



EXHIBIT 6 - Project Plans

IMPORTANT NOTICE
Section 4216/4217 of the Government
Code requires a Dig Alert identification
Number be issued before a
Permit to Excavate will be valid
For your Dig Alert ID Number Call

UNDERGROUND SERVICE ALERT
1-800-422-4133
For Underground Locating
2 Working Days before You Dig

UNAUTHORIZED CHANGES & USES

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MAINTAINED CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS OF CONSTRUCTION. CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

ENGINEER'S NOTE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION OF THOSE UNDERGROUND UTILITIES TO BE USED AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON. IF THE CONTRACTOR ENCOUNTERS ANY DISCREPANCIES, CONFLICTS OR AREAS WHERE THE RECORDS ARE UNRELIABLE, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE GRADING ENGINEER IMMEDIATELY PRIOR TO CONTINUING OR DEVIATING FROM THIS PLAN.

BENCHMARK:


F5-B2: A CITY OF RIVERSIDE BENCHMARK, PK NAIL WITH DISC STAMPED CITY ENGINEER SET IN TOP OF THE DRAINAGE CHANNEL HEADWALL ON THE WESTERLY SIDE OF MADISON STREET, 100 FEET SOUTHERLY OF THE SOUTHERLY CURB RETURN AT INDIANA AVENUE AND MADISON STREET.

ELEVATION: 857.57' DATUM: 1988

PLANNING DIVISION

APPROVED

DATE _____

CITY BUSINESS TAX ID# 12373899 EXP DATE: 03/31/2017
 PREPARED UNDER THE SUPERVISION OF:
 701 N. Portlander Drive
 Santa Ana, CA 92705
 **TAIT**
 p: 714/560/8200 f: 714/560/8211
 www.tait.com
 Since 1964
 Los Angeles Sacramento San Francisco Dallas Phoenix
 San Diego Boise Denver Portland
 MICHAEL P. SILVEY, P.E. R.C.E. 56651 DATE

PW16-0232
WDID# 833C377143

DRAWN: RH
DATE: 11/14/16
CHECKED:
DATE:
REVISION #:
DATE:
JOB NO: SP7664

1 OF 1

CONCEPTUAL GRADING PLAN

MADISON PLAZA
3490 MADISON AVENUE
RIVERSIDE, CA

HANOVER-PRP PROPERTIES
417 29TH STREET
NEWPORT, CA 92663

TAIT

Since 1964

701 N. Parkcenter Drive
Santa Ana, CA 92705

p: 714/560/8200 f: 714/560/8211
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Los Angeles Sacramento San Francisco
Ontario San Diego Boise

Dallas	Phoenix
Denver	Portland

NO.	DESCRIPTION	BY	DATE	CHK
REVISIONS				

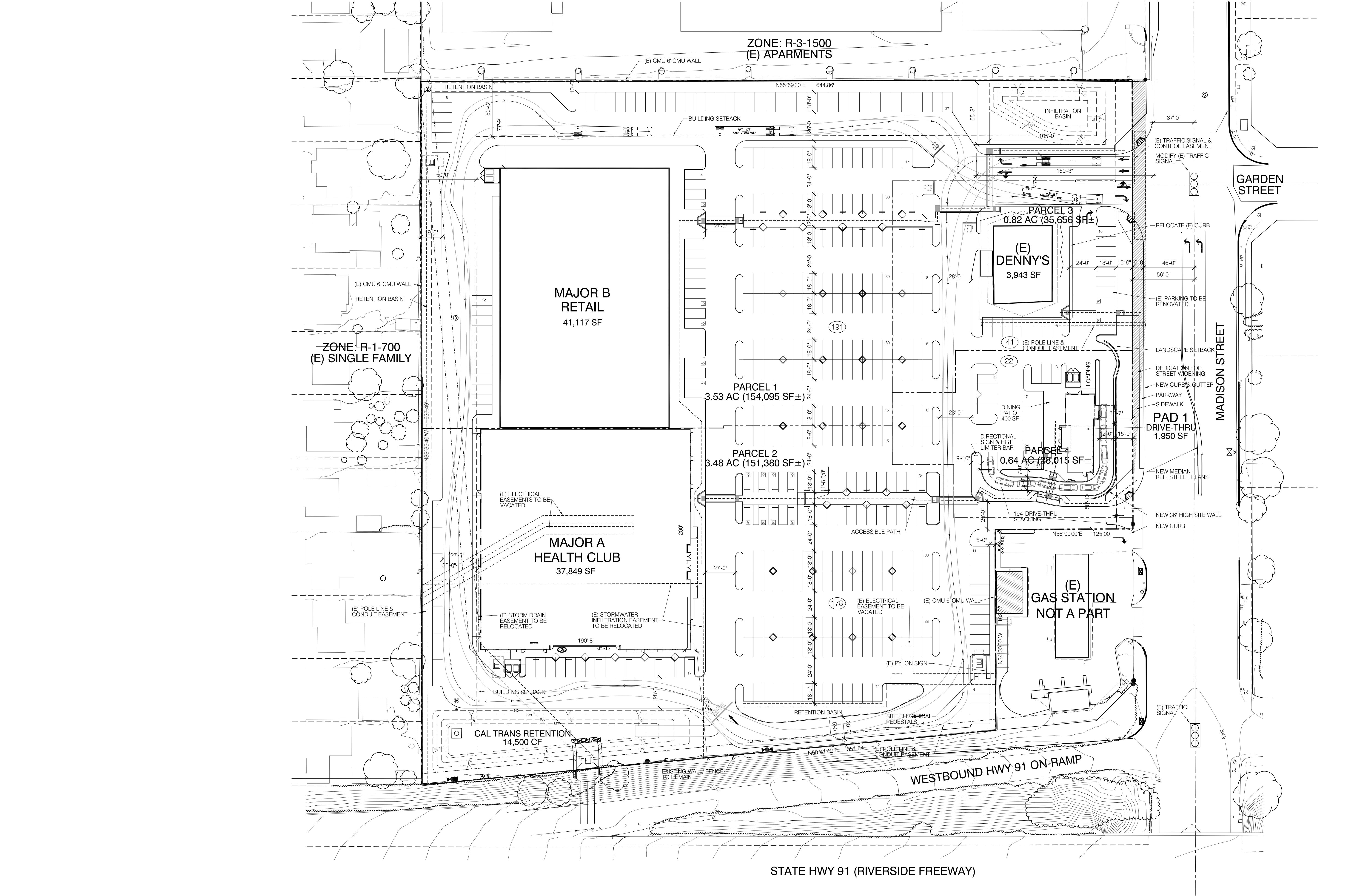
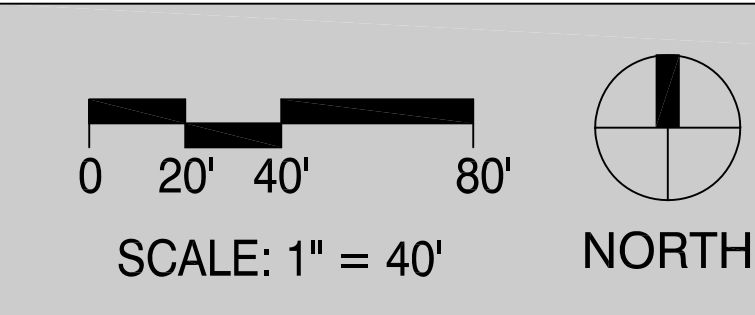


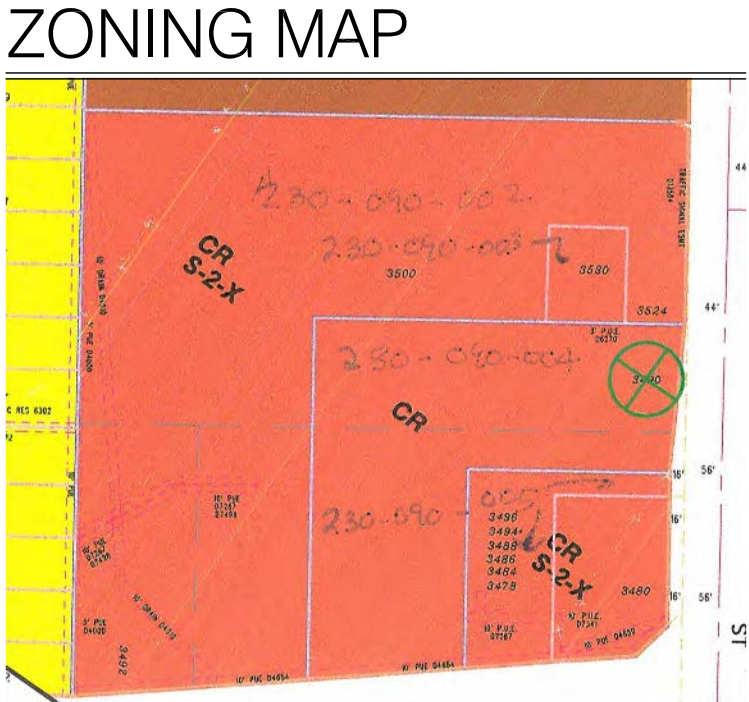
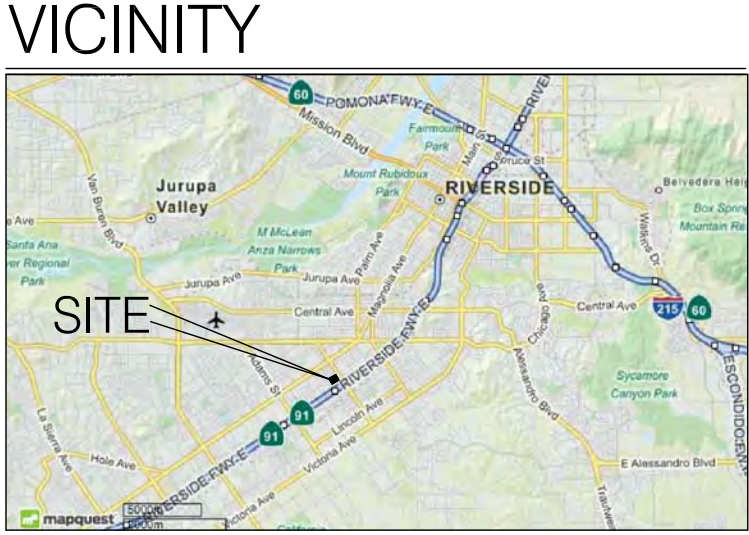
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MADISON PLAZA

RIVERSIDE, CALIFORNIA

HANOVER- PRP PROPERTIES
(RIVERSIDE)
417 29TH STREET
NEWPORT BEACH, CA 92663
949.723.9500



LEGAL

ASSESSORS PARCEL NUMBERS:
230-090-002, -003, -004 & -005

ZONING

GENERAL PLAN: MU-U (MIXED USE- URBAN)
ZONING: CR & CR S-2-X
BUILDING SETBACKS:
FRONT (CR): 5'-0"
FRONT (CR S-2-X): 5'-0"
FRONT (DRIVE-THRU RESTAURANT): 15'-0"
INTERIOR SIDE (CR): 20'-0"
INTERIOR SIDE (CR S-2-X): 20'-0"
REAR ADJ. TO RESIDENTIAL (CR S-2-X): 5'-0"

LANDSCAPE SETBACKS:
FRONT: 15'-0"
SIDE (ADJ. TO RESIDENTIAL ZONE): 5'-0"
REAR (ADJ. TO RESIDENTIAL ZONE): 5'-0"
MAXIMUM BUILDING HEIGHT: 75'-0"
MAXIMUM BUILDING HEIGHT (DRIVE-THRU): 35'-0"
MAXIMUM BUILDING COVERAGE (F.A.R.): 50%

PROJECT SUMMARY

LAND AREA:	8.21 AC (357,862 SF ±)
(NIC CALTRANS 12K SF)	
RETAIL:	41,117 SF
RESTAURANTS:	5,893 SF
HEALTH/ FITNESS CLUB:	37,849 SF
TOTAL BUILDING AREA:	84,859 SF
BUILDING COVERAGE (F.A.R.):	23.6%

PARKING

REQUIRED PARKING (RMC 19.580):	
RETAIL (1:250):	165 STALLS
RESTAURANTS (1:100):	
DENNY'S:	40 STALLS
DRIVE-THRU (PAD A):	20 STALLS
HEALTH/ FITNESS CLUB (1:150):	253 STALLS
TOTAL PARKING REQUIRED:	478 STALLS
15% REDUCTION REQ. PER RMC 19.580.060:	<72 STALLS>
	406 STALLS
TOTAL PARKING PROVIDED:	432 STALLS

NOTE:
THIS SITE PLAN SHOWS DEVELOPERS PLAN FOR THE CONFIGURATION OF THE PROJECT AS OF THE DATE OF THE SITE PLAN. ONLY. IT IS ONLY A PLAN, AND IT SHALL NOT BE DEEMED TO BIND DEVELOPER AS TO:
(A) THE SIZE OF ANY PARTICULAR BUILDING OR SPACE DEPICTED HEREON, OR
(B) THE CONFIGURATION, LOCATION OR FLOOR AREA OF ANY PARTICULAR BUILDING OR SPACE DEPICTED HEREON, OR
(C) THE PROPOSED USE OR OCCUPANCY OF ANY PARTICULAR BUILDING OR SPACE DEPICTED HEREON.

SITE PLAN
SCHEME J
VERSION 20

MADISON PLAZA
RIVERSIDE, CA

GKPIERCE
ARCHITECTS

3 OVERTURE
ALISO VIEJO, CA 92656
T 949.344.2710
F 949.344.2720

30 DECEMBER 2016

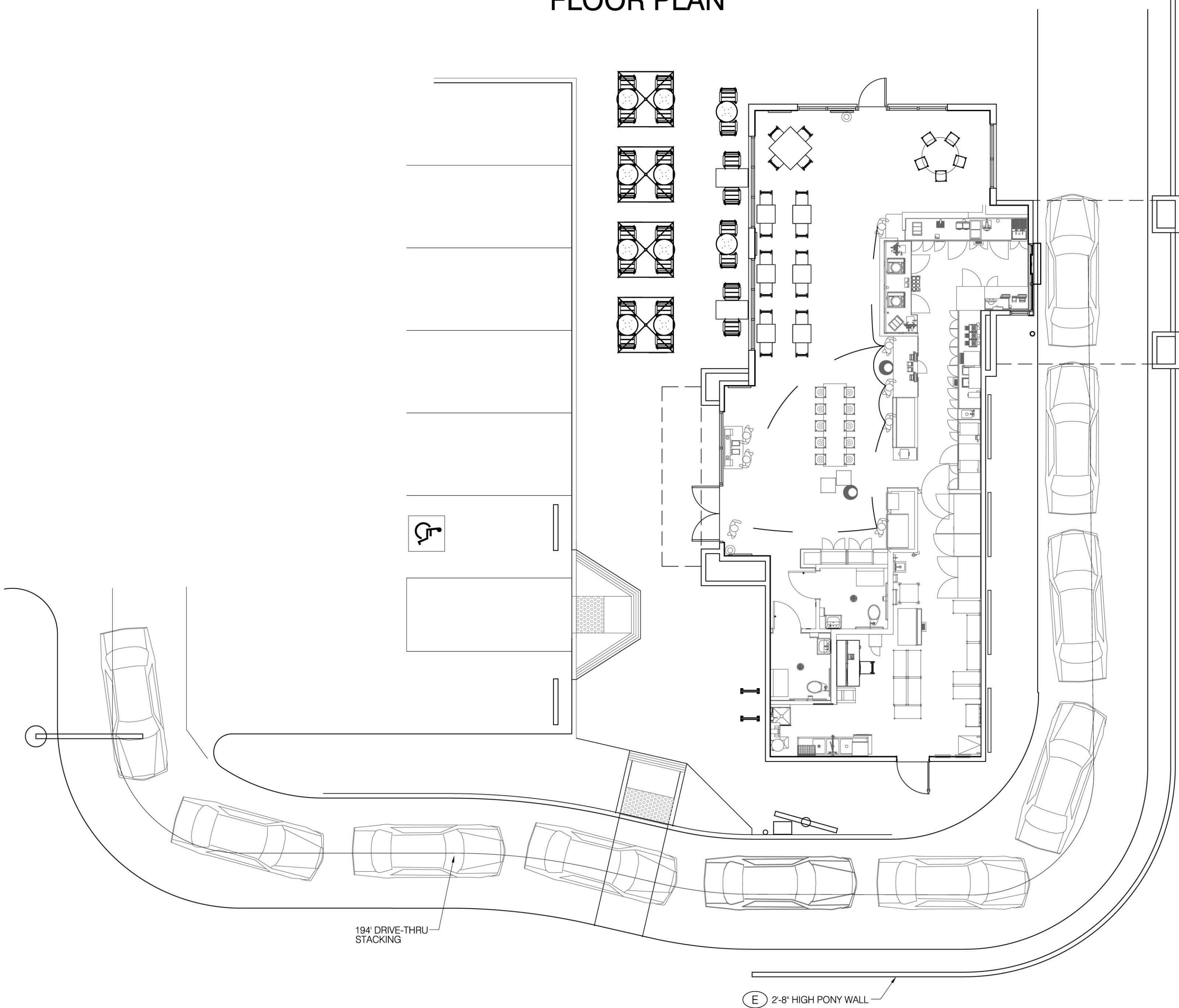
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FLOOR PLAN



NORTH ELEVATION



EAST (MADISON STREET) ELEVATION



EXTERIOR MATERIALS & FINISHES LEGEND

- (A) EXTERIOR CEMENT PLASTER SYSTEM
MEDIUM SAND ACRYLIC FINISH-
COLOR: TO MATCH DUNN EDWARDS DE6114
"HICKORY BRANCH"
- (B) EXTERIOR CEMENT PLASTER SYSTEM W/ 1"
HORIZONTAL REVEALS
SMOOTH ACRYLIC FINISH-
COLOR: TO MATCH DUNN EDWARDS DE6082
"WANDERING ROAD"
- (C) NOT USED
- (D) SHOT BLASTED CMU-
COLOR: ORCO WHEAT
- (E) SHOT BLASTED CMU-
COLOR: ORCO OTAY BROWN
- (F) ALUMINUM STOREFRONT SYSTEM-
COLOR: ANODIZED CLEAR ALUMINUM
- (G) METAL DOORS & FRAMES- PAINTED
COLOR: TO MATCH DUNN EDWARDS DE6076
"HICKORY BRANCH"
- (H) DECORATIVE LIGHT FIXTURE
MFR: ECLIPSE
GALILEO ELITE SERIES- EQUINOX W/ FULL PERFEX
SHIELD (SIZES VARY)
FINISH: ANODIZED CLEAR ALUMINUM
- (J) ALUMINUM CORNICE CAP
COLOR: ANODIZED CLEAR
- (K) OVERHEAD METAL TRELLIS/ BROW (PAINTED)
COLOR: METALIZED CLEAR ALUMINUM
- (L) SIGNAGE UNDER SEPARATE PERMIT
- (M) ALUMINUM CHANNEL SCREEN
COLOR: ANODIZED CLEAR

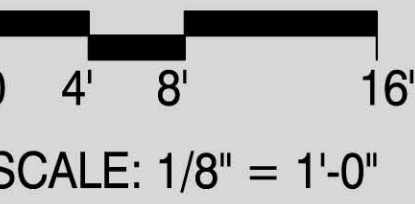
WEST ELEVATION



SOUTH ELEVATION



EXHIBIT 6 - Project Plans



MADISON PLAZA
RIVERSIDE, CALIFORNIA

HANOVER- PRP
PROPERTIES (RIVERSIDE)
417 29TH STREET
NEWPORT BEACH, CA 92663
949.723.9500

PAD 1
FLOOR PLAN/
EXTERIOR ELEVATIONS

MADISON PLAZA
RIVERSIDE, CA

GKPA PROJECT #15127.01
24 OCTOBER 2016

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EXHIBIT 6 - Project Plans



RIVERSIDE EXTERIOR STUDY
JULY 7, 2016



EXHIBIT 6 - Project Plans

EAST ELEVATION PERSPECTIVE



EXHIBIT 6 - Project Plans

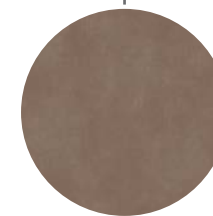
EAST ELEVATION PERSPECTIVE - ENTRY



CULTURED
STONE



SHOT BLASTED
CMU



STUCCO FINISH



SIDING

MATERIALS

EXHIBIT 6 - Project Plans

SOUTH ELEVATION PERSPECTIVE



RIVERSIDE

2150076.00
JULY 7, 2016





EAST ELEVATION

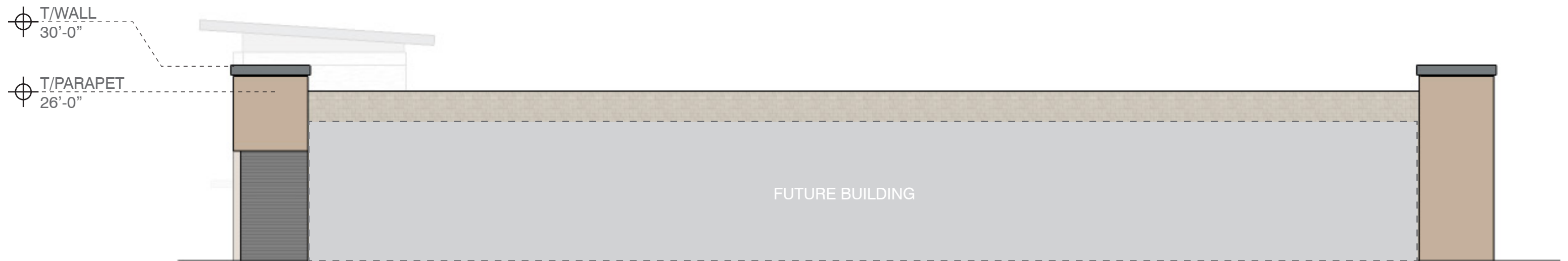


SOUTH ELEVATION

EXHIBIT 6 - Project Plans

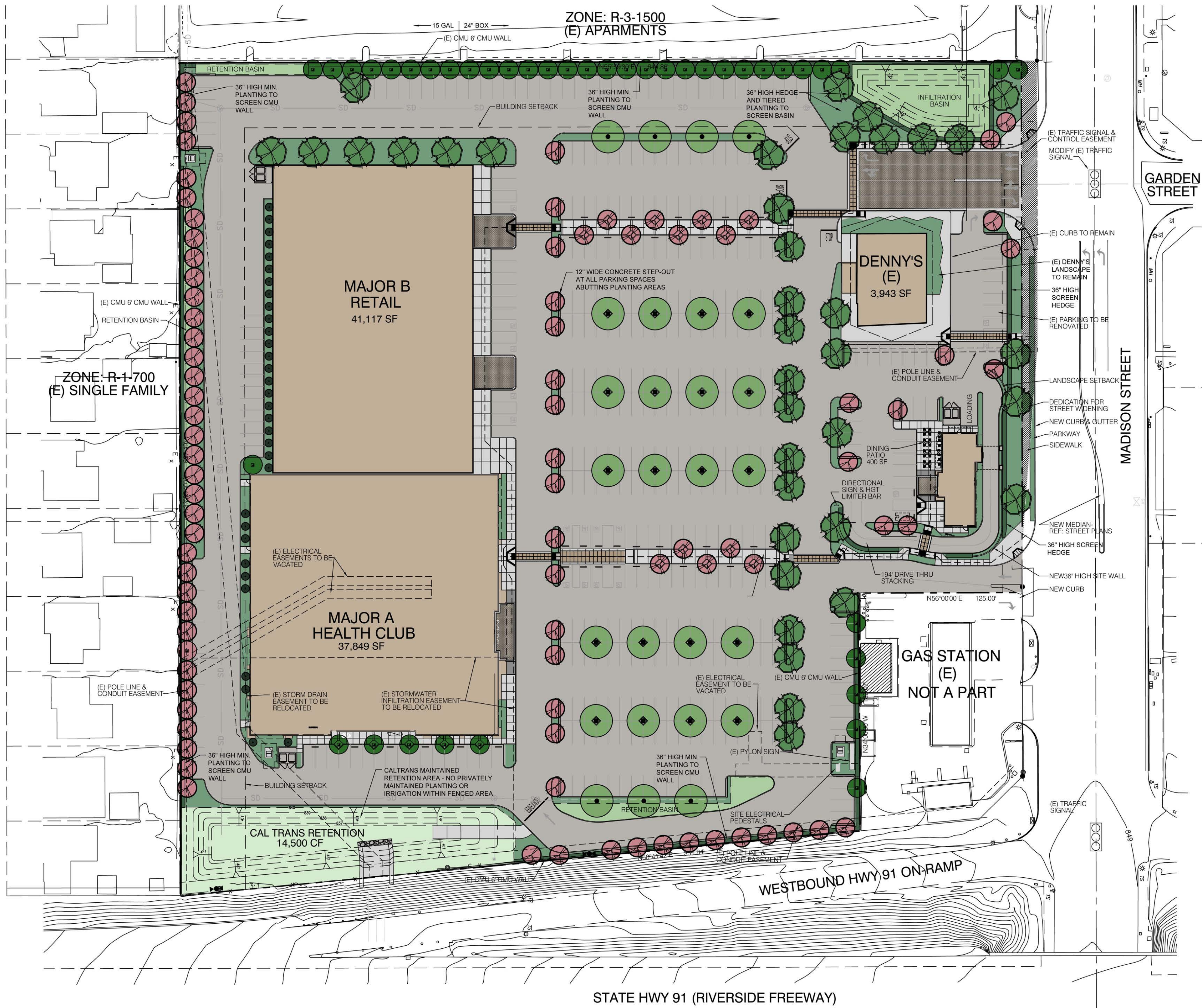


WEST ELEVATION



NORTH ELEVATION

EXHIBIT 6 - Project Plans



PLANT PALETTE				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS
TREES				
MIX OF TREES SHALL INCLUDE AT LEAST: 25% 15-GALLON TREES, 70% 24"-BOX TREES, AND 5% 36"-BOX TREES				
	Cupressus sempervirens	Italian Cypress	24" Box	L
	Lophostemon confertus	Brisbane Box	15 Gal, 24" Box	M
	Brachychiton acerifolius	Australian Flame Tree	24" Box	M
	Magnolia grandiflora 'D.D. Blanchard'	Magnolia	24" Box	M
	Pyrus calleryana 'Chanticleer'	Ornamental Pear	24" Box	M
	Lagerstroemia indica 'Catawba'	Crape Myrtle	24" Box	M
	Ulmus parvifolia	Chinese Elm	36" Box	M
SHRUBS				
100% OF SHRUBS SHALL BE INSTALLED AT 5 GALLON SIZE UNLESS THE SHRUB'S MATURE SIZE IS SUCH THAT NURSERIES DO NOT SELL STOCK LARGER THAN 1 GALLON SIZE. SHRUBS SHALL BE PLACED AT A MAXIMUM OF 36" APART ON AVERAGE.				
	Agave attenuata	Foxtail Agave	5 Gal	L
	Bougainvillea cvr.	Bougainvillea	5 Gal	L
	Cistus x purpureus	Mirror Plant	5 Gal	L
	Coprosma repens 'Marble Queen'	Orchid Rockrose	5 Gal	M
	Dietes vegeta	Fortnight Lily	5 Gal	M
	Lavandula angustifolia 'Hidcote'	English Lavender	1 Gal	L
	Leptospermum scoparium	New Zealand Tea Tree	5 Gal	M
	Ligustrum japonicum 'Texanum'	Texas Privet	5 Gal	M
	Linum catharticum	Big Blue Lily Turf	1 Gal	M
	Myrtus communis 'Compacta'	Dwarf Myrtle	5 Gal	M
	Phormium tenax	New Zealand Flax	5 Gal	M
	Pittosporum tobira 'Variegata'	Mock Orange	5 Gal	M
	Rhamnus indica cvr.	Indian Hawthorne	5 Gal	M
	Rosa 'Flower Carpet'	Groundcover Rose	5 Gal	M
	Salvia clevelandii	Cleveland Sage	5 Gal	L
	Salvia leucantha 'Santa Barbara'	Mexican Bush Sage	5 Gal	L
	Senecio mandraliscae	Blue Chalk Sticks	1 Gal	M
VINES				
	Distictis buccinatoria	Blood Red Trumpet Vine	15 Gal	M
	Macfadyena unguis-cati	Cat's Claw Vine	15 Gal	L
INFILTRATION/BIODETENTION AREAS				
	INFILTRATION BASIN HYDROSEED MIX - BASIC NATIVE EROSION CONTROL MIX BY S&S SEEDS CONTAINS: BROMUS HORDEACEUS (BLANDO BROME), FESTUCA MYROS VAR. HIRUSTA (ZORRO ANNUAL FESCUE), TRIFOLIUM HIRTUM (ROSE CLOVER) HYDROSEED MIX ALSO CONTAINS APPROPRIATE QUANTITIES OF MULCH, BINDER, AND FERTILIZER			
	Carex pansa	California Meadow Sedge	1 Gal @ 18" O.C.	M

	NATURAL GRAY CONCRETE, MEDIUM BROOM FINISH
	INTEGRAL COLOR CONCRETE, RETARDANT FINISH, SCOFIELD 'FRENCH GRAY'
	INTEGRAL COLOR CONCRETE, RETARDANT FINISH, SCOFIELD 'WESTWOOD BROWN'
	6X12 CONCRETE PAVERS, RUNNING BOND PATTERN, ACKERSTONE 'CARREL' (THROUGH MIX SHOTBLAST FINISH)

IRRIGATION SYSTEM DESIGN STATEMENT

A PERMANENT AUTOMATIC IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED TO IRRIGATE ALL PLANTING AREAS. THE DESIGN OF THE IRRIGATION SYSTEM SHALL EMPHASIZE WATER CONSERVATION AND PROVIDE EFFICIENT AND UNIFORM DISTRIBUTION OF IRRIGATION WATER.

IN PLANTERS WHERE APPROPRIATE, DRIP AND/OR BUBBLER IRRIGATION, OR OTHER LOW-VOLUME, LOW-PRESSURE, MICRO-IRRIGATION SYSTEM MAY BE INSTALLED TO PROVIDE WATER DIRECTLY TO THE ROOT ZONE OF PLANTS. THE SYSTEM MAY UTILIZE EFFICIENT ROTATOR NOZZLES IN LARGER PLANTING AREAS. THE AUTOMATIC IRRIGATION SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH CITY OF RIVERSIDE ORDINANCES.

WHERE POTABLE WATER IS USED FOR IRRIGATION, A REDUCED PRESSURE BACKFLOW PREVENTER SHALL BE INSTALLED AS PART OF THE IRRIGATION SYSTEM TO PROTECT THE POTABLE WATER SUPPLY IN ACCORDANCE WITH STATE OF CALIFORNIA, CITY OF RIVERSIDE AND LOCAL WATER DISTRICT STANDARDS AND REQUIREMENTS.

LANDSCAPE CALCULATIONS:

SITE AREA (GROSS): 357,862 SF
LANDSCAPE AREA: 61,115 SF
LANDSCAPE PERCENTAGE: 17.1%

MAXIMUM ANNUAL WATER ALLOWANCE

MAWA = (Eto) (0.62) ((0.45) (LA) + (0.3) (SLA)) = GAL/YR
MAWA = (56.4) (0.62) ((0.45) (61,115 SF) + (0.3) (0)) = 961,681 GAL/YR

LANDSCAPE NOTES

- LANDSCAPE PLANS AND INSTALLATIONS SHALL COMPLY WITH CITY OF RIVERSIDE CODES, ORDINANCES, AND LANDSCAPE DESIGN GUIDELINES AS APPLY TO PLANTING DESIGN AND IRRIGATION.
- VINES OR OTHER LANDSCAPE SCREENING SHALL BE PLANTED AROUND TRASH ENCLOSURES.
- LANDSCAPE SCREENING SHALL BE PROVIDED FOR ANY ABOVE GROUND EQUIPMENT.
- LANDSCAPE SHALL BE PERMANENTLY MAINTAINED BY THE DEVELOPER OR HIS SUCCESSORS.
- PLANT MATERIAL MAY BE ADDED OR REMOVED DURING THE CONSTRUCTION DOCUMENT PHASE SUBJECT TO APPROVAL BY THE CITY OF RIVERSIDE.

ESTIMATED ANNUAL WATER USE

EAWU = (Eto) (0.62) (PF) (LA) = GAL/YR
EAWU = (56.4) (0.62) (0.4) (61,115 SF) = 854,828 GAL/YR

Pacific Landscape Studio
LANDSCAPE ARCHITECTURE
SITE PLANNING

23700 CORTE ANDAR, MURRIETA, CA 92562
P. 805.440.8047

LANDSCAPE CONCEPT
SCHEME J
VERSION 18

MADISON PLAZA
RIVERSIDE, CA

GKPA PROJECT #15127.01
7 DECEMBER 2016

HANOVER- PRP PROPERTIES
(RIVERSIDE)

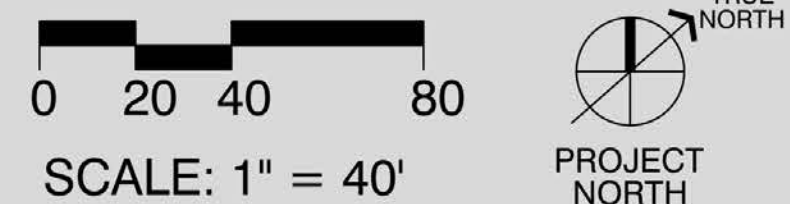
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NEWPORT BEACH, CA 92663
949.723.9500

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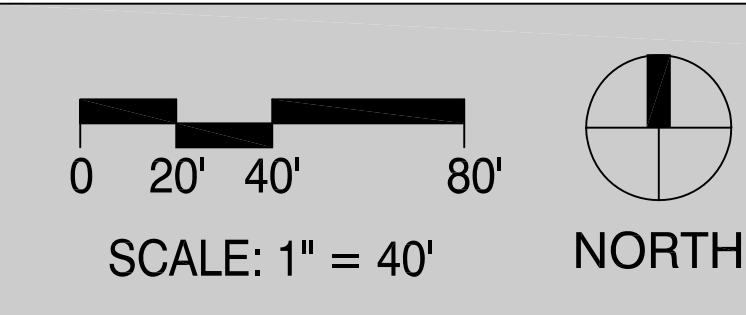
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EXHIBIT 6 - Project Plans



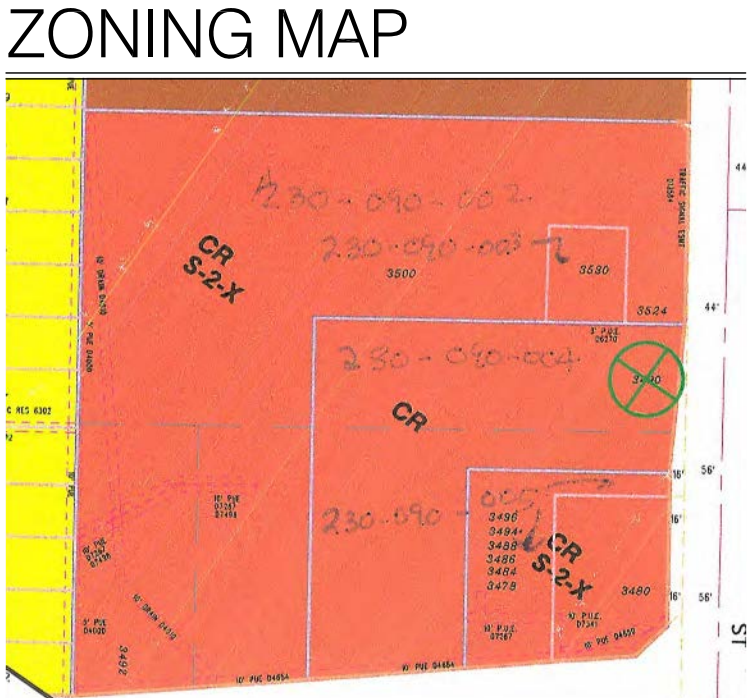
MADISON PLAZA
RIVERSIDE, CALIFORNIA

EXHIBIT 6 - Project Plans



MADISON PLAZA
RIVERSIDE, CALIFORNIA

HANOVER- PRP PROPERTIES
(RIVERSIDE)
417 29TH STREET
NEWPORT BEACH, CA 92663
949.723.9500



LEGAL

ASSESSORS PARCEL NUMBERS:
230-090-002, -003, -004 & -005

ZONING

GENERAL PLAN: MU-U (MIXED USE- URBAN)
ZONING: CR & CR S-2-X

BUILDING SETBACKS:
FRONT (CR): 50'
FRONT (CR S-2-X): 50'
FRONT (DRIVE-THRU RESTAURANT): 15'
INTERIOR SIDE (CR): 20'
INTERIOR SIDE (CR S-2-X): 20'
REAR ADJ. TO RESIDENTIAL (CR S-2-X): 50'

LANDSCAPE SETBACKS:
FRONT: 15'
SIDE (ADJ. TO RESIDENTIAL ZONE): 5'
REAR (ADJ. TO RESIDENTIAL ZONE): 5'

MAXIMUM BUILDING HEIGHT: 75'
MAXIMUM BUILDING HEIGHT (DRIVE-THRU): 35'

MAXIMUM BUILDING COVERAGE (F.A.R.): 50%

PROJECT SUMMARY

LAND AREA: 8.21 AC (357,862 SF ±)
(NIC CALTRANS 12K SF)

RETAIL: 41,117 SF
RESTAURANTS: 5,893 SF
HEALTH/ FITNESS CLUB: 37,849 SF

TOTAL BUILDING AREA: 84,859 SF

BUILDING COVERAGE (F.A.R.): 23.6%

PARKING

REQUIRED PARKING (RMC 19.580):

RETAIL (1:250): 165 STALLS
RESTAURANTS (1:100):
DENNY'S: 40 STALLS
DRIVE-THRU (PAD A): 20 STALLS
HEALTH/ FITNESS CLUB (1:150): 253 STALLS

TOTAL PARKING REQUIRED: 478 STALLS
15% REDUCTION REQ. PER RMC <72 STALLS>
19,580.060:

TOTAL PARKING PROVIDED: 432 STALLS

NOTE:
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(A) THE SIZE OF ANY PARTICULAR BUILDING OR SPACE DEPICTED HEREON, OR
(B) THE CONFIGURATION, LOCATION OR FLOOR AREA OF ANY PARTICULAR BUILDING OR SPACE DEPICTED HEREON, OR
(C) THE PROPOSED USE OR OCCUPANCY OF ANY PARTICULAR BUILDING OR SPACE DEPICTED HEREON.

BUILDING AREAS AND LAND COVERAGE ARE PRELIMINARY AND SUBJECT TO ADJUSTMENT. ANY PROPOSED DEVELOPMENT IS SUBJECT TO APPROVAL OF GOVERNMENT OR OTHER AGENCIES HAVING JURISDICTION. ALL DIMENSIONS AND SITE CONDITIONS ARE SUBJECT TO VERIFICATION.

**SITE PLAN
SCHEME J
VERSION 20**

MADISON PLAZA
RIVERSIDE, CA

GKPIERCE
ARCHITECTS

3 OVERTURE
ALISO VIEJO, CA 92656
T 949.344.2710
F 949.344.2720

GKPA PROJECT #15127.01
19 DECEMBER 2016

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LEGEND

NOTE: SEE AX.X FOR WALL HEIGHTS AND TYPES,
SEE AX.X FOR WALL TYPE INFORMATION.

- CMU WALL, FINISH PER ELEVATIONS, SEE DETAILS -/----
- FULL HEIGHT 1-HR WALL, SEE DETAILS -/---- FOR HEAD CONDITION, SEE DETAIL -/----
FOR SILL CONDITION, U.N.O. UL ASSEMBLY U425
- FULL HEIGHT NON-RATED WALL, SEE DETAIL -/---- & -/---- FOR HEAD CONDITION AT
ROOF DECK, SEE DETAIL -/---- FOR SILL CONDITION, U.N.O.
- THROUGH GRID WALL, SEE DETAIL -/---- FOR HEAD CONDITION, SEE DETAIL -/---- FOR
SILL CONDITION, U.N.O.
- WINDOW TYPE - SEE SHEET A1.3
- 3" RECESSED SLAB TRANSITION LOCATION
- ROOF DRAIN
- MIRROR, SEE 5/A8.6

GENERAL NOTES

- A. VERIFY & CONFIRM ALL DIMENSIONS & CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO START OF WORK.
- B. PATCH & REPAIR EXISTING WORK DAMAGED DURING CONSTRUCTION TO NEW CONDITION.
- C. THIS SCOPE OF WORK IS FOR TENANT MODIFICATION & OCCUPANCY ONLY.
- D. SEE SHEETS T3.1, T3.2 & T3.3 FOR PRODUCT AND MATERIAL SPECIFICATIONS.
- E. SHEET A1.1 FOR ACCESSIBILITY DETAILS AND MOUNTING HEIGHTS.
- F. DOORS NOT DIMENSIONED ARE TO BE 4" FROM FACE OF WALL TO FACE OF JAMB.
- G. DETAIL & KEYNOTE REFERENCES SHOULD BE APPLIED AT ALL INSTANCES WHERE THE SAME CONDITION OCCURS.
- H. ALL WET AREA WALLS TO SIT ON CONCRETE CURB.
- I. REFER TO ENLARGED PLANS WHERE INDICATED FOR ADDITIONAL INFORMATION.
- J. ALL OUTSIDE CORNERS OF KID'S CLUB WALLS TO HAVE BULLNOSE EDGES.
- K. ONE DRINKING FOUNTAIN TO BE MOUNTED AT ADA HEIGHT UNLESS NOTED OTHERWISE. SEE -/---- FOR HEIGHT.
- L. NOT USED.
- M. DIMENSIONS TO FACE/STUD UNLESS NOTED OTHERWISE.
- N. COORDINATE WITH BUILDING SHELL DOCUMENTS AS REQUIRED FOR SHELL CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO START OF WORK.
- O. SEE DETAILS -/---- AND -/---- FOR SLAB PULLBACK.
- P. PROVIDE AUTOMATIC FIRE DETECTION PER CBC 2010 SECT 908, SEE T1.1 FOR DEFERRED SUBMITTALS.
- Q. CLEAR DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS TO DETERMINE SIZES. NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO START OF WORK.
- R. REFER TO -/---- FOR TYPICAL DOOR JAMB DETAIL.
- S. REFER TO -/---- FOR TYPICAL SLAB DETAILS.
- T. REFER TO INTERIOR ELEVATIONS AND DETAILS FOR FURTHER CASEWORK INFORMATION.

KEYNOTE

- 03-01 INSTALL 10 MIL VAPOR BARRIER UNDER POOL DECK
- 07-02 ROOF ACCESS LADDER, SEE DETAIL X/A.X
- 13-01 POOL & SPA PROVIDED BY CONTRACTOR, SEE POOL DRAWINGS FOR ADDITIONAL INFORMATION
- 26-01 ELECTRICAL RACEWAY FOR EXERCISE EQUIPMENT, COORDINATE WITH EQUIPMENT PLAN AND ELECTRICAL DRAWINGS. VERIFY EQUIPMENT LAYOUT PRIOR TO CURB FABRICATION.

