



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

CHAIR April 4, 2016

Simon Housman
Rancho Mirage

VICE CHAIRMAN
Rod Ballance
Riverside

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Glen Holmes
Hemet

Greg Pettis
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Steve Manos
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Director
Ed Cooper

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Paul Rull
Russell Brady
Barbara Santos

County Administrative Center
4080 Lemon St., 14th Floor
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

Mr. Sean Kelleher, Project Planner
City of Riverside Planning Department
3900 Main Street, Third Floor
Riverside CA 92522

RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW

File No.: ZAP1073R116

Related File No.: P15-0979 (Rezoning), P15-0980 (Conditional Use Permit),
P15-0981 (Design Review)

APN: 190-322-015

Dear Mr. Kelleher:

On March 10, 2016, the Riverside County Airport Land Use Commission (ALUC) found City of Riverside Case No. P15-0979 (Rezoning), a proposal to rezone a 0.55-acre parcel located on the northerly side of Arlington Avenue, easterly of Phoenix Avenue, from Office (O) to Commercial General (CG) **CONSISTENT** with the 2005 Riverside Municipal Airport Land Use Compatibility Plan, provided that the new zoning incorporates the Airport Protection Overlay Zone suffixes (-AP-B1 and -AP-C) that refer to the site's location within Compatibility Zones B1 and C of the Riverside Municipal Airport Influence Area. Thus, the consistency finding refers to modified classifications of CG-AP-B1 and CG-AP-C.

On March 10, 2016, the Riverside County Airport Land Use Commission (ALUC) found City of Riverside Case No. P15-0980 (Conditional Use Permit), a proposal to allow a drive-thru restaurant use, and P15-0981 (Design Review), a proposal to develop a 2,200 square foot drive-thru restaurant on this site **CONSISTENT** with the 2005 Riverside Municipal Airport Land Use Compatibility Plan, pursuant to Policy 3.3.6 of the 2004 Countywide Policies, based on special Findings 1 through 3 specified below and subject to the conditions included herein:

FINDINGS FOR A DETERMINATION OF CONSISTENCY PURSUANT TO POLICY 3.3.6 OF THE COUNTYWIDE POLICIES OF THE 2004 RIVERSIDE COUNTY AIRPORT LAND USE COMPATIBILITY PLAN:

1. Surrounding uses: The total occupancy of the proposed restaurant and drive-thru is less than the total occupancy of the surrounding uses with frontage on the northerly side of Arlington Avenue, specifically the existing adjacent fast food restaurant to the west and the County office building to the east.
2. The following special circumstances exist:
 - (a) The parcel is less than 1 acre in size and is split by the Compatibility Zone boundary between Zones B1 and C;
 - (b) The City is considering allowing for shared parking with the fast food restaurant

- to the west. Using the Parking Space method, the average intensity of the two lots combined would be consistent if the two lots were entirely in Compatibility Zone C;
- (c) The proposed restaurant building would be located in the portion of the property within Compatibility Zone C;
 - (d) The noise level of 55-60 CNEL from aircraft noise is listed as clearly acceptable for service commercial uses in Table 2B; therefore, the project would not expose people to excessive noise.
3. The proposed project would not create a safety hazard to people on the ground or aircraft in flight nor result in excessive aircraft noise exposure for employees or customers of the restaurant.

CONDITIONS:

- 1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky.
- 2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators).
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Children's schools, day care centers, libraries, hospitals, nursing homes, highly noise-sensitive outdoor nonresidential uses, places of worship, aboveground bulk storage of hazardous materials, and hazards to flight.
- 3. The attached notice shall be given to all prospective purchasers and tenants of the property.
- 4. Prior to issuance of a building permit, the property owner shall convey an avigation easement to the City of Riverside as owner-operator of Riverside Municipal Airport.
- 5. Any new detention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in

April 4, 2016

and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

6. Prior to issuance of a building permit, the City of Riverside shall apply zoning incorporating the Airport Protection Overlay Zone (CG-AP-B1 and CG-AP-C) to the site.
7. Any subsequent Design Review, Conditional Use Permit, Tenant Improvement, or other permitting that would alter the use and occupancy of the currently proposed building shall require ALUC review.

If you have any questions, please contact Paul Rull, Urban Regional Planner IV, at (951) 955-6893, or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, ALUC Director

PR/JG

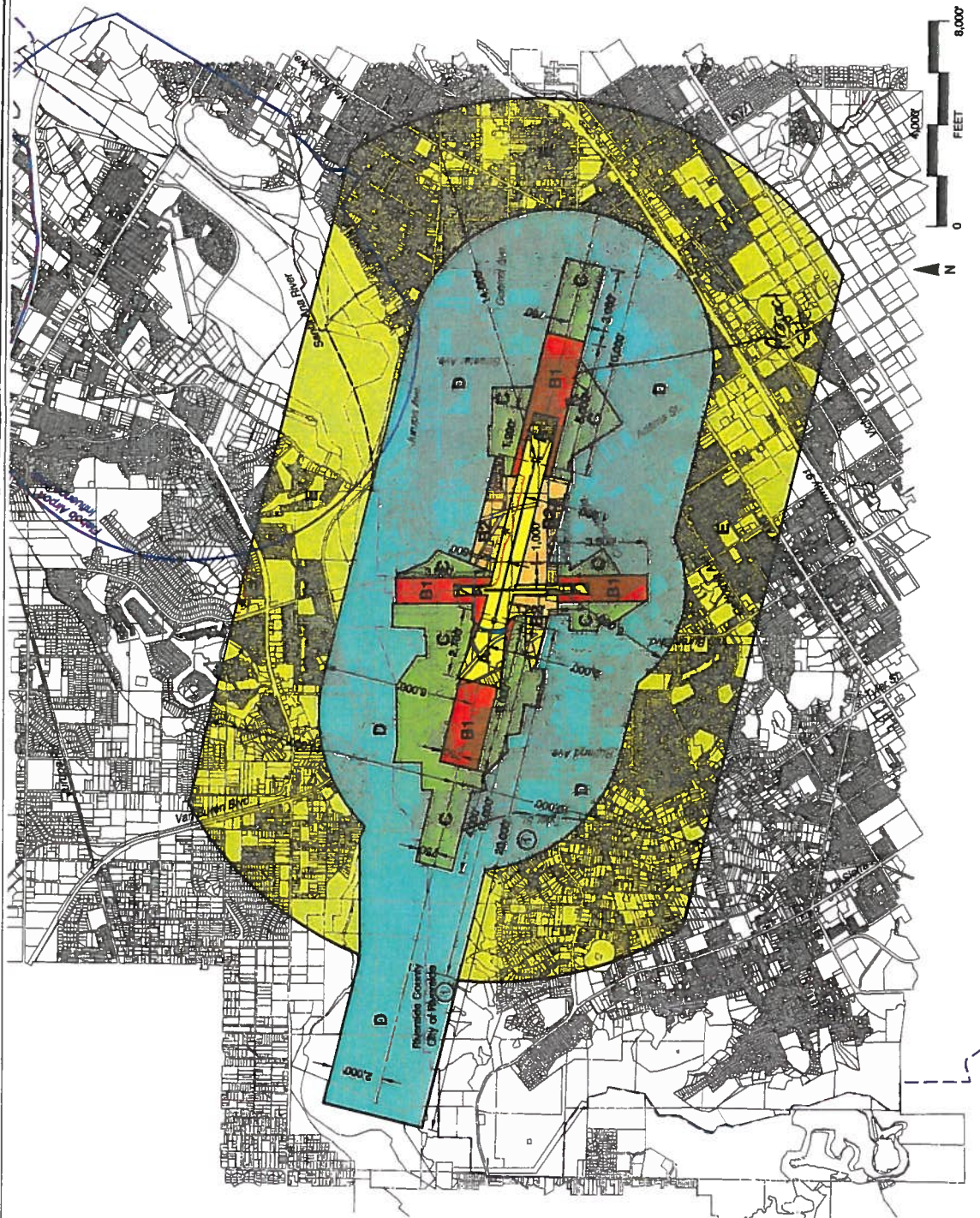
Attachment: Notice of Airport in Vicinity

cc: Arlington PDRC LP (applicant)
GK Pierce Architects, Glen Pierce (representative)
Grover Moss (surrounding property owner)
Bob Roberts (surrounding property owner)
Kim Ellis, Manager, Riverside Municipal Airport
ALUC Case File

Y:\AIRPORT CASE FILES\Riverside\ZAP1073RI16\ZAP1073RI16.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Legend

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E
- Height Review Overlay Zone

Boundary Lines

- Airport Property Line
- City Limits

Note

Airport influence boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A for compatibility criteria associated with this map. See Section RI.2 for special exceptions to the Table 2A criteria.

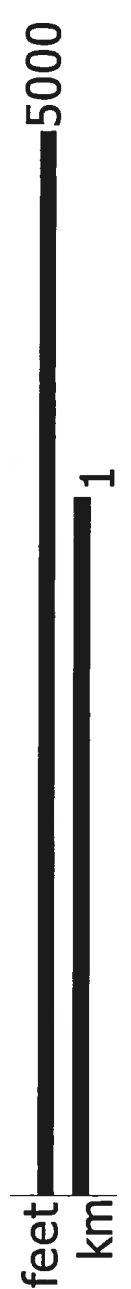
Riverside County
Airport Land Use Commission
Riverside County
Airport Land Use Compatibility Plan
Policy Document
(Adopted March 2005)

Map RI-1

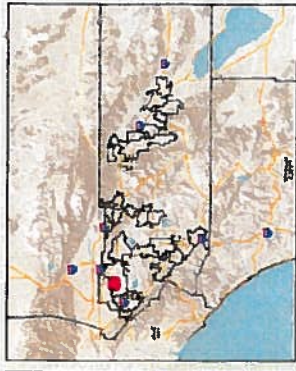
Compatibility Map
Riverside Municipal Airport

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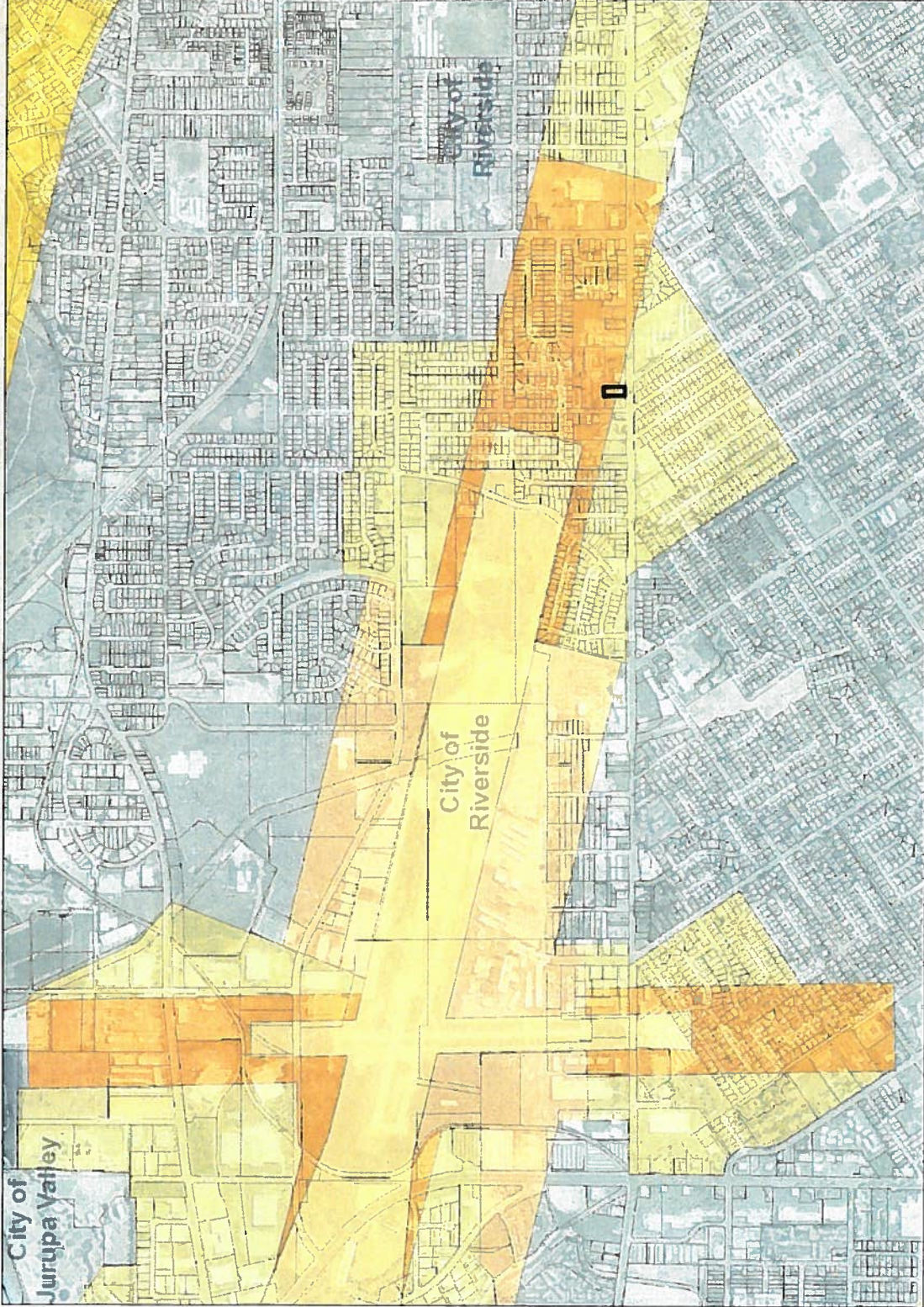


My Map



Legend

Airport Compatibility	
	OTHER ZONE
	A
	A-EXC1
	B1
	B1-APZ I
	B1-APZ I-EXC1
	B1-APZ II
	B1-APZ II-EXC1
	B1-EXC1
	B2
	B2-EXC1
	C
	C1
	C1-EXC1
	C1-EXC3
	C1-EXC4
	C1-HIGHT
	C2
	C2-EXC1
	C2-EXC2
	C2-EXC3
	C2-EXC5
	C2-EXC6
	C2-HIGHT
	C2-HIGHT-EXC1
	C2-HIGHT-EXC5



Notes

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0 2,130 4,260 Feet



REPORT PRINTED ON... 1/26/2016 11:52:28 AM

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My Map



- Legend**
- Display Parcels
 - City Boundaries
 - Cities
 - roadsanno
 - highways
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - OFFRAMP
 - ONRAMP
 - USHWY
 - counties
 - cities
 - hydrographylines
 - waterbodies
 - Lakes
 - Rivers

Notes

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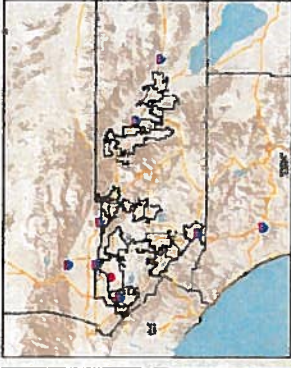
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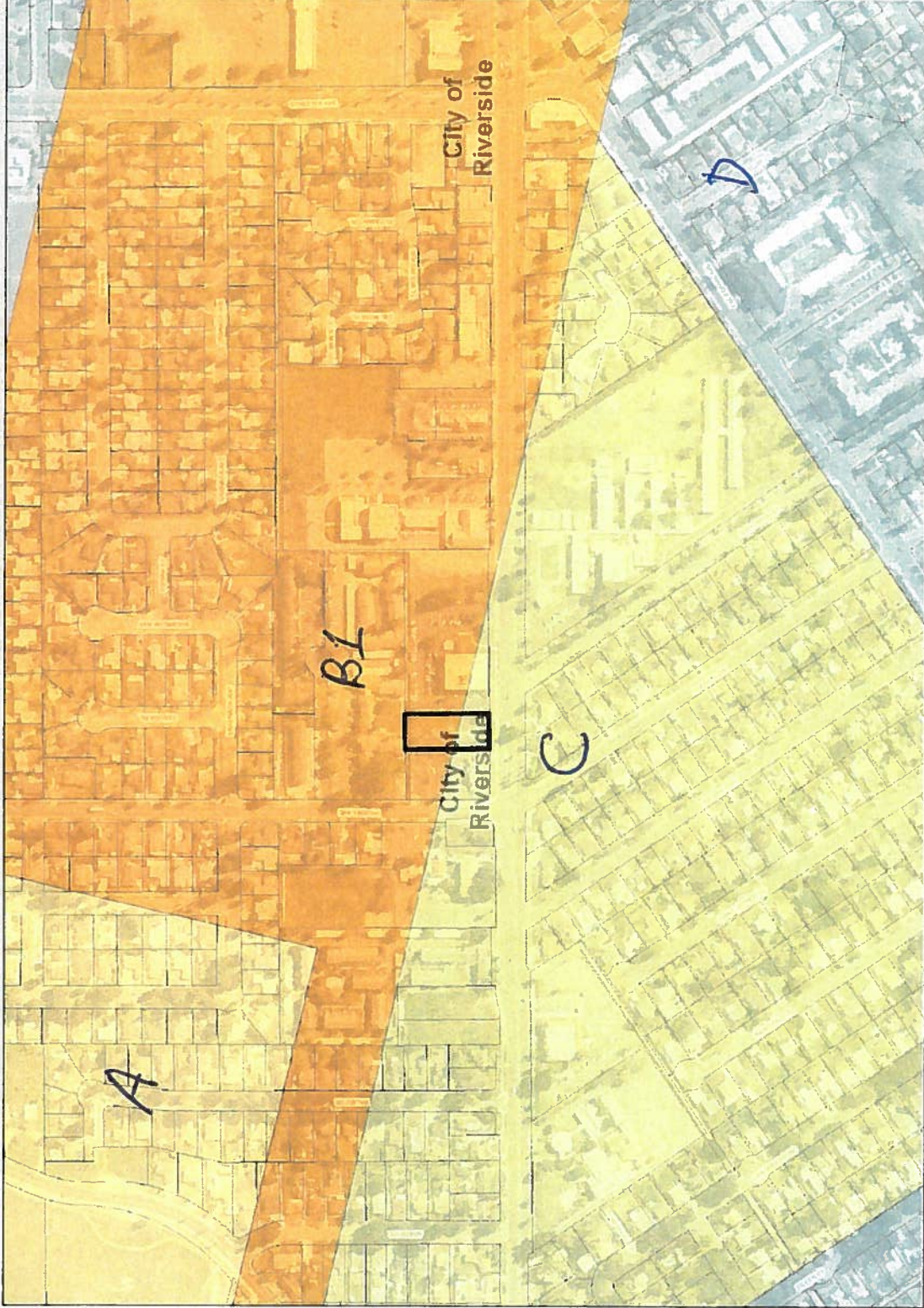
© Riverside County TLMA GIS

My Map



Legend

- ☐ Display Parcels
- ☒ Airport Compatibility
- OTHER ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5
 - C2-EXC6
 - C2-HIGHT
 - C2-HIGHT-EXC1



Notes

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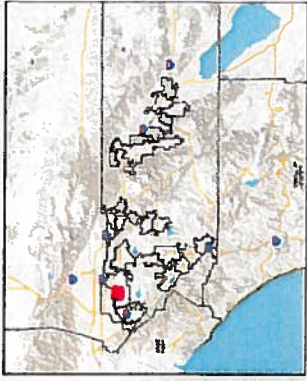
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My Map



Legend

- Airports
- Runways
- City Boundaries
- roads
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads
- Major Roads
- Arterial
- Collector
- Residential
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers

Notes

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0 2,242 4,483 Feet



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My Map



Legend

- Airports
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers

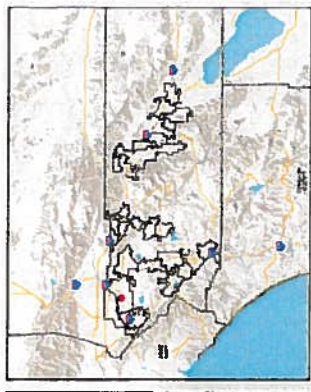
Notes

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My Map



Legend

- Airports
- Runways
- City Boundaries
- roads
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers

Notes

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0 140 280 Feet



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[illegible]

COOPERS: 5573 ARLINGTON AVE
LESSOR'S PARCEL NUMBER: 180-3
PROPERTY OWNER: ARLINGTON PD

GENERAL PLAN:
ZONING:
DEVELOPMENT STANDARDS (TABLE 18.11C)

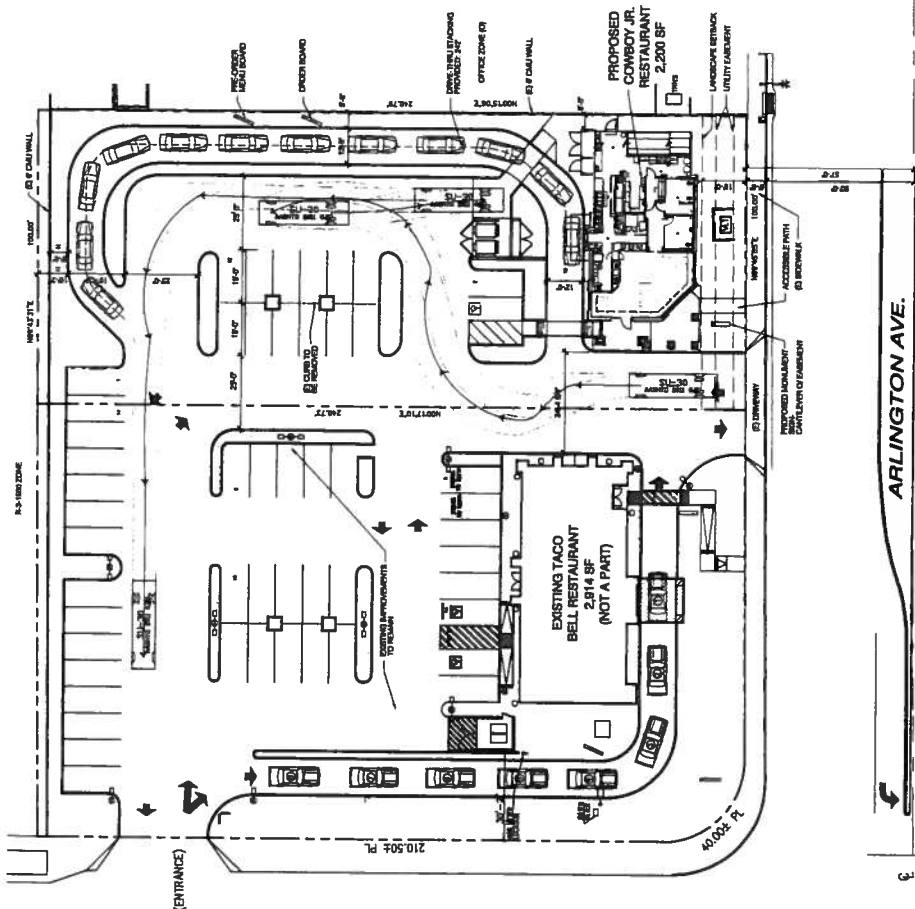
LANDSCAPE SETBACKS:
FRONT (SEC. 19.475.040 C.1.):
INTERIOR (SEC. 19.475.040 C.2.):
AQUARIUM BUILDING HEIGHT:
FIVE-THRU (SEC. 19.475.040 D.)
AQUARIUM BUILDING COVERAGE:

LAND AREA:	0.55 AC (24,074
TACO BELL DRIVE-THRU (L.A.P.):	2.8
NEW COWBOY J.R. DRIVE-THRU:	2.2
TOTAL RESTAURANT AREA:	6.1
BUILDING COVERAGE (F.A.R.):	

REQUIRED PARKING (SEC. 18.590.000):	61 51
FIVE-THRU RESTAURANT (1:100):	62 51
TOTAL PARKING PROVIDED:	
FIVE-THRU STACKING REQ'D: (SEC. 18.475.040 E.)	
FIVE-THRU STACKING PROVIDED:	

[illegible]

JOSEPH M. AMERSON
FARMER, CA



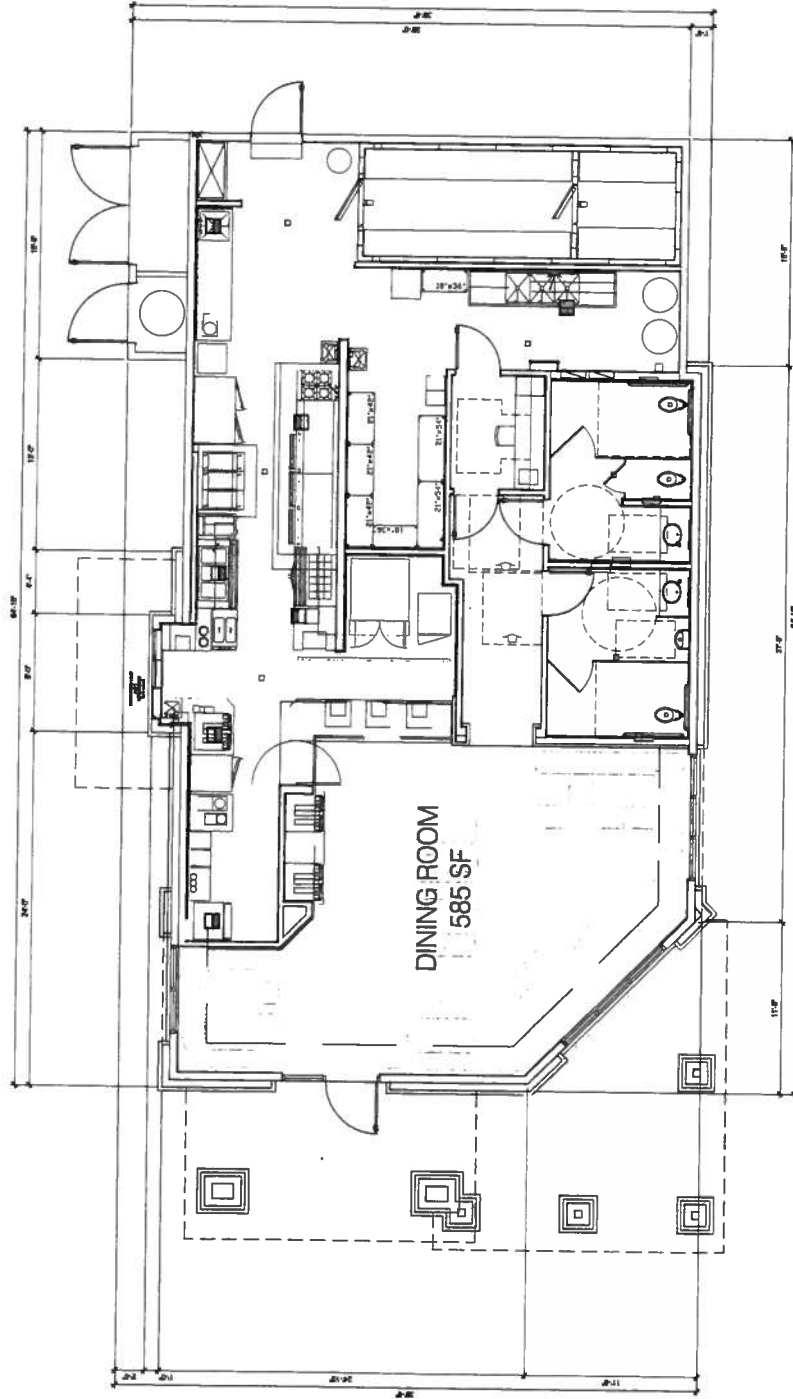
ARLINGTON AVE.

COWBOY JR- ARLINGTON
RIVERSIDE, CALIFORNIA

ARLINGTON PDRC LP
3501 HART STREET
ROCKWELL, CA 91770
951.844.4700







2,200 SF TOTAL

FLOOR PLAN

CONCEPT & DESIGN
ARCHITECTURE
RIVERSIDE, CA

**PIERCE
ARCHITECT**

ALSO ARCHITECT
FOR THE
PROJECT
801 1444 STREET
RIVERSIDE, CA 92506
951.840.3708

COWBOY JR. DRIVE-THRU

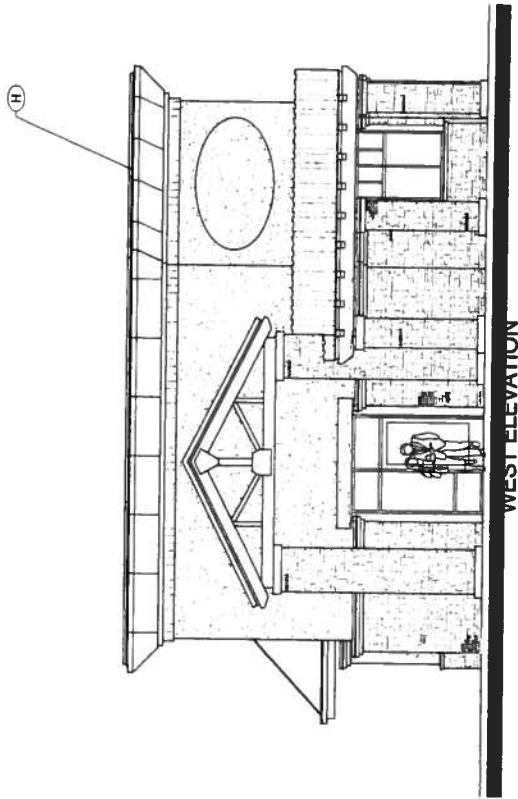
ARLINGTON PDRC LP

801 1444 STREET
RIVERSIDE, CA 92506
951.840.3708

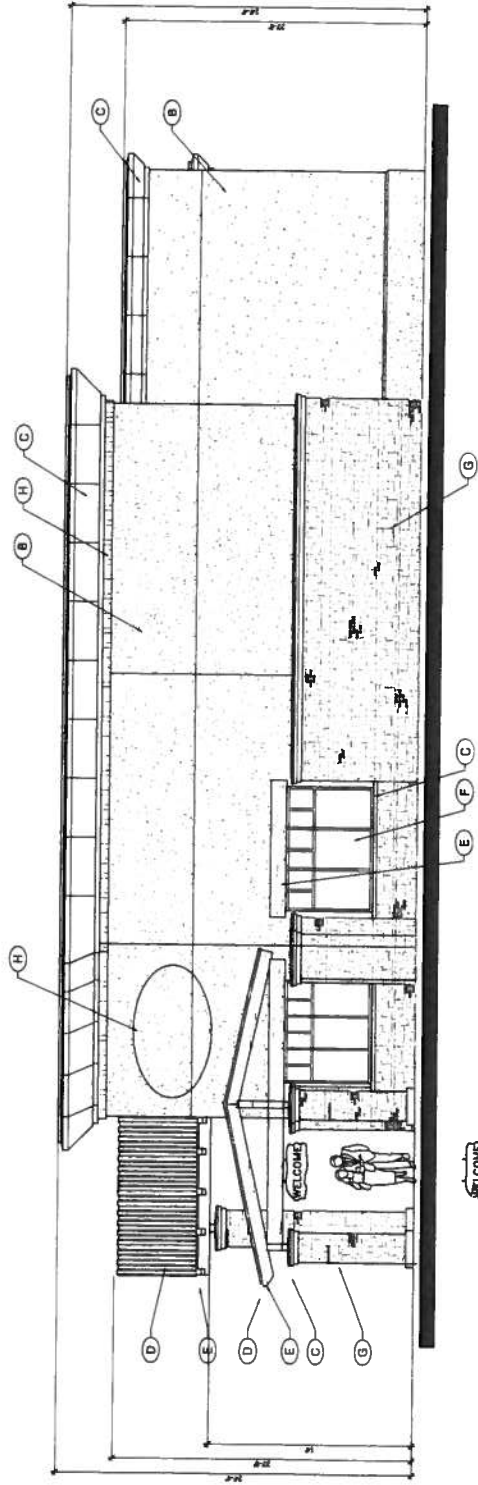
0 2' 4' 8'

SCALE: 1/4" = 1'-0"

NORTH



WEST ELEVATION



SOUTH (ARLINGTON AVENUE) ELEVATION

MATERIALS & FINISHES LEGEND

- (A) INTERIOR CONCRETE FLOORING
FLOOR AND WALLS
COLOR TO MATCH EXISTING EXTERIOR
FINISH
- (B) EXTERIOR CONCRETE FLOORING
FLOOR AND WALLS
COLOR TO MATCH EXISTING EXTERIOR
FINISH
- (C) INTERIOR CONCRETE FLOORING
FLOOR AND WALLS
COLOR TO MATCH EXISTING EXTERIOR
FINISH
- (D) EXTERIOR CONCRETE FLOORING
FLOOR AND WALLS
COLOR TO MATCH EXISTING EXTERIOR
FINISH
- (E) EXTERIOR CONCRETE FLOORING
FLOOR AND WALLS
COLOR TO MATCH EXISTING EXTERIOR
FINISH
- (F) EXTERIOR CONCRETE FLOORING
FLOOR AND WALLS
COLOR TO MATCH EXISTING EXTERIOR
FINISH
- (G) EXTERIOR CONCRETE FLOORING
FLOOR AND WALLS
COLOR TO MATCH EXISTING EXTERIOR
FINISH
- (H) EXTERIOR CONCRETE FLOORING
FLOOR AND WALLS
COLOR TO MATCH EXISTING EXTERIOR
FINISH
- (I) EXTERIOR CONCRETE FLOORING
FLOOR AND WALLS
COLOR TO MATCH EXISTING EXTERIOR
FINISH
- (J) EXTERIOR CONCRETE FLOORING
FLOOR AND WALLS
COLOR TO MATCH EXISTING EXTERIOR
FINISH
- (K) EXTERIOR CONCRETE FLOORING
FLOOR AND WALLS
COLOR TO MATCH EXISTING EXTERIOR
FINISH

NOTES

- 1. SPECIAL BRICKWORK FROM A VARIOUS STORE
WORKED INTO

EXTERIOR ELEVATIONS

CONSTRUCTION PROJECT #10111
RIVERSIDE, CA

PIERCE
ARCHITECT

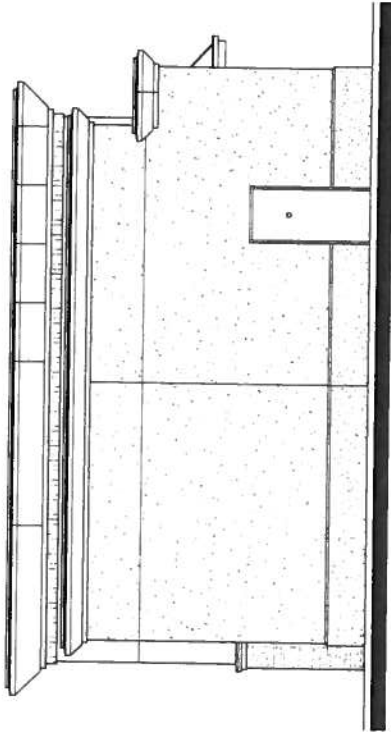
ALDO VILLALBA
ARCHITECT
1000 14TH STREET
RIVERSIDE, CA 92507
951.540.5700

ARLINGTON PDRC LP

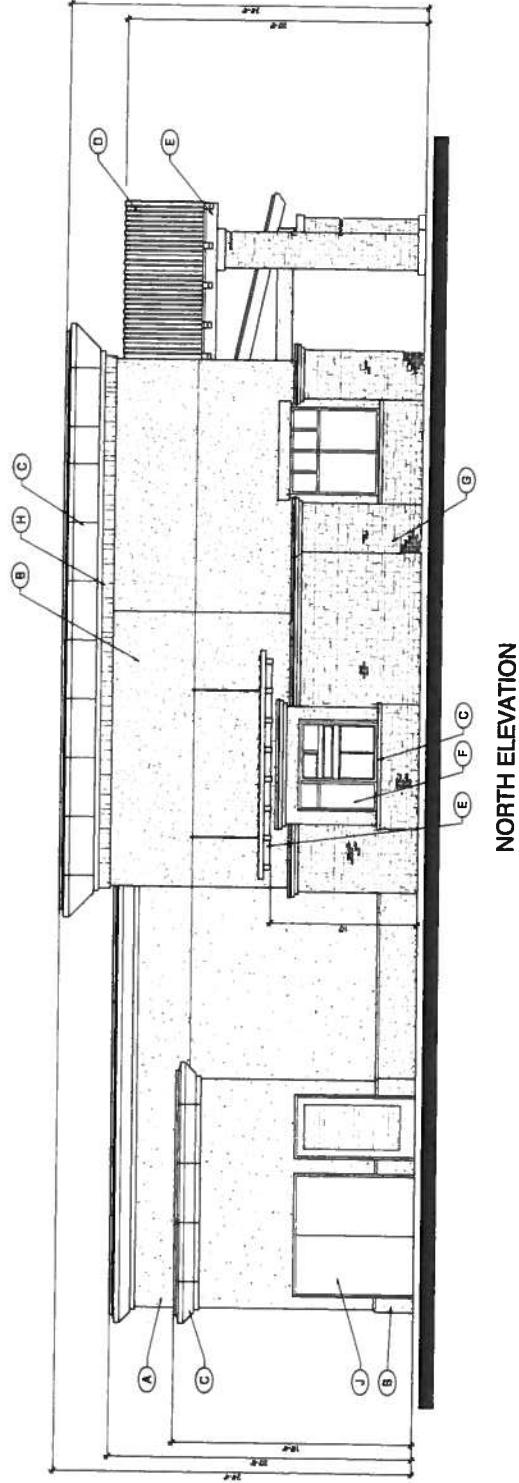
3801 14TH STREET
RIVERSIDE, CA 92507
951.540.5700

COWBOY JR. DRIVE-THRU
RIVERSIDE, CALIFORNIA

0 2' 4' 8'
SCALE: 1/4" = 1'-0"



EAST ELEVATION



NORTH ELEVATION

MATERIALS & FINISHES LEGEND

- (A) INTERIOR PLASTER, PLASTER EXTERIOR FINISH, COLOR TO MATCH EXTERIOR FINISH
- (B) EXTERIOR GROUT, PLASTER EXTERIOR FINISH, COLOR TO MATCH EXTERIOR FINISH
- (C) INTERIOR GROUT, PLASTER EXTERIOR FINISH, COLOR TO MATCH EXTERIOR FINISH
- (D) INTERIOR GROUT, PLASTER EXTERIOR FINISH, COLOR TO MATCH EXTERIOR FINISH
- (E) INTERIOR GROUT, PLASTER EXTERIOR FINISH, COLOR TO MATCH EXTERIOR FINISH
- (F) INTERIOR GROUT, PLASTER EXTERIOR FINISH, COLOR TO MATCH EXTERIOR FINISH
- (G) INTERIOR GROUT, PLASTER EXTERIOR FINISH, COLOR TO MATCH EXTERIOR FINISH
- (H) INTERIOR GROUT, PLASTER EXTERIOR FINISH, COLOR TO MATCH EXTERIOR FINISH
- (I) INTERIOR GROUT, PLASTER EXTERIOR FINISH, COLOR TO MATCH EXTERIOR FINISH
- (J) INTERIOR GROUT, PLASTER EXTERIOR FINISH, COLOR TO MATCH EXTERIOR FINISH
- (K) INTERIOR GROUT, PLASTER EXTERIOR FINISH, COLOR TO MATCH EXTERIOR FINISH

NOTES

- 1. MATERIALS TO BE USED IN EXTERIOR FINISHES SHALL BE AS SHOWN ON THIS SET.

EXTERIOR ELEVATIONS

CONCEPT ARCHITECTS
1000 10TH STREET
RIVERSIDE, CA 92501



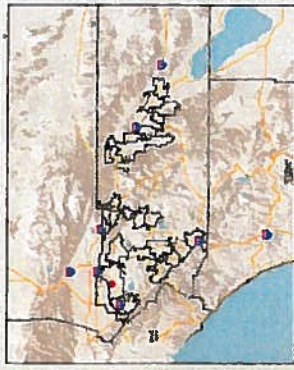
ARLINGTON PROCLP
3001 HART STREET
ROSEMARE, CA 91770
951.844.3718

COWBOY JR. DRIVE-THRU
RIVERSIDE, CALIFORNIA



SCALE: 1/4" = 1'-0"

My Map



- Legend**
- ☐ Display Parcels
 - ☐ Airport Compatibility
 - ☒ OTHER ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5
 - C2-EXC6
 - C2-HIGHT
 - C2-HIGHT-EXC1

Notes

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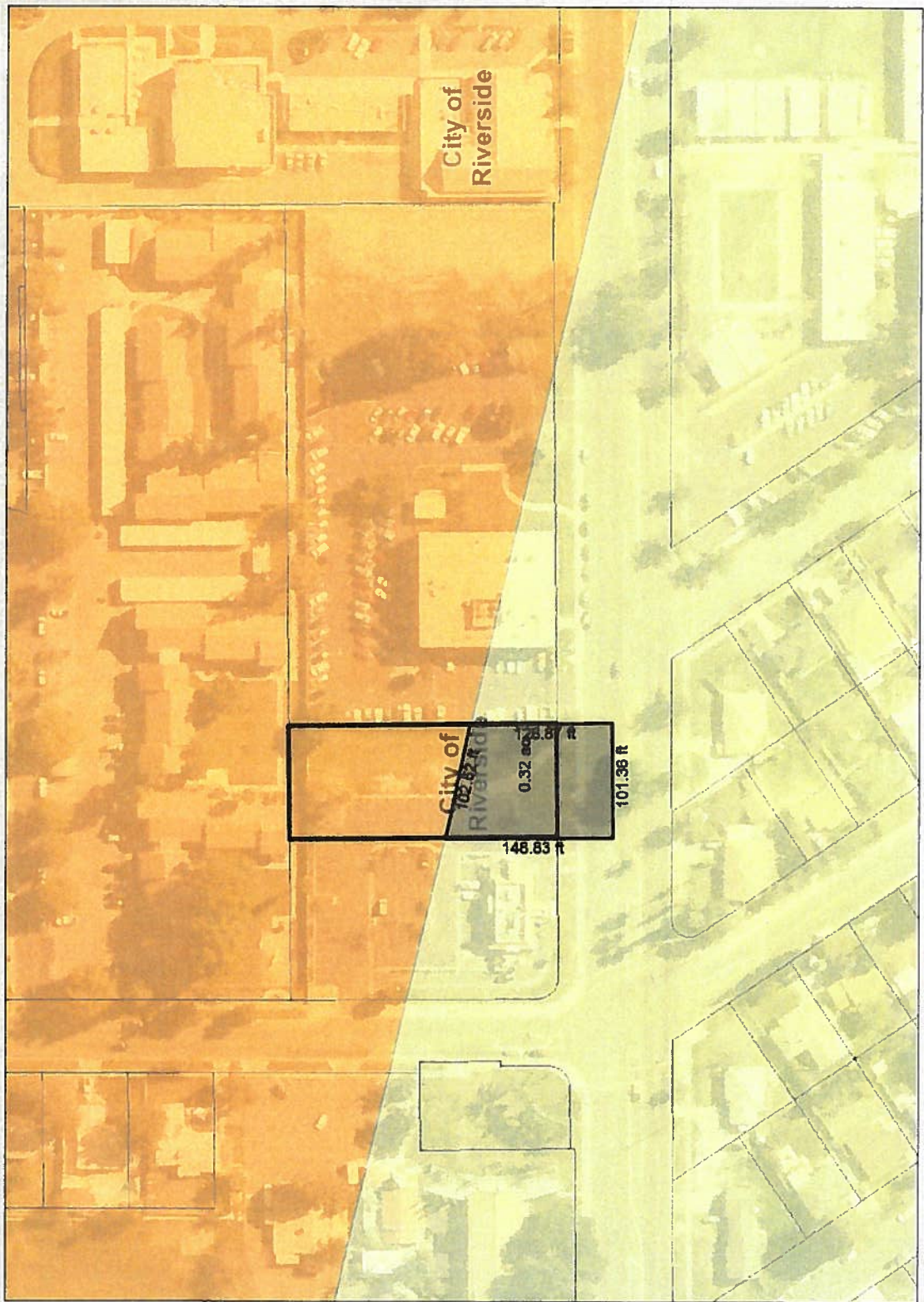
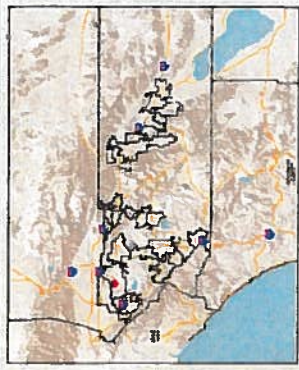
0 82 164 Feet



REPORT PRINTED ON... 1/26/2016 8:31:31 AM

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My Map



Legend

☐ Display Parcels

☒ Airport Compatibility

OTHER ZONE

- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT
- C2-HIGHT-EXC1

Notes

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0 164 328 Feet

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My Map



Legend

- ☐ Display Parcels
- ☒ Airport Compatibility
- ☒ OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT
- C2-HIGHT-EXC1

Notes

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0 164

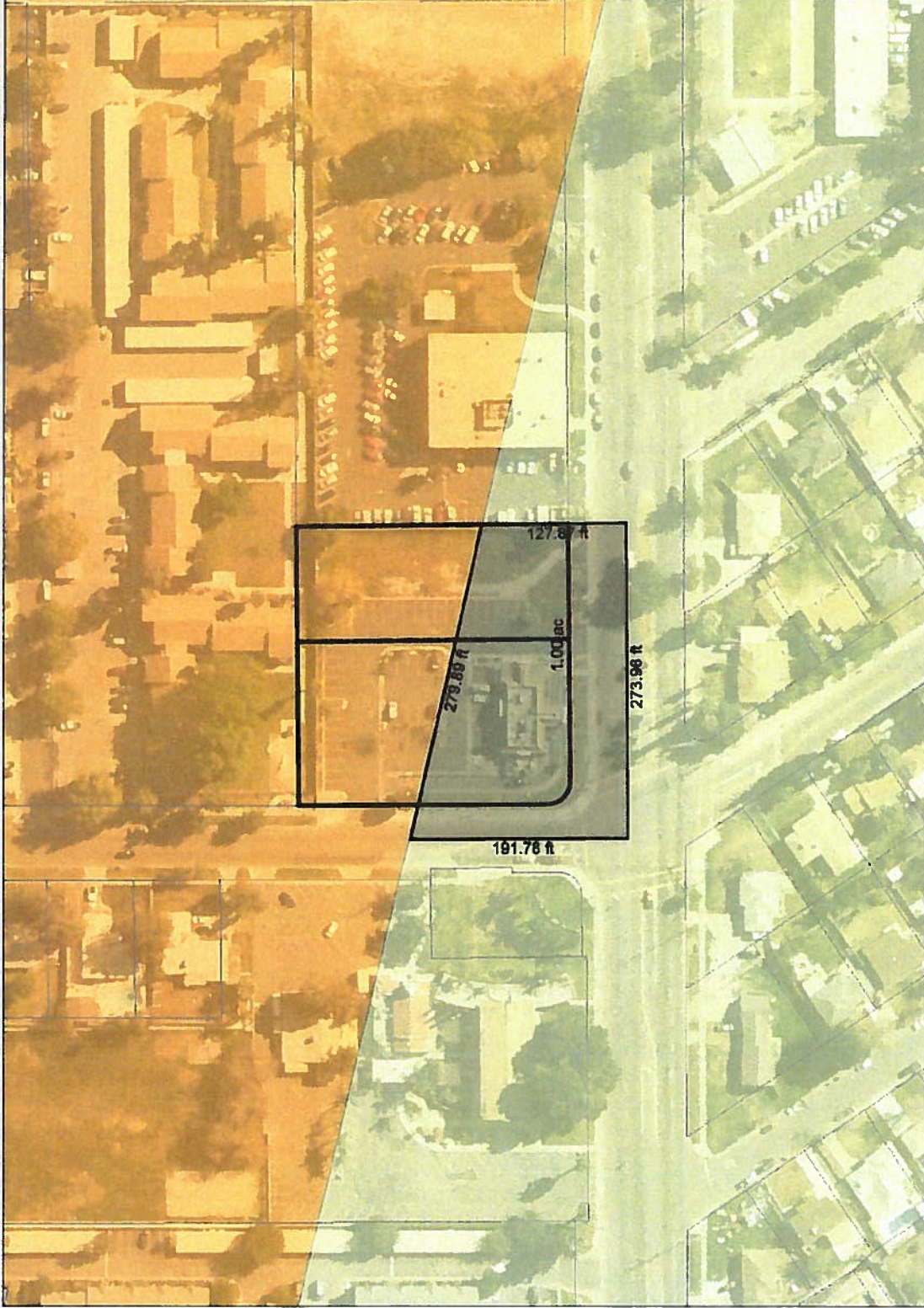
328 Feet



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My Map



Legend

- ☐ Display Parcels
- ☐ Airport Compatibility
- ☐ OTHER ZONE
- ☐ A
- ☐ A-EXC1
- ☐ B1
- ☐ B1-APZ I
- ☐ B1-APZ I-EXC1
- ☐ B1-APZ II
- ☐ B1-APZ II-EXC1
- ☐ B1-EXC1
- ☐ B2
- ☐ B2-EXC1
- ☐ C
- ☐ C1
- ☐ C1-EXC1
- ☐ C1-EXC3
- ☐ C1-EXC4
- ☐ C1-HIGHT
- ☐ C2
- ☐ C2-EXC1
- ☐ C2-EXC2
- ☐ C2-EXC3
- ☐ C2-EXC5
- ☐ C2-EXC6
- ☐ C2-HIGHT
- ☐ C2-HIGHT-EXC1

Notes

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0 164

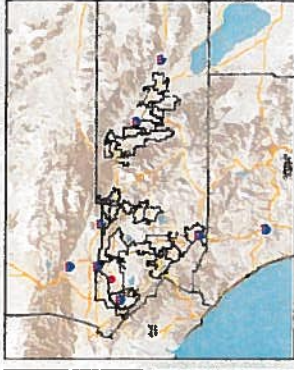
328 Feet



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My Map



- Legend**
- ☐ Display Parcels
 - roads
 - highways
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - OFFRAMP
 - ONRAMP
 - USHWY
 - counties
 - cities
 - hydrographylines
 - waterbodies
 - Lakes
 - Rivers



0 133

266 Feet



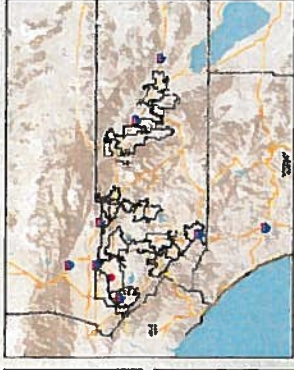
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Notes

My Map



- Legend**
- ☐ Display Parcels
 - roads
 - highways
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - OFFRAMP
 - ONRAMP
 - USHWY
 - counties
 - cities
 - hydrography
 - waterbodies
 - Lakes
 - Rivers



0 133 266 Feet



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Notes