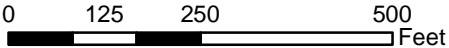




Exhibit 3 - Aerial Photo / Location Map



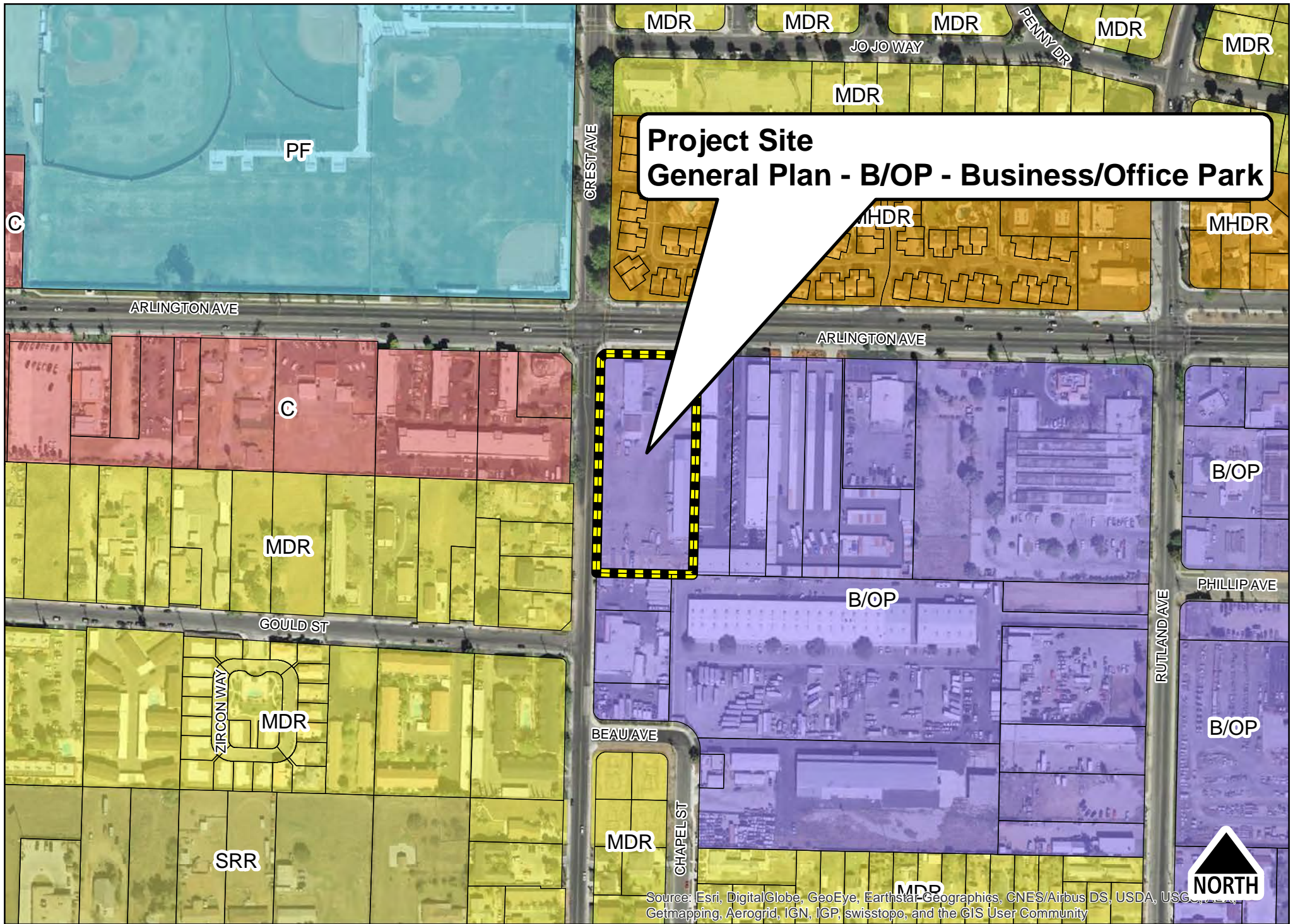
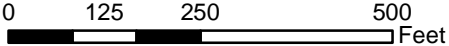


Exhibit 4 - General Plan Map



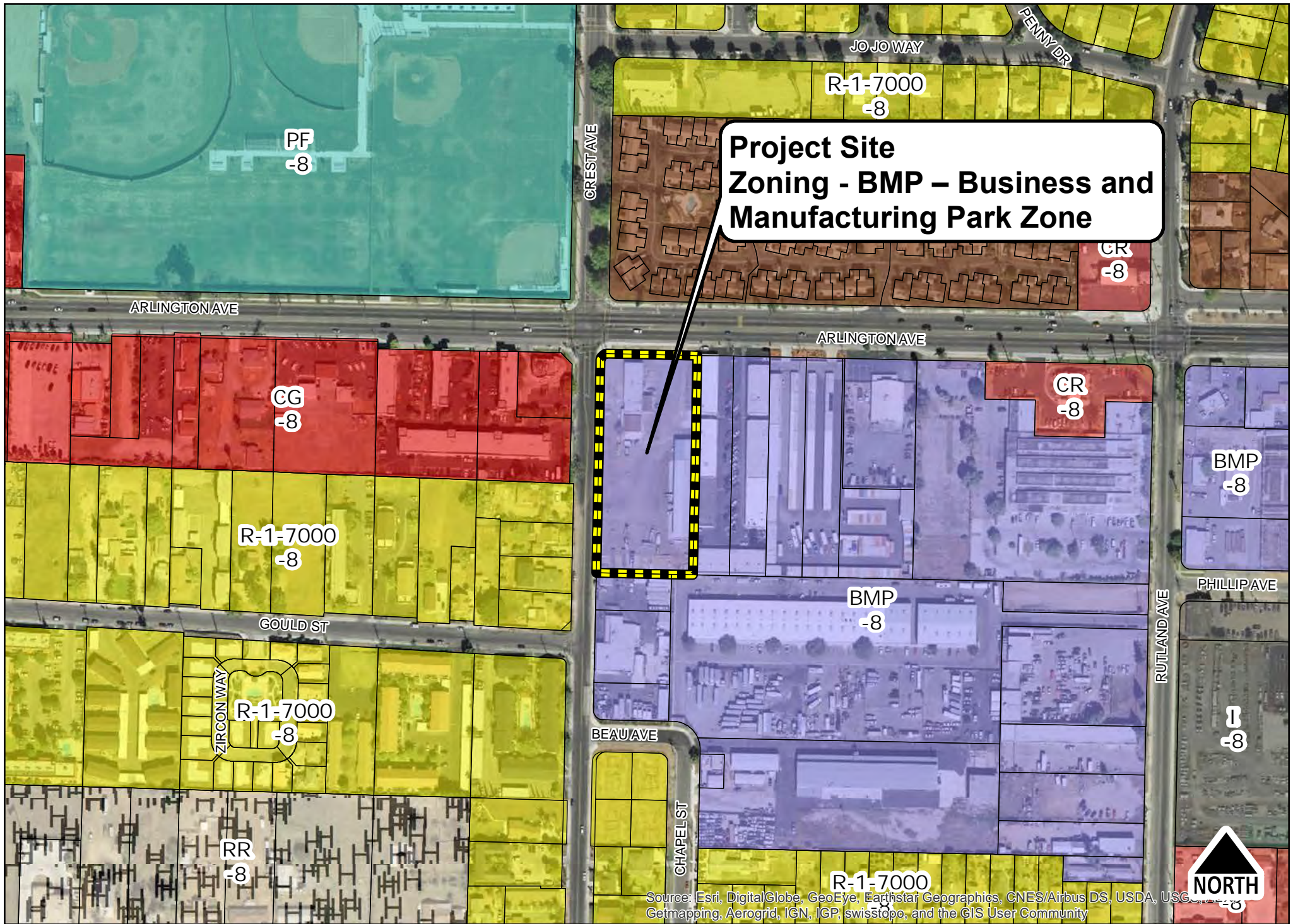
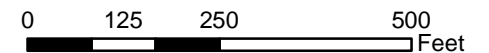


Exhibit 5 - Zoning Map



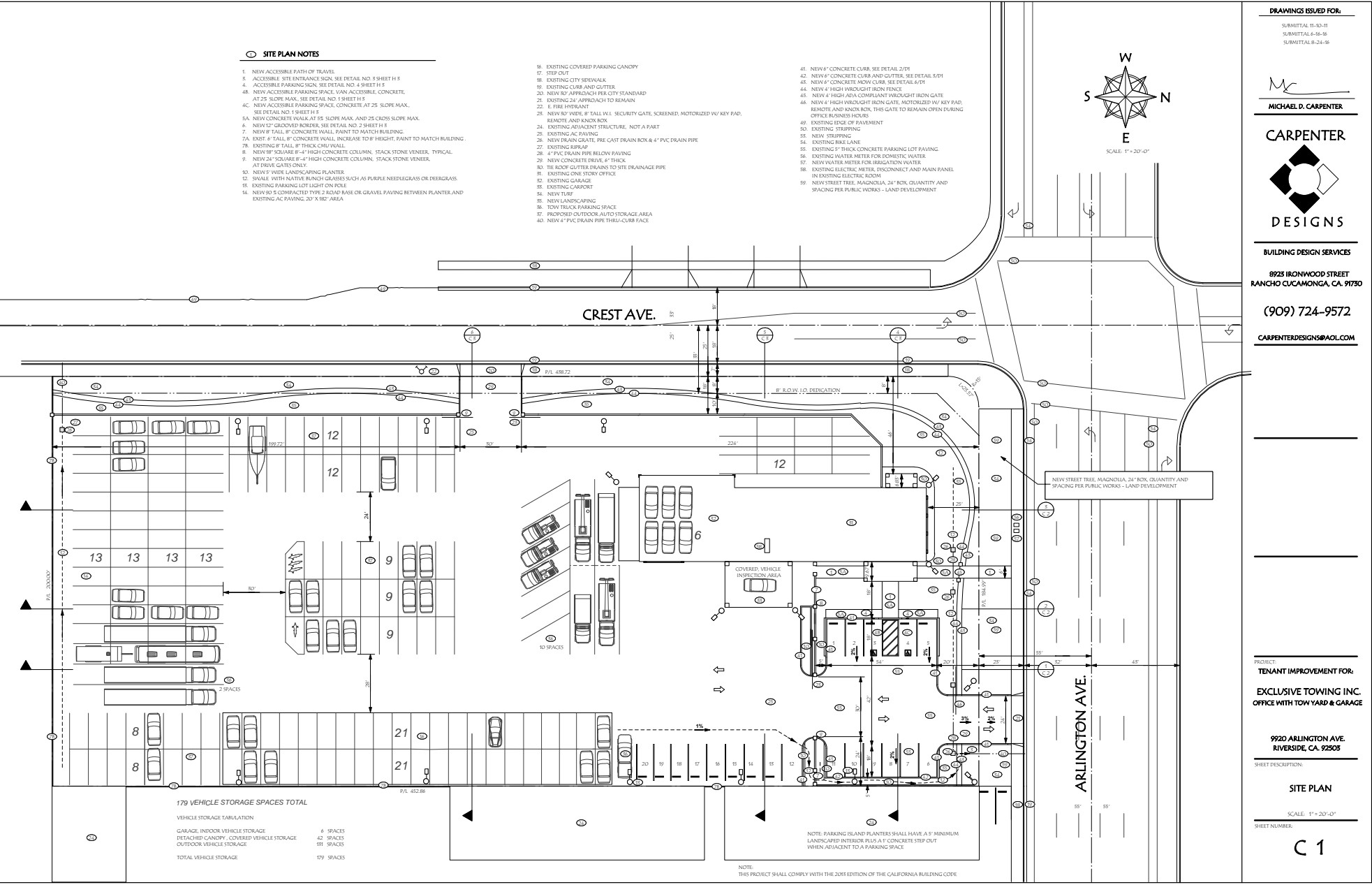
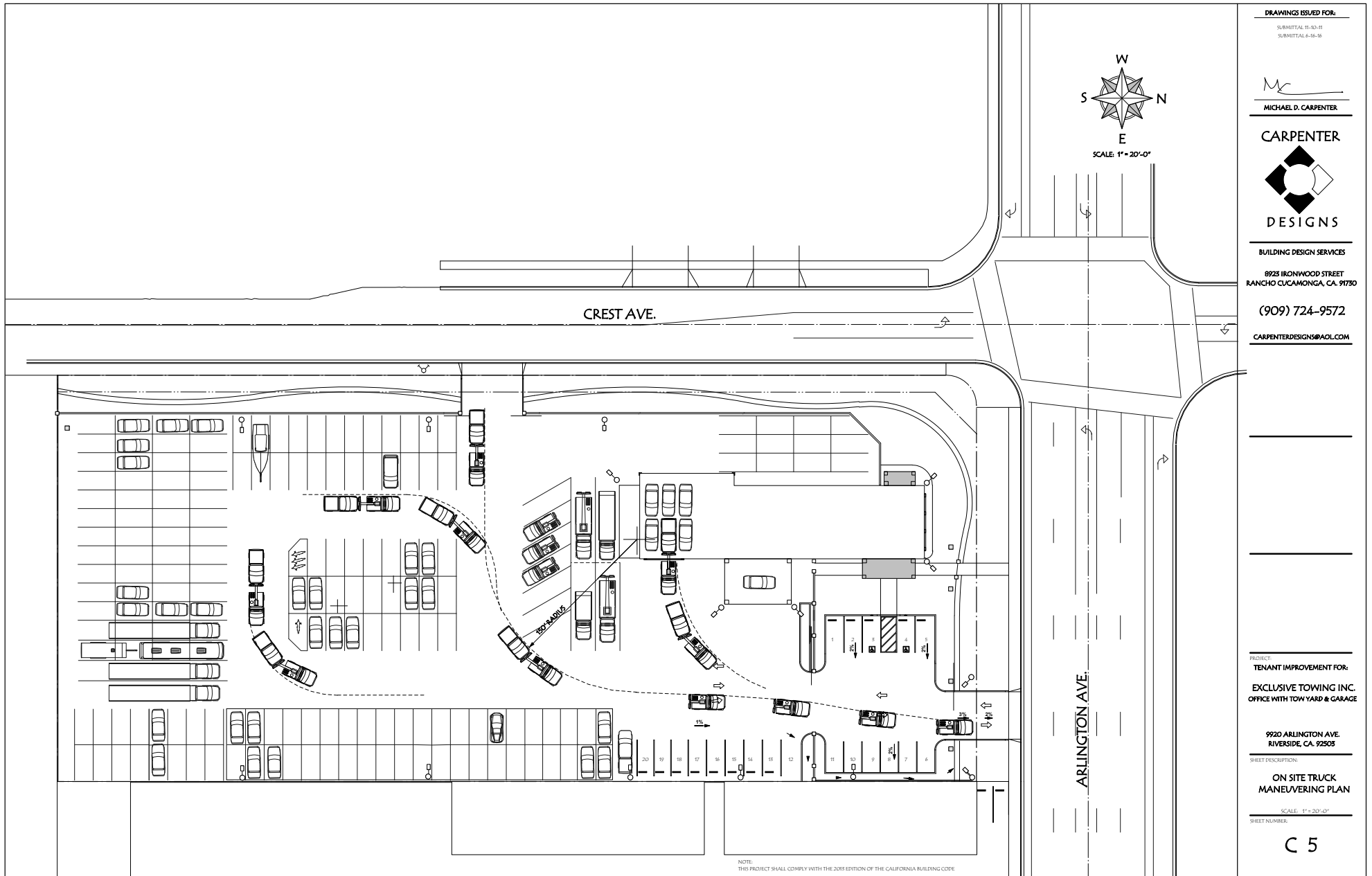


Exhibit 6 - Site Plan



DRAWINGS ISSUED FOR:

SUBMITTAL 11-13-11
SUBMITTAL 4-16-16

Mc
MICHAEL D. CARPENTER

CARPENTER



DESIGNS

BUILDING DESIGN SERVICES

8923 IRONWOOD STREET
RANCHO CUCAMONGA, CA. 91730

(909) 724-9572

CARPENTERDESIGNS@AOL.COM

PROJECT:

TENANT IMPROVEMENT FOR:

EXCLUSIVE TOWING INC.
OFFICE WITH TOW YARD & GARAGE

9920 ARLINGTON AVE.
RIVERSIDE, CA. 92503

SHEET DESCRIPTION:

ON SITE TRUCK
MANEUVERING PLAN

SCALE: 1" = 20'-0"

SHEET NUMBER:

C 5

Exhibit 6 - Site Plan

MEANS OF EGRESS

- All exit doors shall comply with Section 1008.1008.1.1.
 - Clear width of each door opening shall be min. 32" or per SECTION 1005.1, whichever is greater
 - Min. door height of 6'-8"
 - Shall be capable of opening 90 degrees.
- The maximum width of a swinging door leaf shall be 48" nominal.
- Exit door shall be side-hinged swinging type
- Thresholds at doorways shall not exceed 0.50" in height. 0.75" in height for sliding doors serving dwelling units. (1008.1.7)
- Floors or landings on each side of doors to have the same elevation. Landings shall be level except for exterior landing (max. 2% slope) (1008.1.5)

EGRESS

- Exit signs shall be internally or externally illuminated.
- Exit signs illuminated by an external source shall have an intensity of not less than 5 foot-candles (54 lux).
- Internally illuminated signs shall be listed and labeled and shall be installed in accordance with the manufacturer's instructions and Section 1011.4.
- Exit signs shall be illuminated at all times.
- Exit signs shall be connected to an emergency power system that will provide an illumination of not less than 90 min. in case of primary power loss (1012.2-1011.5.5)
- Egress doors shall be readily operable from the egress side without the use of a key or special knowledge or effort. See 1008.1.9. See 1008.1.9.2 for exceptions.
- Door handles, lock and other operating devices shall be installed at a min. 34" and max. 48" above the finished floor
- THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED
- All egress door operation shall also comply with Section 1008.1.9.1-1008.1.9.5
- The means of egress, including the exit discharge, shall be illuminated at all times the building space served by the means of egress is occupied.
- The means of egress illumination level shall not be less than foot-candle at the walking surface
- The power supply for means of egress illumination shall normally be provided by the premises' electrical supply. In the event of power supply failure, an emergency electrical system shall automatically illuminate the following areas:
 - Aisles and unenclosed egress stairways in rooms and spaces that require two or more means of egress
 - Corridors, exit enclosures and exit passageways in buildings required to have two or more exits;
 - Exterior egress components of other than the level of exit discharge until exit discharge is accomplished for buildings required to have two or more exits.
- NOT USED
- Exterior landings, as required by Section 1008.1.5, for exit discharge doorways in buildings required to have two or more exits.
- The emergency power system shall provide for a duration of not less than 90 minutes and shall consist of storage batteries, and equipment or an on-site generation. The installation of the emergency power system shall be in accordance with Section 1011.4.
- Emergency lighting facilities shall be arranged to provide initial illumination that is at least an average of 1 foot-candle (11 lux) and a minimum at any point of 0.15 foot-candle (1 lux) measured along the path of egress at floor level. Illumination levels shall be permitted to decline to 0.06 foot-candle (4 lux) average and a minimum at any point of 0.06 foot-candle (0.6 lux) at the end of the emergency lighting time duration. A minimum-to-maximum illumination uniformity ratio of 40 to 1 shall not be exceeded.

INTERIOR ENVIRONMENT

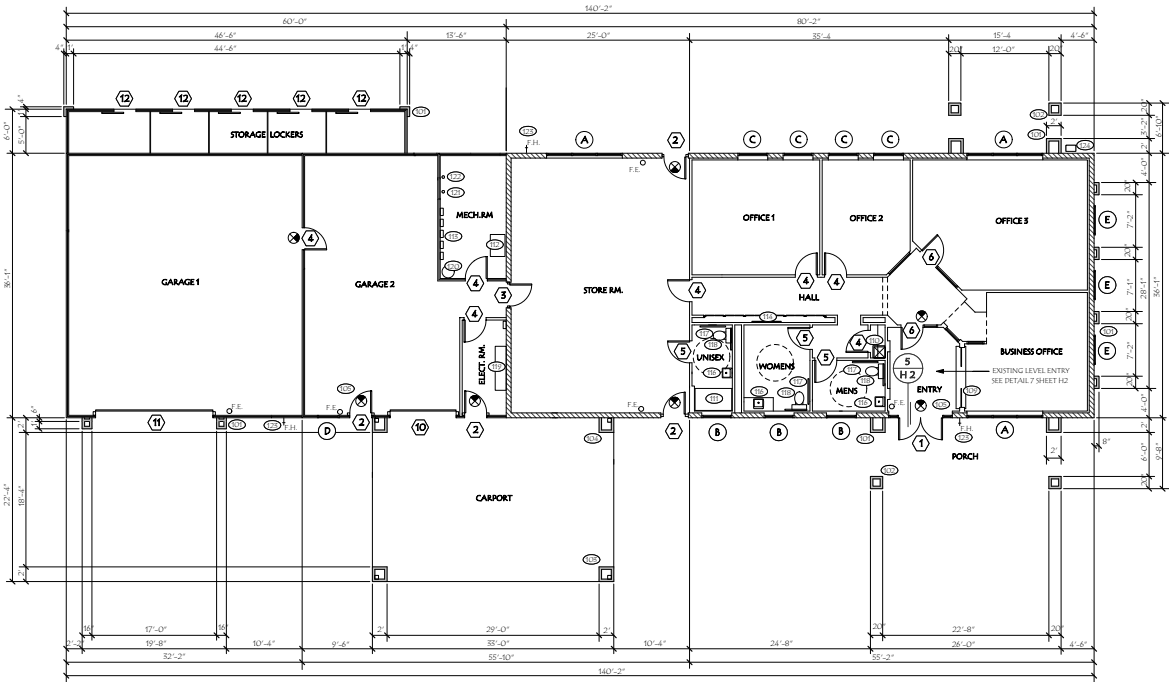
- Toilet room floors shall have a smooth, hard non-absorbent surface such as Portland cement, ceramic tile or other approved material that extends upward onto the walls at least 6" (150 mm)
- Walls within 2 feet (610 mm) of the front and sides of urinals and water closets shall have a smooth, hard non-absorbent surface of Portland cement, concrete, ceramic tile or other smooth, hard non-absorbent surface to a height of 4 feet (1219 mm), and except for structural elements, the materials used in such walls shall be of a type that is not adversely affected by moisture. (B05.1.1)
- Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section 1205.2 or shall be provided with artificial light that is adequate to provide an average illumination of 10 foot-candles over the area of the room at a height of 30 inches above the floor level. (1205.1 and 1205.5)

BUILDING ENVELOPE

- NOT USED.
- Each pane of safety glazing installed in hazardous locations shall be identified by a manufacturer's designation specifying which designation, the manufacturer or installer and the safety glazing standard. The following places shall be considered specific hazardous locations for the purpose of safety glazing. Glazing in Section 2408:
 - Swing doors
- Fixed or operable panels adjacent to a door where the nearest exposed edge of the glazing is within 24 inches (610 mm) or of either vertical edge of the door is a closed position and where the bottom exposed edge of the glazing is less than 60 inches (1525 mm) above the walking surface. Read code for exceptions.

NOTE

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE CODE ORDINANCES AND REGULATIONS.
- GENERAL CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
- MICHAEL D. CARPENTER SHALL BE INFORMED IN WRITING OF ANY DISCREPANCY PRIOR TO CONSTRUCTION.



AREA TABULATION

NEW PORCH	291	SQUARE FEET
EXISTING OFFICE	6991	SQUARE FEET
EXISTING GARAGE 1 AND 2	995	SQUARE FEET
EXISTING ELECTRICAL & MECH. RM.	250	SQUARE FEET
EXISTING STORE ROOM	902	SQUARE FEET
EXISTING CARPORT	785	SQUARE FEET
EXISTING EXTERIOR STORAGE LOCKERS	279	SQUARE FEET

WALL LEGEND

	NEW EXTERIOR FRAMED POP-OUT WALL HEIGHT PER PLAN
	5/8" 20 GA. STEEL STUDS AT 16" O.C. WITH 7/8" PLASTER FINISH SEE DETAIL 1 ON SHEET D-1
	EXISTING MASONRY EXTERIOR WALL AND EXISTING METAL STUD FURRING INTERIOR WITH GYPSUM BOARD FINISH
	EXISTING MASONRY EXTERIOR WALL
	EXISTING METAL STUD INTERIOR WALL WITH GYPSUM BOARD FINISH
	EXISTING METAL PANEL EXTERIOR WALL

EXISTING FLOOR PLAN NOTES

- NEW FRAMED COLUMN POP-OUT WITH STUCCO FINISH
- NEW FRAMED COLUMN WITH STUCCO FINISH
- EXISTING STEEL COLUMN AND NEW FRAMED COLUMN WITH STUCCO FINISH
- EXISTING STEEL COLUMN AND NEW FRAMED COLUMN POP-OUT WITH STUCCO FINISH
- EXISTING LEVEL ENTRY
- EXISTING PATH OF TRAVEL
- EXISTING
- EXISTING CUSTOMER COUNTER
- EXISTING HOP SINK AND SHELF ABOVE
- EXISTING SINK
- EXISTING FURNACE
- EXISTING ELECTRIC SUB PANEL
- EXISTING PHONE PANEL IN CABINET
- EXISTING LAVATORY
- EXISTING GEAR RACK
- EXISTING WATER HEATER
- EXISTING ELECTRIC PANEL AND METER
- EXISTING WATER HEATER
- EXISTING 2" DOMESTIC WATER
- EXISTING 2" FIRE FIGHTING WATER
- EXISTING 1 1/2" FIRE HOSE, 1 1/2" VALVE, 2" IRON PIPE SUPPLY
- EXISTING GAS METER

DRAWINGS ISSUED FOR:

SUBMITTAL 11-10-11
SUBMITTAL 6-16-16

MICHAEL D. CARPENTER

CARPENTER



BUILDING DESIGN SERVICES

8923 IRONWOOD STREET
RANCHO CUCAMONGA, CA. 91730

(909) 724-9572

CARPENTERDESIGNS@AOL.COM

PROJECT:

TENANT IMPROVEMENT FOR:

EXCLUSIVE TOWING INC.
OFFICE WITH TOW YARD & GARAGE

9920 ARLINGTON AVE.
RIVERSIDE, CA. 92503

SHEET DESCRIPTION:

FLOOR PLAN

SCALE: 1/8" = 1'-0"

SHEET NUMBER:

A 1

SUBMITTAL 11-10-11
SUBMITTAL 6-16-16

CARPENTER



(909) 724-9572

SHEET DESCRIPTION:

SCALE: 1/8" = 1'-0"

A 4

GAFGLAS, CLASS "A" MINERAL SURFACE CAP SHEET. ICC ESR-1274
UL LISTED, MEETS ASTM D3909.

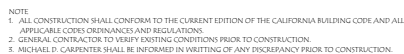
1. Panel Fasteners - Panel to purlin connections to be #14 self-drilling, Hex Head with a ..." O.D. washer, 6" O.C. Spacing at endlaps to be 6" O.C. Spacing for panel to panel connections to be 12" O.C.
2. Purlins - No. 16 MSG min gauge steel. (33,000 psi min. yield strength)

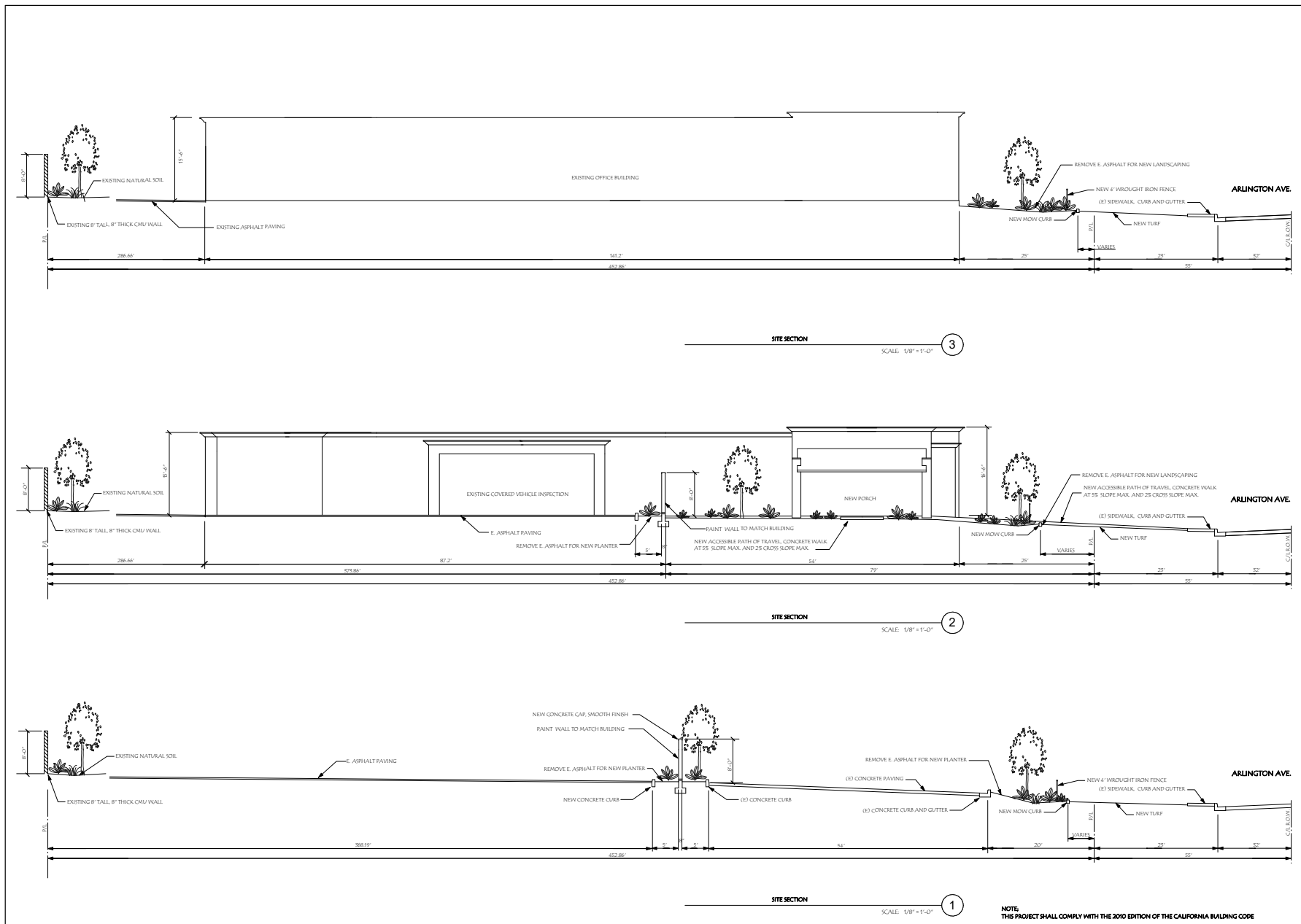
PBU panels carry a Class 4 rating under UL-2210 "Test Standard For Impact Resistance"

1. Deductible: NC Class A, Incline: Unlimited

The panel qualifies for a Class A Fire Rating in compliance with Underwriters Laboratories Standard UL-263 when installed over a non-combustible substrate.

ONE PIECE, 3" ROOF DRAIN AND 3" OVERFLOW IN 36" X 32" WELL.
2" DEEP (TYPICAL AT TWO LOCATIONS)
ROOF DRAIN, MFG. BY THUNDERBIRD, IAMPO TESTED, UPC LISTED
FILE NO. 2452 SEE DETAIL 12 SHEET D2





DRAWINGS ISSUED FOR:
 SUBMITTAL 11-13-11
 SUBMITTAL 4-16-16

MICHAEL D. CARPENTER

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DESIGNS

BUILDING DESIGN SERVICES
 8923 IRONWOOD STREET
 RANCHO CUCAMONGA, CA. 91730
 (909) 724-9572
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PROJECT:
 TENANT IMPROVEMENT FOR:
 EXCLUSIVE TOWING INC.
 OFFICE WITH TOW YARD & GARAGE

9920 ARLINGTON AVE.
 RIVERSIDE, CA. 92503

SITE SECTIONS
 SCALE: 1/8" = 1'-0"
 SHEET NUMBER:
C 2

Exhibit 9 - Building Elevations

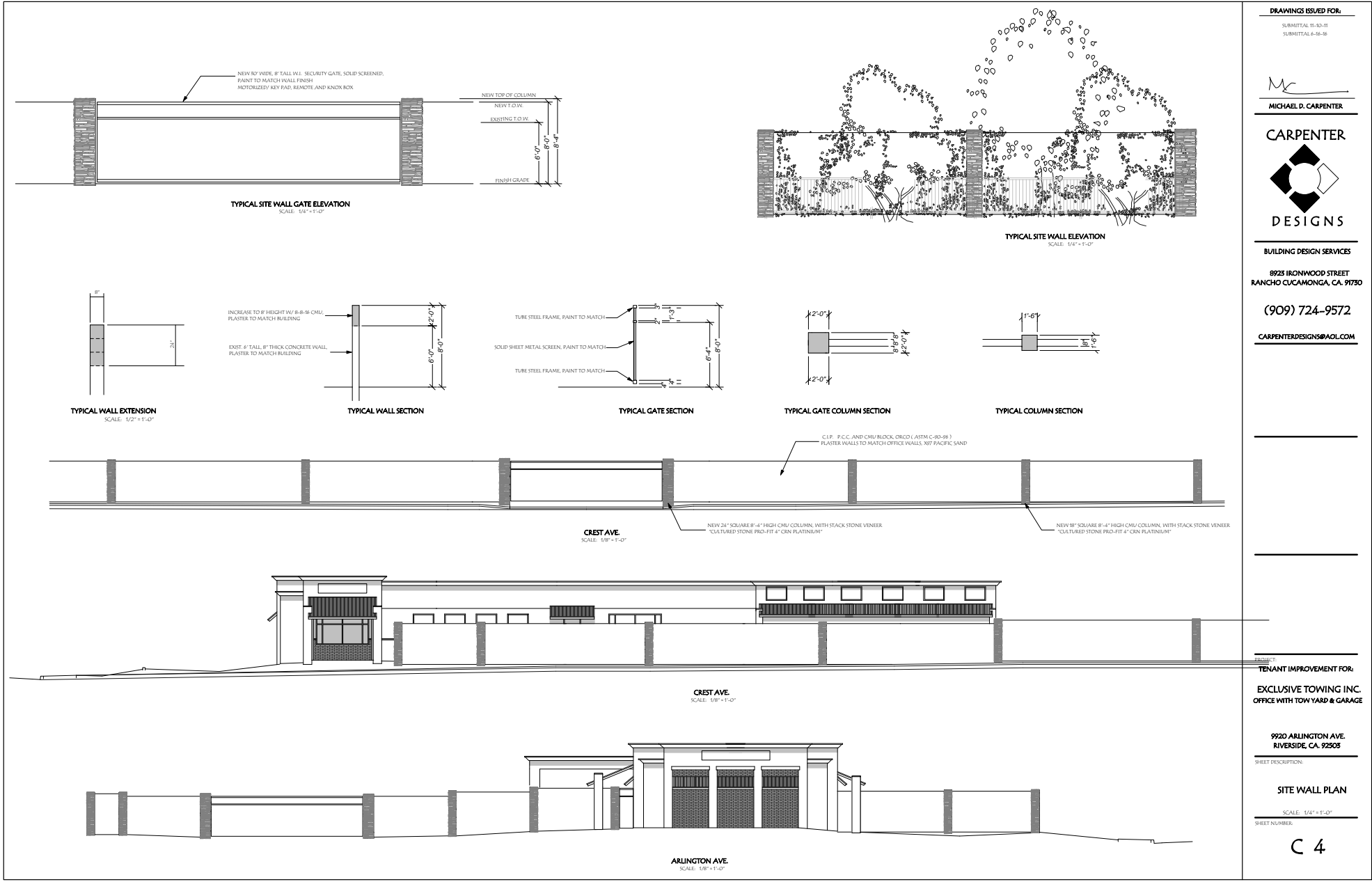
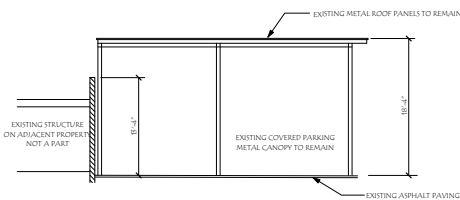


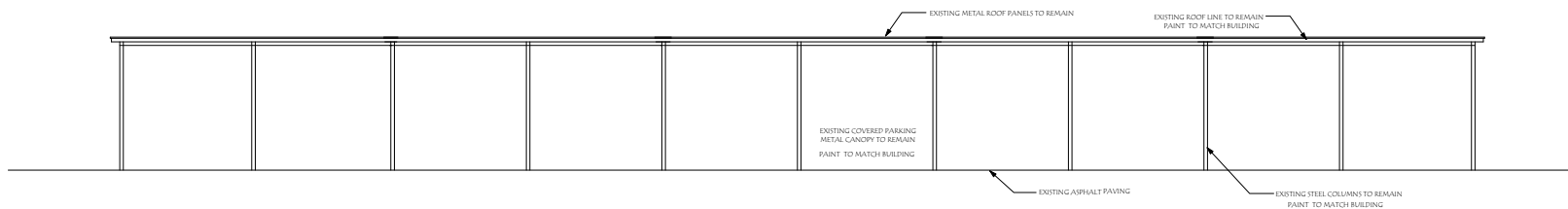
Exhibit 9 - Building Elevations



NORTH ELEVATION

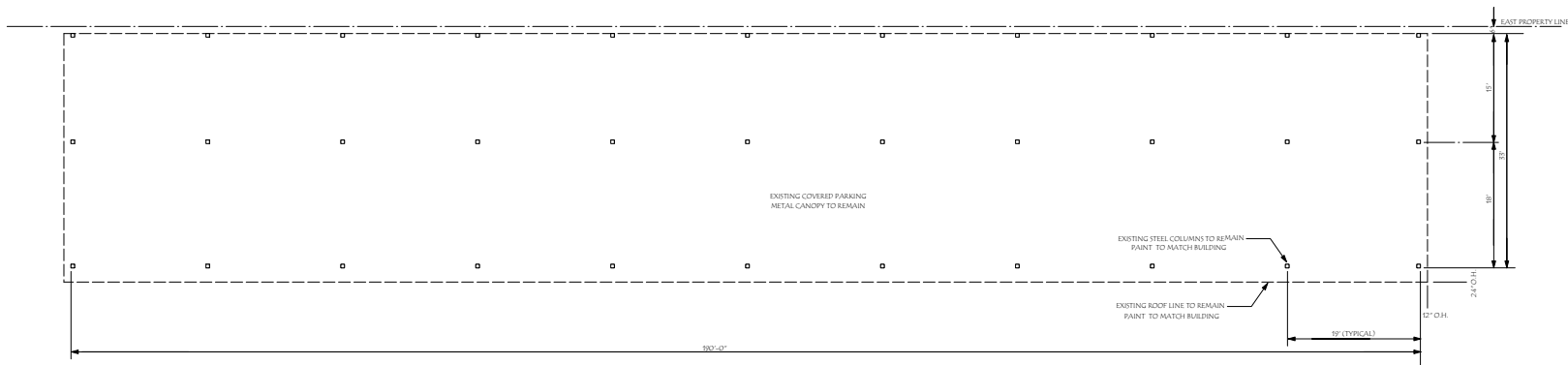
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE	
STEEL COLUMNS	NEW COLOR, REHR PREMIUM PLUS, PLATEAU # 14, 140-114 (MATCH BUILDING WALLS)
STEEL GIRDERS	NEW COLOR, REHR PREMIUM PLUS, PLATEAU # 14, 140-114 (MATCH BUILDING WALLS)
ROOF FASCIA	NEW COLOR, DUNN EDWARDS, (JAKARTA), DEC757, (MATCH BUILDING CORNICE)
ROOF PANELS	EXISTING OFF WHITE TO REMAIN



WEST ELEVATION

SCALE: 1/8" = 1'-0"



FLOOR PLAN

SCALE: 1/8" = 1'-0"

DRAWINGS ISSUED FOR:

SUBMITTAL 11-13-11
SUBMITTAL 6-16-16

Mc

MICHAEL D. CARPENTER

CARPENTER



DESIGNS

BUILDING DESIGN SERVICES

8923 IRONWOOD STREET
RANCHO CUCAMONGA, CA. 91730

(909) 724-9572

CARPENTERDESIGNS@AOL.COM

PROJECT:

TENANT IMPROVEMENT FOR:

EXCLUSIVE TOWING INC.
OFFICE WITH TOW YARD & GARAGE

9920 ARLINGTON AVE.
RIVERSIDE, CA. 92503

SHEET DESCRIPTION:

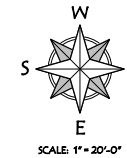
**EXISTING COVERED
PARKING CANOPY**

SCALE: 1/8" = 1'-0"

SHEET NUMBER:

A 7

Salvia miltiorrhiza, Chinese, Red sage,

[illegible]

DRAWINGS ISSUED FOR:

SUBMITTAL 11-10-11

SUBMITTAL 6-16-16

SUBMITTAL 8-24-16


MICHAEL D. CARPENTER

CARPENTER



BUILDING DESIGN SERVICES

8923 IRONWOOD STREET
INCHOCUCAMONGA, CA. 917

(909) 724-9572

CARPENTERDESIGNS@AOL.COM

SUBJECT:

TENANT IMPROVEMENT FOR:

**EXCLUSIVE TOWING IN
OFFICE WITH TOW YARD & GARAGE**

9920 ARLINGTON AVE.
RIVERSIDE, CA. 92503

SHEET DESCRIPTION:

LANDSCAPE PLAN

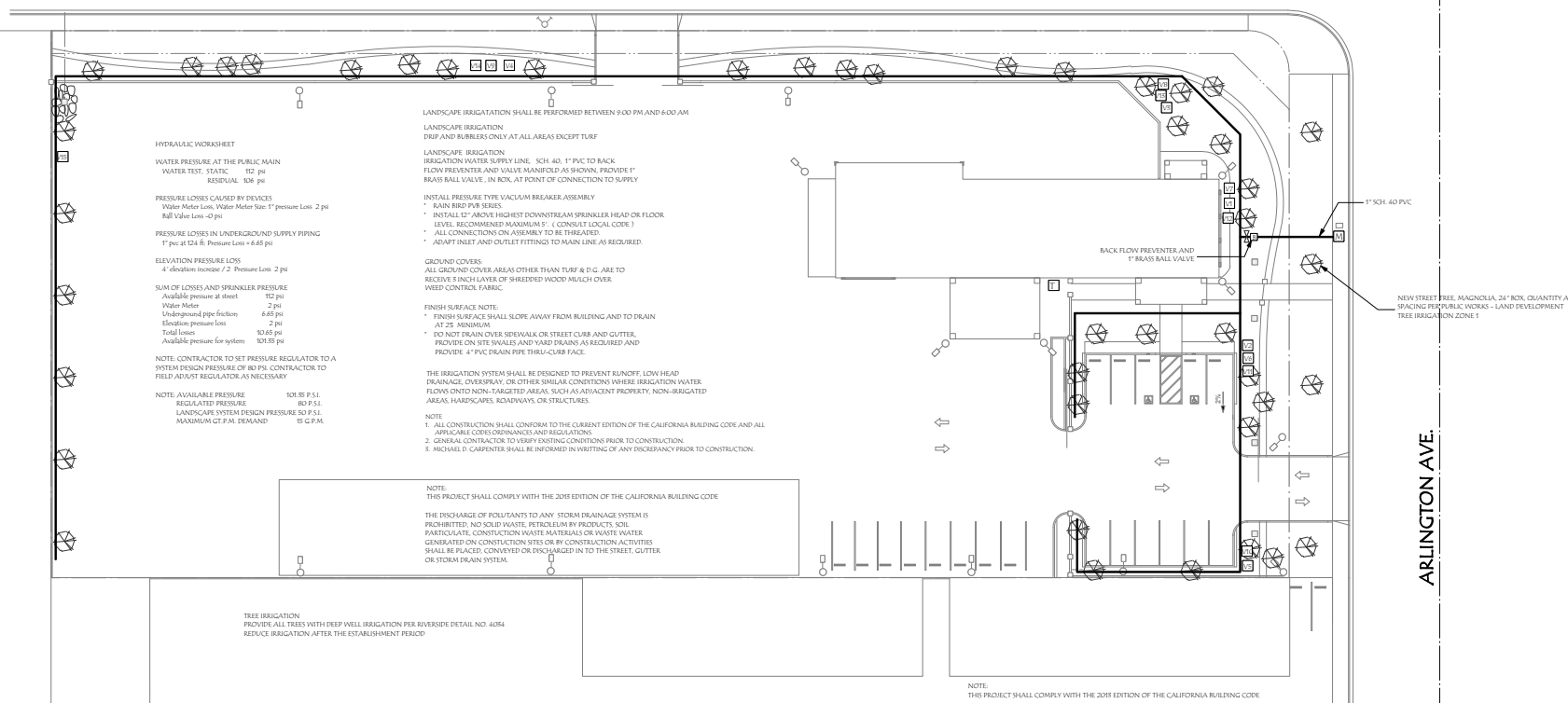
SCALE: 1" = 20'-0"

L 1

Exhibit 11 - Landscape Plan

LANDSCAPE IRRIGATION PLAN SCHEDULES												
PIPING SCHEDULE		VALVE SCHEDULE							IRRIGATION			
		VALVE / ZONE NUMBER	HYDR/ZONE	SQUARE FEET	NFG.	MODEL NO.	VALVE SUPPLIES	GALLON PER MIN.		MANUFACTURER	MODEL NUMBER	DESCRIPTION
SCHEDULE 40 PVC SUPPLY LINE, PERMANENT UNDERGROUND, SIZE PER PLAN	17	VALVE NUMBER 1	A	400	RAINBIRD	100 - DX	THREE ZONE 1 (4) BUBBLERS: BION 12-8 @ 25 GPM = 1.00 GPM	1.00 GPM	M	METER	EXISTING	
	18	VALVE NUMBER 2	B	1900	RAINBIRD	100 - DX	THREE ZONE 2 (15) BUBBLERS: BION 12-8 @ 25 GPM = 5.25 GPM	5.25 GPM	R	BACK FLOW PREVENTER	RAINBIRD	100 - PVB
	19	VALVE NUMBER 3	B	1900	RAINBIRD	100 - DX	THREE ZONE 3 (15) BUBBLERS: BION 12-8 @ 25 GPM = 5.25 GPM	5.25 GPM				
	20	VALVE NUMBER 4	B	1600	RAINBIRD	100 - DX	THREE ZONE 4 (14) BUBBLERS: BION 12-8 @ 25 GPM = 5.50 GPM	5.50 GPM				
	21	VALVE NUMBER 5	C	491	RAINBIRD	NCZ-100-PRF	NPS DRIPLINE, SUR - SURFACE, TURF ZONE 0	5.27 GPM	V	VALVE	RAINBIRD	100 - DX
	22	VALVE NUMBER 6	C	189	RAINBIRD	NCZ-100-PRF	NPS DRIPLINE, SUR - SURFACE, TURF ZONE 1	9.06 GPM				
	23	VALVE NUMBER 7	P	2000	RAINBIRD	NCZ-100-PRF	NPS DRIPLINE, SUR - SURFACE, TURF ZONE 2	15.83 GPM	T	TIMER STATION	RAINBIRD	12
	24	VALVE NUMBER 8	E	2254	RAINBIRD	NCZ-100-PRF	NPS DRIPLINE, SUR - SURFACE, TURF ZONE 5	14.89 GPM				
	25	VALVE NUMBER 9	F	1754	RAINBIRD	NCZ-100-PRF	NPS DRIPLINE, SUR - SURFACE, TURF ZONE 4	17.67 GPM	S	SPRINKLER, FULL CIRCLE	RAINBIRD	BION 12-F
	26	VALVE NUMBER 10	G	629	RAINBIRD	NCZ-100-PRF	NPS DRIPLINE, SUR - SURFACE, SHRUB ZONE 00	4.19 GPM				
	27	VALVE NUMBER 11	G	1728	RAINBIRD	NCZ-100-PRF	NPS DRIPLINE, SUR - SURFACE, SHRUB ZONE 01	11.55 GPM	S	SPRINKLER, HALF CIRCLE	RAINBIRD	BION 12-H
	28	VALVE NUMBER 12	C	1000	RAINBIRD	NCZ-100-PRF	NPS DRIPLINE, SUR - SURFACE, SHRUB ZONE 1	6.49 GPM				
	29	VALVE NUMBER 13	H	2119	RAINBIRD	NCZ-100-PRF	NPS DRIPLINE, SUR - SURFACE, SHRUB ZONE 2	14.15 GPM	S	SPRINKLER, QUARTER CIRCLE	RAINBIRD	BION 12-Q
	30	VALVE NUMBER 14	H	898	RAINBIRD	NCZ-100-PRF	NPS DRIPLINE, SUR - SURFACE, SHRUB ZONE 3	12.14 GPM				
	31	VALVE NUMBER 15	J	865	RAINBIRD	NCZ-100-PRF	NPS DRIPLINE, SUR - SURFACE, SHRUB ZONE 4	5.62 GPM	S	SPRINKLER, STRIP	RAINBIRD	BION 12-S
									B	BUBBLER	RAINBIRD	BION 12-B
									E	MULTI EMITTER	RAINBIRD	BION 12-E

CREST AVE.



DRAWINGS ISSUED FOR:

SUBMITTAL 11-10-11
SUBMITTAL 6-16-16
SUBMITTAL 8-24-16

 M_2

MICHAEL D. CARPENTER

CARPENTER



DESIGNS

BUILDING DESIGN SERVICES

8923 IRONWOOD STREET

(909) 724-9572

CARPENTERDESIGNS@AOL.COM

PROJECT

TENANT IMPROVEMENT FOR:

EXCLUSIVE TOWING INC.
OFFICE WITH TOW YARD & GARAGE

9920 ARLINGTON AVE.
RIVERSIDE, CA. 92503

SHEET DESCRIPTION

LANDSCAPE
IRRIGATION PLAN

SCALE 45-2010

SCALE: 1" = 20'-0"

SHEET NUMBER:

1

L 2

Existing Site Photos



From Crest Avenue approximately 50 feet south of Arlington Avenue looking southeast.



From Crest Avenue approximately 50 feet south of Arlington Avenue looking southeast.

Existing Site Photos



From Crest Avenue approximately 50 feet south of Arlington Avenue looking east.



From Crest Avenue approximately 50 feet south of Arlington Avenue looking northeast.

Existing Site Photos



From Crest Avenue approximately 100 feet south of Arlington Avenue looking southeast.



From the southeast corner of the intersection of Arlington Avenue and Crest Street looking southeast.

Existing Site Photos



From the project driveway on Arlington Avenue looking south.

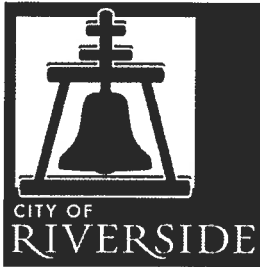


From the project driveway on Arlington Avenue looking southwest.

Existing Site Photos



From the project driveway on Arlington Avenue looking southwest.



COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION

VARIANCE JUSTIFICATION FORM

PLEASE TYPE OR PRINT CLEARLY

Project Description: EXCLUSIVE TOWING, TOW YARD AND OFFICE

Project Location: 9920 ARLINGTON AVE.

Assessor's Parcel Number (APN): 151-020-001

VARIANCES REQUESTED — State variance(s) requested specifically and in detail. Please attach separate sheets(s) as necessary. TO ALLOW THE REDUCTION OF THE 50' BUILDING SET BACK TO 25' AT ARLINGTON AVE AND 46' AT CREST AVE WITH A 10' SET BACK FOR THE 8' BLOCK WALL AT CREST AVE IN ORDER TO KEEP AND USE THE EXISTING OFFICE BUILDING IN ITS CURRENT LOCATION

REQUIRED FINDINGS — Answer each of the following questions yes or no and then explain your answer in detail. Questions 1 and 2 must be answered "yes" and 3 and 4 "no" to justify granting of a variance. Attach written details if insufficient space is provided on this form. Economic hardship is not an allowable justification for a variance.

1. Will the strict application of the provisions of the Zoning Code result in practical difficulties or unnecessary hardships inconsistent with the general purpose and intent of the Zoning Code? Explain in detail.

YES, SEE ATTACHED

2. Are there special circumstances or conditions applicable to your property or to the intended use or development of your property that do not apply generally to other property in the vicinity and under the identical zoning classification? Explain in detail.

YES, SEE ATTACHED

3. Will the granting of such variance prove materially detrimental to the public welfare or injurious to the property or improvements in the zone or neighborhood in which your property is located? Explain in detail.

NO, SEE ATTACHED

4. Will the granting of such variance be contrary to the objectives of any part of the General Plan? Explain in detail.

NO, SEE ATTACHED

1. WILL THE STRICT APPLICATION OF THE PROVISIONS OF THE ZONING CODE RESULT IN PRACTICAL DIFFICULTIES OR UNNECESSARY HARDSHIPS INCONSISTENT WITH THE GENERAL PURPOSE AND INTENT OF THE ZONING CODE?

YES, THE STRICT APPLICATION OF THE ZONING CODE WOULD REQUIRE THE COMPLETE REMOVAL AND RECONSTRUCTION OF THE EXISTING OFFICE BUILDING CAUSING GREAT UNNECESSARY HARDSHIP

2. ARE THERE SPECIAL CIRCUMSTANCES OR CONDITIONS APPLICABLE TO YOUR PROPERTY OR TO THE INTENDED USE OR DEVELOPMENT OF YOUR PROPERTY THAT DO NOT APPLY GENERALLY TO OTHER PROPERTY IN THE VICINITY AND UNDER THE IDENTICAL ZONING CLASSIFICATION?

YES, THE EXISTING OFFICE BUILDING STRUCTURE AND ITS SYSTEMS WERE INSTALLED AT A VERY HIGH LEVEL OF QUALITY AND WITH THE EXCEPTION OF THE SET BACKS THE BUILDING MEETS ALL OTHER APPLICABLE BUILDING AND ZONING CODES

3. WILL THE GRANTING OF SUCH VARIANCE PROVE MATERIALLY DETRIMENTAL TO THE PUBLIC WELFARE OR INJURIOUS TO THE PROPERTY OR IMPROVEMENTS IN THE ZONE OR NEIGHBORHOOD IN WHICH YOUR PROPERTY IS LOCATED?

NO, THE EXISTING OFFICE BUILDING HAS HARMONIOUSLY SERVED THE NEIGHBORHOOD FOR DECADES, WITH THE MODEST FACADE IMPROVEMENTS AND SUBSTANTIAL IMPROVEMENT AND INCREASE IN THE LANDSCAPED AREA THE BUILDING WILL CONTINUE TO SERVE THE NEIGHBORHOOD FOR DECADES TO COME IN A WAY THAT IS CONSISTENT WITH THE CURRENT ZONING CODE.

THE EXISTING SITE IS ALMOST ENTIRELY PAVED WITH ASPHALT, OUR PLAN PROVIDES FOR LANDSCAPING APPROXIMATELY 25% OF THE SITE OR ROUGHLY ONE HALF OF ONE ACRE, MOST OF THAT WILL FACE ARLINGTON AND CREST AVENUES COMPLEMENTING THE CITIES ARLINGTON AVE. PARKWAY PLAN, THE USE OF THE PROPERTY FOR TOWING REQUIRES AN 8' TALL SOLID WALL FOR SCREENING, THE EXISTING WALL FACING ARLINGTON WILL BE PUSHED BACK, HALF OF THE WALL HAVING A SET BACK FROM THE SIDEWALK OF 62' THE OTHER HALF AT 95' BACK FROM THE SIDEWALK, THE EXISTING WALL FACING CREST WILL BE PUSHED BACK ALLOWING 18' OF LANDSCAPING FROM THE SIDEWALK THE CODE REQUIRES 20' OF LANDSCAPING ALONG THESE STREET FRONTAGES WHICH WOULD TOTAL 12,558 SQUARE FEET, OUR PROPOSAL PROVIDES MUCH MORE AT 20,373 SQUARE FEET, THE SET BACK REDUCTION WOULD BE MITIGATED BY THE OVERALL TOTAL LANDSCAPED AREA BEING ALMOST DOUBLE WHAT IS REQUIRED FOR THE PROPERTY.

4. WILL THE GRANTING OF SUCH VARIANCE BE CONTRARY TO THE OBJECTIVES OF ANY PART OF THE GENERAL PLAN?

NO, IN FACT WITH THE IMPROVEMENT AND INCREASE IN THE STREET FACING LANDSCAPED AREA INCLUDING MOVING THE EXISTING SITE WALLS BACK FURTHER FROM THE SIDEWALKS AND SUBSTANTIALLY INCREASING THE CLEAR SIGHT TRIANGLES AT THE STREET INTERSECTION AND SITE DRIVEWAYS IT WILL COMPLEMENT:

OBJECTIVE LU-11: CREATE A NETWORK OF PARKWAYS TO ESTABLISH STRONGER LINKAGES BETWEEN RIVERSIDE'S NEIGHBORHOODS, MAJOR ELEMENTS OF ITS NATURAL ENVIRONMENT AND NEIGHBORHOOD PARKS AND SCHOOLS.

OBJECTIVE LU-34: ENHANCE AND IMPROVE THE ARLANZA NEIGHBORHOOD AND ITS QUALITY OF LIFE.

OBJECTIVE CCM-8: PROTECT NEIGHBORHOODS AND REDUCE THE RISK POSED TO YOUNG CHILDREN AND OTHER RESIDENTS BY VEHICULAR TRAFFIC ON LOCAL ROADWAYS

OBJECTIVE PS-5: PROVIDE SAFE PEDESTRIAN AND BICYCLIST ENVIRONMENTS