



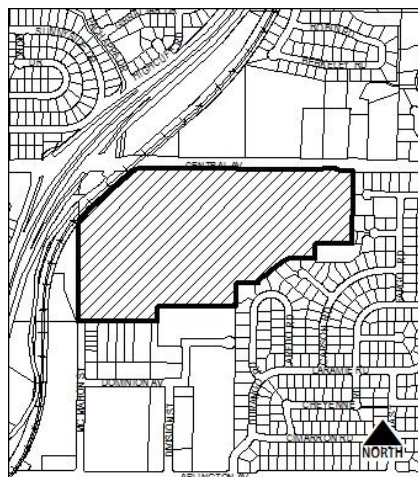
**Community Development Department
Planning Division**

3900 Main Street, Riverside, CA 92522 | Phone: (951) 826-5371 | RiversideCA.gov

PLANNING COMMISSION HEARING DATE: JUNE 4, 2015

AGENDA ITEM NO.: #4

PROPOSED PROJECT

Case Numbers	P14-0898 (Conditional Use Permit), P15-0433 (Variance)	
Request	To construct a 6,713 square foot mausoleum on an approximately 62.8 acre site that is fully developed with a cemetery	
Applicant	Robert Brown, Trustee for Olivewood Cemetery	
Project Location	3300 Central Avenue	
Project area	Cemetery: Approx. 62.8 acres Structure: 6,713 square feet Total Project Area: 12,723 square feet	
Ward	3	
Neighborhood	Victoria	
Specific Plan	None	
General Plan Designation	PF- Public Facilities	
Zoning Designation	RC-Residential Conservation	
Staff Planner	Gaby Adame, Assistant Planner; 951-826-5933; gadame@riversideca.gov	

RECOMMENDATIONS

Pursuant to Chapters 2.40 and 19.050.030 of the Riverside Municipal Code, the Planning Commission is asked review the proposed project subject to its consistency with the Zoning Code (Title 19) and Subdivision Code (Title 18). Additionally, the Planning Commission is asked to concur with Staff's determination that the proposed project is conditionally consistent with the

Citywide Design & Sign Guidelines. Specifically, Staff Recommends that the City Planning Commission:

1. **RECOMMEND** that the City Council **DETERMINE** that this proposed project is exempt from California Environmental Quality Act (CEQA) review pursuant to Section 15303 (New Construction).
2. **RECOMMEND APPROVAL** of Planning Case Number: P14-0898 (Conditional Use Permit) based on the findings outlined in the staff report and summarized in the attached findings and subject to the recommended conditions;
3. **RECOMMEND ADOPTION** of attached exhibits 6-10 as approved project plans, subject to recommended conditions of approval.

SITE BACKGROUND

Olivewood Cemetery, the second oldest cemetery in the City of Riverside, was dedicated in 1888 with a plan to develop approximately 75 acres near Central Avenue. In 1930, Olivewood's first mausoleum, designed by noted Riverside architect Henry L.A. Jekel, was built and later expanded in 1959. The mausoleum, elevated from the front road in front of it, is designed in a Mission Revival style infused with Art Deco features. Subsequent mausoleums 2 & 3 filed under conditional use permit CU-017-689 were built in 1969 and 1987, respectively, in a Spanish style design (Exhibit 9). These have wide open arches with a recessed entry way, but only the 1969 structure has wooden beams supporting the roof, and clay roof tiles. A rough stuccoed surface extends all around the original structure, though a lighter softer surface was applied to the expanded structure. Both structures are connected by the "Court of Serenity," an open space with three walls made of a dark marble.

The submitted project proposes a 6,713 square foot building with similar design characteristics to that of the 1930 mausoleum. This proposed construction will be the fourth mausoleum located in the cemetery, along the same road, at the base of the hills that separate southerly residential areas from the cemetery.

PROPOSAL

The 6,713 square foot proposed mausoleum consists of a two-story structure with a recessed second level. The first level will have concrete pilasters similar in color and style as the Henry L.A. Jekel mausoleum built in 1930 and a wood door entry way with aluminum clad windows surrounding it (Exhibit 10). Due to the dense landscaping in the cemetery, which features large and wide trees, the mausoleum will not be easily visible from the northern end where Central Avenue is located, the western side where State Route 91 is located, and eastern portion of the cemetery, where residential neighborhoods are adjacent. Additionally, the hills on the southern side of the mausoleum will screen the structure. Both the trees and the hills reduce the impact of the second level height.

The mausoleum will also have an interior and exterior committal area, or chapel, measuring 1,790 square feet. The lower floor will have room for an additional 756 crypts, the second floor will have 732, for a total of 1,488. A total of 324 niches will also be added (Exhibit 6).

The upper floor will be recessed so the massing does not dominate the first floor and to minimize visual impacts on the existing 1930 mausoleum and character of the cemetery. A clear path of

travel will have concrete walk ways and decks; dark bronze metal railing grills with ornamental metalwork; a metal trellis with polycarbonate coating; and a wall feature behind the trellis with an ornamental metal grille.

PROJECT ANALYSIS

<i>Authorization and Compliance Summary</i>			
	Consistent	Inconsistent	N/A
General Plan 2025 The proposed project is consistent with the existing General Plan land use designation for the project site because it maintains the existing public facilities use of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Specific Plan The project site is not located within a Specific Plan boundary.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Zoning Code Land Use Consistency (Title 19) While the project is not consistent with the existing underlying RC-Residential Conservation Zone, the cemetery was established prior to adoption of the RC Zone. Variance approval for the height of the building at 35 feet where the RC Zone requires 20 feet.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Compliance with Citywide Design & Sign Guidelines The proposed project substantially meets the objectives of the City's design guidance document, subject to the recommended conditions of approval detailed below.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

COMPLIANCE WITH APPLICABLE DEVELOPMENT STANDARDS

Parking

<i>Site Plan Review & Design Review (Title 19)</i>					
Parking Required			Parking Provided	Consistent	Inconsistent
Min. Parking	1 space/30 square feet of floor area in the main assembly area for non-fixed seats. Chapel space in the interior mausoleum is 1,790 Square Feet	60 spaces	60 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Seven parking slots will be provided in the northern end of the structure, two of those will be ADA accessible. Additional parking will be provided parallel to the cemetery's roads to meet the required 60 parking spaces.

Site Plan

Staff supports the proposed site plan as previously described, subject to implementation of the conditions of approval (Exhibit 6). The site will be located along the same southernmost roadway where three other mausoleums are located and at the base of the hills facing north. The cemetery can be accessed from two eastbound entrances from Central Avenue. The topography of the site allows for limited visual impact from the size and height of the mausoleum.

Height

The proposed project height exceeds the maximum height requirement of the RC-Residential Conservation Zone of 20 feet (Exhibit 7). A Variance has been submitted for the deviation from the maximum height permitted. As mentioned before, dense landscaping and the hills adequately reduce the impact of the structure, therefore the variance can be supported by staff.

Vehicular Access

As stated above, access to the cemetery is available at the two entrances from the eastbound roadway on Central. Through a network of inner-site roads in the cemetery, access to the mausoleum will be in the southernmost section of the cemetery.

ENVIRONMENTAL IMPACTS

This proposal is exempt from California Environmental Quality Act (CEQA) review pursuant to Section 15303 (New Construction).

NEIGHBORHOOD COMPATIBILITY

The project is being constructed in a site that was established previous to the RC-Residential Conservation Zoning. The cemetery is a prohibited use in a RC zone, though this case is being processed as a revision to the original Conditional Use Permit CU-017-689.

PUBLIC NOTICE AND COMMENTS

Public hearing notices were mailed to property owners within 300 feet of the site. As of the writing of this report, no responses have been received by Planning Staff.

EXHIBITS LIST

1. Staff Recommended Findings
2. Staff Recommended Conditions of Approval
3. Aerial Photo/Location
4. General Plan Map
5. Zoning Map
6. Site Plan
7. Building Elevations
8. Floor Plans
9. Existing Site Photos
10. Color and Materials Board

Report and Recommendations Prepared by:

Gaby Adame, Assistant Planner

Report and Recommendations Reviewed by:

Gabriel Perez, Principal Planner

Report and Recommendations Approved by:

David Welch,

Interim Community and Economic
Development Deputy Director



City of Arts & Innovation

COMMUNITY DEVELOPMENT DEPARTMENT

Planning Division

EXHIBIT 1 – STAFF RECOMMENDED FINDINGS

PLANNING CASES: **P14-0898** (Conditional Use Permit)

P15-0433 (Variance)

STAFF RECOMMENDED FINDINGS

Conditional Use Permit:

1. The proposed project is consistent with the General Plan 2025 and the intent and purpose of the PF-Public Facilities General Plan land use designation;
2. The proposed development, as conditioned, will not have substantial adverse effects on the surrounding property or uses, and will be compatible with the existing and planned land use character of the surrounding area;
3. The proposed development is appropriate for the site and location by fostering a mixture and variety of land uses within the zone and the general vicinity and contributing to a synergistic relationship between uses;
4. The proposed development is harmonious with its surrounding environment. All proposed development must meet the design standards and guidelines in Section 19.120.070 (Design Standards and Guidelines).
5. With the recommended conditions of approval, the proposed use is substantially compatible with the existing residential and commercial uses in the area, including factors relating to the nature of its location, operation, building design, site design, traffic characteristics and environmental impacts;
6. The proposed mausoleum will not be materially detrimental to the health, safety and general welfare of the public or otherwise injurious to the environment or to the property or improvements within the area, with implementation of the recommended conditions of approval;
7. The proposed mausoleum, as conditioned, will be consistent with the purposes of the Zoning Code and the application of any required development standards is in the furtherance of a compelling governmental interest and is the least restrictive means of furthering that compelling governmental interest.
8. The project qualifies as a "New Construction" project and is categorically exempt from the provisions of the California Environmental Quality Act per Section 15303 of the CEQA Guidelines.

Variances

9. The Planning Commission makes the necessary findings in the applicant's favor to grant the following variance:

- To permit the mausoleum to exceed maximum building height requirements in a RC-Residential Conservation Zone (20 feet).

As justification, to the applicant's attached variance justifications, Staff has prepared the following supplemental variance justifications:

1. *The strict application of the provisions of the Zoning Regulations would result in practical difficulties or unnecessary hardships in the development of this property.*

The proposal complies with this finding. Compliance with this requirement would involve significant site plan modifications, which would be a deterrent to the project. To minimize visual impacts, conditions of approval include compliance with the *Citywide Design Guidelines* to ensure a properly landscaped area. Based on this, Staff can support the requested variance.

2. *There are exceptional circumstances or conditions applicable to this property or to the intended use or development of this property which do not apply generally to other property in the same zone or neighborhood.*

The proposal complies with this finding. The proposed mausoleum is located in the southernmost section of the cemetery and at the base of the hills where three other similar mausoleums have been constructed when earlier zoning codes permitted such construction. Staff believes these are considered exceptional circumstances that do not generally apply to other properties.

3. *The granting of this request will not prove materially detrimental to the public welfare or injurious to the property or improvements in the neighborhood in which the property is located.*

The proposal complies with this finding, with the recommended conditions of approval. The project will be required to meet, if not exceed, standards contained in the *Citywide Design Guidelines* which pertain to landscaping and architectural design.

4. *The granting of this request will not be contrary to the objectives of the General Plan.*

Based on the scope of the requested variances, the granting of this request will not be contrary to the objectives of the General Plan 2025.



City of Arts & Innovation

COMMUNITY DEVELOPMENT DEPARTMENT

Planning Division

EXHIBIT 2 - STAFF RECOMMENDED CONDITIONS OF APPROVAL

RECOMMENDED CONDITIONS & GENERAL INFORMATION NOTES

Case Numbers: **P14-0898** (Conditional Use Permit)

P15-0433 (Variance)

CONDITIONS

Case Specific

- **Planning**

1. Signs shall be permitted in accordance with Chapter 19.620 of the Zoning Code. Any new signs shall be subject to separate review and assessment, including any required variances. A separate sign application, including fees and additional sets of plans, will be necessary prior to sign permit issuance.

Prior to Grading Permit Issuance

2. A 40-scale precise grading plan shall be submitted to the Planning Division and include the following:
 - a. Hours of construction and grading activity are limited to between 7:00 a.m. and 7:00 p.m. weekdays and 8:00 a.m. and 5:00 p.m. Saturdays. No construction noise is permitted on Sundays or Federal Holidays;
 - b. Compliance with City adopted interim erosion control measures;
 - c. Compliance with all recommendations of the required Project specific Water Quality Management Plan;
 - d. Compliance with any applicable recommendations of qualified soils engineer to minimize potential soil stability problems;
 - e. Include a note requiring the developer to contact Underground Service Alert at least 48 hours prior to any type of work within pipeline easement; and
3. To reduce construction related particulate matter air quality impacts of projects the following measures shall be required:
 - a. the generation of dust and fugitive dust shall be controlled as required by SCAQMD Rule 403;

- b. grading activities shall cease during period of high winds (greater than 25mph);
 - c. trucks hauling soil, dirt or other emissive materials shall have their loads covered with a tarp or other protective cover as determined by the City Engineer;
 - d. the contractor shall prepare and maintain a traffic control plan, prepared, stamped and signed by either a licensed Traffic Engineer or a Civil Engineer. The preparation of the plan shall be in accordance with Chapter 5 of the latest edition of the Caltrans Traffic Manual and the State Standard Specifications. The plan shall be submitted to Public Works Department for review and approval. The Traffic Plan shall include, but is not limited to, rerouting construction related traffic off congested streets, consolidating truck deliveries, and providing temporary dedicated turn lanes for movement of construction traffic to and from site. Work shall not commence without an approval traffic control plan from the Public Works Department;
 - e. Sweep streets at the end of the day if visible soil material is carried onto adjacent paved public roads;
 - f. Wash off trucks and other equipment leaving the site;
 - g. Replace ground cover in disturbed areas immediately after construction;
 - h. Keep disturbed/loose soil moist at all times;
 - i. Enforce a 15 mile per hour speed limit on unpaved portions of the construction site.
4. Advisory: State and Federal regulations require preparation and implementation of a Storm Water Pollution Prevention Plan (SWPPP). Compliance with this requirement is enforced by the Water Quality Control Board.

Prior to Building Permit Issuance

- 5. *A Burrowing Owl survey must be completed.*
- 6. *Advisory: Payment of Multi-Species Habitat Conservation Plan (MSHCP) fees as applicable.*
- 7. *Advisory: Any applicable Riverside County Flood Control and Water Conservation District facilities must be constructed to District standards, and District plan check and inspection will be required. Separate plan check and inspection fees apply.*
- 8. Submit three sets of plans depicting the preferred location for above ground utility transformer of capacity to accommodate the planned or speculative uses within the building(s) or subject site. These plans shall be reviewed and approved by the Planning Division and Public Utilities Department - Electric Division prior to the issuance of a building permit. The proposed location of the transformer shall be level, within 100 feet of the customer's service point, accessible to service trucks and in a location where the transformer can be adequately screened from public view, either by buildings or landscape screening. If landscape screening is the preferred screening method, no landscaping except ground cover shall be allowed within 10 feet of the transformer. The applicant is advised to consult with the City of Riverside Public Utilities, Electrical Engineering Division, at (951)826-5489 prior to preparing these plans.
- 9. Plans submitted for Plan check review should specify the location, design and color of all domestic water meters, backflow preventers, and all on- and off-site utility cabinets subject to Planning Division and Public Utilities' review and approval. The visibility of such facilities shall be

minimized and include use of the smallest preventer possible, be painted green, and consist of some form of screening including but not limited to berming, landscaping, and/or installation of a screen wall.

10. Landscaping, irrigation, exterior lighting, and sign plans shall be submitted for Design Review staff approval. Design modifications may be required as deemed necessary. Separate applications and filing fees are required. Landscaping, irrigation and exterior lighting plans must be submitted prior to building permit issuance.
11. **Staff Required Plot Plan Conditions:** Revise the submitted plot plan such that the plan provided for building permit plan check incorporates the following changes:
 - a. Verify that all internal roads have 60 parallel parking spots by demonstrating stacking;
12. **Staff Required Building Elevations Conditions:** Revise the submitted building elevations such that the plans provided for building permit plan check incorporate the following changes:
 - a. The building elevations submitted for building permits shall clearly specify all building dimensions;
13. **Landscape and irrigation plans** shall be submitted for Design Review staff approval. Design modifications may be required as deemed necessary. Separate applications and filing fees are required. Landscaping and irrigation plans must be submitted prior to building permit issuance. Landscape and irrigation plans shall include the following:
 - a. The plant palette shall include the use of drought tolerant plant species in accordance with the City's Water Efficient Ordinance;
 - b. Landscaping of all common open space areas;

During Grading and Construction:

14. * During construction, 8' temporary noise barriers shall be installed along the north and south property lines.
15. The applicant shall be responsible for erosion and dust control during both the grading and construction phases of the project.
16. The project shall comply with all existing State Water Quality Control Board and City storm water regulations, including compliance with NPDES requirements related to construction and operation measures to prevent erosion, siltation, transport or urban pollutants, and flooding.
17. The project contractors shall equip all construction equipment, fixed or mobile, with properly operating and maintained mufflers consistent with manufacturers' standards.
18. The Construction Contractor shall place all stationary construction equipment so that emitted noise is directed away from sensitive receptors nearest the project site.
19. The Construction Contractor shall locate equipment staging in areas that will create the greatest distance between construction-related noise sources and noise-sensitive receptors nearest the project site during all project construction.
20. During all project site construction, the Construction Contractor shall limit all construction-related activities that would result in a noise disturbance to between the hours of 7:00 a.m. and 7:00

p.m., Monday through Friday and between the hours of 8:00 a.m. and 5:00 p.m. on Saturdays. No construction is permitted on Sundays or federal holidays.

21. Noise-reducing design features shall be utilized consistent with standards in Title 24 California Code of Regulations and Title 7 of the Municipal Code.
22. Should cultural, historical or archaeological items be found during construction, the construction of this project shall be halted in the vicinity of the find and a qualified archaeologist shall be hired at the applicant's expense to work with the Planning Division to determine the finds significance and possible mitigation measures.
23. Painting and surface coating shall be limited to an aggregate area of no more than 25,390 square feet per day during any phase of construction; or paints and surface coatings shall be limited to a VOC content of no more than 17 milligrams per liter of VOC content.
24. To reduce diesel emissions associated with construction, construction contractors shall provide temporary electricity to the site to eliminate the need for diesel-powered electric generators, or provide evidence that electrical hook ups at construction sites are not cost effective or feasible.
25. To reduce construction related particulate matter air quality impacts of projects the following measures shall be required:
 - a. the generation of dust shall be controlled as required by the AQMD;
 - b. grading activities shall cease during periods of high winds (greater than 25 mph);
 - c. trucks hauling soil, dirt or other emissive materials shall have their loads covered with a tarp or other protective cover as determined by the City Engineer; and
 - d. the contractor shall prepare and maintain a traffic control plan, prepared, stamped and signed by either a licensed Traffic Engineer or a Civil Engineer. The preparation of the plan shall be in accordance with Chapter 5 of the latest edition of the Caltrans Traffic Manual and the State Standard Specifications. The plan shall be submitted for approval, by the engineer, at the preconstruction meeting. Work shall not commence without an approved traffic control plan.
26. The Construction Contractor shall time the construction activities so as to not interfere with peak-hour traffic and minimize obstruction of through traffic lanes adjacent to the site; if necessary, a flagperson shall be retained to maintain safety adjacent to existing roadways.
27. Prior to beginning construction, the project applicant shall retain a City of Riverside qualified archeological monitor to monitor all ground-disturbing activities in an effort to identify any unknown archeological resources. Any newly discovered cultural resource deposits shall be subject to a cultural resources evaluation.
28. At least 30 days prior to beginning project construction, the project applicant shall contact the Pechanga Tribe to notify the Tribe of grading, excavation and the monitoring program and to develop a Cultural Resources Treatment and Monitoring Agreement between the Applicant and Tribe. The Agreement shall address the treatment of known cultural resources, the designation, responsibilities, and participation of professional Native American Tribal monitors during grading, excavation and ground disturbing activities; project grading and development scheduling; terms of compensation for the monitors; and treatment and final disposition of any cultural resources, sacred sites, and human remains discovered on the site.

29. Prior to beginning project construction, the Project Archeologist shall file a pre-grading report with the City (if required) to document the proposed methodology for grading activity observation which will be determined in consultation with the Pechanga Tribe. Said methodology shall include the requirement for a qualified archeological monitor to the present and to have the authority to stop and redirect grading activities. In accordance with the agreement required in MM CR 2, the archeological monitor's authority to stop and redirect grading will be exercised in consultation with the Pechanga Tribe in order to evaluate the significance of any archeological resources discovered on the property. Tribal and archeological monitors shall be allowed to monitor all grading, excavation and groundbreaking activities, and shall also have the authority to stop and redirect grading activities.
30. If human remains are encountered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the Riverside County Coroner has made the necessary findings as to origin. Further, pursuant to California Public Resources Code Section 5097.98(b) remains shall be left in place and free from disturbance until a final decision as to the treatment and disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission must be contacted within 24 hours. The Native American Heritage Commission must then immediately identify the "most likely descendant(s)" of receiving notification of the discovery. The most likely descendants shall then make recommendations within 48 hours, and engage in consultations concerning the treatment of the remains as provided in Public Resources Code 5097.98 and the Treatment Agreement described in MM CR2.
31. The landowner shall relinquish ownership of all cultural resources, including sacred items, burial goods and all archeological artifacts that are found on the project area to the appropriate Tribe for proper treatment and disposition.
32. All cultural materials that are collected during the grading monitoring program and from any previous archeological studies or excavations on the project site, with the exception of sacred items, burial goods and human remains which will be addressed in the Treatment Agreement required in MM CR 2 shall be tribally curated according to the current professional repository standards by the Pechanga Tribe. The collections and associated records shall be transferred, including title, to the Pechanga Tribe's curation facility which meets the standards set forth in 36 CRF Part 79 for federal repositories. All sacred sites, should they be encountered within the project site, shall be avoided and preserved as the preferred mitigation, if feasible.
33. Should cultural, historical or archeological items be found during grading and construction activity, the construction and grading of this project all activity shall be halted in the vicinity of the find and diverted until a qualified archeologist meeting the Secretary of the Interior standards can evaluate the nature and significance of the find. If human remains are uncovered, the applicant shall contact the County Coroner's Office.
34. The applicant shall be responsible for erosion and dust control during both the grading and construction phases of the project.

- **Public Works**

THE FOLLOWING PUBLIC WORKS "ENGINEERING" CONDITIONS TO BE MET PRIOR TO CASE FINALIZATION:

35. Installation of a sewer lateral to serve this project to Public Works specifications. If an existing sewer lateral is proposed to be reused, the applicant shall perform a video inspection of the lateral to confirm it is suitable for use. A record of the video inspection shall be submitted to Public Works for review and concurrence.

36. Prior to final inspection for the development project, the applicant shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of payment. If the project improvements include qualifying right-of-way dedications and/or street improvements to a TUMF regional arterial roadway as identified on the Regional System of Highways and Arterials, the developer may have the option to enter into a Credit/Reimbursement Agreement with the City and Western Riverside Council of Governments (WRCOG) to recover costs for such work based on unit costs as determined by WRCOG. The terms of the agreement shall be in accordance with the RMC Chapter 16.68 and the TUMF Administrative Plan requirements. Credit/reimbursement agreements must be fully executed prior to receiving any credit/reimbursement. An appraisal is required for credit/reimbursement of right of way dedications and credit/reimbursement of qualifying improvements requires the public bidding and payment of prevailing wages in accordance with State Law. For further assistance, please contact the Public Works Department.
37. Prior to issuance of a building or grading permit, the applicant shall submit to the City for review and approval, a project-specific WQMP that:
- a. Addresses Site Design BMP's such as minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas and conserving natural areas;
 - b. Incorporates the applicable Source Control BMP's as described in the Santa Ana River Region WQMP and provides a detailed description of their implementation;
 - c. Incorporates Treatment Control BMP's as described in the Santa Ana River Region WQMP and provides information regarding design considerations;
 - d. Describes the long-term operation and maintenance requirements for BMP's requiring long-term maintenance; and
 - e. Describes the mechanism for funding the long-term operation and maintenance of the BMP's requiring long-term maintenance.
38. Prior to issuance of any building or grading permits, the property owner shall record a "Covenant and Agreement" with the County-Clerk Recorder or other instrument acceptable to the City Attorney to inform future property owners of the requirement to implement the approved project-specific WQMP. Other alternative instruments for requiring implementation of the approved project-specific WQMP include: requiring the implementation of the project-specific WQMP in the Home Owners Association or Property Owners Association Conditions, Covenants and Restrictions (C,C&R's); formation of Landscape, Lighting and Maintenance Districts, Assessment Districts or Community Service Areas responsible for implementing the project-specific WQMP; or equivalent may also be considered. Alternative instruments must be approved by the City prior to the issuance of any building or grading permits.
39. If the project will cause land disturbance of one acre or more, it must comply with the statewide General Permit for Storm Water Discharges Associated with Construction Activity. The project applicant shall cause the approved final project-specific WQMP to be incorporated by reference or attached to the project's Storm Water Pollution Prevention Plan as the Post-Construction Management Plan.
40. Prior to building or grading permit closeout or the issuance of a certificate of occupancy or certificate of use, the applicant shall:

- a. Demonstrate that all structural BMP's described in the project-specific WQMP have been constructed and installed in conformance with approved plans and specifications;
- b. Demonstrate that applicant is prepared to implement all non-structural BMP's described in the approved project-specific WQMP; and
- c. Demonstrate that an adequate number of copies of the approved project-specific WQMP are available for the future owners/ occupants.

- **Public Utilities – Electric**

CONTACT SUMMER AYALA AT 951-826-2129 FOR QUESTIONS REGARDING PUBLIC UTILITIES (ELECTRIC) CONDITIONS/CORRECTIONS LISTED BELOW.

41. The provision of utility easements, water, street lights and electrical underground and/or overhead facilities and fees in accordance with the rules and regulations of the appropriate purveyor.
42. All utilities shall be satisfactorily relocated, protected and/or replaced to the specifications of the affected departments and agencies, and easements for such facilities retained as necessary.

- **Public Utilities – Water**

43. No Water Division requirements.

- **Fire Department**

CONTACT MARGARET ALBANESE AT 951-826-5455 FOR QUESTIONS REGARDING FIRE CONDITIONS OR CORRECTIONS.

THE FOLLOWING TO BE MET PRIOR TO CONSTRUCTION PERMIT ISSUANCE:

44. Construction plans shall be submitted and permitted prior to construction.
45. Requirements for construction shall follow the currently adopted California Building Code and California Fire Code with City of Riverside amendments.

- **Parks and Recreation**

46. Prior to Building Permit Issuance: Payment of all applicable park development fees (local, regional/reserve, trail and aquatic) as mitigation for the impacts of the project on the park development and open space needs of the City. For questions or concerns regarding this condition, contact Park Planning & Design, 951/826-2000.

Standard Conditions

• Planning

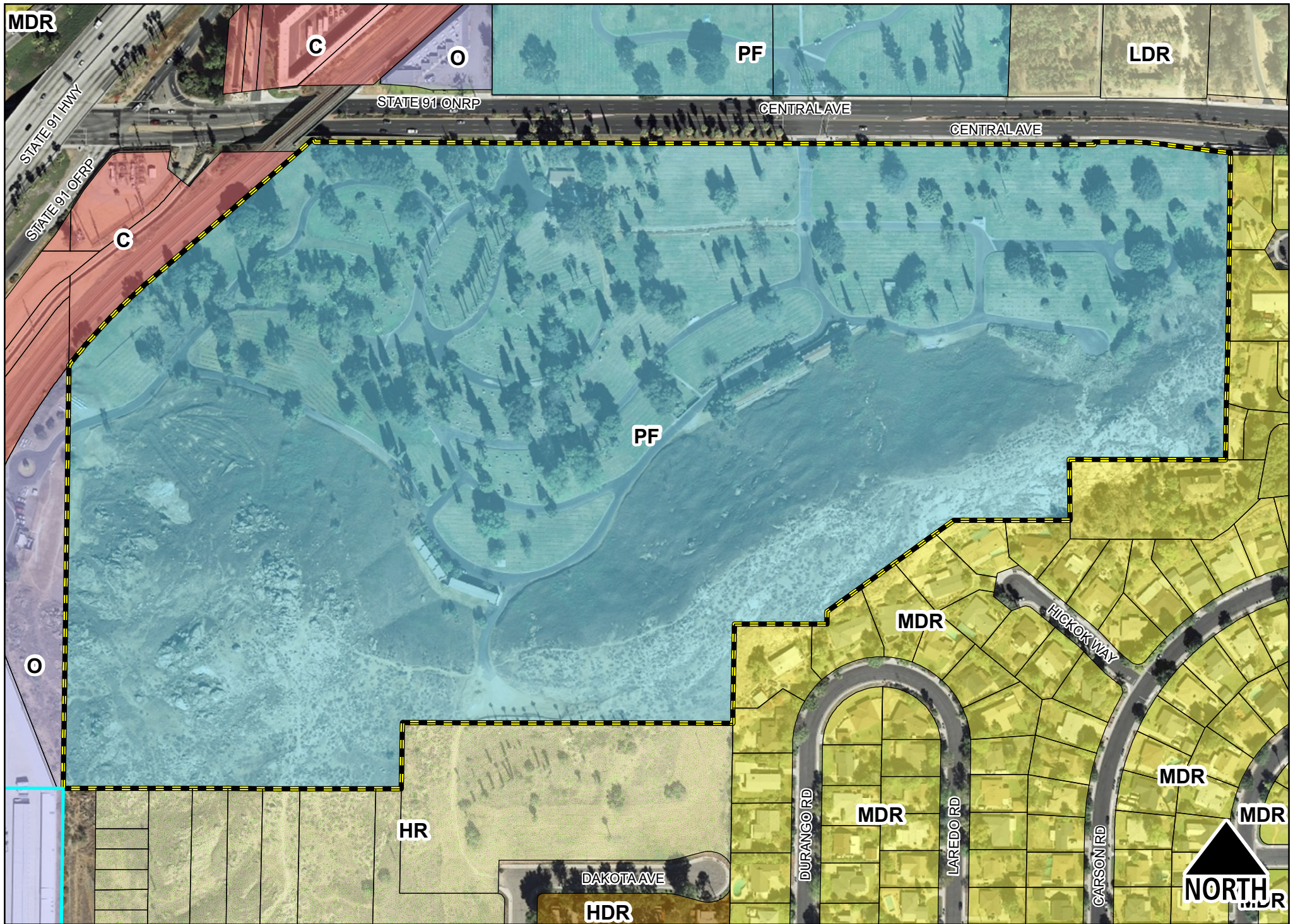
47. The Project must be completed per the Site Plan Review and Design Review approved by the Planning Commission, including all conditions listed in this report. Any substantial changes to the Project must be approved by the Planning Commission or minor modifications by Design Review Staff. Upon completion of the Project, a Design Review Staff inspection must be requested, and **UTILITIES** will not be released until it is confirmed that the approved plans and all conditions have been implemented.
48. Within 30 days of approval of this case by the City, the developer shall execute an agreement approved by the City Attorney's Office to defend, indemnify, including reimbursement, and hold harmless the City of Riverside, its agents, officers and employees from any claim, action, or proceeding against the City of Riverside, its agents, officers, or employees to attack, set aside, void, or annul, an approval by the City's advisory agency, appeal board, or legislative body concerning this approval, which action is brought within the time period provided for in Section 66499.37 of the Government Code. The City will promptly notify the developer of any such claim; action or proceeding and the City will cooperate in the defense of the proceeding.
49. This approval is for design concept only, and does not confirm the project has been thoroughly checked for compliance with all requirements of law. As such, it is not a substitute for the formal building permit plan check process, and other changes may be required during the plan check process.
50. There is a 24 month time limit on this approval.
51. This Project shall fully and continually comply with all applicable conditions of approval, State, Federal and local laws in effect at the time the permit is approved and exercised and which may become effective and applicable thereafter, and in accordance with the terms contained within the staff report and all testimony regarding this case. Failure to do so will be grounds for Code Enforcement action, revocation or further legal action.
52. Due to proximity of the residential project within 1,000-feet of the freeway, the owner of the residential development shall provide full disclosure on all rental, lease and sale documents to future tenants and/or buyers of potential increased cancer risk due to the proximity of the freeway.

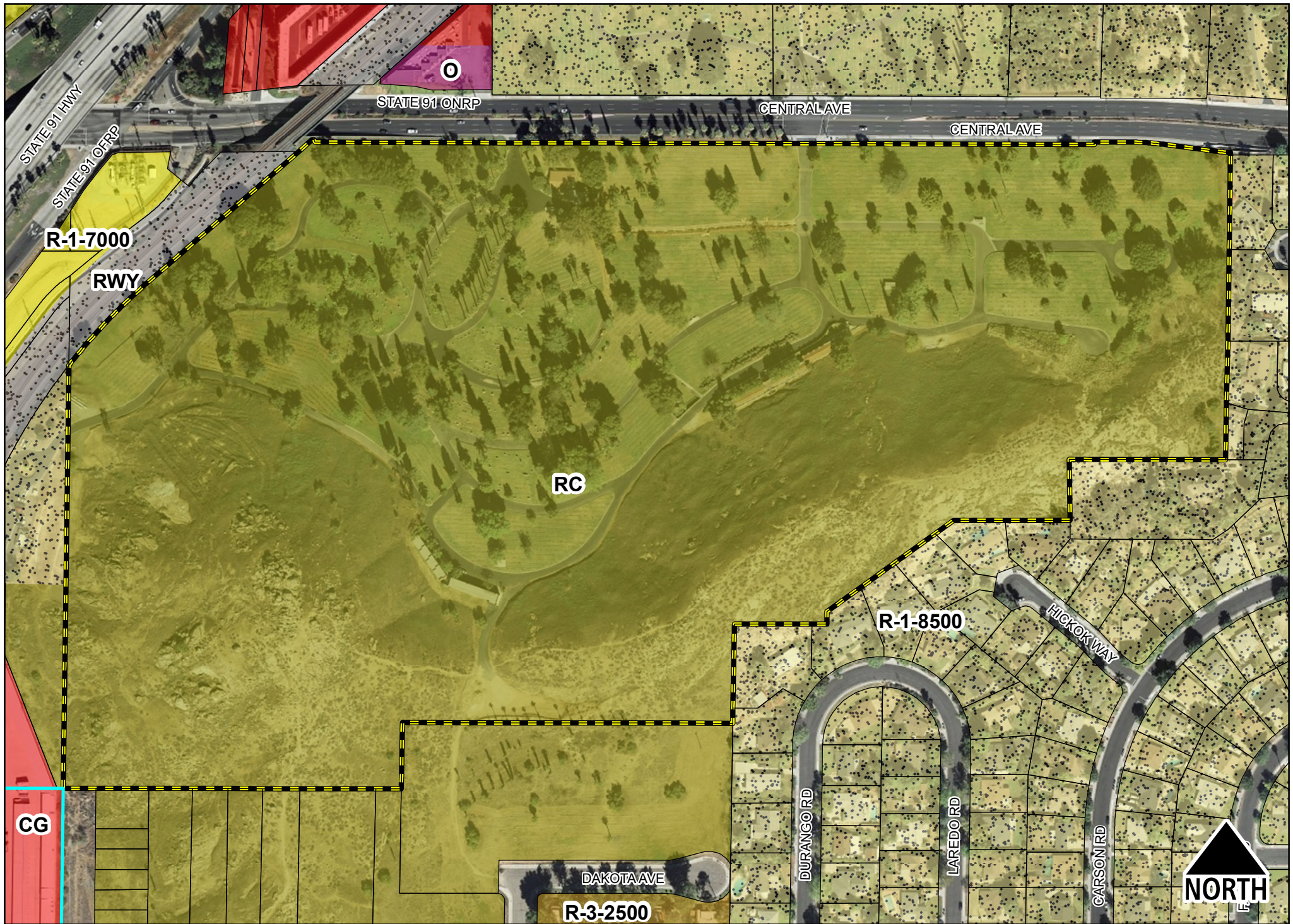
GENERAL INFORMATION NOTES

1. Appeal Information

- a. Actions by the City Planning Commission, including any environmental finding, may be appealed to the City Council within ten calendar days after the decision.
- b. Appeal filing and processing information may be obtained from the Planning Department Public Information Section, 3rd Floor, City Hall.









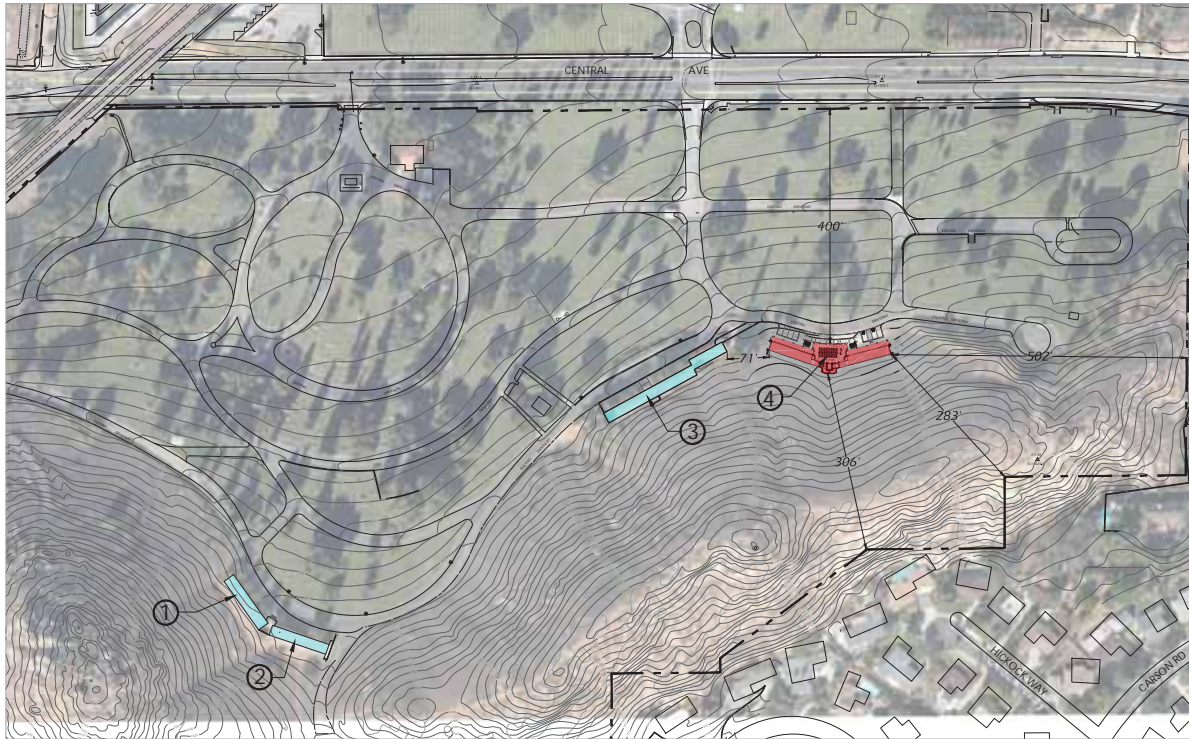
① EX. MAUSOLEUM



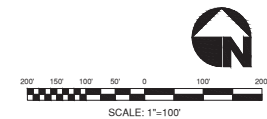
② EX. MAUSOLEUM



③ EX. MAUSOLEUM



④ PROP. MAUSOLEUM



**OLIVEWOOD
MEMORIAL
PARK**
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Stamp:

Revisions:

Project #: 13003
Date: 03/12/15
Issued For:
Drawn By: IDLA

MAUSOLEUM PLAN

P2

Sheet - of -



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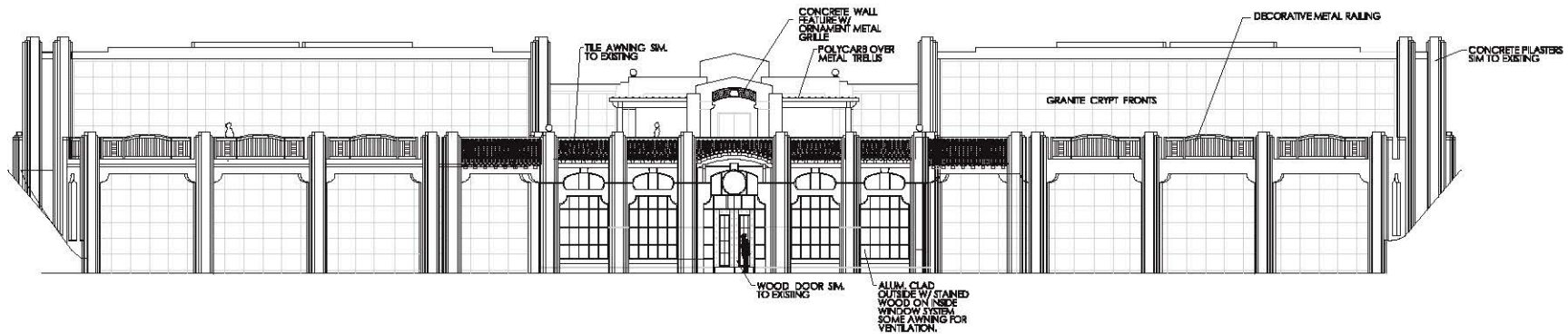
MAUSOLEUM PROPOSAL FOR
OLIVEWOOD MEMORIAL PARK
RIVERSIDE, CALIFORNIA

ISSUED 02 OCT 2014
12 MAR 2015

DRAWN BY: SCS / CAL
CHECKED BY: CALWOOD
SCALE:
PLAUSIBLE

9904

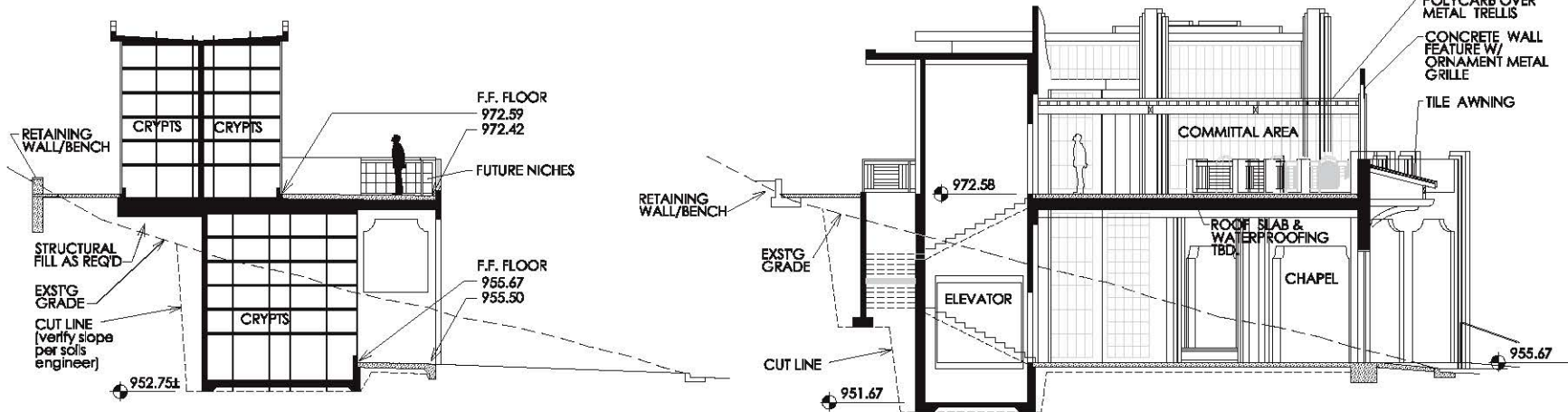
SHEET NO. A2
OF 3



1
A2

FRONT ELEVATION
SCALE: 1/8" = 1'-0"

10 5 0 10 20 30 40 FEET



2 SECTION @ CRYPT WINGS
3/16" = 1'-0"

10 5 0 10 20 FEET

3 SECTION @ CENTER CORE
3/16" = 1'-0"

10 5 0 10 20 FEET



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OLIVEWOOD MEMORIAL PARK
RIVERSIDE, CALIFORNIA

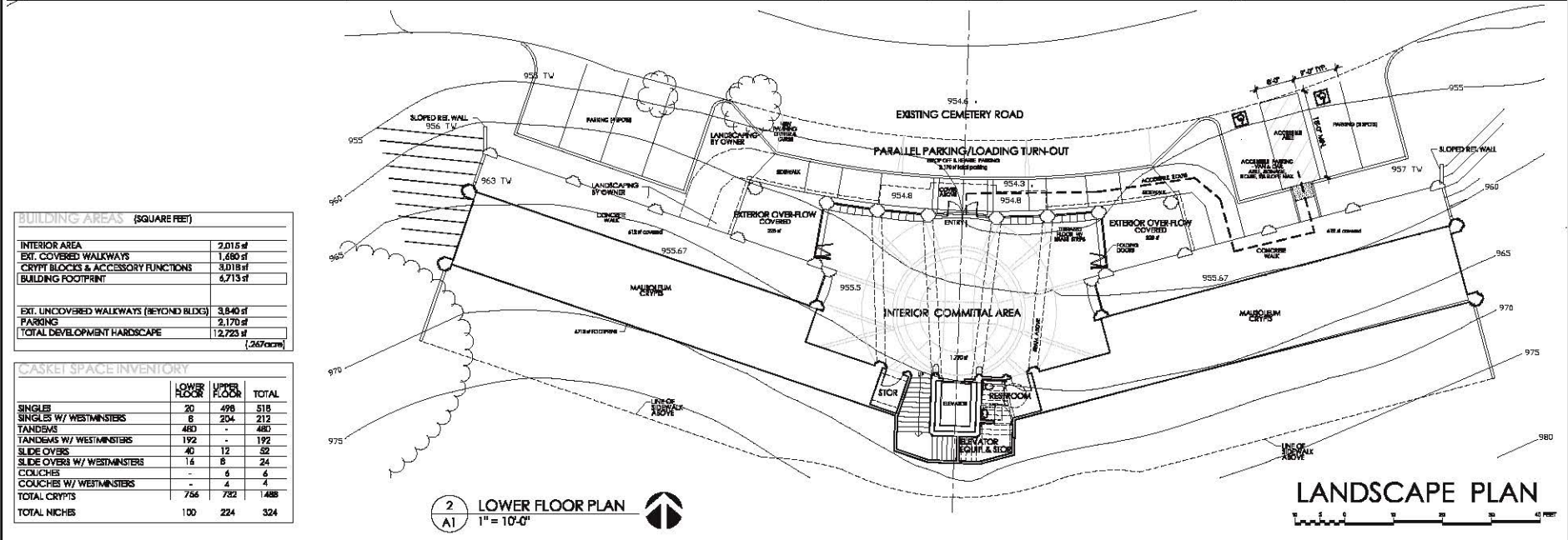
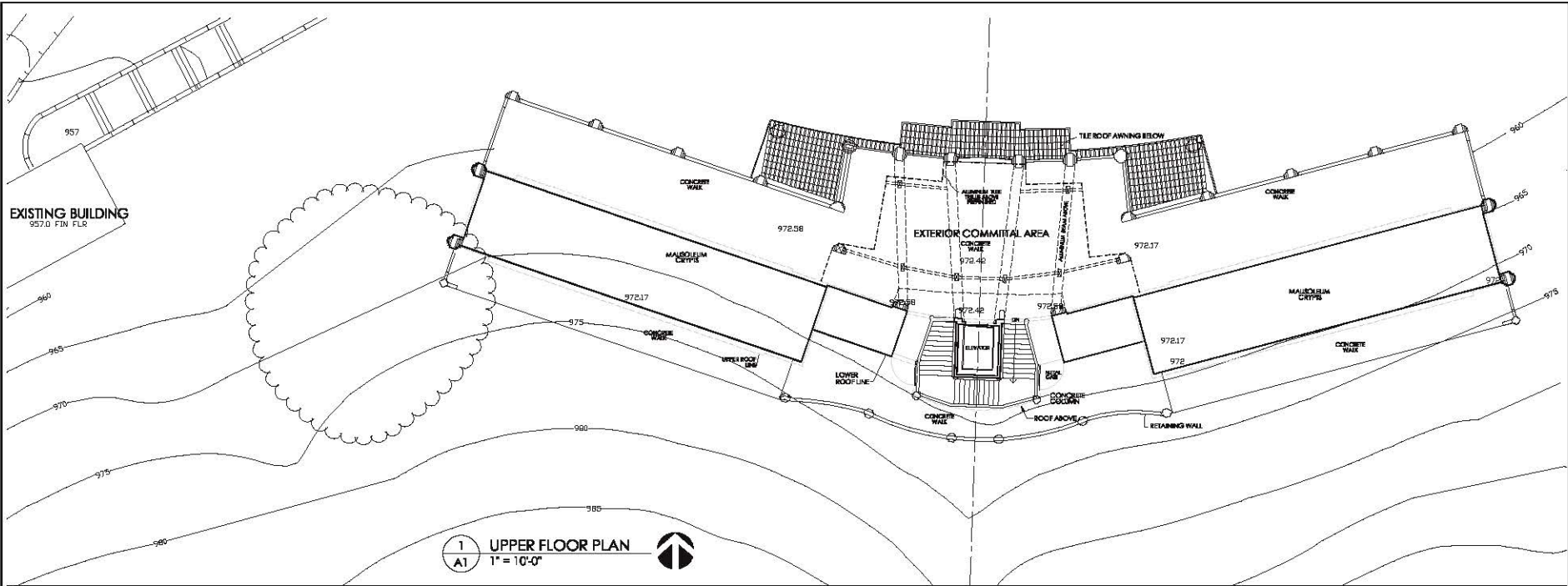
DATE: 13 OCT 2014
12 MAR 2015

DRAWN BY: BMK / CAL
CHECKED BY: CAL/DOD
SCALE:
FILE NAME:

PROJECT NO: 9904

SHEET NO. A3

OF



BUILDING AREAS (SQUARE FEET)	
INTERIOR AREA	9,016 sf
EXT. COVERED WALKWAYS	1,680 sf
CRYPT BLOCKS & ACCESSORY FUNCTIONS	3,018 sf
BUILDING FOOTPRINT	6,713 sf
EXT. UNCOVERED WALKWAYS (BEYOND BLDG)	3,840 sf
PARKING	2,170 sf
TOTAL DEVELOPMENT HARDSCAPE	12,723 sf
	(247 acres)


CASSET SPACE INVENTORY		
	LOWER FLOOR	UPPER FLOOR
SINGLES	20	498
SINGLES W/ WESTMINSTERS	8	204
TANDEMS	480	-
TANDEMS W/ WESTMINSTERS	192	-
SLIDE COVERS	40	12
SLIDE COVERS W/ WESTMINSTERS	16	8
COUCHES	-	6
COUCHES W/ WESTMINSTERS	-	4
TOTAL CRYPTS	756	782
TOTAL NICHES	100	224
		324








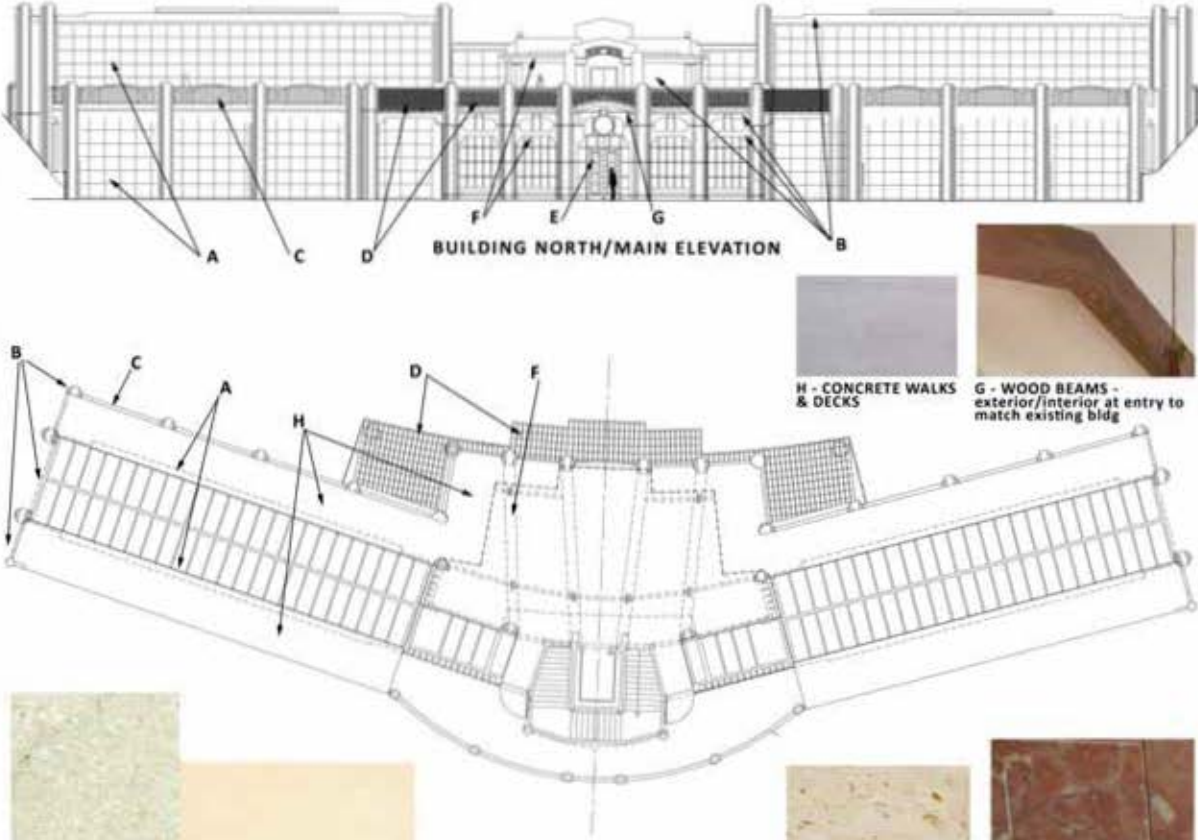




A - STONE VENEER: FRONTS & TRIM - Primary finish on North & South sides of mausoleum. Travertine(match existing bldg), Granite alternates: Andromeda white, White persa, Bianco romano, Panna fragola or sim.




B - STUCCO FINISH OVER CONCRETE - Secondary finish on mausoleum, primary finish on East/West sides. Color similar to existing - warm, cream. Alternate colors: Papyrus, Finesse, Artisan, Edelweiss or sim.



BUILDING NORTH/MAIN ELEVATION

BUILDING PLAN - UPPER FLOOR



C - METAL RAILINGS, GRILLS & ORNAMENTAL METALWORK - dark bronze


D - ROOF TILE - red tone clay, concrete to match existing bldg

E - WOOD DOORS - wood & glass to match existing

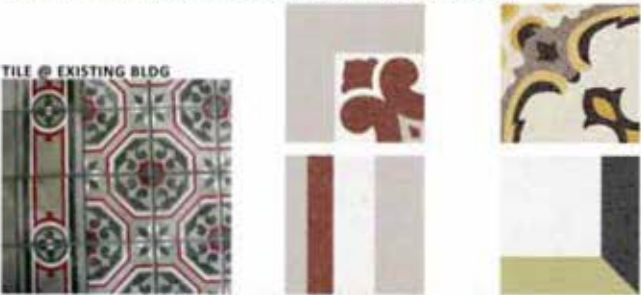
F - ALUMINUM FRAMING FOR TRELLIS, ALUMINUM & GLASS ENTRY WINDOW ASSEMBLY - Coated mill finish, clear, Kawneer medium bronze of boysenberry

H - CONCRETE WALKS & DECKS

G - WOOD BEAMS - exterior/interior at entry to match existing bldg



INTERIOR MARBLE VENEER@ CHAPEL: MARBLE FRONTS: New Botticino, Desert Cream, Perlato Sicilia, **TRIM:** Rojo Alicante marble



TILE @ EXISTING BLDG

TERRAZZO FLOOR TILE AT INTERIOR CHAPEL SPACE - similar to existing, recommended color schemes above

MATERIAL FINISH SCHEDULE - 2 OCTOBER 2014



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OLIVEWOOD MEMORIAL PARK
RIVERSIDE, CALIFORNIA**

02 OCT 2014

28
CAL/DOO

9904

SHEET NO. 1

OF