



Exhibit 3 - P15-0303, -0304, -0305, P14-0973, Aerial Photo/Location

0 35 70 140 210 280 Feet

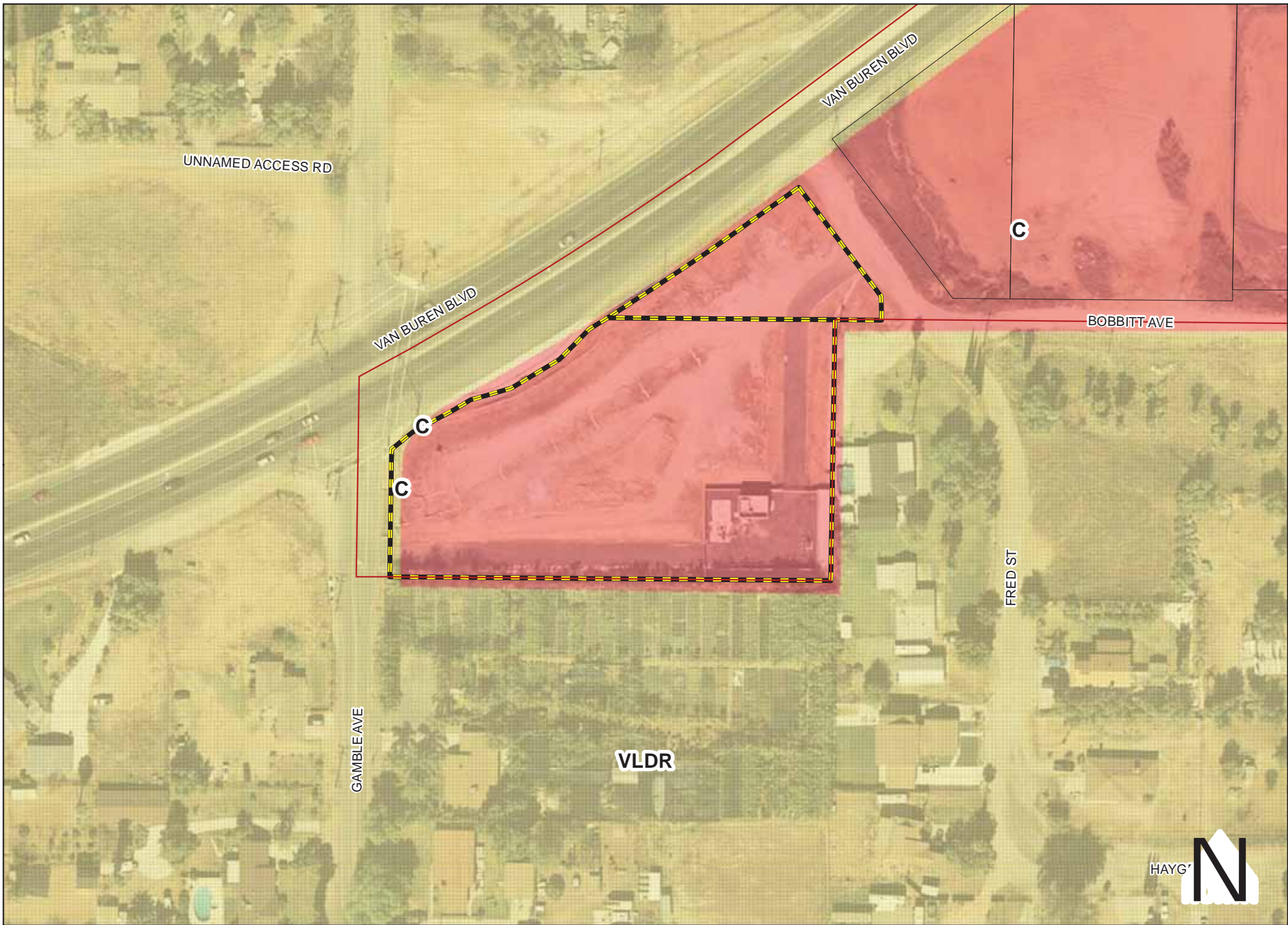


Exhibit 4 - P15-0303, -0304, -0305, P14-0973, General Plan Map





Exhibit 5 - P15-0303, -0304, -0305, P14-0973, Zoning Map





FRONT ELEVATION

NOTE: Murals shown are preliminary representation, subject to City Planning approval.

EXTERIOR FINISH SCHEDULE				
NO.	MANUFACTURER	MODEL	COLOR	FINISH
1	DUNN EDWARDS	DESIGN	"TERRA ROSA" CHEST	SEMI-GLOSS FINISH
2	DUNN EDWARDS	DE 402	"SECRET PATH" FINISH	SEMI-GLOSS FINISH
3	DUNN EDWARDS	DE 490	"MADRID TAPE" FINISH	SEMI-GLOSS FINISH
4	CUSTOM PAINTED	DESIGN	"TERRA ROSA" CHEST	GLOSS FINISH



DRIVE THRU SIDE ELEVATION

ELEVATIONS SCHEME 06 FEB 12 2015



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MIGUEL'S JR.
HOMESTYLE MEXICAN FOOD

VAN BUREN & GAMBLE AVE., RIVERSIDE CA.



GEORGE CASTANEDA, ARCHITECT
C-16914
STATE OF CALIFORNIA

PROJECT NO. APEX091403

MIGUEL'S JR.
ARCHITECT

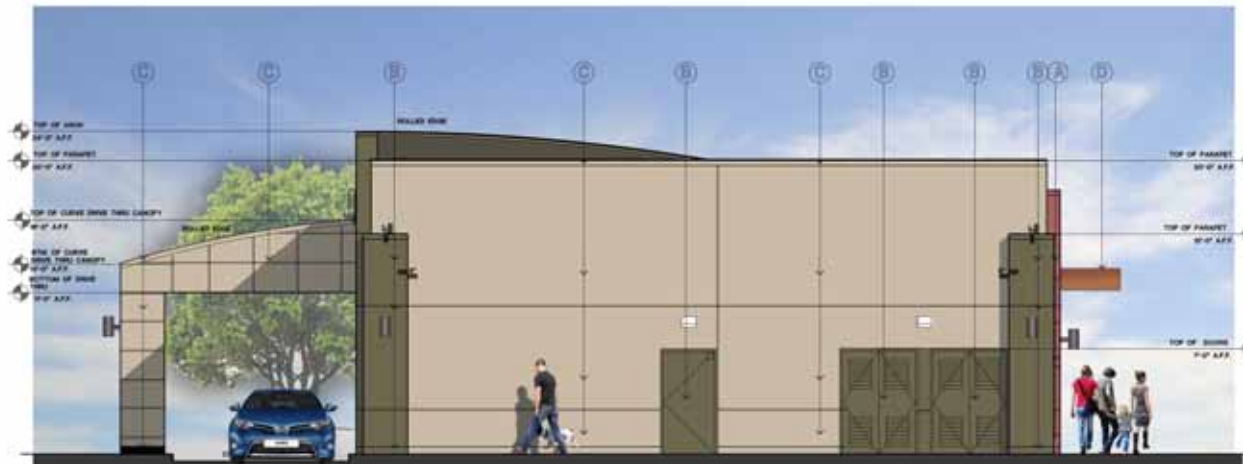
A-2.0
EXTERIOR ELEVATIONS



SIDE ENTRY ELEVATION

NOTE: Murals shown are preliminary representation, subject to City Planning approval.

EXTERIOR FINISH SCHEDULE				
NO.	MANUFACTURER	WFO #	COLOR	FINISH
1	DUNN EDWARDS	DESIGN	TERRA ROSA	SEMI-GLOSS CHEST
2	DUNN EDWARDS	OK 802	SECRET	SEMI-GLOSS FINISH
3	DUNN EDWARDS	DE 882	"MACADAM TALK"	SEMI-GLOSS FINISH
4	DUNN EDWARDS	DESIGN	TERRA ROSA	GLOSS FINISH



REAR ELEVATION

ELEVATIONS SCHEME 07 FEB 12 2015

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GEORGE CASTAÑEDA, ARCHITECT

DATE: 07 FEB 12 2015
PROJECT: MIGUEL'S JR.
SHEET: A-2.1

APEX0691403

MIGUEL'S JR.

A-2.1
EXTERIOR ELEVATIONS



EXTERIOR FINISH SCHEDULE					
NO.	MANUFACTURER	MODEL	COLOR	FINISH	LOCATION
1	DUNN EDWARDS	DE264	CRACKER	SEMI-GLOSS FINISH	
2	DUNN EDWARDS	DE624	TRINITY ISLAND	SEMI-GLOSS FINISH	
3	DUNN EDWARDS	DE266	LOVELY ROAD	SEMI-GLOSS FINISH	



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GEORGE CASTAÑEDA, ARCHITECT

DATE: 10/1/2014
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]

APEX1691403

MIGUEL'S JR.

A-2.0
ELEVATIONS

Exhibit 6 - P15-0303, -0304, -0305, P14-0973, Color Building Elevations



EXTERIOR FINISH SCHEDULE					
NO.	MANUFACTURER	MPQ #	COLOR	FINISH	LOCATION
①	DUNN EDWARDS	DE284	GRAHAM CRACKER	SEMI-GLOSS	
②	DUNN EDWARDS	DE248	TRINITY ISLAND	SEMI-GLOSS	
③	DUNN EDWARDS	DE248	TRINITY ISLAND	SEMI-GLOSS	
④	DUNN EDWARDS	DE248	TRINITY ISLAND	SEMI-GLOSS	



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VAN BUREN & GAMBLE AVE., RIVERSIDE CA.



GEORGE CASTAÑEDA, ARCHITECT

DATE: 11/11/14
BY: [Signature]
CHECKED: [Signature]
DATE: 11/11/14

PROJECT NO: APEX099403

MIGUEL'S JR.

ARCHITECT

A-2.1
ELEVATIONS

Exhibit 6 - P15-0303, -0304, -0305, P14-0973, Color Building Elevations

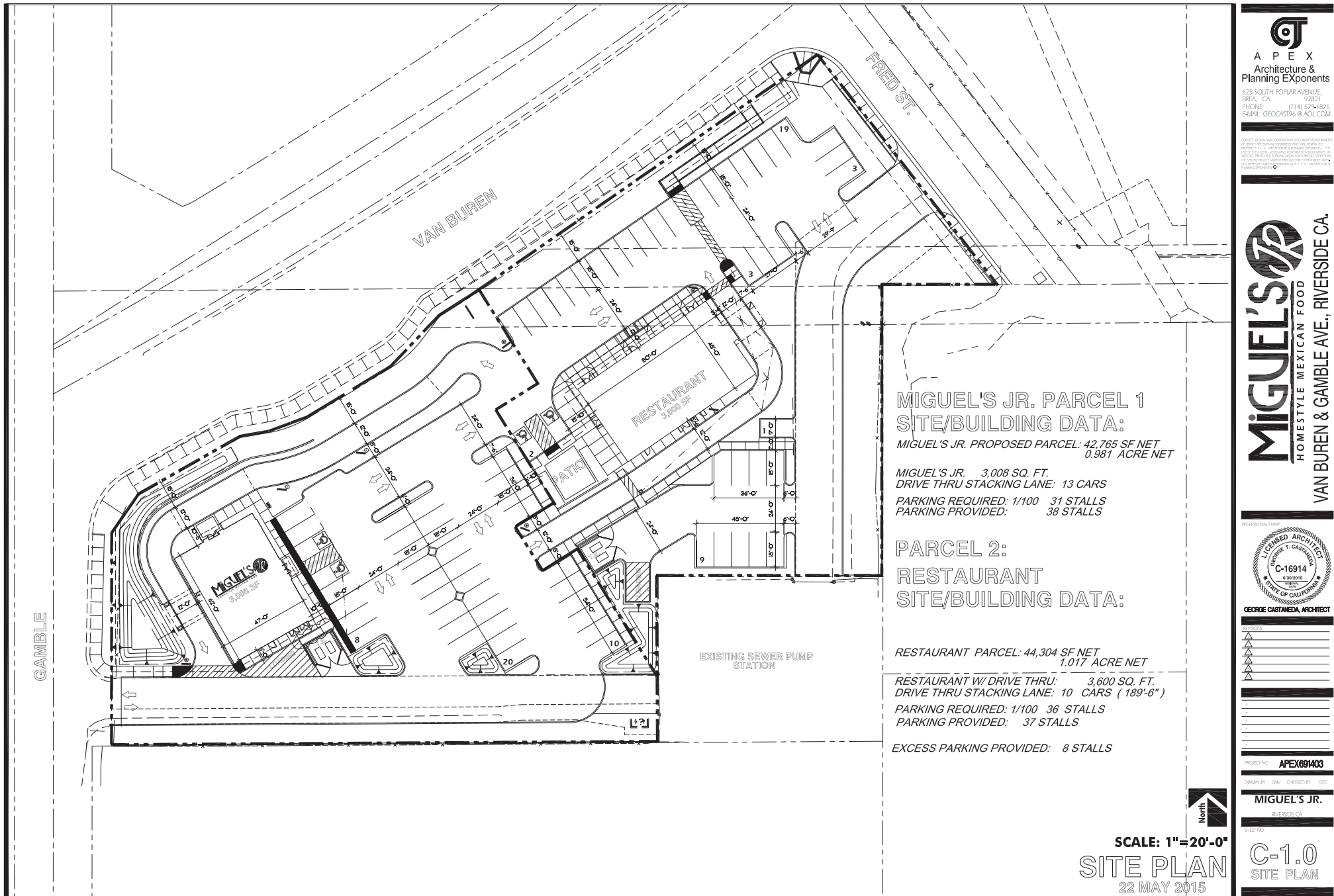


Exhibit 7 - P15-0303, -0304, -0305, P14-0973, Site Plan

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 BRELA, CA. (714) 52
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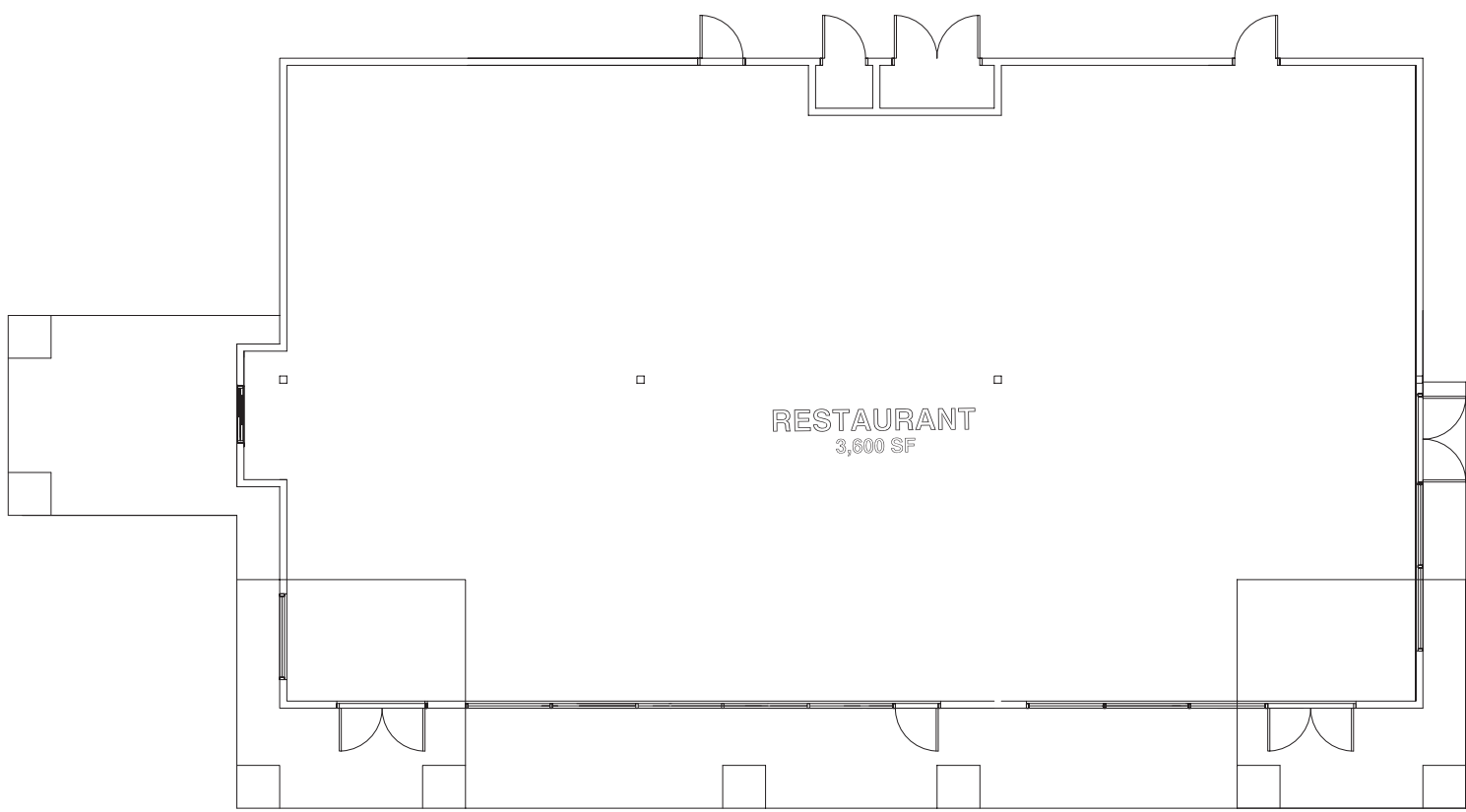
PROFESSIONAL STAMP
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 GEORGE T. CASTANEDA
 C-16914
 6/28/2015
 STATE OF CALIFORNIA
 GEORGE CASTANEDA, ARCHITECT

REVISIONS:

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PROJECT NO: **APEX691403**
 DRAWN BY: DMV CHECKED BY: GTC
MIGUEL'S JR.
 RIVERSIDE CA

SHEET NO:
A-1.0
 FLOOR PLAN
 DATE PRINTED:



FLOOR PLAN

Exhibit 8 - P15-0303, -0304, -0305, P14-0973, Floor Plan Miguel's Jr

LANDSCAPE CONCEPT:
This landscape will consist of California-Friendly, low and medium water use plant material. All plants have been chosen from the low or medium water use category according to WUCOLS. Plants have been chosen to create a uniform theme across the site consisting of Mediterranean and California friendly plant material. Maintenance and longevity of plant material has been taken into consideration. Root panels and barriers will be utilized on all trees necessary, consistent with all standards and specifications. A 3" layer of bark mulch will be used in all landscape areas. All landscape areas will conform to the current City of Riverside Landscape Guidelines.

IRRIGATION CONCEPT:
The irrigation design will incorporate the latest in smart irrigation technologies. All new landscape areas will include high efficiency, low water use methods. All planters will use drip line with an irrigation efficiency of 0.9. A smart irrigation controller with a rain shut off device will also be incorporated. Bark mulch will be used to retain moisture and reduce evaporation and an irrigation schedule will be provided to program the controller. Two irrigation schedules shall be prepared, one for plant establishment and one for after plant establishment. All new irrigation systems will comply with all current City of Riverside Landscape Guidelines.



PLATANUS X ACERIFOLIA
LONDON PLANE TREE



CERCIS OCCIDENTALIS
WESTERN REDBUD

42" HIGH SPLITFACE BLOCK
WALL TO SCREEN HEADLIGHTS



ARBUTUS MARINA
STRAWBERRY TREE

ADA COMPLIANT CONCRETE RAMP
AND HANDRAILS

VAN BUREN BLVD. STREETSCAPE
ENLARGEMENT (SEE SHEET L2)

COURTYARD ENLARGEMENT
(SEE SHEET L3)

VAN BUREN BLVD.

PROPOSED MIGUEL'S JR.
RESTAURANT

GAMBLE AVE.

50' URBAN FORESTRY
SETBACK REQ.

VAN BUREN BLVD. / GAMBLE AVE.
CORNER ENLARGEMENT
(SEE SHEET L2)

6' HIGH CMU WALL WITH VINE
PLANTINGS

WATER TREATMENT BASINS W/
ORNAMENTAL TURF PLANTINGS



RHUS LANCEA
AFRICAN SUMAC

6' HIGH CMU WALL WITH VINE
PLANTINGS

TRASH ENCLOSURES W/ VINE
PLANTINGS

SECTION B1. MAXIMUM APPLIED WATER ALLOWANCE (MAWA)

$$MAWA = (ETO) (0.62) [(0.7 \times LA) + (0.3 \times SLA)]$$

MAWA Maximum Applied water Allowance (gallons per year)
Eto Reference Evapotranspiration from Appendix A (inches per year)
0.7 ET Adjustment Factor (ETAF)
LA Landscaped Area including Special Landscape Area (square feet)
0.62 Conversion factor (to gallons per square foot)
SLA Portion of the landscape area identified as the Special Landscape Area (square feet)
0.3 the additional ET Adjustment Factor for Special Landscape Area (1.0 - 0.7 = 0.3)

Applicant to fill in boxes below.

	Eto	ETAF	AREA (s.f.)	Conversion	MAWA
MAWA for LA	56.4 x	0.7 x	26,750.00 x	0.62 =	654,775.80
MAWA for SLA	56.4 x	0.3 x	0.00 x	0.62 =	0.00
TOTAL MAWA					654,775.80 gallons per year

PRELIMINARY PLANTING PALETTE

TREES:		
ARBUTUS 'MARINA'		STRAWBERRY TREE
CERCIS OCCIDENTALIS		WESTERN REDBUD
PLATANUS X ACERIFOLIA		LONDON PLANE TREE
RHUS LANCEA		AFRICAN SUMAC
SHRUBS:		
AGAVE 'BLUE FLAME'		BLUE FLAME AGAVE
ANIGONANTHOS 'BIG RED'		RED KANGAROO PAW
CISTUS X HYBRIDUS		WHITE ROCK ROSE
CORDYLINAE AUSTRALIS 'BURGUNDY SPIRE'		BURGUNDY SPIRE DRACENA
KNIPHOFIA UVARIA		RED HOT POKER
LAVATERA MARATHIA		TREE MALLOW
LEUCOPHYLLUM FRUTESCENS		TEXAS RANGER
LEYMUS CONDENSATUS 'CANYON PRINCE'		GIANT WILD RYE
LOMANDRA LONGIFOLIA 'LM300'		BREEZE DWARF MAT RUSH
MUHLENBERGIA RIGENS		DEER GRASS
SALVIA GREGGII		AUTUMN SAGE
SALVIA LEUCANTHA 'SANTA BARBARA'		SANTA BARBARA SAGE
GROUND COVER:		
MYOPORUM PARVIFOLIUM		MYOPORUM
ROSMARINUS OFFICINALIS 'PROSTRATUS'		PROSTRATE ROSEMARY
SENECIO MANDRALISCAE		BLUE CHALK STICKS

SECTION B2. ESTIMATED TOTAL WATER USE (ETWU)

$$ETWU = (Eto) (0.62) [(PF \times HA) / (IE) + SLA]$$

ETWU Estimated total water use per year (gallons per year)
Eto Reference Evapotranspiration from Appendix A (inches per year)
PF Plant Factor from WUCOLS (see Definitions)
HA Hydrozone area (high, medium, and low water use areas) (square feet)
SLA Portion of the landscape area identified as the Special Landscape Area (square feet)
0.62 Conversion factor (to gallons per square foot)
IE Irrigation Efficiency (minimum 0.71)

HYDROZONE TABLE FOR CALCULATING ETWU

HYDROZONE	PLANT WATER USE TYPE(S)	PLANT FACTOR (PF)	AREA (HA) (SQUARE FEET)	PF * HA (SQUARE FEET)	% of LA	irrigation efficiency	Hydrozone ETWU
1	mod - tree	0.5	188.00	94.00	0.70%	0.8	117.50
2	mod - shrub	0.5	6,217.00	3,108.50	23.24%	0.9	3,453.88
3	low - shrub	0.2	20,345.00	4,069.00	76.06%	0.9	4,521.11
4	SLA	-	0.00	-	0.00%	-	0.00
	TOTAL		26,750.00		100.00%		282,978.54

MIGUEL'S JR. VAN BUREN BLVD. RIVERSIDE, CA

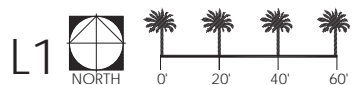


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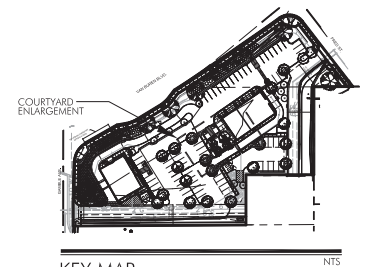
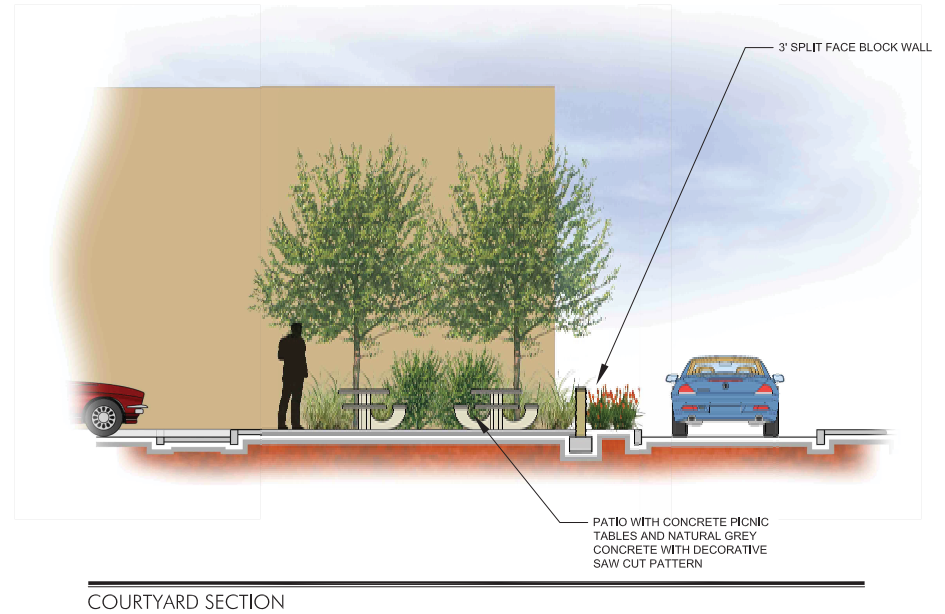
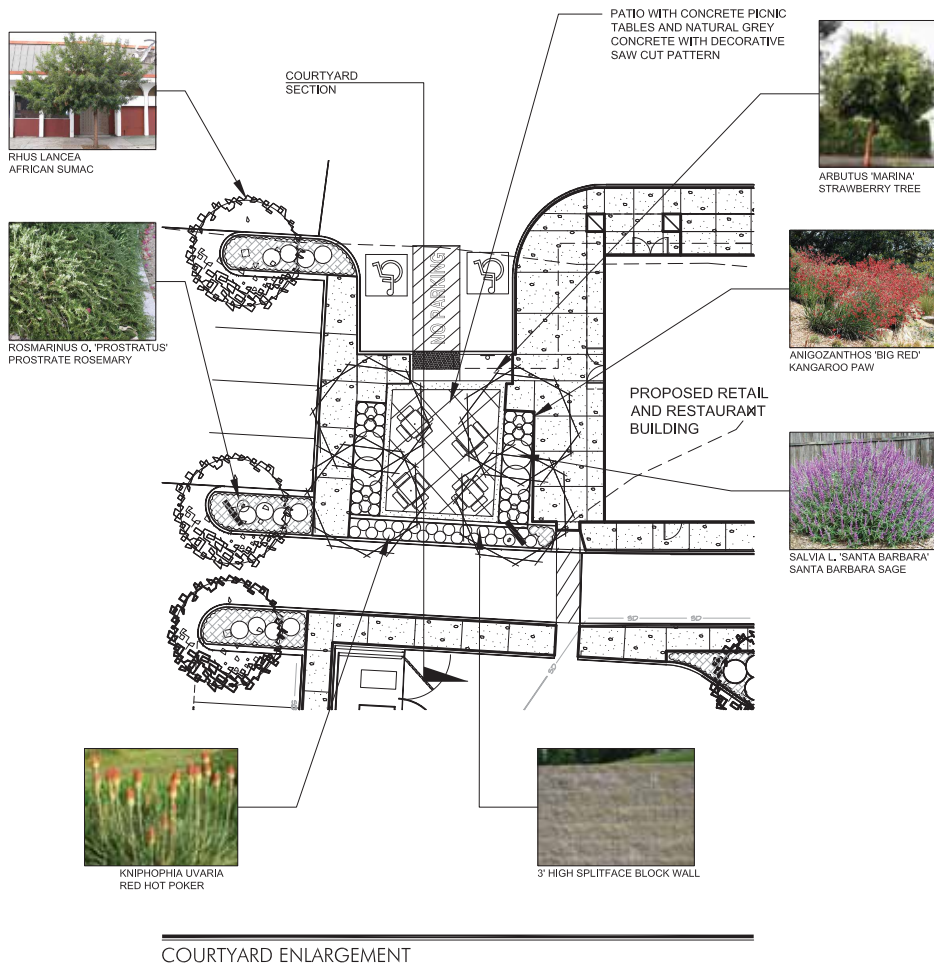
CONCEPTUAL LANDSCAPE PLAN

MIGUEL'S JR.

280 CORPORATE TERRACE CORONA, CA. 92879 PH: (951) 371-7234







MIGUEL'S JR. VAN BUREN BLVD. RIVERSIDE, CA



310 NORTH JOY STREET | CORONA, CA 92879
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CONCEPTUAL LANDSCAPE PLAN
MIGUEL'S JR.

280 CORPORATE TERRACE CORONA, CA 92879 PH: (951) 371-7234

PLAT DATE: May 22, 2015

FOR
MIGUEL'S JR. - VAN BUREN AVENUE
RIVERSIDE, CA

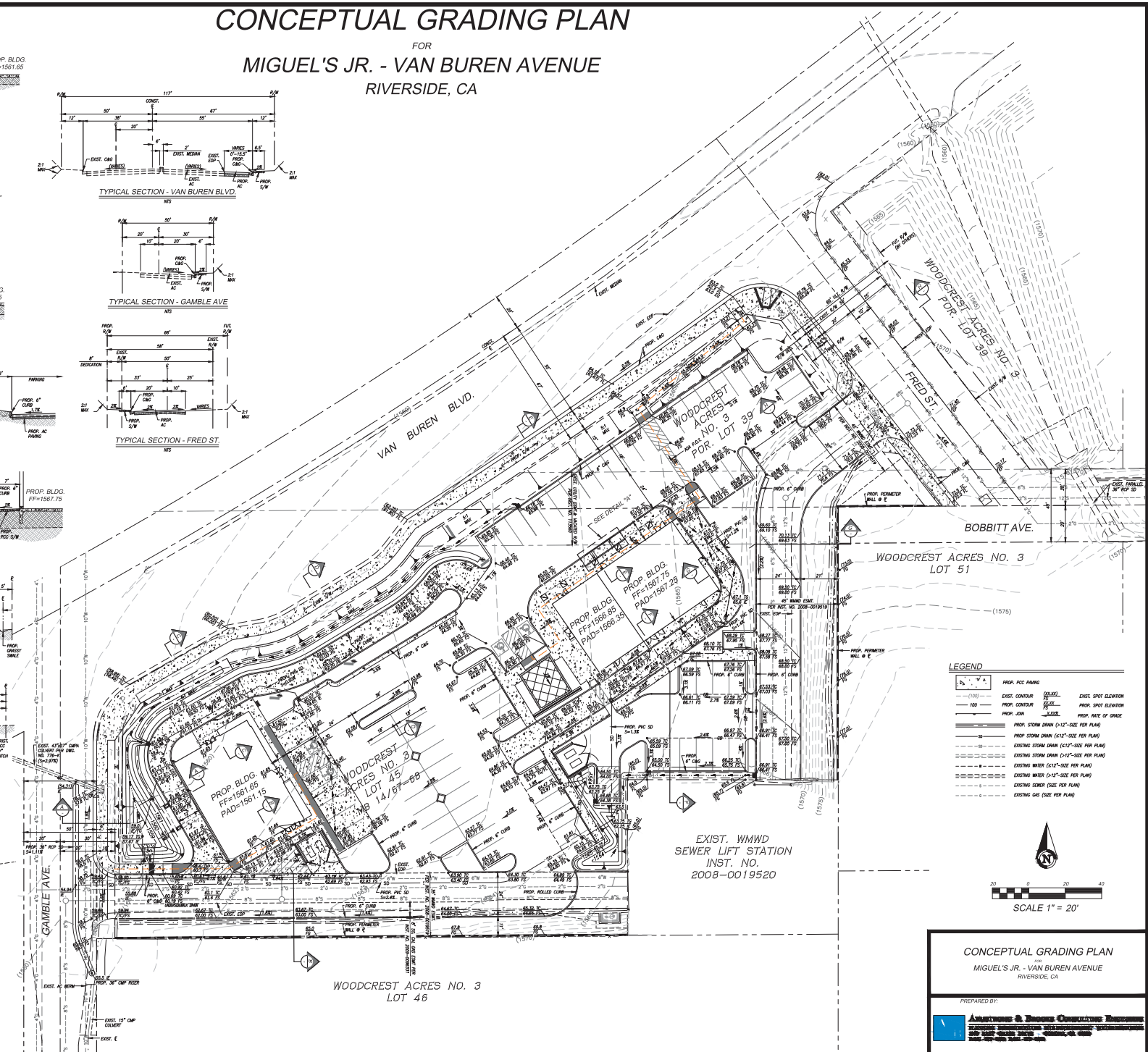
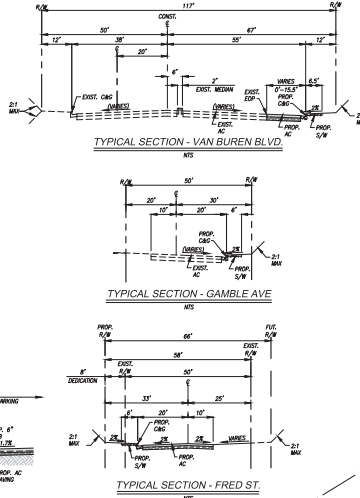
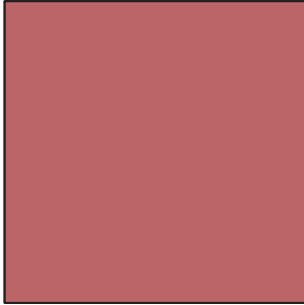


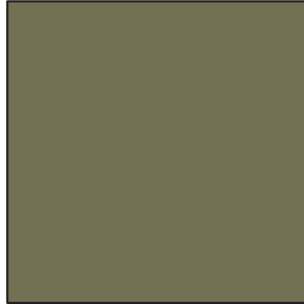
Exhibit 10 - P15-0303, -0304, -0305, P14-0973, Conceptual Grading Plan

COLOR SWATCHES

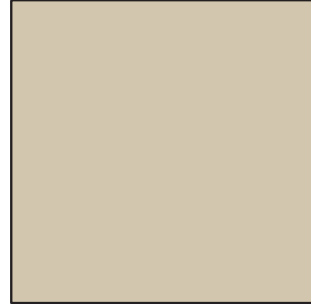
VAN BUREN & GAMBLE AVE., RIVERSIDE CA.



DUNN EDWARDS DE 5096
TERRA ROSA

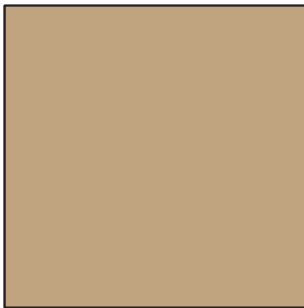


DUNN EDWARDS DE 6252
SECRET PATH

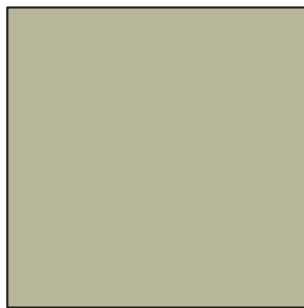


DUNN EDWARDS DE 6192
NOMADIC TAUPE

RETAIL BUILDING



DUNN EDWARDS DE 6144
GRAHAM CRACKER



DUNN EDWARDS DE 6249
TRINITY ISLAND



DUNN EDWARDS DE 6146
LONELY ROAD



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Gamble Avenue and existing access driveway



Intersection of Gamble Avenue and Van Buren Boulevard

Exhibit 12 - P15-0303, -0304, -0305, P14-0973- Existing Site Photos



Van Buren Boulevard street frontage and RTA transit stop



Unimproved Fred Street



Van Buren Boulevard Looking East



Gamble Pump Station (WMWD)



Subject site slopes

Exhibit 12 - P15-0303, -0304, -0305, P14-0973- Existing Site Photos

May 27, 2015

Mr. Gabriel Perez
Principal Planner
City of Riverside
3900 Main Street
Riverside CA 92522

Dear Mr. Perez:

Please provide this letter to the Riverside Planning Commission members as part of the agenda packet on June 4th.

Miguel's has a 42-year history of providing the best tasting California Mexican food to its customers in the Inland Region. My family has a passion for the restaurant business and we are currently operating 14 Miguel's Jr. Restaurants, along with 3 full-service Miguel's California Cocina Restaurants in Riverside, San Bernardino and Orange counties. A new Miguel's Jr. recently opened in Tustin.

Miguel's hopes to open a 2nd location in the City of Riverside on Van Buren Boulevard to better serve our customer base in Mission Grove, Orangecrest and Woodcrest. We have studied the Riverside area for several years and after careful analysis, we have reached an agreement to purchase a site at the southeast corner of Van Buren Boulevard and Gamble Avenue. The Mazzetti Family has agreed to sell us 2-acres for a new 3,008 SF Miguel's Jr. Restaurant on the corner, along with creating another pad development opportunity for a 3,600 SF building that could include one or maybe two uses-including retail, specialty coffee or a quick-service restaurant.

The 2-acre site provides great visibility and a strategic location for a new Miguel's Jr.. Restaurant, but also presents development challenges because of its irregular parcel configuration. As you know, the Miguel's team has worked closely with the City's planning staff to make the proposed project a quality development for the City of Riverside. Based on today's market conditions both pads must have drive-thru facilities to be successful. Please note that approximately 65% of Miguel's business goes through the drive thru. . Having a well-designed drive-thru is critical to the success of Miguel's Jr, along with most Quick Service Restaurants in today's highly competitive restaurant marketplace. The design and layout of the Miguel's Jr. drive thru restaurant is based on years of operational experience. .

At the Planning Commission meeting, we will articulate a number of the reasons why we've designed the project in the manner we have. The parcel configuration and existing easements for WMWD's sewer lift station all present unique site planning challenges. Please note we have prepared and analyzed 36 different site plans for the project. Miguel's has worked closely with Riverside staff in creating the best site plan possible, in addition to working for Miguel's business operation as well as that of future uses for the other pad development. Miguel's prides itself in working with communities to build quality restaurants. We've worked successfully on development projects in Corona, Costa Mesa, Fontana, Grand Terrace, Menifee, Moreno Valley, Murrieta, Norco, Ontario, Orange and Tustin. We hope to do the same in Riverside.

Thank you for your consideration of our project.

Sincerely

Javier Vasquez
CEO & President—Miguel's Restaurants