

# Sycamore Canyon Business Park Buildings 1 and 2

Community & Economic  
Development Department

City Council  
February 14, 2017

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## PROJECT SITE



2

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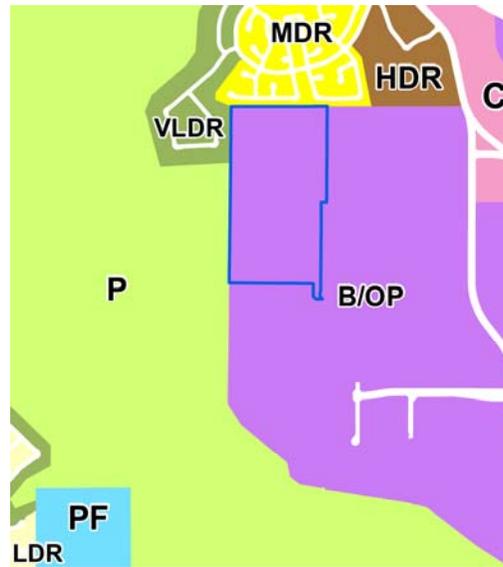
# PROJECT SITE



3

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# GENERAL PLAN MAP



**LEGEND**

|                              |                                 |
|------------------------------|---------------------------------|
| Project Site                 | High Density Residential        |
| Very Low Density Residential | Commercial                      |
| Low Density Residential      | Business/Office Park            |
| Medium Density Residential   | Public Facilities/Institutional |
|                              | Public Park                     |



4

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# SPECIFIC PLAN MAP



**LEGEND**

- Project Site
- Sycamore Canyon Business Park Specific Plan

5



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# ZONING Map



**LEGEND**

- Project Site
- R-1-8500-SP
- R-3-1500-SP
- BMP-SP
- R-1-1/2 acre-SP
- R-3-2000-SP
- CG-SP
- R-1-10500-SP
- RC-SP
- PF-SP
- R-1-7000-SP

6



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# GENERAL PLAN & SPECIFIC PLAN AMENDMENT



Existing Circulation

- 60' Local
- 74' Collector
- 84' Collector
- 106' Thru-way

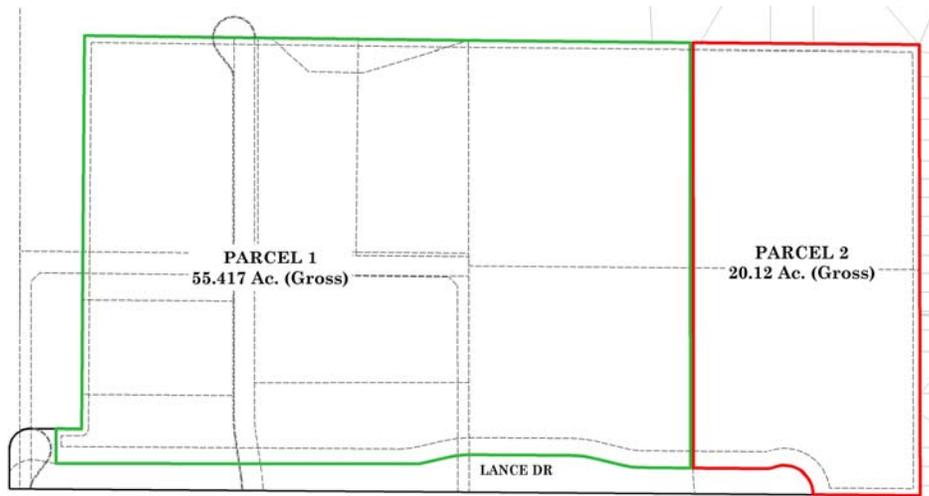


Proposed Circulation

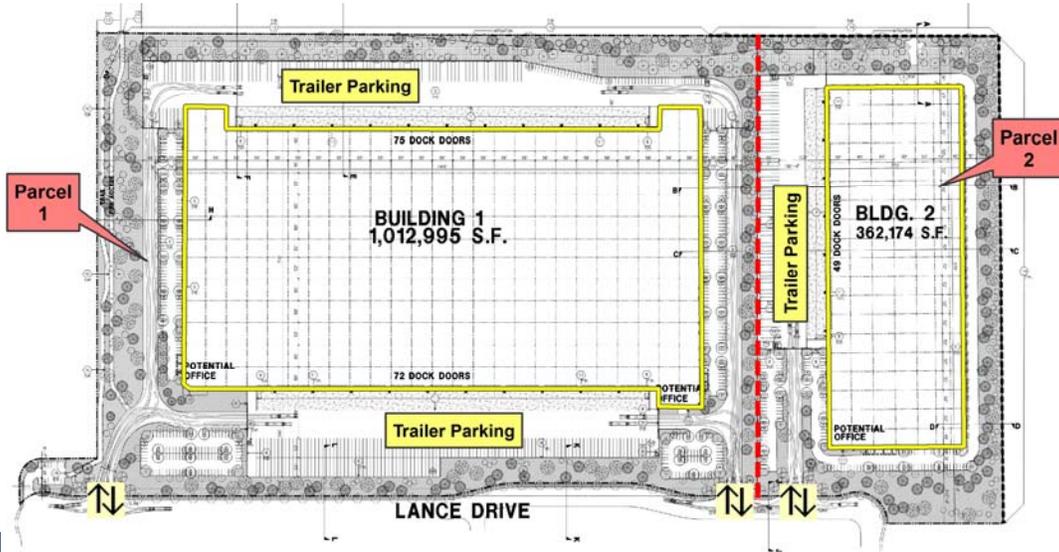
- 60' Local
- 74' Collector
- 84' Collector
- 106' Thru-way



# TENTATIVE PARCEL MAP NO. 36879

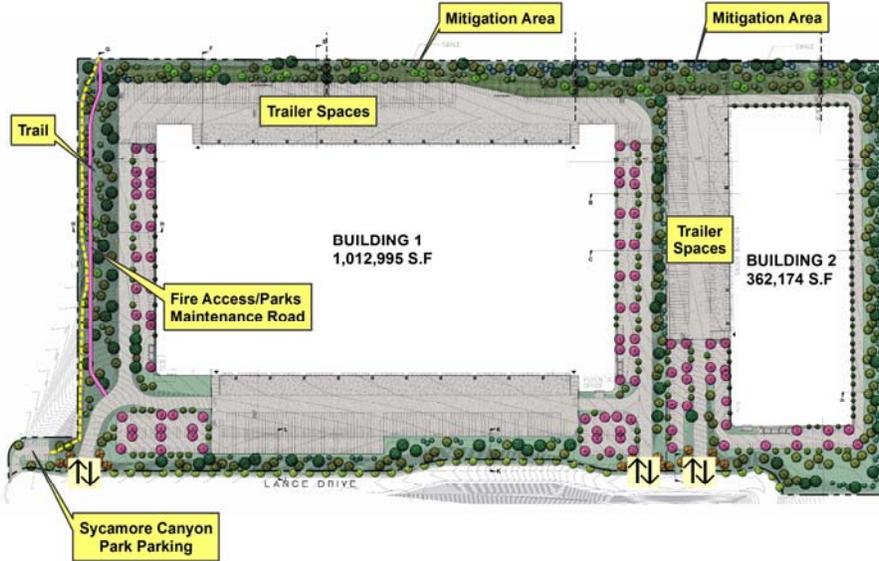


# SITE PLAN



9

# CONCEPTUAL LANDSCAPE PLAN



10

# BUILDING 1 ELEVATIONS



11

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# BUILDING 2 ELEVATIONS



12

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## RECOMMENDATIONS

That the City Council:

1. Adopt the attached CEQA Resolution (Attachment 4) certifying that the Final Environmental Impact Report (EIR) for the proposed project: (a) has been completed in compliance with the California Environmental Quality Act (CEQA) (Public Resources Code 21000 et seq.); (b) was presented to the City Council and the City Council reviewed and considered the information contained in the Final EIR prior to approving the project; and (c) reflects the City's independent judgment and analysis, and making certain findings of fact;
2. Adopt the Findings of Fact attached to the CEQA Resolution;
3. Adopt the Statement of Overriding Considerations (SOC) attached to the CEQA Resolution;



13

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## RECOMMENDATIONS (CONT'D)

4. Adopt the Mitigation Monitoring and Reporting Program attached to the CEQA Resolution;
5. Concur with the findings contained in the Final EIR, the attached CEQA Resolution, the case file and the administrative record;
6. Find that no feasible alternatives to the project have been proposed that will avoid or substantially lessen the significant environmental effects as set forth in the Final EIR;
7. Reject all late comments as untimely;



14

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## RECOMMENDATIONS (CONT'D)

8. Adopt the attached Resolution (Attachment 5) amending the General Plan 2025;
9. Adopt the attached Resolution (Attachment 6) amending the Sycamore Canyon Business Park Specific Plan; and
10. Approve Planning Cases P16-0101 (General Plan Amendment/ Specific Plan Amendment), P16-0102 (Tentative Parcel Map), P14-1082 (Minor Conditional Use Permit) and P16-0103 (Variance/Grading Exceptions), and P14-1081 (Design Review), based on and subject to the Planning Commission findings and recommended conditions found in the attached staff report.

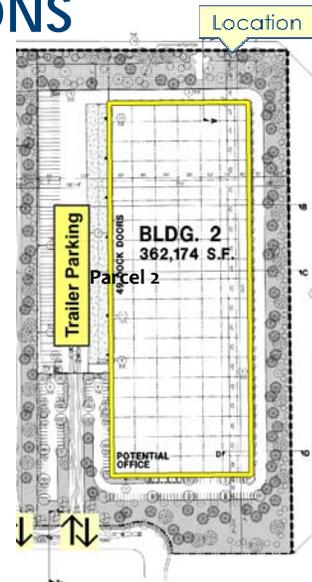


## PHOTO SIMULATIONS

Existing Ground View from Location A-A



View from Second Story Window from Location A-A

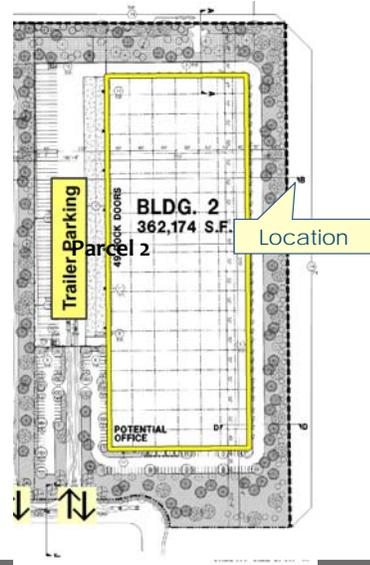


# PHOTO SIMULATIONS

Existing Ground View from Location B-B



View from Second Story Window from Location B-B



17

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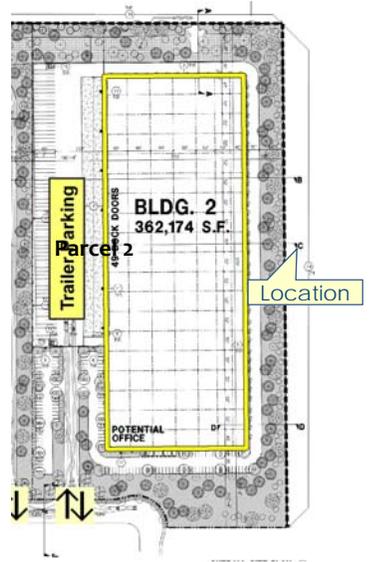


# PHOTO SIMULATIONS

Existing Ground View from Location C-C



View from Second Story Window from Location C-C

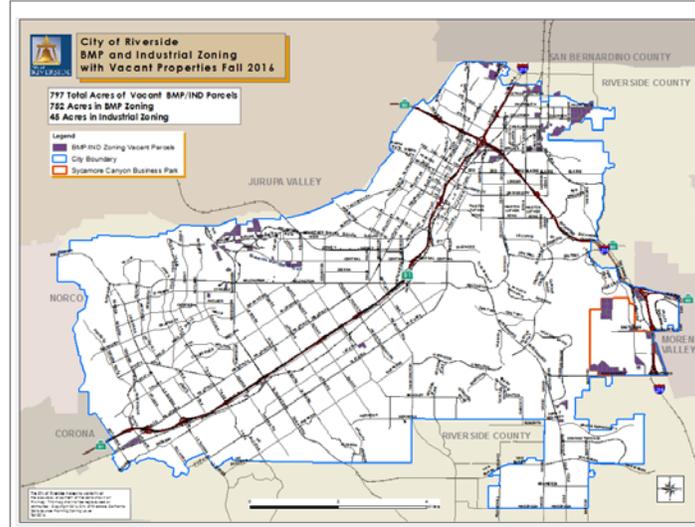


18

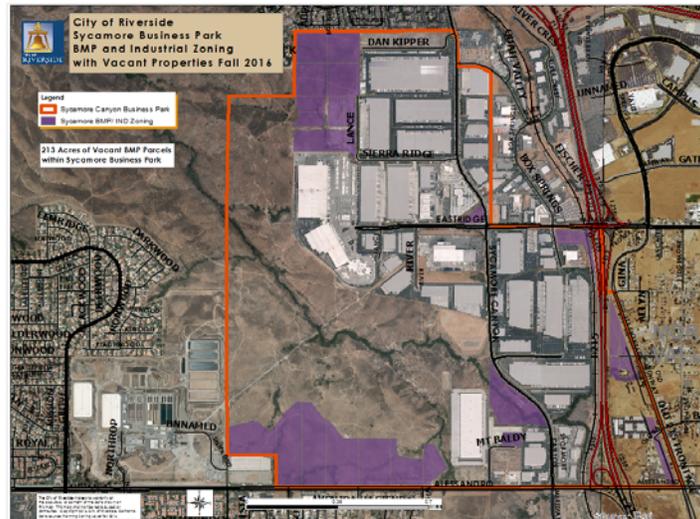
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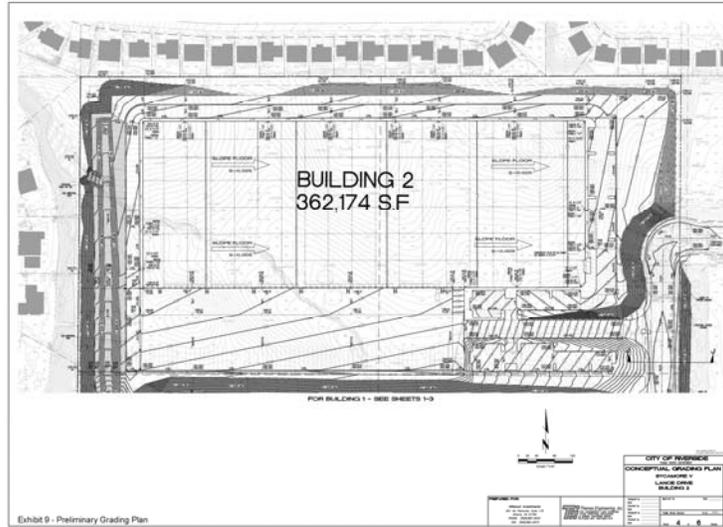
# VACANT INDUSTRIAL LAND



# VACANT INDUSTRIAL LAND



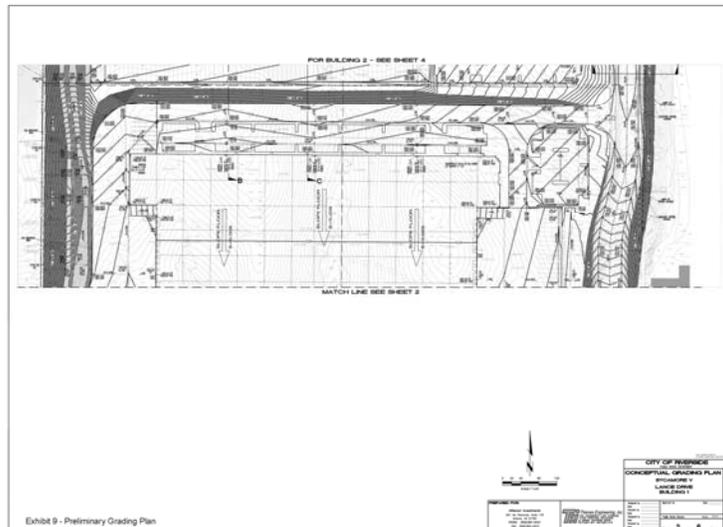
# GRADING PLAN



21

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# GRADING PLAN



22

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## SITE PHOTOS



North of the Project Site looking west



Residences to the west



25

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## SITE PHOTOS



Residences to the north



North of site looking east



26

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## SITE PHOTOS



Drainage feature looking northwest



Drainage feature looking south



27

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## SITE PHOTOS



View of southeast of the site



View of southeast of the site



28

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## SITE PHOTOS



Residences to the west



Southwest of the site



29

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## SITE PHOTOS



Residences to the west



Southwest of the site



30

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# SITE PHOTOS



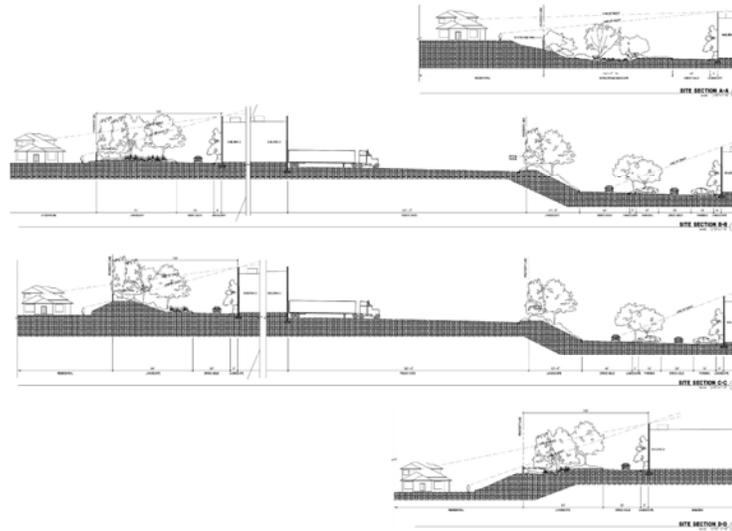
Buildings to the east



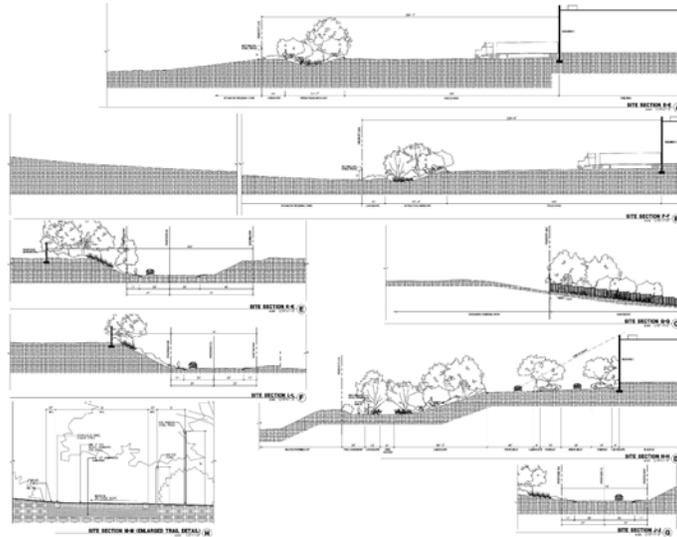
Buildings to the southeast and south



# LINE OF SIGHT



# LINE OF SIGHT



33

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