



Main & 9th

Main St. & 9th St., Riverside CA 92507

ENTITLEMENTS PLANNING REVIEW

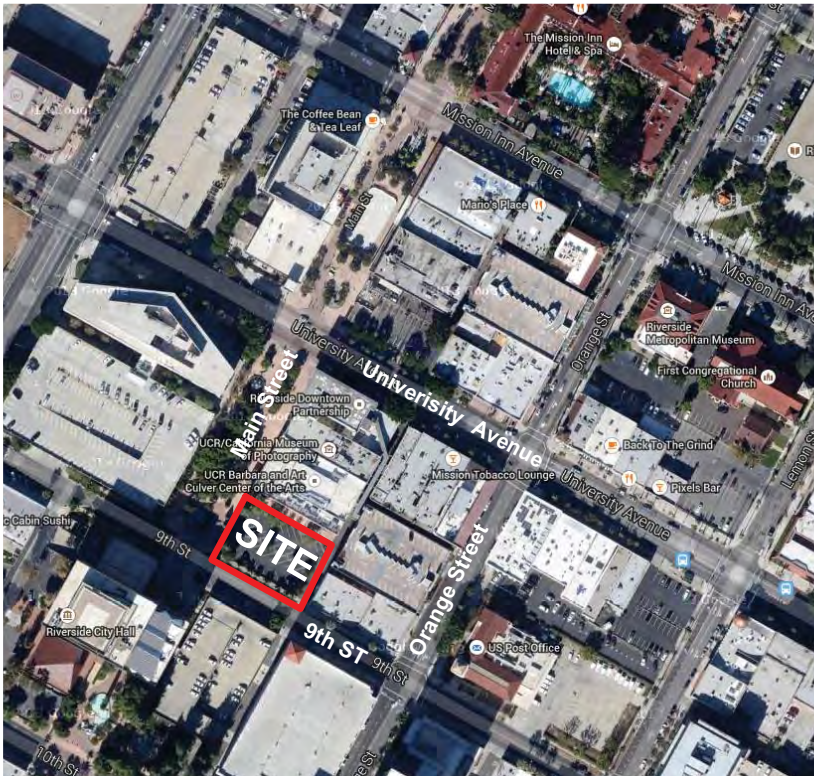
DEC 23, 2016



DESIGNARC

2558 Overland Ave, Los Angeles CA 90064
310.204.8950 dmccarthy@designarc.net

Exhibit 4 - P16-0730 - Project Plans



LOT DATA

LOT AREA: 15,791 SF (.36 ACRE)
F.A.R. ALLOWED: 3.0 (47,373 SF)
PROJECT F.A.R.: 2.9
(SEE SHEET A002 FOR F.A.R. CALCULATIONS)

PROJECT ADDRESS

3870 MAIN ST
RIVERSIDE CA 92501

PROJECT DESCRIPTION

NEW CONSTRUCTION. MIXED USE DEVELOPMENT. 3 STORY TYPE III A BUILDING OVER 2 STORY TYPE I BUILDING. PROPOSED USES ARE RESIDENTIAL WITH ASSOCIATED PARKING AND GROUND LEVEL COMMERCIAL SPACES ALONG 9TH ST. AND MAIN STREET

LEGAL DESCRIPTION

LOTS 8, 9, 10 AND 11 AND SOUTHERLY RECTANGULAR 4 FEET OF LOT 7 OF DAVIS SUBDIVISION OF BLOCK 8, RANGE 6 OF RIVERSIDE, AS SHOWN BY MAP ON FILE IN BOOK 1 PAGE(S) 65 OF MAPS, RECORDS OF RIVERSIDE COUNTRY, CALIFORNIA

ASSESOR'S PARCEL UMBER 213 - 301 - 009

EXISTING SITE USE:

EXISTING PARKING LOT

CONSTRUCTION TYPE:

TWO LEVELS TYPE I A- FULLY SPRINKLERED;
COMMERCIAL AND PARKING AT GRADE
PARKING AT SECOND LEVEL
THREE LEVELS TYPE III A- RESIDENTIAL CONSTRUCTION

OCCUPANCY CLASSIFICATION:

R-2	MULTIFAMILY RESIDENTIAL
A-3	RESIDENTIAL AMENITY SPACE
M	COMMERICAL/RETAIL
S-2	PARKING GARAGE

ZONING:

DSP-RC; DOWNTOWN SPECIFIC PLAN; RAINCROSS DISTRICT

APPLICABLE CODE

CBC2013

RIVERSIDE MUNICIPAL CODE

PROPOSED BUILDING HEIGHT:

5 STORIES LOW RISE
58' FROM GRADE

PROJECT TEAM

OWNER

RATKOVICH PROPERTIES

CONTACT: Rob Dodman
ADDRESS: 2465 Campus Drive
Irvine, CA
T: (714) 425-3203
EMAIL: rdodman@ratkovichproperties.com

ARCHITECT

DESIGNARC, INC.

CONTACT: Andy Alper
ADDRESS: 2558 Overland Avenue
Los Angeles, CA90064
(310) 204-8950
T:
EMAIL: aalper@designarc.net

DRAWING INDEX

G000	COVER SHEET
G001	PROJECT INFO
G002	DEVELOPMENT SUMMARY
G003	VICINITY MAP/SURROUNDING PARCELS
G004	PHOTOGRAPHIC SURVEY
G005	CONTEXT MASSING STUDY
G006	OPEN SPACE DIAGRAMS
AS01	SURVEY
AS02	SITE PLAN
A101	GROUND LEVEL PLAN
A102	LEVEL 2 PLAN
A103	LEVEL 3 PODIUM PLAN
A104	LEVELS 4-5 PLAN
A105	ROOF PLAN
A201	SOUTH ELEVATION
A202	NORTH ELEVATION
A203	WEAT ELEVATION
A204	EAST ELEVATION
A205	WEST COURTYARD ELEVATION
A206	EAST COURTYARD ELEVATION
A207	NORTH COURTYARD ELEVATION
A401	PERSPECTIVE VIEW
A402	PERSPECTIVE VIEW
L100	GROUND LEVEL CONCEPTUAL LANDSCAPE PLAN
L101	LEVEL 3 (PODIUM) CONCEPTUAL LANDSCAPE PLAN

DEVELOPMENT SUMMARY (RESIDENTIAL COMPONENT ONLY)				
NOTE: ALL UNIT AREAS CALCULATED TO CENTERLINE OF PARTY WALLS , EXTERIOR AND CORRIDOR WALLS				
LEVEL 3 (PODIUM)				
UNIT TYPE	UNIT AREA	# PER FLOOR	TOTAL UNIT AREA	
ST-1	642 S.F.	2	1,284 S.F.	
ST-2	848 S.F.	1	848 S.F.	
1BR-1	716 S.F.	1	716 S.F.	
1BR-2	795 S.F.	4	3,180 S.F.	
1BR-3	652 S.F.	1	652 S.F.	
2BR-1	1,196 S.F.	1	1,196 S.F.	
2BR-2	1,139 S.F.	1	1,139 S.F.	
2BR-3	1,329 S.F.	1	1,329 S.F.	
TOTAL/FLOOR		12	10,344 S.F.	
LEVEL 4				
UNIT TYPE	UNIT AREA	# PER FLOOR	TOTAL UNIT AREA	
ST-1	642 S.F.	2	1,284 S.F.	
ST-2	848 S.F.	1	848 S.F.	
1BR-1	716 S.F.	1	716 S.F.	
1BR-2	795 S.F.	4	3,180 S.F.	
1BR-3	652 S.F.	1	652 S.F.	
2BR-1	1,196 S.F.	1	1,196 S.F.	
2BR-2	1,139 S.F.	1	1,139 S.F.	
2BR-3	1,329 S.F.	1	1,329 S.F.	
TOTAL/FLOOR		12	10,344 S.F.	
LEVEL 5				
UNIT TYPE	UNIT AREA	# PER FLOOR	TOTAL UNIT AREA	
ST-1	642 S.F.	2	1,284 S.F.	
ST-2	848 S.F.	1	848 S.F.	
1BR-1	716 S.F.	1	716 S.F.	
1BR-2	795 S.F.	4	3,180 S.F.	
1BR-3	652 S.F.	1	652 S.F.	
2BR-1	1,196 S.F.	1	1,196 S.F.	
2BR-2	1,139 S.F.	1	1,139 S.F.	
2BR-3	1,329 S.F.	1	1,329 S.F.	
TOTAL/FLOOR		12	10,344 S.F.	
TOTAL UNITS		36		
TOTAL RESIDENTIAL UNIT AREA			31,032 S.F.	
RESIDENTIAL UNIT AREA INCLUDING BALCONIES				
TOTAL BALCONY AREA (SEE A006)			3,300 S.F.	
TOTAL RESIDENTIAL UNIT AREA INCLUDING BALCONIES			34,332 S.F.	

UNIT MIX BY TYPE						
	UNIT TYPE	UNIT AREA	NO. OF UNITS	TOTAL FLOOR AREA	MIX	MIX %
2BR	2BR-1	1,196 S.F.	3	3,588 S.F.		
	2BR-2	1,139 S.F.	3	3,417 S.F.		
	2BR-3	1,329 S.F.	3	3,987 S.F.	9	25%
1BR	1BR-1	716 S.F.	3	2,148 S.F.		
	1BR-2	795 S.F.	12	9,540 S.F.		
	1BR-3	652 S.F.	3	1,956 S.F.	18	50%
STUDIO	ST-1	642 S.F.	6	3,852 S.F.		
	ST-2	848 S.F.	3	2,544 S.F.	9	25%
TOTAL AVERAGE UNIT SIZE			36	31,032 S.F. 862 S.F.		

DEVELOPMENT SUMMARY (COMMERCIAL COMPONENT ONLY)		
	TYPE	FLOOR AREA
LEVEL 1	COMMERCIAL 1	2,190 S.F.
	COMMERCIAL 2	3,466 S.F.
LEVEL 2	COMMERCIAL 2 MEZZANINE	1,139 S.F.
TOTAL		6,795 S.F.

CONSTRUCTION GROSS FLOOR AREA	
CONSTRUCTION GROSS FLOOR AREA	
GROUND FLOOR	15,960 S.F.
LEVEL 2	13,618 S.F.
LEVEL 3	13,714 S.F.
LEVEL 4	13,727 S.F.
LEVEL 5	12,950 S.F.
TOTAL GROSS FLOOR AREA	69,969 S.F.

PARKING SUMMARY				
TYPE	SIZE (FT.)	# GROUND LEVEL	# LEVEL 2	TOTAL
STANDARD STALL	9 X 18 *	6	19	25
TANDEM STALL	9 X 18 *	8	10	18
ADA **		1	0	1
ADA - VAN **		1	0	1
TOTAL PROVIDED				45
TOTAL SPACES REQ'D (1/BEDROOM)				45
* 9.5 X 18 ft. where stall abuts wall				
** ADA spaces included in required parking count for units				

F.A.R. CALCULATION		
	FLOOR AREA	
LEVEL 1	7,291 S.F.*	
LEVEL 2	2,195 S.F.*	
LEVEL 3 (PODIUM)	12,578 S.F.	
LEVEL 4	12,590 S.F.	
LEVEL 5	12,590 S.F.	
		FAR
TOTAL PROPOSED AREA	47,244 S.F.	2.9
MAX. ALLOWABLE FLOOR AREA @ 3.0 FAR	47,373 S.F.	3.0
* PARKING AREA NOT INCLUDED IN F.A.R.		
SITE AREA		15,791 S.F.

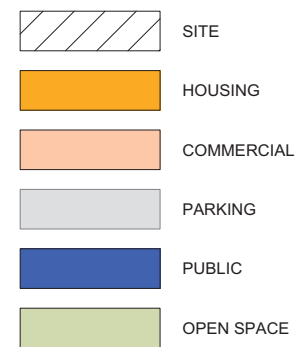


Exhibit 4 - P16-0730 - Project Plans

VICINITY MAP/SURROUNDING PARCELS



A LOOKING SOUTH ON ORANGE STREET



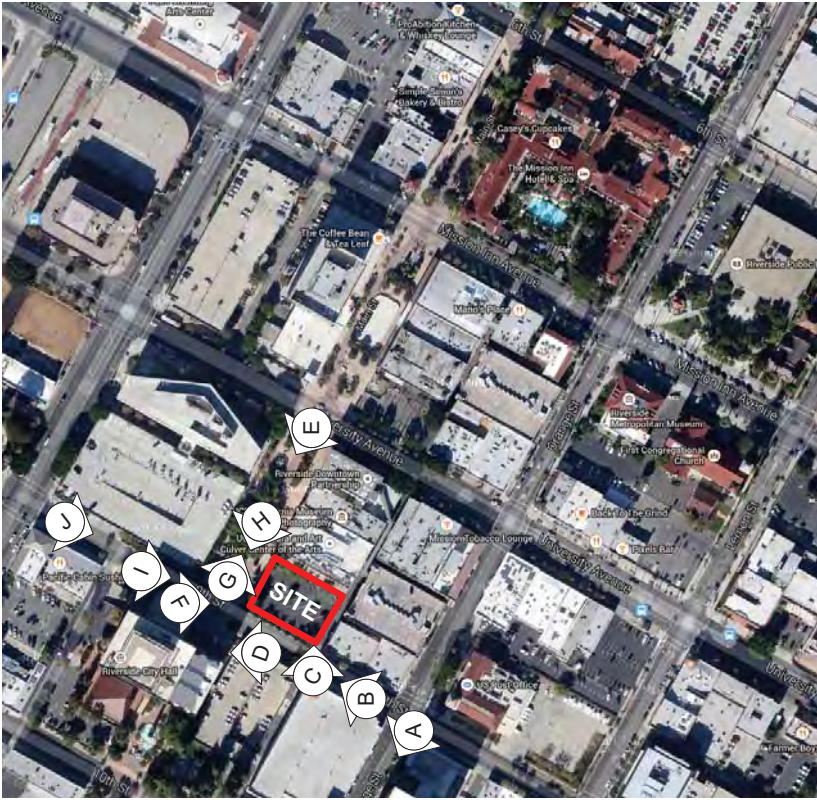
E LOOKING SOUTH ON MAIN STREET



B LOOKING WEST ON 9TH STREET



F SITE FROM MAIN STREET LOOKING EAST



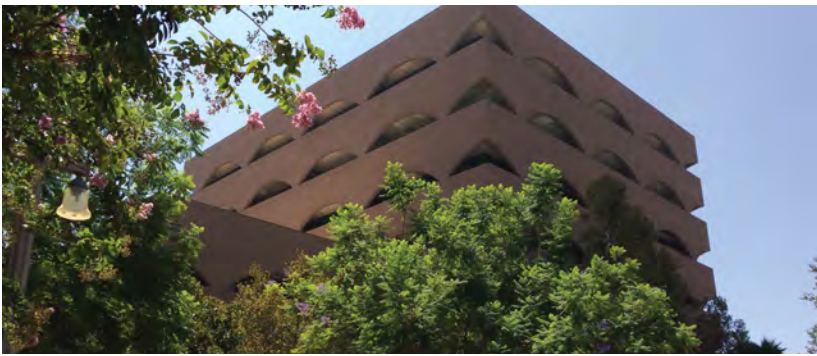
KEY PLAN



C SITE FROM 9TH STREET



G LOOKING NORTHEAST ON MAIN STREET



I CITY HALL FROM 9TH STREET



D LOOKING WEST ON 9TH STREET



H LOOKING EAST FROM MAIN STREET



J LOOKING EAST ON 9TH STREET

Exhibit 4 - P16-0730 - Project Plans


RATKOVICH
 PROPERTIES

3870 Main St., Riverside CA 92501

23 DEC 2016

PHOTOGRAPHIC SURVEY

G004

DESIGNARC

2508 OVERLAND AVENUE, CA 90064 310 204 8930



LOOKING SOUTHWEST



LOOKING SOUTHEAST



LOOKING WEST



LOOKING EAST

Exhibit 4 - P16-0730 - Project Plans

CONTEXT MASSING STUDY

G005 **DESIGNARC**

Exhibit 4 - P16-0730 - Project Plans

RATKOVICH PROPERTIES

Main & 9th

3870 Main St., Riverside CA 92501

23 DEC 2016

OPEN SPACE DIAGRAMS

G006 DESIGNARC

2558 OVERLAND AVENUE, CA 95064 310 204 8950

USABLE PRIVATE OPEN SPACE CALCULATION		
PODIUM LEVEL		
ROOM NUMBER	UNIT TYPE	PRIVATE USABLE OPEN SPACE
301	1BR-1	82 S.F.
302	1BR-3	55 S.F.
303	2BR-1	234 S.F.
304	1BR-2	55 S.F.
305	1BR-2	55 S.F.
306	1BR-2	55 S.F.
307	1BR-2	55 S.F.
308	ST-2	103 S.F.
309	ST-1	0 S.F.
310	2BR-3*	141 S.F.
311	2BR-2*	141 S.F.
312	ST-1	0 S.F.
SUB TOTAL		976 S.F.
LEVEL 4		
ROOM NUMBER	UNIT TYPE	PRIVATE USABLE OPEN SPACE
401	1BR-1	82 S.F.
402	1BR-3	55 S.F.
403	2BR-1	234 S.F.
404	1BR-2	55 S.F.
405	1BR-2	55 S.F.
406	1BR-2	55 S.F.
407	1BR-2	55 S.F.
408	ST-2	103 S.F.
409	ST-1	93 S.F.
410	2BR-3	141 S.F.
411	2BR-2	141 S.F.
412	ST-1	93 S.F.
SUB TOTAL		1,162 S.F.
LEVEL 5		
ROOM NUMBER	UNIT TYPE	PRIVATE USABLE OPEN SPACE
501	1BR-1	82 S.F.
502	1BR-3	55 S.F.
503	2BR-1	234 S.F.
504	1BR-2	55 S.F.
505	1BR-2	55 S.F.
506	1BR-2	55 S.F.
507	1BR-2	55 S.F.
508	ST-2	103 S.F.
509	ST-1	93 S.F.
510	2BR-3	141 S.F.
511	2BR-2	141 S.F.
512	ST-1	93 S.F.
SUB TOTAL		1,162 S.F.
TOTAL		3,300 S.F.
NOTE: * EXTERIOR PRIVATE OPEN SPACE AT PODIUM PATIO.		

NO. OF UNITS WITH PRIVATE OPEN SPACE:

REQUIRED: 18 (50% OF TOTAL UNITS)
PROVIDED: 34
* PER DOWNTOWN SPECIFIC PLAN RAIN CROSS DISTRICT CHAPTER 6, 6.8.8

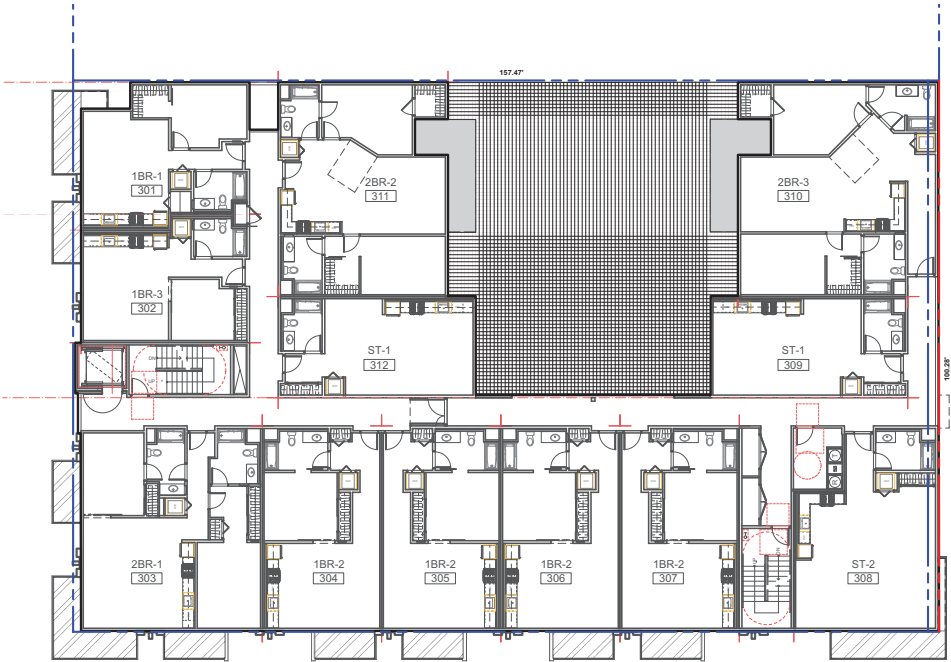
OPEN SPACE PROVIDED:

COMMON OPNE SPACE : 2,620 S.F.
PRIVATE USABLE OPEN SPACE : 3,300 S.F.
TOTAL: 5,920 S.F.

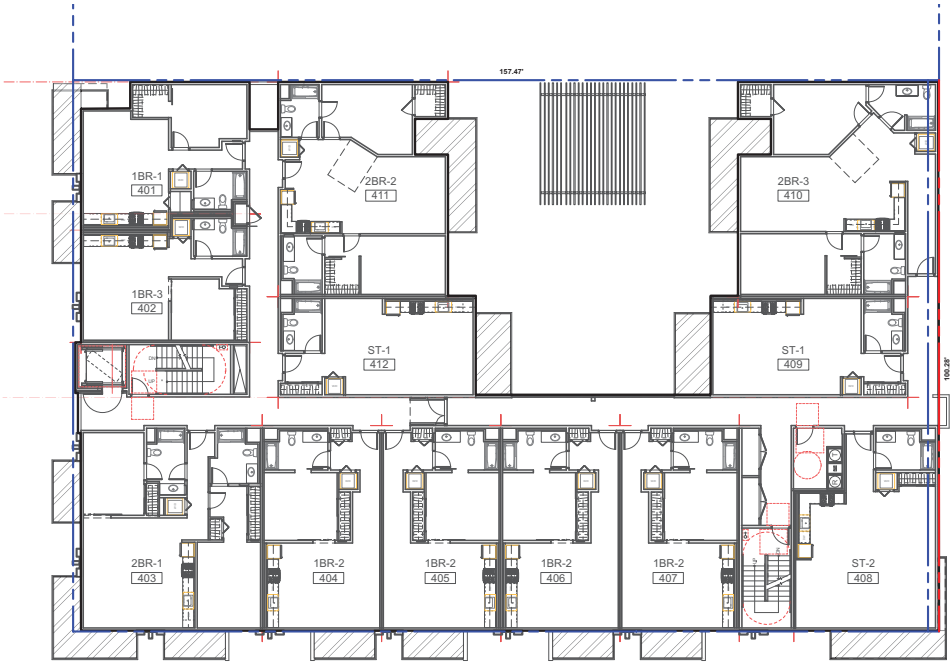
USABLE PRIVATE OPEN SPACE (BALCONY):
MIN. 50 SF ; NO DIMENSIONS LESS THAN 5'

COMMON OPEN SPACE:

PRIVATE OPEN SPACE AT PODIUM PATIO



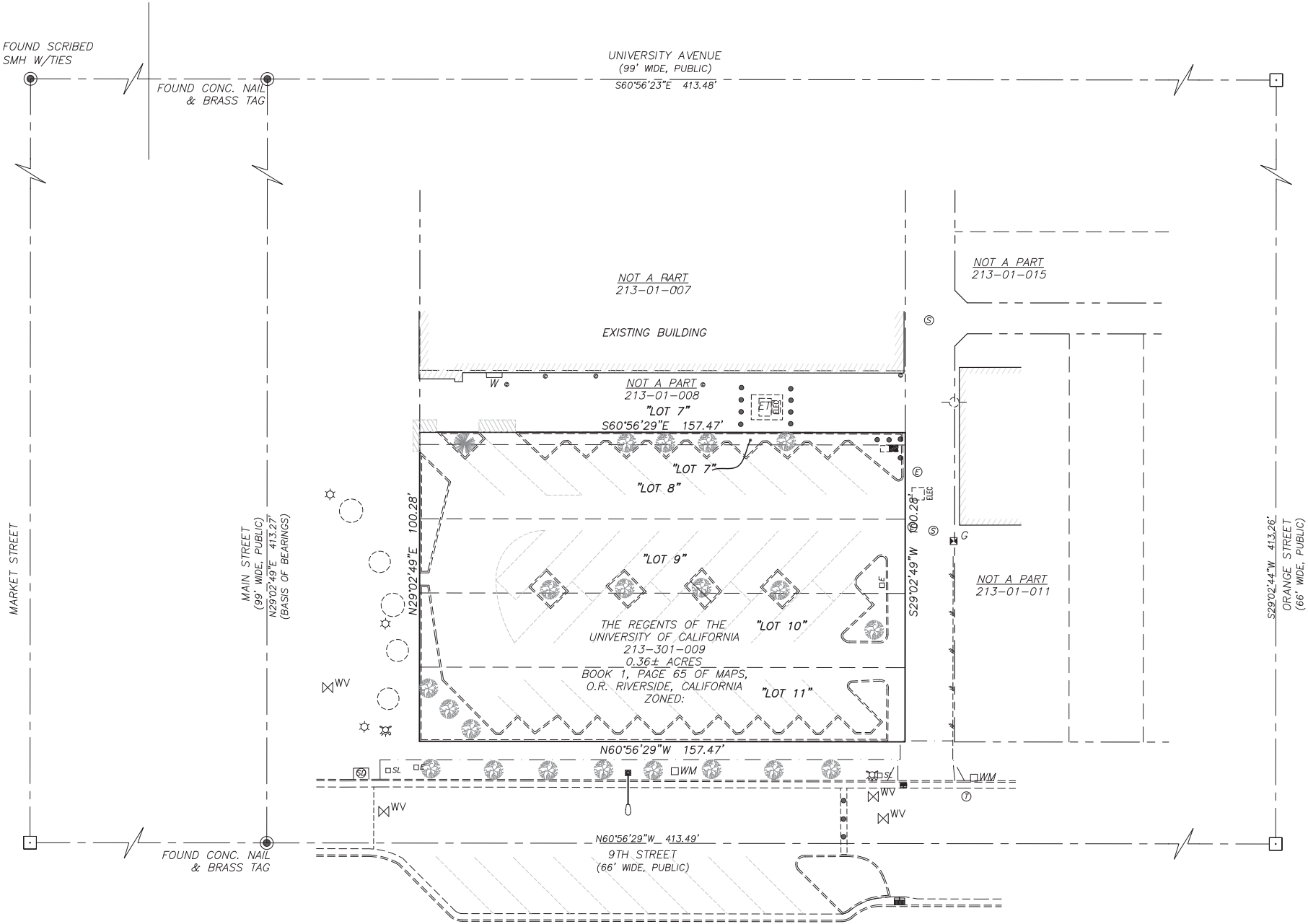
LEVEL 3



LEVEL 4-5

ALTA/NSPS LAND TITLE SURVEY OF
LOTS 8, 9, 10 AND 11 AND SOUTHERLY RECTANGULAR 4 FEET OF LOT 7
OF DAVIS SUBDIVISION OF BLOCK 8, RANGE 6 OF RIVERSIDE, AS SHOWN BY
MAP ON FILE IN BOOK 1 PAGE(S) 65 OF MAPS, RECORDS OF RIVERSIDE
COUNTY, CALIFORNIA.
JUNE 2016

LEGEND	
	CENTERLINE
	SUBJECT PROPERTY
	RIGHT-OF-WAY LINE
	ADJOINING PROPERTY
	EASEMENT LINE
	CONCRETE HATCH
	CONCRETE SIDEWALK
	CONCRETE CURB & GUTTER
	PARKING STRIPING
	BUILDING
	UTILITY POLE
	ELECTRICAL VAULT
	ELECTRICAL MANHOLE
	ELECTRICAL PULLBOX
	ELECTRICAL BOX
	ELECTRICAL TRANSFORMER
	STREET LIGHT PULLBOX
	STREET LIGHT
	AREA LIGHT
	NATURAL GAS VALVE
	TELEPHONE MANHOLE
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEAN OUT
	WATER METER
	WATER MANHOLE
	FIRE HYDRANT
	WATER VALVE
	WATER BLOW-OFF
	FDC ON BLDG.
	STORM DRAIN MANHOLE
	BOLLARD POST
	TREES
	HANDICAP PARKING
	CALCULATED POSITION (POINT NOT FOUND)
	FOUND MONUMENT AS NOTED
	TITLE REPORT EXCEPTION NUMBER



11650 MISSION PARK DRIVE, SUITE 108
RANCHO CUCAMONCA, CA 91730
TEL 951-960-6565

REV	DATE	DESC

LOTS 8, 9, 10 AND 11 AND SOUTHERLY RECTANGULAR 4 FEET OF LOT 7 OF DAVIS SUBDIVISION OF BLOCK 8, RANGE 6 OF RIVERSIDE, AS SHOWN BY MAP ON FILE IN BOOK 1 PAGE(S) 65 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

ALTA/NSPS LAND TITLE SURVEY OF
LOTS 8-11 & THE SOUTHERLY 4' OF LOT 7,
DAVIS SUBDIVISION, RIVERSIDE COUNTY, CALIFORNIA

DATE: 6/7/16
DRAWN BY: RJM
CHECKED BY: TJK
JOB NO. 160547

2
SHEET
OF 2 SHEETS

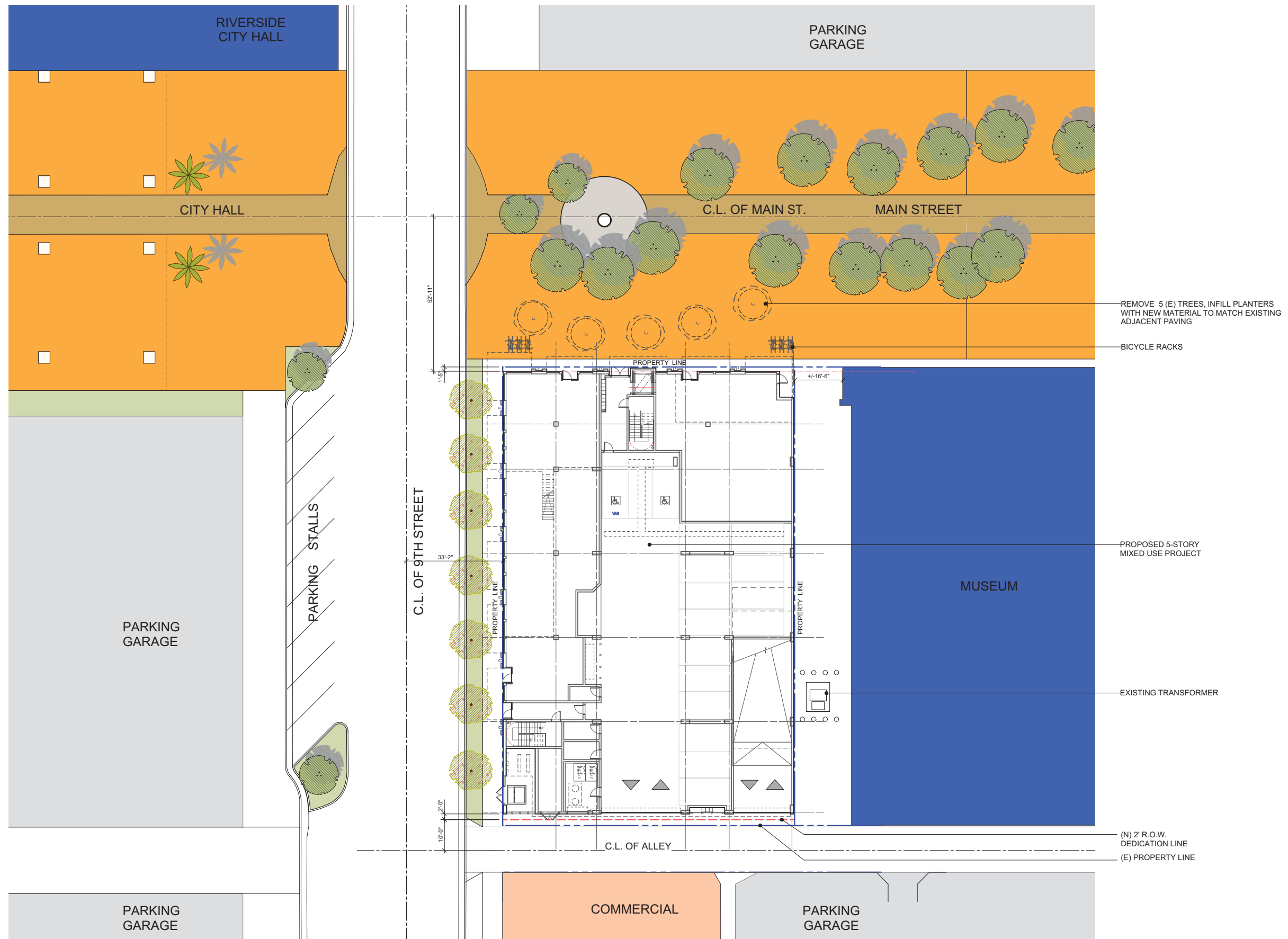


Exhibit 4 - P16-0730 - Project Plans

SITE PLAN

AS02 **DESIGNARC**

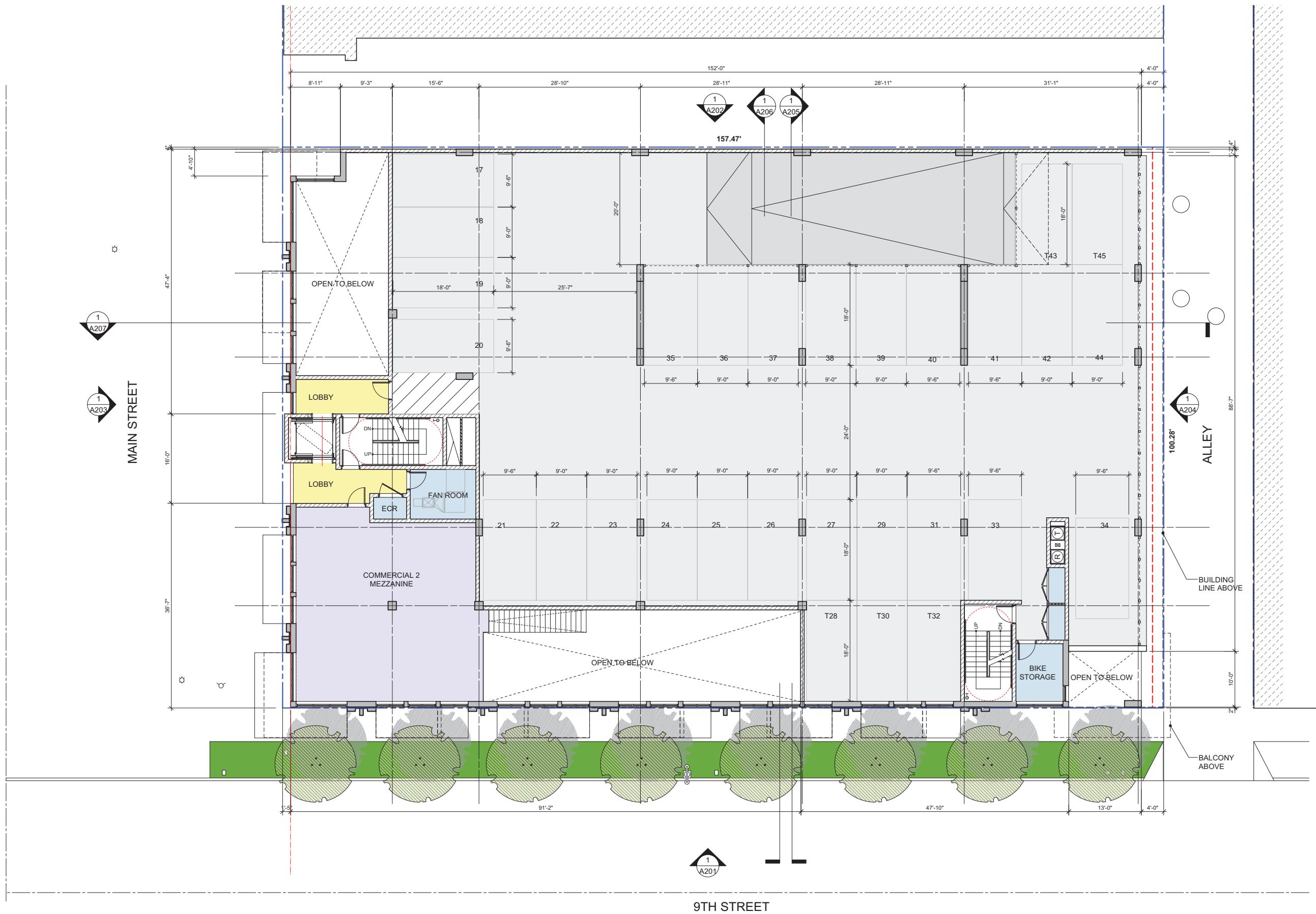


Exhibit 4 - P16-0730 - Project Plans

LEVEL TWO PLAN

3870 Main St., Riverside CA 92501

23 DEC 2016



A102 DESIGNARC

SCALE : 1/8" = 1'-0"

2558 OVERLAND AVENUE, CA 95064 310 204 8950



23 DEC 2016

SCALE : 1/8" = 1'-0" 2558 OVERLAND AVENUE, CA 90064 310 204 8950





Exhibit 4 - P16-0730 - Project Plans

3870 Main St., Riverside CA 92501

23 DEC 2016

LEVEL FOUR/FIVE PLAN



A104 **DESIGNARC**

SCALE : 1/8" = 1'-0" 2558 OVERLAND AVENUE, CA 95064 310 204 8950



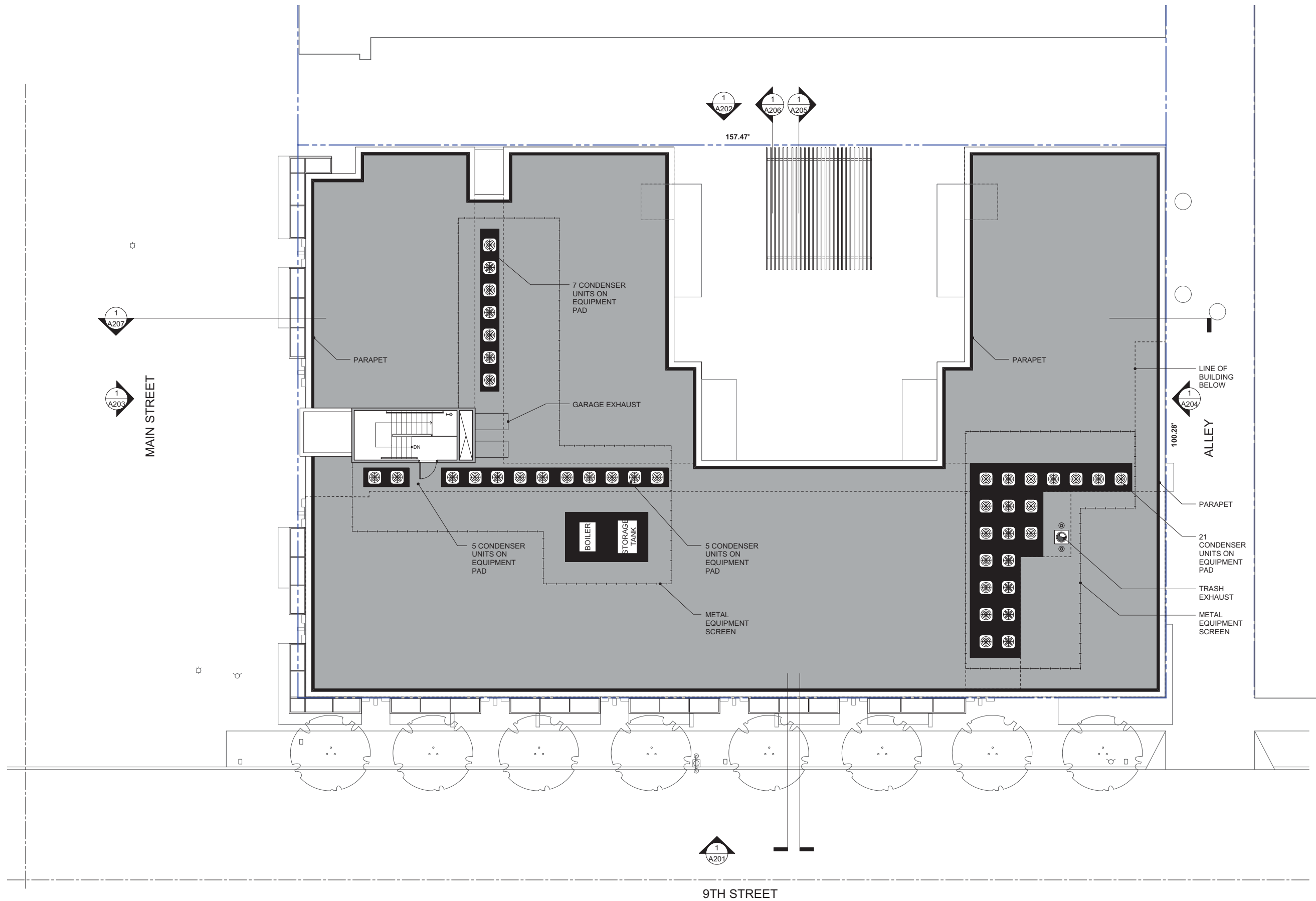
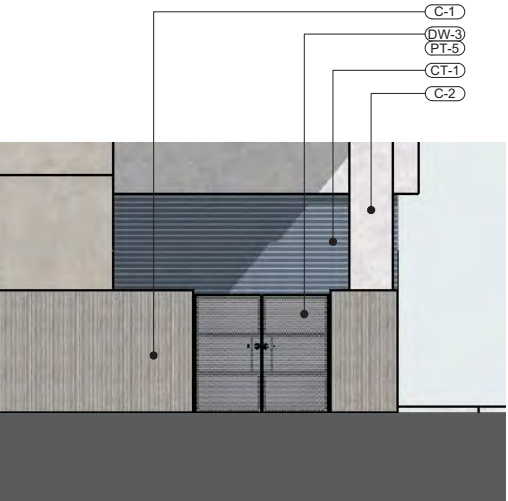


Exhibit 4 - P16-0730 - Project Plans

ROOF PLAN





A DECORATIVE GATE AT ELECTRIC TRANSFORMER
SCALE: 1/4" = 1'-0"

- | | | | |
|---|--|---|--|
| (PL-1) EXTERIOR PLASTER - 20/30 SAND FINISH | (SF-1) ALUMINUM STOREFRONT - KYNAR PAINT FINISH | (MTL-1) PAINTED SHEET METAL FASCIA | (PT-1) SHERWIN-WILLIAMS 254-C2; PEARLY WHITE |
| (PL-2) EXTERIOR PLASTER - 16/20 HEAVY MACHINE DASH FINISH | (SF-2) ALUMINUM STOREFRONT DOOR - KYNAR PAINT FINISH | (MTL-2) PAINTED STEEL | (PT-2) SHERWIN-WILLIAMS 244-C2; MINDFUL GRAY |
| (PL-3) PLEATED FOAM PANEL WITH PAINTED STUCCO FINISH | (M-1) GLAZED BRICK VENEER - MEDIUM GREY | (MTL-3) METAL EQUIPMENT SCREEN | (PT-3) SHERWIN-WILLIAMS 244-C4; ACIER |
| (DW-1) VYNYL WINDOWS AND DOORS - COLOR; LIGHT GREY | (CT-1) CERAMIC TILE | (MTL-4) PAINTED METAL SUNSHADE | (PT-4) SHERWIN-WILLIAMS 244-C1; REPOSE GRAY |
| (DW-2) OVERHEAD COILING DOOR - PAINTED | (RL-1) PAINTED STEEL GUARDRAIL | (C-1) BUSH HAMMERED CONCRETE VERTICAL STRIATION | (PT-5) SHERWIN-WILLIAMS 235-C5; SOFTWARE |
| (DW-3) METAL SECURITY GATE - PAINTED | (RL-2) PLASTER GUARDRAIL | (C-2) ARCHITECTURAL CONCRETE | (PT-6) SHERWIN-WILLIAMS 144-C4; EDGY GOLD |
| (DW-4) OVERHEAD COILING GRILLE | (RL-3) CABLE RAIL WITH PAINTED STEEL STANCHIONS | | (PT-7) SHERWIN-WILLIAMS 125-C6; PENNYWISE |
| (DW-5) HOLLOW METAL DOOR - PAINTED | | | |

Exhibit 4 - P16-0730 - Project Plans

SOUTH ELEVATION

A201 DESIGNARC



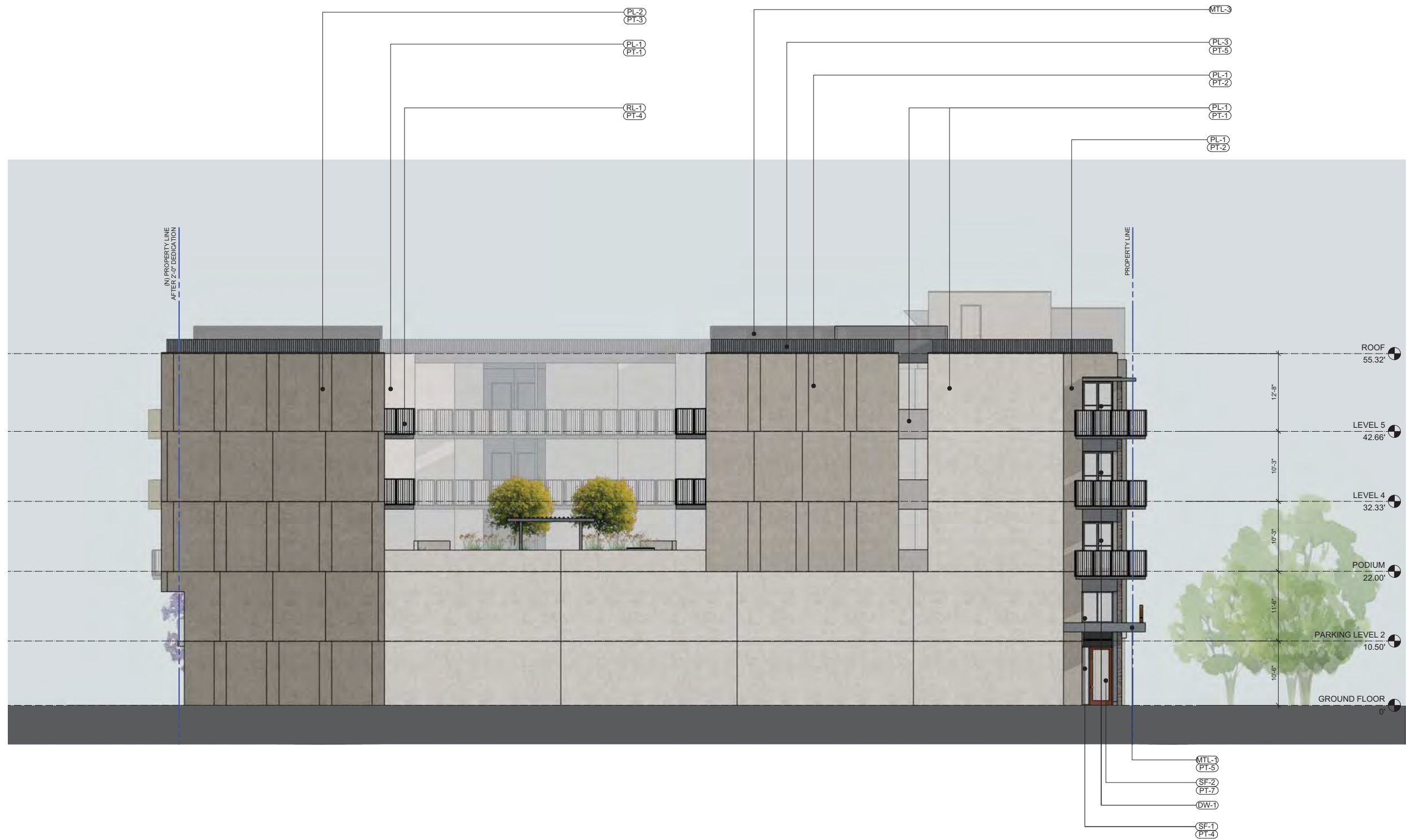


Exhibit 4 - P16-0730 - Project Plans

NORTH ELEVATION

A202 **DESIGNARC**

3870 Main St., Riverside CA 92501

23 DEC 2016

SCALE : 1/8" = 1'-0" 2528 OVERLAND AVENUE, CA 95064 310 204 8950





- | | | | |
|---|--|---|--|
| (PL-1) EXTERIOR PLASTER - 20/30 SAND FINISH | (SF-1) ALUMINUM STOREFRONT - KYNAR PAINT FINISH | (MTL-1) PAINTED SHEET METAL FASCIA | (PT-1) SHERWIN-WILLIAMS 254-C2; PEARLY WHITE |
| (PL-2) EXTERIOR PLASTER - 16/20 HEAVY MACHINE DASH FINISH | (SF-2) ALUMINUM STOREFRONT DOOR - KYNAR PAINT FINISH | (MTL-2) PAINTED STEEL | (PT-2) SHERWIN-WILLIAMS 244-C2; MINDFUL GRAY |
| (PL-3) PLEATED FOAM PANEL WITH PAINTED STUCCO FINISH | (M-1) GLAZED BRICK VENEER - MEDIUM GREY | (MTL-3) METAL EQUIPMENT SCREEN | (PT-3) SHERWIN-WILLIAMS 244-C4; ACIER |
| (DW-1) VINYL WINDOWS AND DOORS - COLOR; LIGHT GREY | (CT-1) CERAMIC TILE | (MTL-4) PAINTED METAL SUNSHADE | (PT-4) SHERWIN-WILLIAMS 244-C1; REPOSE GRAY |
| (DW-2) OVERHEAD COILING DOOR - PAINTED | (RL-1) PAINTED STEEL GUARDRAIL | (C-1) BUSH HAMMERED CONCRETE VERTICAL STRIATION | (PT-5) SHERWIN-WILLIAMS 235-C5; SOFTWARE |
| (DW-3) METAL SECURITY GATE - PAINTED | (RL-2) PLASTER GUARDRAIL | (C-2) ARCHITECTURAL CONCRETE | (PT-6) SHERWIN-WILLIAMS 144-C4; EDGY GOLD |
| (DW-4) OVERHEAD COILING GRILLE | (RL-3) CABLE RAIL WITH PAINTED STEEL STANCHIONS | | (PT-7) SHERWIN-WILLIAMS 125-C6; PENNYWISE |
| (DW-5) HOLLOW METAL DOOR - PAINTED | | | |

Exhibit 4 - P16-0730 - Project Plans

3870 Main St., Riverside CA 92501

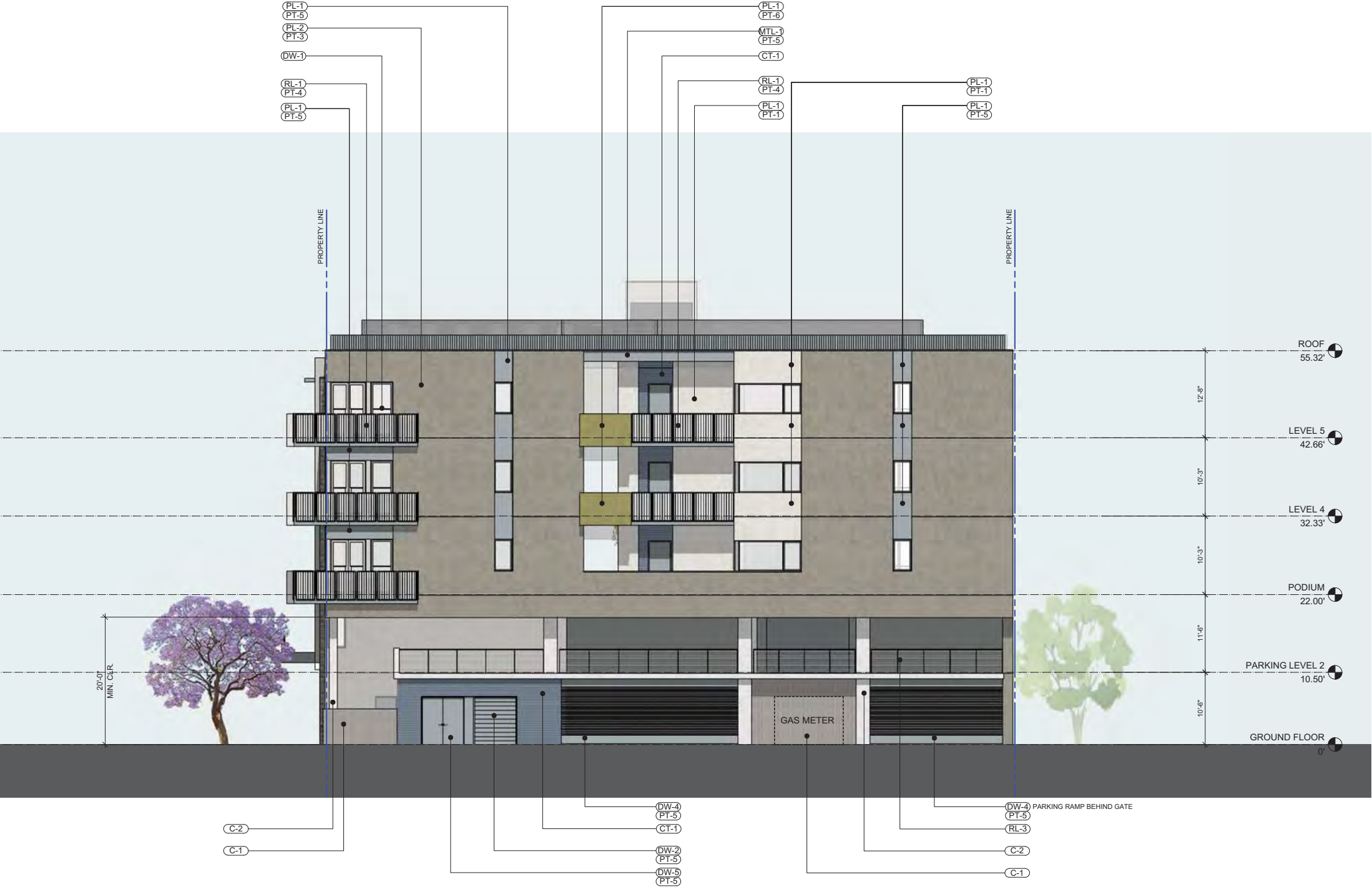
23 DEC 2016

WEST ELEVATION



A203 DESIGNARC

SCALE : 1/8" = 1'-0" 2558 OVERLAND AVENUE, CA 95064 310 204 8950



- | | | | |
|---|--|---|--|
| (PL-1) EXTERIOR PLASTER - 20/30 SAND FINISH | (SF-1) ALUMINUM STOREFRONT - KYNAR PAINT FINISH | (MTL-1) PAINTED SHEET METAL FASCIA | (PT-1) SHERWIN-WILLIAMS 254-C2; PEARLY WHITE |
| (PL-2) EXTERIOR PLASTER - 16/20 HEAVY MACHINE DASH FINISH | (SF-2) ALUMINUM STOREFRONT DOOR - KYNAR PAINT FINISH | (MTL-2) PAINTED STEEL | (PT-2) SHERWIN-WILLIAMS 244-C2; MINDFUL GRAY |
| (PL-3) PLEATED FOAM PANEL WITH PAINTED STUCCO FINISH | (M-1) GLAZED BRICK VENEER - MEDIUM GREY | (MTL-3) METAL EQUIPMENT SCREEN | (PT-3) SHERWIN-WILLIAMS 244-C4; ACIER |
| (DW-1) VINYL WINDOWS AND DOORS - COLOR; LIGHT GREY | (CT-1) CERAMIC TILE | (MTL-4) PAINTED METAL SUNSHADE | (PT-4) SHERWIN-WILLIAMS 244-C1; REPOSE GRAY |
| (DW-2) OVERHEAD COILING DOOR - PAINTED | (RL-1) PAINTED STEEL GUARDRAIL | (C-1) BUSH HAMMERED CONCRETE VERTICAL STRIATION | (PT-5) SHERWIN-WILLIAMS 235-C5; SOFTWARE |
| (DW-3) METAL SECURITY GATE - PAINTED | (RL-2) PLASTER GUARDRAIL | (C-2) ARCHITECTURAL CONCRETE | (PT-6) SHERWIN-WILLIAMS 144-C4; EDGY GOLD |
| (DW-4) OVERHEAD COILING GRILLE | (RL-3) CABLE RAIL WITH PAINTED STEEL STANCHIONS | | (PT-7) SHERWIN-WILLIAMS 125-C6; PENNYWISE |
| (DW-5) HOLLOW METAL DOOR - PAINTED | | | |

Exhibit 4 - P16-0730 - Project Plans

EAST ELEVATION

A204 DESIGNARC





- | | | | |
|---|--|---|--|
| (PL-1) EXTERIOR PLASTER - 20/30 SAND FINISH | (SF-1) ALUMINUM STOREFRONT - KYNAR PAINT FINISH | (MTL-1) PAINTED SHEET METAL FASCIA | (PT-1) SHERWIN-WILLIAMS 254-C2; PEARLY WHITE |
| (PL-2) EXTERIOR PLASTER - 16/20 HEAVY MACHINE DASH FINISH | (SF-2) ALUMINUM STOREFRONT DOOR - KYNAR PAINT FINISH | (MTL-2) PAINTED STEEL | (PT-2) SHERWIN-WILLIAMS 244-C2; MINDFUL GRAY |
| (PL-3) PLEATED FOAM PANEL WITH PAINTED STUCCO FINISH | (M-1) GLAZED BRICK VENEER - MEDIUM GREY | (MTL-3) METAL EQUIPMENT SCREEN | (PT-3) SHERWIN-WILLIAMS 244-C4; ACIER |
| (DW-1) VYNYL WINDOWS AND DOORS - COLOR; LIGHT GREY | (CT-1) CERAMIC TILE | (MTL-4) PAINTED METAL SUNSHADE | (PT-4) SHERWIN-WILLIAMS 244-C1; REPOSE GRAY |
| (DW-2) OVERHEAD COILING DOOR - PAINTED | (RL-1) PAINTED STEEL GUARDRAIL | (C-1) BUSH HAMMERED CONCRETE VERTICAL STRIATION | (PT-5) SHERWIN-WILLIAMS 235-C5; SOFTWARE |
| (DW-3) METAL SECURITY GATE - PAINTED | (RL-2) PLASTER GUARDRAIL | (C-2) ARCHITECTURAL CONCRETE | (PT-6) SHERWIN-WILLIAMS 144-C4; EDGY GOLD |
| (DW-4) OVERHEAD COILING GRILLE | (RL-3) CABLE RAIL WITH PAINTED STEEL STANCHIONS | | (PT-7) SHERWIN-WILLIAMS 125-C6; PENNYWISE |
| (DW-5) HOLLOW METAL DOOR - PAINTED | | | |

Exhibit 4 - P16-0730 - Project Plans

WEST COURTYARD ELEVATION





(PL-1)	EXTERIOR PLASTER - 20/30 SAND FINISH	(SF-1)	ALUMINUM STOREFRONT - KYNAR PAINT FINISH	(MTL-1)	PAINTED SHEET METAL FASCIA	(PT-1)	SHERWIN-WILLIAMS 254-C2; PEARLY WHITE
(PL-2)	EXTERIOR PLASTER - 16/20 HEAVY MACHINE DASH FINISH	(SF-2)	ALUMINUM STOREFRONT DOOR - KYNAR PAINT FINISH	(MTL-2)	PAINTED STEEL	(PT-2)	SHERWIN-WILLIAMS 244-C2; MINDFUL GRAY
(PL-3)	PLEATED FOAM PANEL WITH PAINTED STUCCO FINISH	(M-1)	GLAZED BRICK VENEER - MEDIUM GREY	(MTL-3)	METAL EQUIPMENT SCREEN	(PT-3)	SHERWIN-WILLIAMS 244-C4; ACIER
(DW-1)	VYNYL WINDOWS AND DOORS - COLOR; LIGHT GREY	(CT-1)	CERAMIC TILE	(MTL-4)	PAINTED METAL SUNSHADE	(PT-4)	SHERWIN-WILLIAMS 244-C1; REPOSE GRAY
(DW-2)	OVERHEAD COILING DOOR - PAINTED	(RL-1)	PAINTED STEEL GUARDRAIL	(C-1)	BUSH HAMMERED CONCRETE VERTICAL STRIATION	(PT-5)	SHERWIN-WILLIAMS 235-C5; SOFTWARE
(DW-3)	METAL SECURITY GATE - PAINTED	(RL-2)	PLASTER GUARDRAIL	(C-2)	ARCHITECTURAL CONCRETE	(PT-6)	SHERWIN-WILLIAMS 144-C4; EDGY GOLD
(DW-4)	OVERHEAD COILING GRILLE	(RL-3)	CABLE RAIL WITH PAINTED STEEL STANCHIONS			(PT-7)	SHERWIN-WILLIAMS 125-C6; PENNYWISE
(DW-5)	HOLLOW METAL DOOR - PAINTED						

Exhibit 4 - P16-0730 - Project Plans

EAST COURTYARD ELEVATION

3870 Main St., Riverside CA 92501

23 DEC 2016





- | | | | |
|---|--|---|--|
| (PL-1) EXTERIOR PLASTER - 20/30 SAND FINISH | (SF-1) ALUMINUM STOREFRONT - KYNAR PAINT FINISH | (MTL-1) PAINTED SHEET METAL FASCIA | (PT-1) SHERWIN-WILLIAMS 254-C2; PEARLY WHITE |
| (PL-2) EXTERIOR PLASTER - 16/20 HEAVY MACHINE DASH FINISH | (SF-2) ALUMINUM STOREFRONT DOOR - KYNAR PAINT FINISH | (MTL-2) PAINTED STEEL | (PT-2) SHERWIN-WILLIAMS 244-C2; MINDFUL GRAY |
| (PL-3) PLEATED FOAM PANEL WITH PAINTED STUCCO FINISH | (M-1) GLAZED BRICK VENEER - MEDIUM GREY | (MTL-3) METAL EQUIPMENT SCREEN | (PT-3) SHERWIN-WILLIAMS 244-C4; ACIER |
| (DW-1) VYNYL WINDOWS AND DOORS - COLOR; LIGHT GREY | (CT-1) CERAMIC TILE | (MTL-4) PAINTED METAL SUNSHADE | (PT-4) SHERWIN-WILLIAMS 244-C1; REPOSE GRAY |
| (DW-2) OVERHEAD COILING DOOR - PAINTED | (RL-1) PAINTED STEEL GUARDRAIL | (C-1) BUSH HAMMERED CONCRETE VERTICAL STRIATION | (PT-5) SHERWIN-WILLIAMS 235-C5; SOFTWARE |
| (DW-3) METAL SECURITY GATE - PAINTED | (RL-2) PLASTER GUARDRAIL | (C-2) ARCHITECTURAL CONCRETE | (PT-6) SHERWIN-WILLIAMS 144-C4; EDGY GOLD |
| (DW-4) OVERHEAD COILING GRILLE | (RL-3) CABLE RAIL WITH PAINTED STEEL STANCHIONS | | (PT-7) SHERWIN-WILLIAMS 125-C6; PENNYWISE |
| (DW-5) HOLLOW METAL DOOR - PAINTED | | | |

Exhibit 4 - P16-0730 - Project Plans

NORTH COURTYARD ELEVATION

A207 DESIGNARC



Exhibit 4 - P16-0730 - Project Plans

MAIN & 9TH NIGHT VIEW



Exhibit 4 - P16-0730 - Project Plans

MAIN STREET VIEW

MATERIALS LEGEND

	MATERIAL
A	Existing concrete pavers pathway
B	Existing concrete paving in grid pattern
C	Rectangular area containing tree cut-out (5 existing) will be sawcut and filled with concrete paving to match adjacent concrete paving

PLANTING LEGEND

	SPECIES
1	(7) Existing Magnolia parkway trees to remain
2	(1) Existing Jacaranda parkway tree to remain



A Existing concrete pavers pathway



B Existing concrete paving in grid pattern



C Rectangular area containing tree cut-out (5 existing) will be sawcut and filled with concrete paving to match adjacent concrete paving



1 (7) Existing Magnolia parkway trees to remain



2 (1) Existing Jacaranda parkway tree to remain

Exhibit 4 - P16-0730 - Project Plans

GROUND LEVEL CONCEPTUAL LANDSCAPE PLAN



L100

DESIGNARC

MATERIALS LEGEND

	MATERIAL
A	Concrete paving on structure
B	Fire element
C	Outdoor grill and dining counter
D	Raised bio-retention planters
E	Flush bio-retention planters
F	Standard fiberglass planters

PLANTING LEGEND

	SPECIES
1	Umbellularia californica California Bay
2	Portulacaria afra 'Variegata' Rainbow Bush (groundcover)
3	Podocarpus gracilior Fern Pine
4	Carex divulsa / tumulicola European Grey Sedge/ Berkeley Sedge
5	Dianella tasmanica 'Variegata' White Striped Tasman Flax Lily
6	Philodendron 'Xanadu' -
7	Nandina domestica Heavenly Bamboo



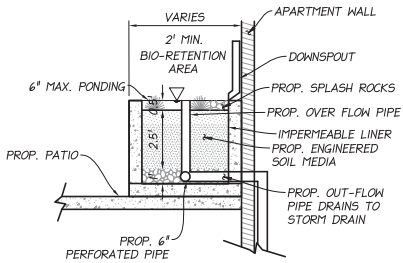
A Concrete paving on structure



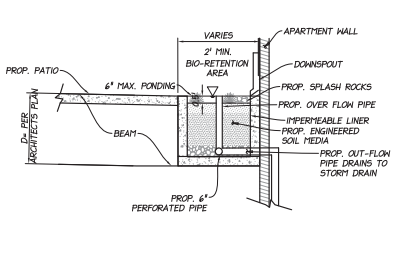
B Fire element



C Outdoor grill and dining counter



D Raised bio-retention planters



E Flush bio-retention planters



F Standard fiberglass planters



Various site furnishing



1 Umbellularia californica
California Bay



2 Portulacaria afra 'Variegata'
Rainbow Bush (groundcover)



3 Podocarpus gracilior
Fern Pine



4 Carex divulsa / tumulicola
European Grey Sedge/ Berkeley Sedge



5 Dianella tasmanica 'Variegata' White
Striped Tasman Flax Lily



6 Philodendron 'Xanadu'
-



7 Nandina domestica
Heavenly Bamboo



Exhibit 4 - P16-0730 - Project Plans

3870 Main St., Riverside CA 92501

13 Dec 2016

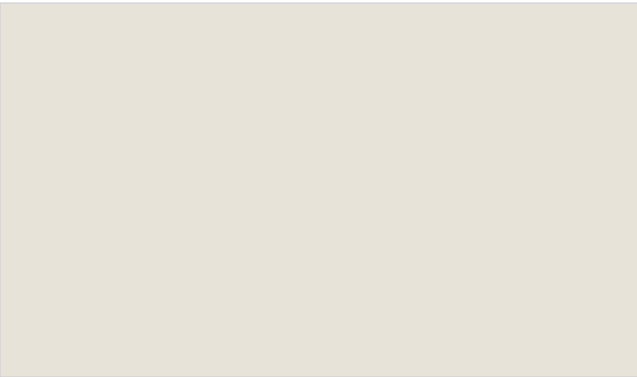
LEVEL THREE (PODIUM) CONCEPTUAL LANDSCAPE PLAN



L101

DESIGNARC

SCALE: 1/8" = 1'-0"



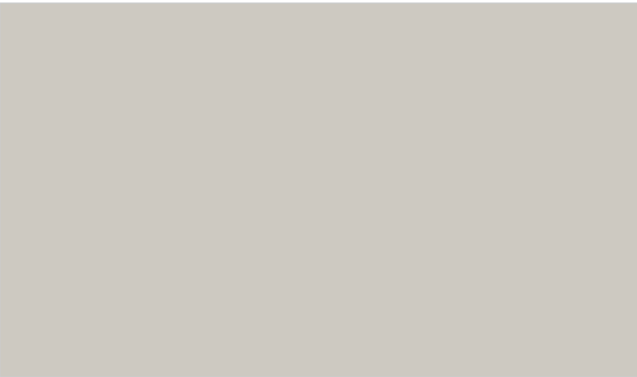
PT-1
SHERWIN-WILLIAMS
SW 7009 / 254-C2; PEARLY WHITE



PT-2
SHERWIN-WILLIAMS
SW 7016 / 244-C2; MINDFUL GRAY



PT-3
SHERWIN-WILLIAMS
SW9170 / 244-C4; ACIER



PT-4
SHERWIN-WILLIAMS
SW 7015 / 244-C1; REPOSE GRAY



PT-5
SHERWIN-WILLIAMS
SW7074 / 235-C5; SOFTWARE



PT-6
SHERWIN-WILLIAMS
SW6409 / 144-C4; EDGY GOLD



PT-7
SHERWIN-WILLIAMS
SW6349 / 125-C6; PENNYWISE



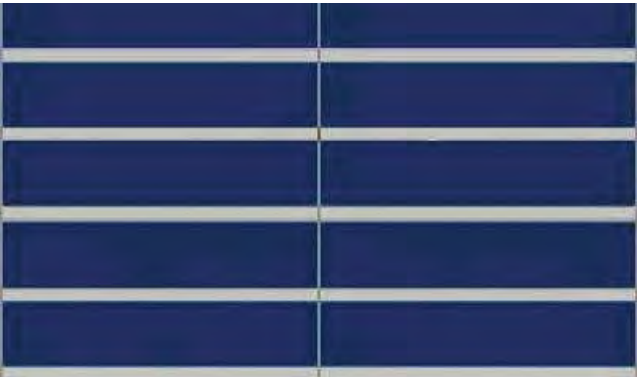
SF-1
ALUMINUM STOREFRONT - KYNAR PAINT FINISH (PT-4)



PL-1
LIGHT SAND FLOAT PLASTER - PAINTED (PT-6)



PL-2
HEAVY MACHINE DASH PLASTER - PAINTED (PT-3)



CT-1
CERAMIC TILE



M-1
BRICK VENEER (COLOR AND TEXTURE SIMILAR)



C-1
BUSH HAMMERED CONCRETE VERTICAL STRIATION



C-2
EXPOSED CONCRETE

Exhibit 4 - P16-0730 - Project Plans

COLOR AND MATERIAL BOARD