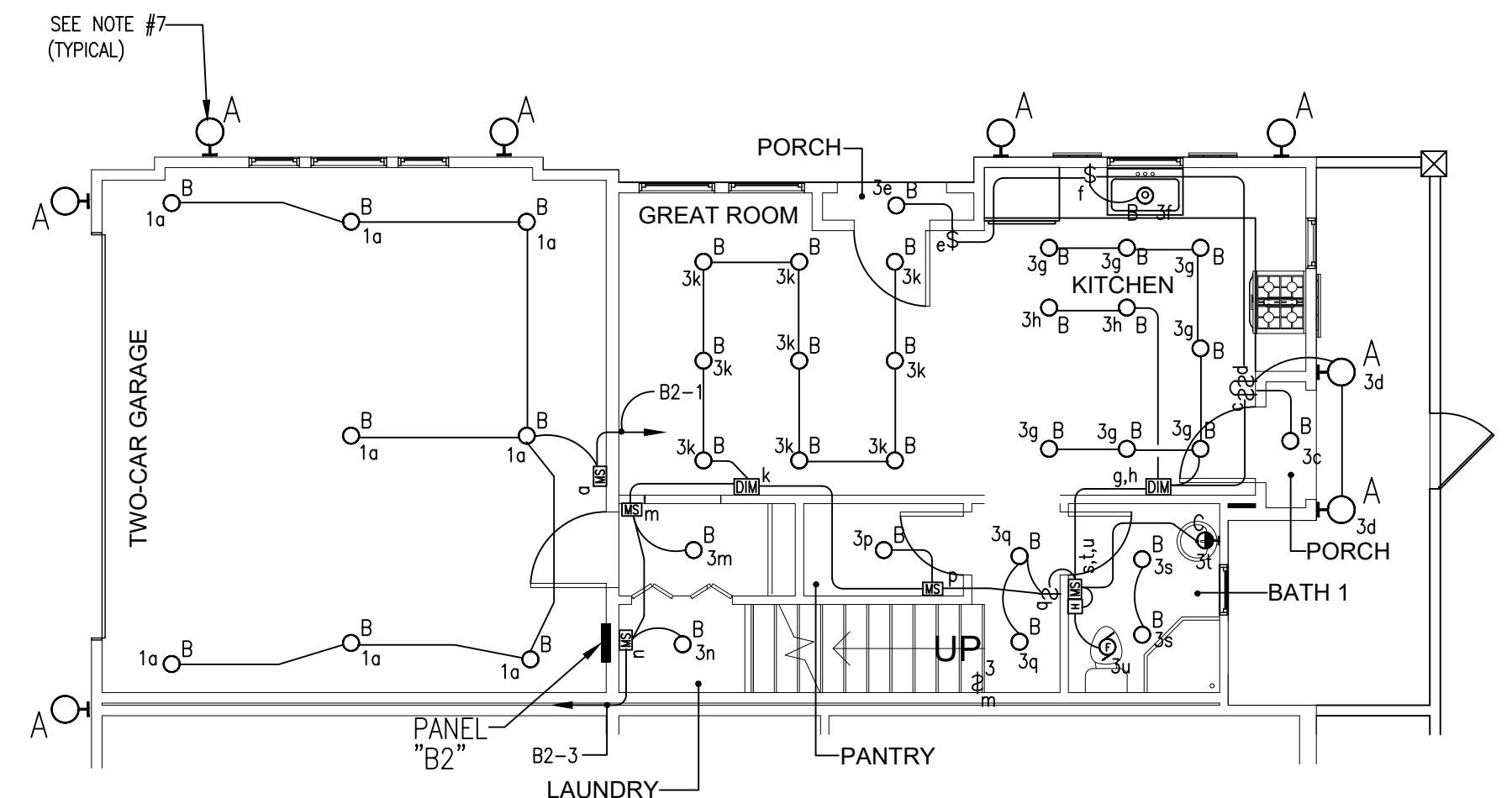
UNIT #2
SECOND FLOOR LIGHTING PLAN
SCALE:3/16" = 1'-0"



UNIT #11
FIRST FLOOR LIGHTING PLAN
SCALE:3/16" = 1'-0"



UNIT #4
FIRST FLOOR LIGHTING PLAN
SCALE:3/16" = 1'-0"
(TYPICAL FOR LOT#6,LOT#8 &LOT#10)



UNIT #2
FIRST FLOOR LIGHTING PLAN
SCALE:3/16" = 1'-0"

WEATHERPROOF HOUSE PANEL											
PANEL HP	VOLT:120/240V 1ϕ 3w				BUS:200A				MAIN: 200A-2P MAIN C.B		
	MTG: FLUSH				AIC: 65000A						
LOCATION	LTG	REC	MIS	BKR #	ϕ A	ϕ B	#	BKR	MIS	REC	LTG
IRRIGATION CONTROLLER				20 1	200 800		2 40				EV CHARGER
BUILDING B EXTERIOR LIGHTS				20 3		1200 540	4 2				
BUILDING A EXTERIOR LIGHTS				20 5	1200		6				SPACE
SPACE				7			8				SPACE
SPACE				9			10				SPACE
SPACE				11			12				SPACE
SPACE				13			14				SPACE
SPACE				15			16				SPACE
SPACE				17			18				SPACE
SPACE				19			20				SPACE
SPACE				21			22				SPACE
SPACE				23			24				SPACE
SPACE				25			26				SPACE
SPACE				27			28				SPACE
SPACE				29			30 1				FUTURE SOLAR SYSTEM
CONNECTED VA: A: 5240 B: 5040 TOTAL: VA											
CONNECTED VA W/LCL: A: 6500 B: 6300 TOTAL W/LCL: 12800 VA											
(C)CONTINUOUS LOADS: VA TOTAL AMPS: 54A HIGH ϕ AMPS W/LCL:											
(NON-CONTINUOUS REC LOADS: VA											

① CIRCUITS CONTROL BY 2 POLE RELAY CONTACTOR CONTROLLED BY TIMECLOCK & COMB. PHOTOSENSOR/MOTION SENSOR ON LIGHT FIXTURE

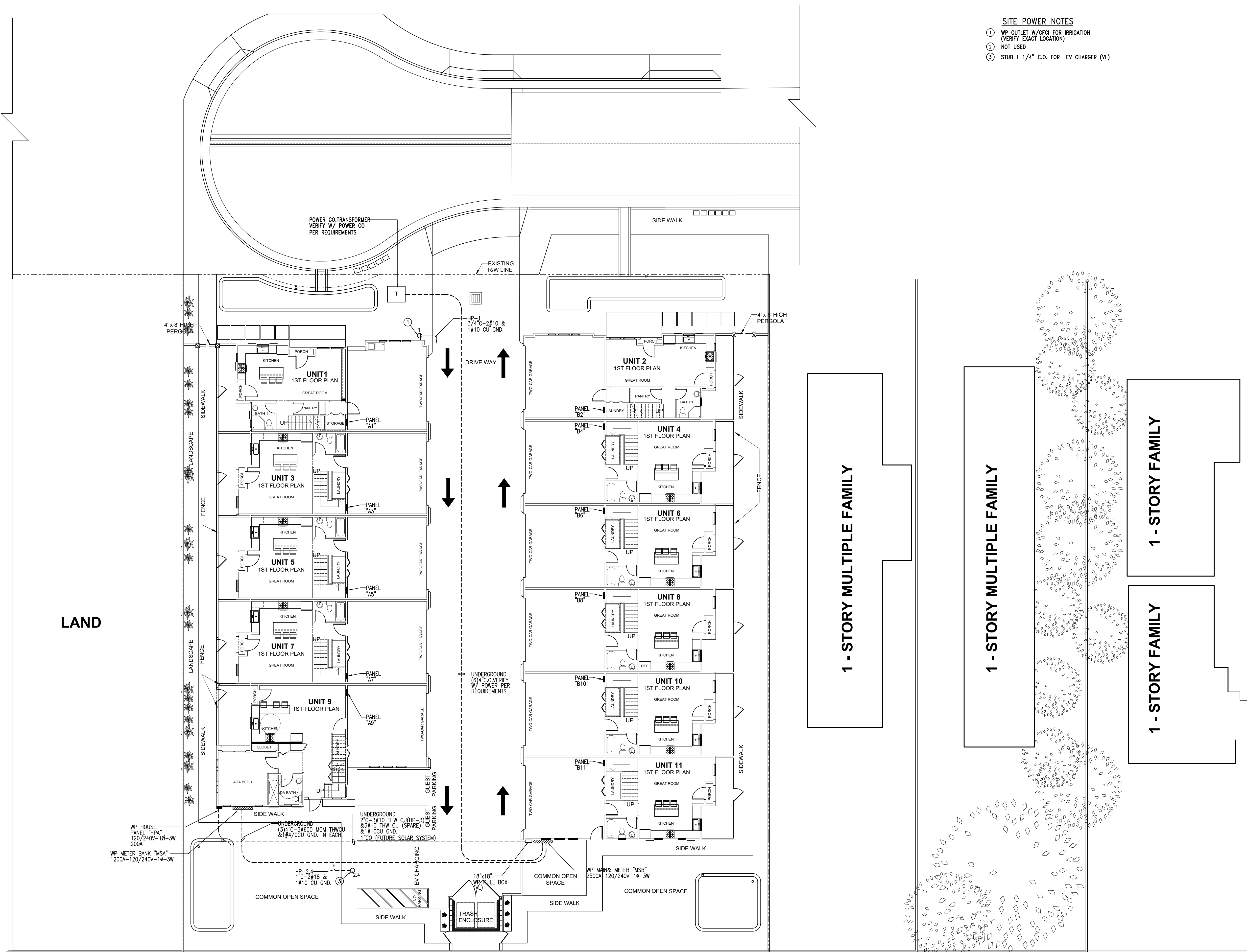
(UNIT# 9)											
PANEL A9	VOLT:120/240V 1ϕ 3w				BUS:200A				MAIN: 200A-2P MAIN C.B		
	MTG: FLUSH				AIC: 10,000A						
LOCATION	LTG	REC	MIS	BKR #	ϕ A	ϕ B	#	BKR	MIS	REC	LTG
GARAGE, LAUNDRY LIGHTS				20 1	1200 800		2 20 1				GARAGE DOOR OPENER
FIRST FLOOR LTS				20 3		1200 720	4 20 1				GARAGE RECEPTACLE
SECOND FLOOR LTS				20 5	1200		6 20 1				WASHER
KITCHEN COUNTER RECEPTACLE				20 7		1500 700	8 20 1				DRYER
KITCHEN COUNTER RECEPTACLE				20 9	1500 720		10 20 1				GREAT ROOM RECEPTACLE
KITCHEN DISH WASHER				20 11		1200 540	12 20 1				DINING ROOM RECEPTACLE
KITCHEN REFRIGERATOR				20 13	700 1260		14 20 1				DEN. RECEPTACLE
KITCHEN RANGE & HOOD				20 15		1200 720	16 20 1				ADA BEDROOM #1 RECEPTACLE
KITCHEN GARBAGE DISPOSAL				20 17	1120 1080		18 20 1				BEDROOM #2 RECEPTACLE
EXTERIOR RECEPTACLE				20 19		180 200	20 20 1				FC IN ATTIC
BATHROOM#1,2,3,4 RECEPTACLE				20 21	720 3640		22 40				OUTDOOR CONDENSER
BEDROOM #3 RECEPTACLE				20 23		1080 3640	24 2				
BEDROOM #3 RECEPTACLE				20 25	1260 3840		26 40				FUTURE EV CHARGER
SPACE				27		3840	28 2				
SPACE				29		460	30 1				OUTLET & LIGHT IN ATTIC
CONNECTED VA: A: 20700 B: 16720 TOTAL: VA											
CONNECTED VA W/LCL: A: 23170 B: 18890 TOTAL W/LCL: 42080 VA											
(C)CONTINUOUS LOADS: VA TOTAL AMPS: 176A HIGH ϕ AMPS W/LCL:											
(NON-CONTINUOUS REC LOADS: VA											

(UNIT #3 TYPICAL FOR UNIT #5 & UNIT #7)											
PANEL A3	VOLT:120/240V 1ϕ 3w				BUS:200A				MAIN: 200A-2P MAIN C.B		
	MTG: FLUSH				AIC: 10,000A						
LOCATION	LTG	REC	MIS	BKR #	ϕ A	ϕ B	#	BKR	MIS	REC	LTG
GARAGE, LAUNDRY LIGHTS				20 1	1200 800		2 20 1				GARAGE DOOR OPENER
FIRST FLOOR LTS				20 3		1200 540	4 20 1				GARAGE RECEPTACLE
SECOND FLOOR LTS				20 5	1200		6 20 1				WASHER
KITCHEN COUNTER RECEPTACLE				20 7		1500 700	8 20 1				DRYER
KITCHEN COUNTER RECEPTACLE				20 9	1500 900		10 20 1				GREAT ROOM RECEPTACLE
KITCHEN DISH WASHER				20 11		1200 540	12 20 1				DINING ROOM RECEPTACLE
KITCHEN REFRIGERATOR				20 13	700 720		14 20 1				DEN. RECEPTACLE
KITCHEN RANGE & HOOD				20 15		1200 900	16 20 1				MASTER BEDROOM #1 RECEPTACLE
KITCHEN GARBAGE DISPOSAL				20 17	1120 1080		18 20 1				BEDROOM #2 RECEPTACLE
EXTERIOR RECEPTACLE				20 19		180 200	20 20 1				FC IN ATTIC
BATHROOM#1,2,3 RECEPTACLE				20 21	540 3640		22 40				OUTDOOR CONDENSER
MASTER BED#3 RECEPTACLE				20 23		900 3640	24 2				
SPACE				25		3840	26 40				FUTURE EV CHARGER
SPACE				27		3840	28 2				
SPACE				29		460	30 1				OUTLET & LIGHT IN ATTIC
CONNECTED VA: A: 18900 B: 16720 TOTAL: VA											
CONNECTED VA W/LCL: A: 21370 B: 18890 TOTAL W/LCL: 40280 VA											
(C)CONTINUOUS LOADS: VA TOTAL AMPS: 168A HIGH ϕ AMPS W/LCL:											
(NON-CONTINUOUS REC LOADS: VA											

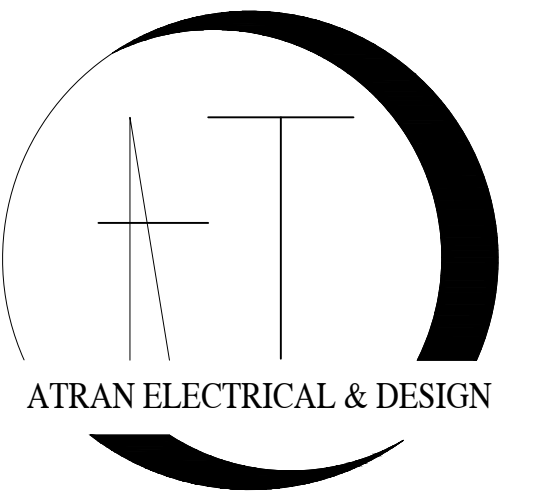
(UNIT #1)											
PANEL A1	VOLT:120/240V 1ϕ 3w				BUS:200A				MAIN: 200A-2P MAIN C.B		
	MTG: FLUSH				AIC: 10,000A						
LOCATION	LTG	REC	MIS	BKR #	ϕ A	ϕ B	#	BKR	MIS	REC	LTG
GARAGE LIGHTS				20 1	1200 800		2 20 1				GARAGE DOOR OPENER
FIRST FLOOR LTS				20 3		1200 540	4 20 1				GARAGE RECEPTACLE
SECOND FLOOR LTS				20 5	1200		6 20 1				WASHER
KITCHEN COUNTER RECEPTACLE				20 7		1500 700	8 20 1				DRYER
KITCHEN COUNTER RECEPTACLE				20 9	1500 900		10 20 1				GREAT ROOM RECEPTACLE
KITCHEN DISH WASHER				20 11		1200 540	12 20 1				DINING ROOM RECEPTACLE
KITCHEN REFRIGERATOR				20 13	700 900		14 20 1				DEN. RECEPTACLE
KITCHEN RANGE & HOOD				20 15		1200 900	16 20 1				BEDROOM #1 RECEPTACLE
KITCHEN GARBAGE DISPOSAL				20 17	1120 720		18 20 1				BEDROOM #2 RECEPTACLE
EXTERIOR RECEPTACLE				20 19		180 200	20 20 1				FC IN ATTIC
BATHROOM#1,2,3 RECEPTACLE				20 21	540 3640		22 40				OUTDOOR CONDENSER
MASTER BED#3 RECEPTACLE				20 23		1260 3640	24 2				
SPACE				25		3840	26 40				FUTURE EV CHARGER
SPACE				27		3840	28 2				
SPACE				29		460	30 1				OUTLET & LIGHT IN ATTIC
CONNECTED VA: A: 18260 B: 16900 TOTAL: VA											
CONNECTED VA W/LCL: A: 20730 B: 19070 TOTAL W/LCL: 39800 VA											
(C)CONTINUOUS LOADS: VA TOTAL AMPS: 166A HIGH ϕ AMPS W/LCL:											
(NON-CONTINUOUS REC LOADS: VA											

(UNIT #11)											
PANEL B11	VOLT:120/240V 1ϕ 3w				BUS:200A				MAIN: 200A-2P MAIN C.B		
	MTG: FLUSH				AIC: 10,000A						
LOCATION	LTG	REC	MIS	BKR #	ϕ A	ϕ B	#	BKR	MIS	REC	LTG
GARAGE LIGHTS				20 1	1200 800		2 20 1				GARAGE DOOR OPENER
FIRST FLOOR LTS				20 3		1200 540	4 20 1				GARAGE RECEPTACLE
SECOND FLOOR LTS				20 5	1200		6 20 1				WASHER
KITCHEN COUNTER RECEPTACLE				20 7		1500 700	8 20 1				DRYER
KITCHEN COUNTER RECEPTACLE				20 9	1500 720		10 20 1				GREAT ROOM RECEPTACLE
KITCHEN DISH WASHER				20 11		1200 540	12 20 1				DINING ROOM RECEPTACLE
KITCHEN REFRIGERATOR				20 13	700 1260		14 20 1				DEN. RECEPTACLE
KITCHEN RANGE & HOOD				20 15		1200 1080	16 20 1				MASTER BEDROOM #1 RECEPTACLE
KITCHEN GARBAGE DISPOSAL				20 17	1120 1080		18 20 1				BEDROOM #2 RECEPTACLE
EXTERIOR RECEPTACLE				20 19		180 200	20 20 1				FC IN ATTIC
BATHROOM#1,2,3 RECEPTACLE				20 21	540 3640		22 40				OUTDOOR CONDENSER
BEDROOM #3 RECEPTACLE				20 23		1080 3640	24 2				
SPACE				25		3840	26 40				FUTURE EV CHARGER
SPACE				27		3840	28 2				
SPACE				29		460	30 1				OUTLET & LIGHT IN ATTIC
CONNECTED VA: A: 19260 B: 16900 TOTAL: VA											
CONNECTED VA W/LCL: A: 21730 B: 19070 TOTAL W/LCL: 40800 VA											
(C)CONTINUOUS LOADS: VA TOTAL AMPS: 170A HIGH ϕ AMPS W/LCL:											
(NON-CONTINUOUS REC LOADS: VA											

(UNIT #4 TYPICAL FOR UNIT #6,UNIT #8,UNIT #10)											
PANEL B4		VOLT:120/240V 1 ϕ 3w				BUS:200A				MAIN: 200A-2P MAIN C.B	
		MTG: FLUSH				AIC: 10,000A					
LOCATION	LTG	REC	MIS	BKR #	ϕ A	ϕ B	#	BKR	MIS	REC	LTG
GARAGE LIGHTS				20 1	1200 800		2 20 1				GARAGE DOOR OPENER
FIRST FLOOR LTS				20 3		1200 540	4 20 1				GARAGE RECEPTACLE
SECOND FLOOR LTS				20 5	1200		6 20 1				WASHER
KITCHEN COUNTER RECEPTACLE				20 7		1500 700	8 20 1				DRYER
KITCHEN COUNTER RECEPTACLE				20 9	1500 720		10 20 1				GREAT ROOM RECEPTACLE
KITCHEN DISH WASHER				20 11		1200 540	12 20 1				DINING ROOM RECEPTACLE
KITCHEN REFRIGERATOR				20 13	700 720		14 20 1				DEN. RECEPTACLE
KITCHEN RANGE & HOOD				20 15		1200 900	16 20 1				MASTER BEDROOM #1 RECEPTACLE
KITCHEN GARBAGE DISPOSAL				20 17	1120 1080		18 20 1				BEDROOM #2 RECEPTACLE
EXTERIOR RECEPTACLE				20 19		180 200	20 20 1				FC IN ATTIC
BATHROOM#1,2,3 RECEPTACLE				20 21	540 3640		22 40				OUTDOOR CONDENSER
BEDROOM #3 RECEPTACLE				20 23		1080 3640	24 2				_____
SPACE				25	3840		26 40				FUTURE EV CHARGER
SPACE				27		3840	28 2				_____
SPACE				29	460		30 1				OUTLET & LIGHT IN ATTIC
CONNECTED VA:					A: 18720	B: 16720	TOTAL: VA				
CONNECTED VA W/LCL:					A: 21190	B: 18890	TOTAL W/LCL: 40080 VA				
(CONTINUOUS LOADS: NON-CONTINUOUS REC LOADS:					VA TOTAL AMPS: 167A	HIGH ϕ AMPS W/LCL:					



- SITE POWER NOTES
- ① WP OUTLET W/GFCI FOR IRRIGATION (VERIFY EXACT LOCATION)
 - ② NOT USED
 - ③ STUB 1 1/4" C.O. FOR EV CHARGER (VL)



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STAMP:

SHEET TITLE:

SITE
POWER
PLAN

SHEET NO.:

SE-1