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SHEET INDEX

| | |
|-------|--|
| A-0.0 | PROJECT SUMMARY |
| A-0.1 | VICINITY MAP |
| A-0.2 | HISTORICAL PHOTOS / CONTEXTUAL SURVEY |
| A-1.1 | SITE PLAN / GROUND FLOOR PLAN |
| A-1.2 | FLOOR PLANS |
| A-1.3 | FLOOR PLANS |
| A-1.4 | FLOOR PLANS |
| A-1.5 | SECTIONS |
| A-2.1 | CONCEPTUAL EXTERIOR ELEVATIONS |
| A-2.2 | CONCEPTUAL EXTERIOR ELEVATIONS |
| A-2.3 | COLOR AND MATERIAL BOARD |
| A-3.1 | UNIT PLANS |
| A-3.2 | UNIT PLANS |
| A-3.3 | ENLARGED LEASING/CLUB/FITNESS PLAN |
| H-1.1 | SOUTH ELEVATION - PROPOSED RENOVATION |
| H-1.2 | WEST ELEVATION - PROPOSED RENOVATIONS |
| H-1.3 | PARTIAL HISTORICAL FACADE SECTIONS |
| H-1.4 | FACADE REHABILITATION DETAIL |
| H-1.5 | FACADE REHABILITATION DETAIL |
| L1 | OVERALL PLAN AT STREET LEVEL |
| L2 | OVERALL DECKS AND COURTYARD PLAN |
| L3 | 6TH STREET AT STREET LEVEL |
| L4 | MISSION INN AVE AT STREET LEVEL |
| L5 | 3RD FLOOR COURTYARD DECK AND POOL AREA |
| L6 | 5TH FLOOR ROOF DECK |
| L7 | TOP FLOOR ROOF DECK AND GREEN ROOF |
| L8 | PLANT PALETTE AND WATER CALCS. |
| C-1 | PLOT PLAN |
| C-2 | PRELIMINARY GRADING PLAN |
| C-3 | TYPICAL SECTIONS |
| C-4 | PRELIMINARY COMPOSITE UTILITY EXHIBIT |



Exhibit 4 - P16-0323, Project Plans

STALDER PLAZA RIVERSIDE, CA

REGIONAL PROPERTIES 9201 WILSHIRE BLVD, SUITE 103
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 T. 310.553.1776

REGIONAL PROPERTIES - RIVERSIDE

PROJECT SUMMARY - SITE 01

4th & S FLOOR TRAFFIC ON TOP OF ABOVE GRADE TRAFFIC CONCRETE STRUCTURE
CONTAINING 4 FLOORS RESIDENTIAL AND PORTION WITH ONE LEVEL COMMERCIAL
AND 3rd FLOOR CONCRETE SUBTERRANEAN PARKING LEVELS

SITE AREA

| | |
|-------------|-------------|
| TOTAL UNITS | 155 UNITS |
| DENSITY* | 157 D.U./AC |
| TOTAL GSF | 234,758 SF |
| FAR | 4.47 |

UNIT SUMMARY

| FLOOR | STUDIO | | | 1 BR | | | | | | | | 2 BR | | | | | | | | 3BR | | | Total |
|-------------|--------|----|----|-------|----|------|------|------|------|------|-------|------|----|----|------|----|----|----|----|-----|-----|----|--------|
| | S1 | S2 | S3 | A1 | A3 | A3.1 | A3.2 | A3.3 | A3.4 | A3.5 | A8 | B1 | B1 | B3 | B3.2 | B4 | B6 | B7 | B8 | B8 | B10 | C1 | |
| FLOOR 1 | - | - | - | - | 1 | 1 | - | - | - | - | - | 1 | - | - | - | - | - | - | - | 1 | 1 | - | 3 |
| FLOOR 2 | - | 1 | - | - | 1 | 1 | - | - | - | - | - | 1 | - | - | - | - | - | - | - | 1 | 1 | - | 3 |
| FLOOR 3 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| FLOOR 4 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| FLOOR 5 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| FLOOR 6 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| FLOOR 7 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| TOTAL UNITS | 8 | 11 | 8 | 11 | 11 | 11 | 11 | 11 | 11 | 11 | 11 | 11 | 11 | 11 | 11 | 11 | 11 | 11 | 11 | 11 | 11 | 11 | 155 |
| TOTAL UNITS | 11 | | | 11 | | | | | | | 11 | | | | | | | | | | | | 155 |
| PERCENTAGE | 13.5% | | | 45.7% | | | | | | | 13.5% | | | | | | | | | | | | 100.0% |

NRSF SUMMARY

| UNIT TYPE | QUANTITY | BALCONY | S.F. | TOTAL S.F. | AVG. |
|-----------|----------|---------|-------|------------|-------|
| 1B | 8 | | 871 | 6,968 | 871 |
| 2B | 11 | | 847 | 9,317 | 847 |
| 3B | 8 | | 877 | 6,988 | 877 |
| 1A | 11 | 87 | 728 | 10,024 | 728 |
| 2A | 11 | 87 | 748 | 9,824 | 748 |
| 3A.1 | 7 | 88 | 688 | 4,816 | 688 |
| 3A.2 | 8 | 88 | 677 | 5,416 | 677 |
| 3A.3 | 8 | | 671 | 5,368 | 671 |
| 3A.4 | 1 | 88 | 688 | 688 | 688 |
| 3A.5 | 1 | 88 | 671 | 671 | 671 |
| 3A | 8 | 84 | 688 | 5,504 | 688 |
| 1C | 11 | 48 | 1,081 | 11,891 | 1,081 |
| 2C | 11 | 88 | 1,047 | 11,517 | 1,047 |
| 3C | 8 | 88 | 1,184 | 9,472 | 1,184 |
| 3C.1 | 8 | 87 | 1,108 | 8,864 | 1,108 |
| 3C | 4 | 88 | 1,128 | 4,512 | 1,128 |
| 3C | 1 | 88 | 1,188 | 1,188 | 1,188 |
| 3C | 1 | 1 | 1,188 | 1,188 | 1,188 |
| 3C | 1 | 88 | 1,147 | 1,147 | 1,147 |
| 3C | 1 | 87 | 1,108 | 1,108 | 1,108 |
| 3C | 1 | 107 | 1,400 | 1,400 | 1,400 |
| TOTAL | 8 | 81 | 1,547 | 12,393 | 1,547 |
| TOTAL GSF | 155 | | | 234,758 | 853 |

FAR SUMMARY

| LEVEL | OUTSIDE LINE | INSIDE LINE | CLUB ROOM VOLUME | SHAFTS | TOTAL |
|-------|--------------|-------------|------------------|--------|---------|
| 1 | 48,178 SF | 6,124 SF | | 881 | 42,073 |
| 2 | 49,211 SF | 2,878 SF | | 1,148 | 46,333 |
| 3 | 44,891 SF | 8,117 SF | 1,840 SF | 1,840 | 36,834 |
| 4 | 44,891 SF | 8,117 SF | 1,840 SF | 1,840 | 36,834 |
| 5 | 44,891 SF | 8,117 SF | 1,840 SF | 1,840 | 36,834 |
| 6 | 40,481 SF | 8,117 SF | 1,840 SF | 1,840 | 33,584 |
| 7 | 28,141 SF | 8,124 SF | | 881 | 20,017 |
| TOTAL | | | | | 234,758 |

FAR PROPOSED: 4.47

FAR ALLOWED: 32,492 SF x 1.45 = 47,113

AREA UNDER PROJECTING CANOPIES

LOCATION AREA over sidewalk

37th STREET ELEVATED

TOTAL: 114 SF

OPEN SPACE SUMMARY

| OPEN SPACE REQUIRED: | SF |
|-------------------------------------|---------------|
| COMMON | 8,180 |
| PRIVATE | 808,478 |
| OPEN SPACE PROVIDED: | |
| COURTYARD A | 2,921 |
| COURTYARD B ATTACHED LEVEL | 2,480 |
| COURTYARD B PROVIDED ATTACHED LEVEL | 8,180 |
| LEASING PLANTING | 8,180 |
| POOLED TERRACE | 8,180 |
| TOTAL PROVIDED: | 22,223 |

NRSF SUMMARY COMMERCIAL

| | |
|--------------------------------|---------------|
| MULTIFAMILY COMMERCIAL SPACE-A | 8,180 |
| MULTIFAMILY COMMERCIAL SPACE-B | 18,800 |
| TOTAL | 22,000 |

RESIDENTIAL REQUIRED STALLS

| RESIDENTIAL | STALLS |
|-----------------------------------|-------------------|
| STUDIO | 88 |
| 1 BDRM | 118 |
| 2 BDRM | 110 |
| 3 BDRM | 110 |
| TOTAL RESIDENTIAL | 425 |
| COMMERCIAL REQUIRED STALLS | |
| AREA TOTAL | 147 |
| * 10,000 SF | 1 STALL/10,000 SF |
| TOTAL STALLS REQUIRED | 425 |

PROVIDED PARKING SUMMARY

| SUMMARY BY LEVEL | STALLS |
|-----------------------|------------|
| LEVEL 1 | 118 |
| LEVEL 2 | 118 |
| LEVEL 3 | 118 |
| TOTAL PROVIDED | 354 |
| SUMMARY BY USE | |
| RESIDENTIAL | 425 |
| 1 SUBSTITUTES DEBITER | 48 |
| COMMERCIAL | 50 |
| TOTAL PROVIDED | 335 |

* RETAIL PARKING USE

RESIDENTIAL PARKING RATIO 0.77
INCLUDED IN THE RATIO

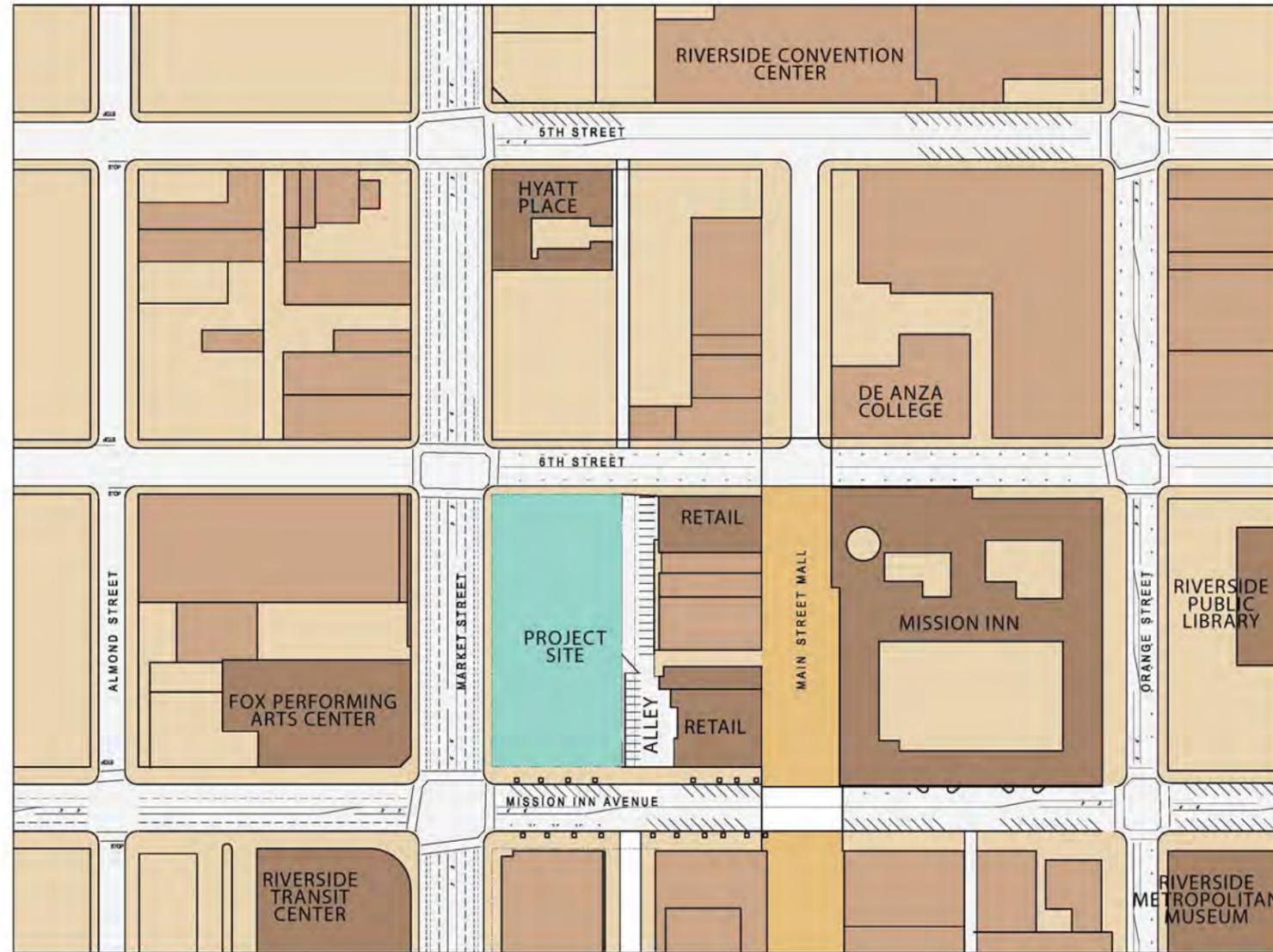


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A-0.1
2013-420 01.20.2017

VICINITY MAP

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MISSION INN AVENUE



ALLEY



MARKET STREET



6TH STREET CLOSE-UP



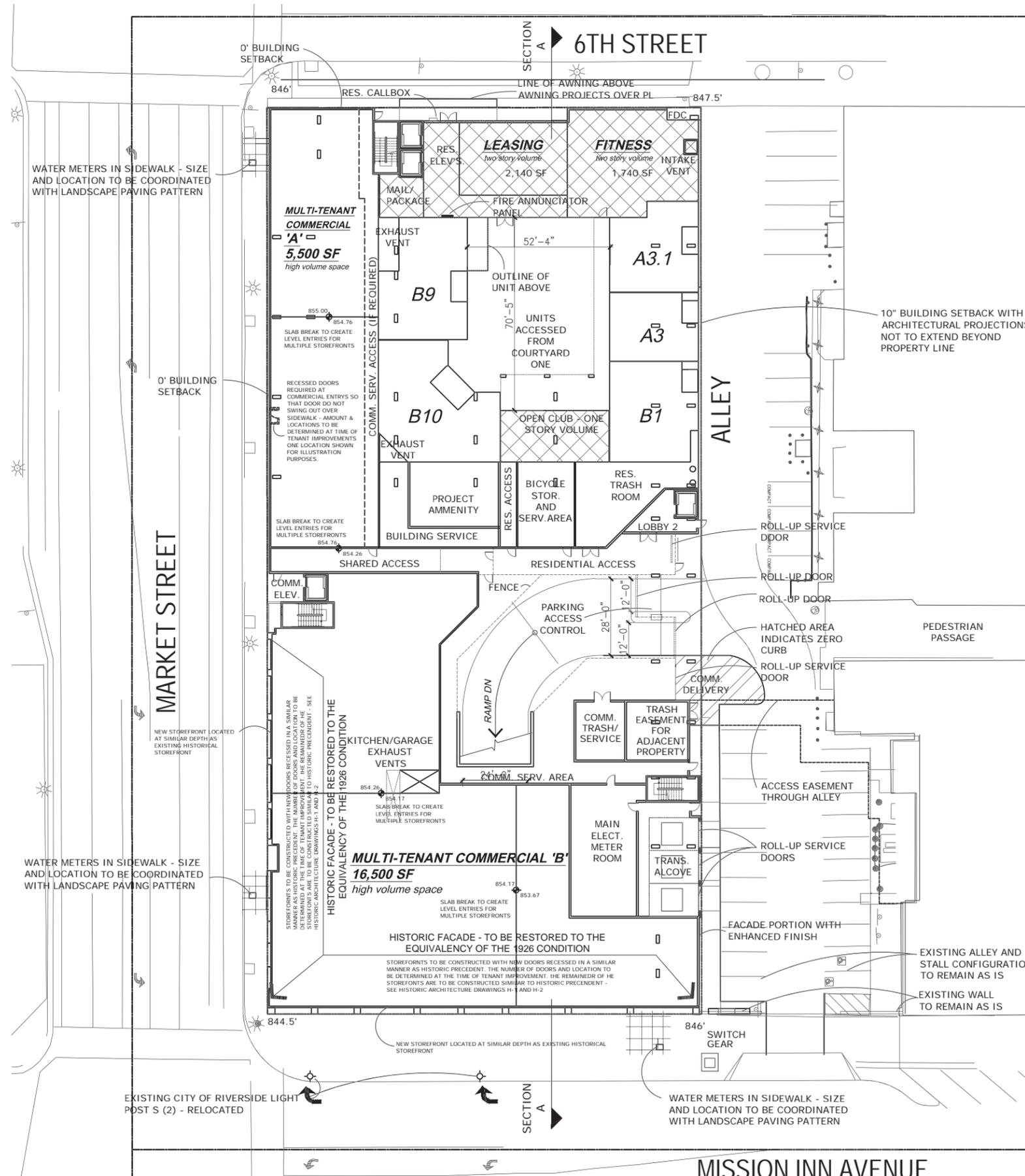
6TH STREET



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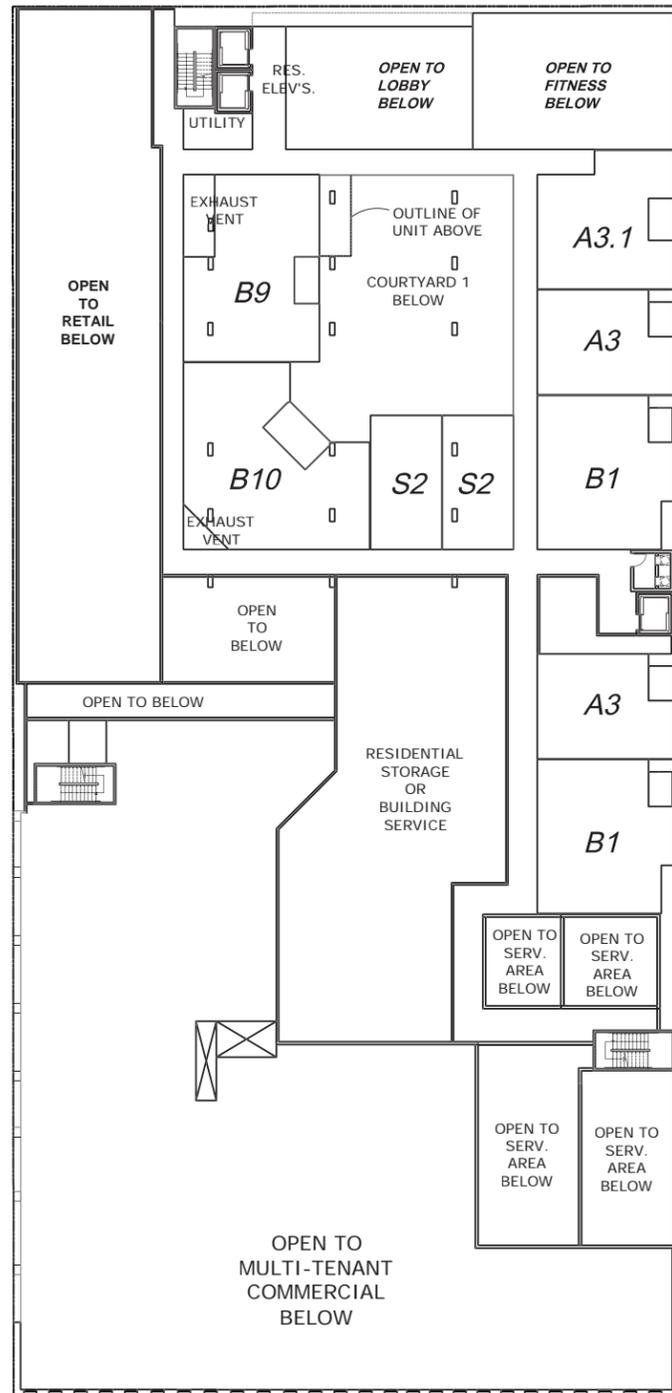
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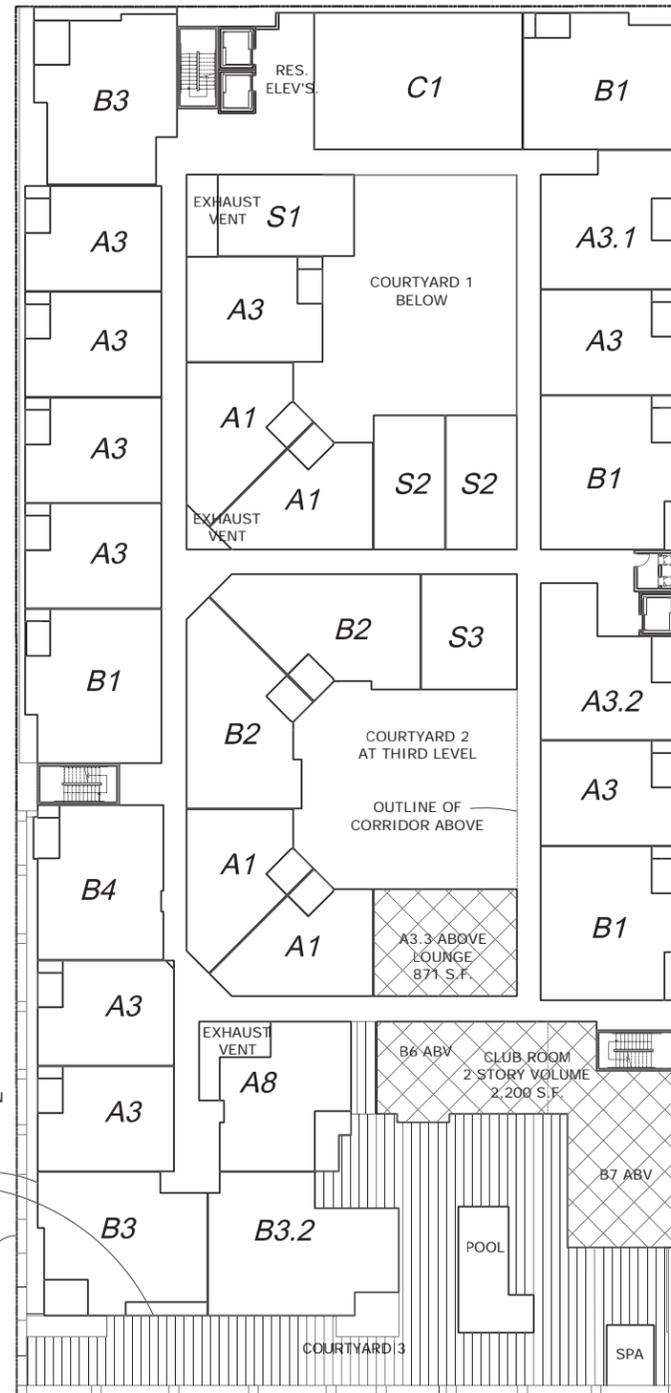


*SEE LANDSCAPE DRAWINGS FOR SIDEWALK / ALLEY / COURTYARD / DECK LAYOUT DESIGN
*ARCHITECTURAL WALL PROJECTIONS ARE NOT SHOWN ON FLOOR PLANS

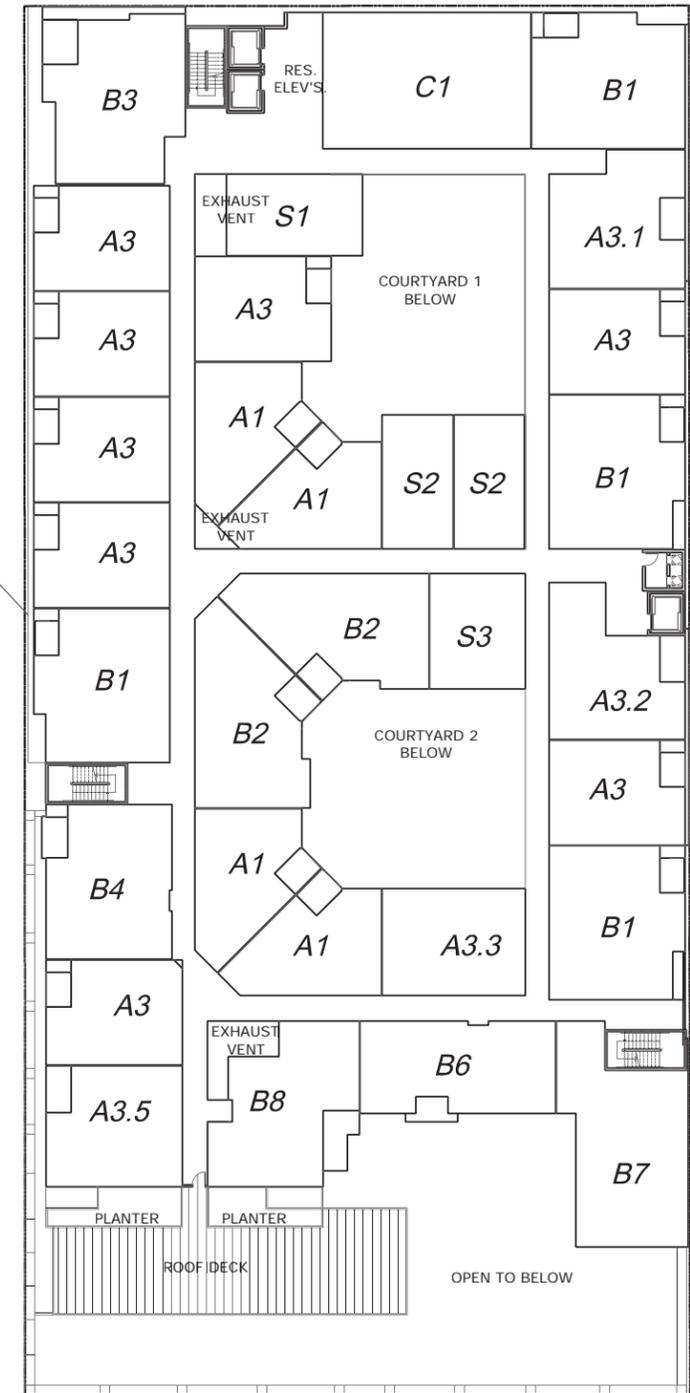
SCALE: 1" = 20'
A-1.1
 2013-420 01.20.2017
SITE PLAN / GROUND FLOOR PLAN
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2ND FLOOR PLAN



TYPICAL FLOOR PLAN: 3 - 5



6TH FLOOR PLAN

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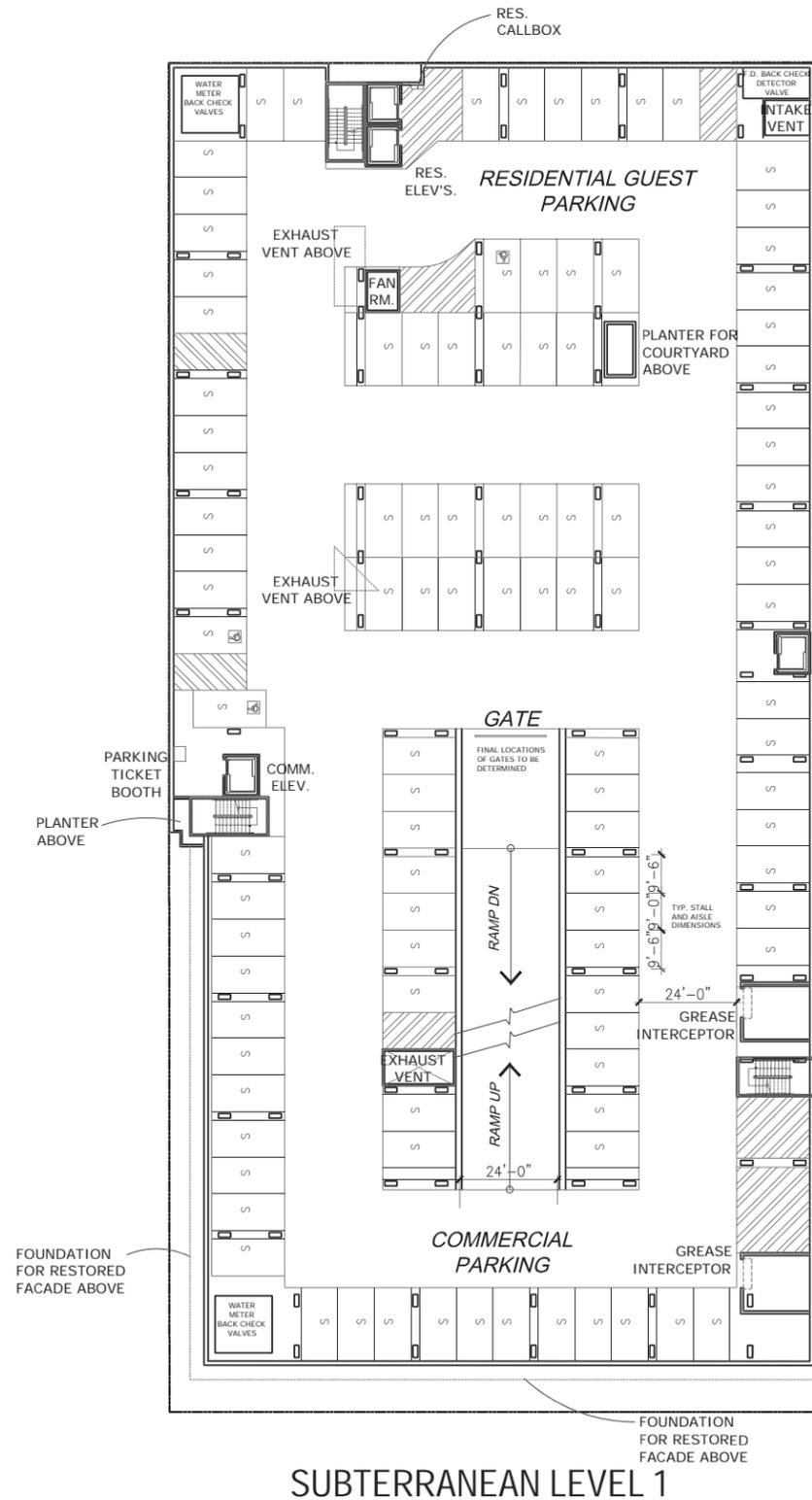
*SEE LANDSCAPE DRAWINGS FOR COURTYARD / DECK LAYOUT DESIGN
*ARCHITECTURAL WALL PROJECTIONS ARE NOT SHOWN ON FLOOR PLANS

N
0' 20' 40' 80' 120'
SCALE: 1" = 20'

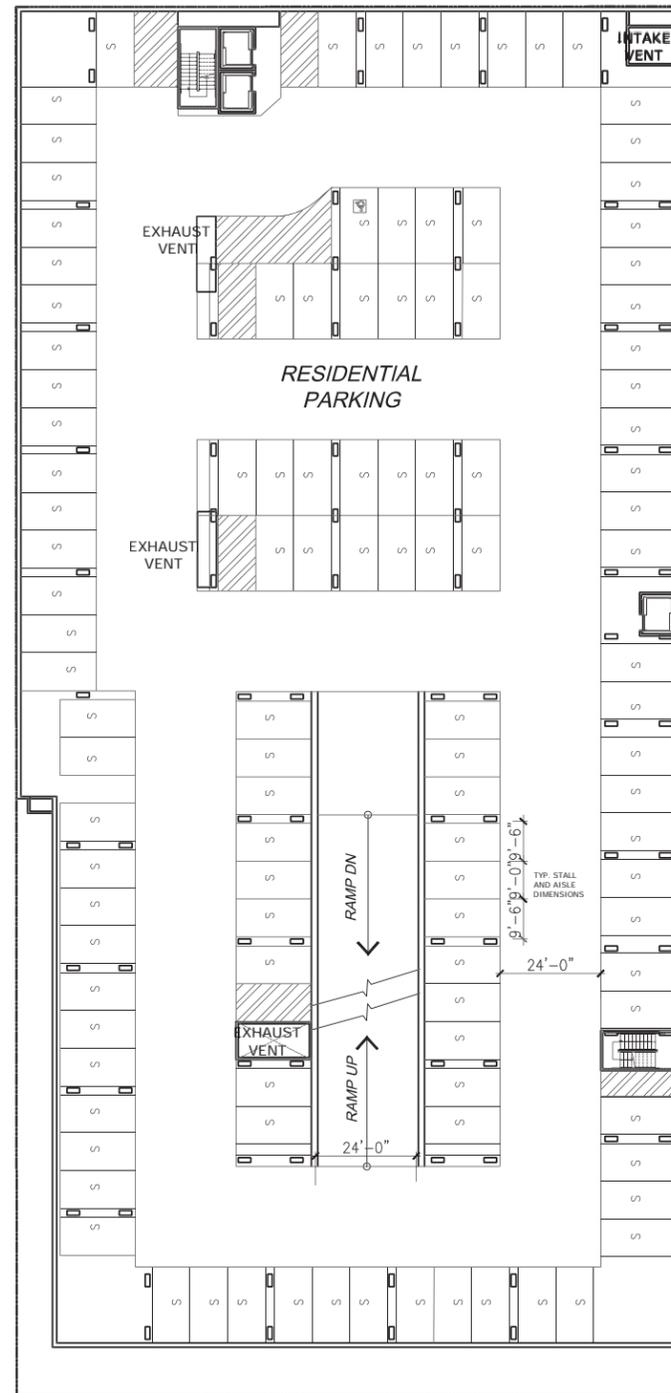
A-1.2
2013-420 01.20.2017

FLOOR PLANS

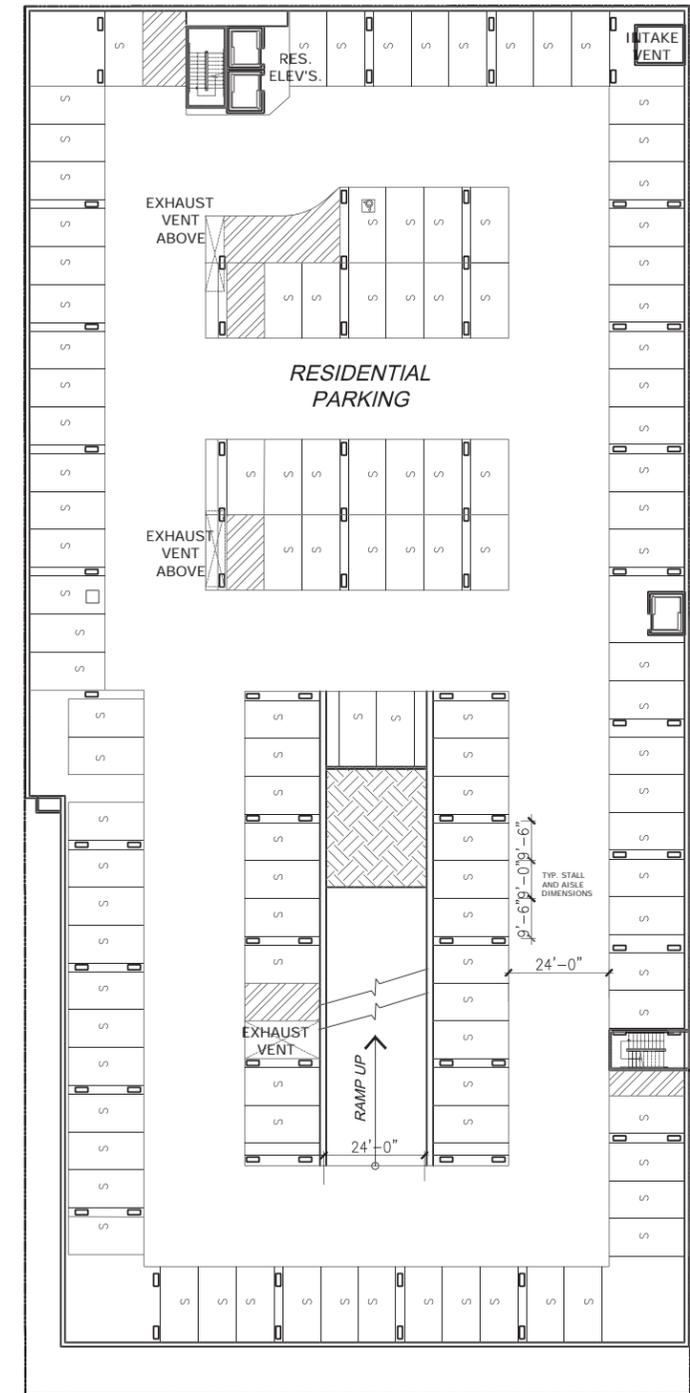
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SUBTERRANEAN LEVEL 1



SUBTERRANEAN LEVEL 2

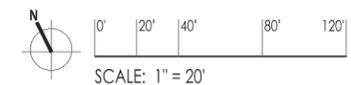


SUBTERRANEAN LEVEL 3

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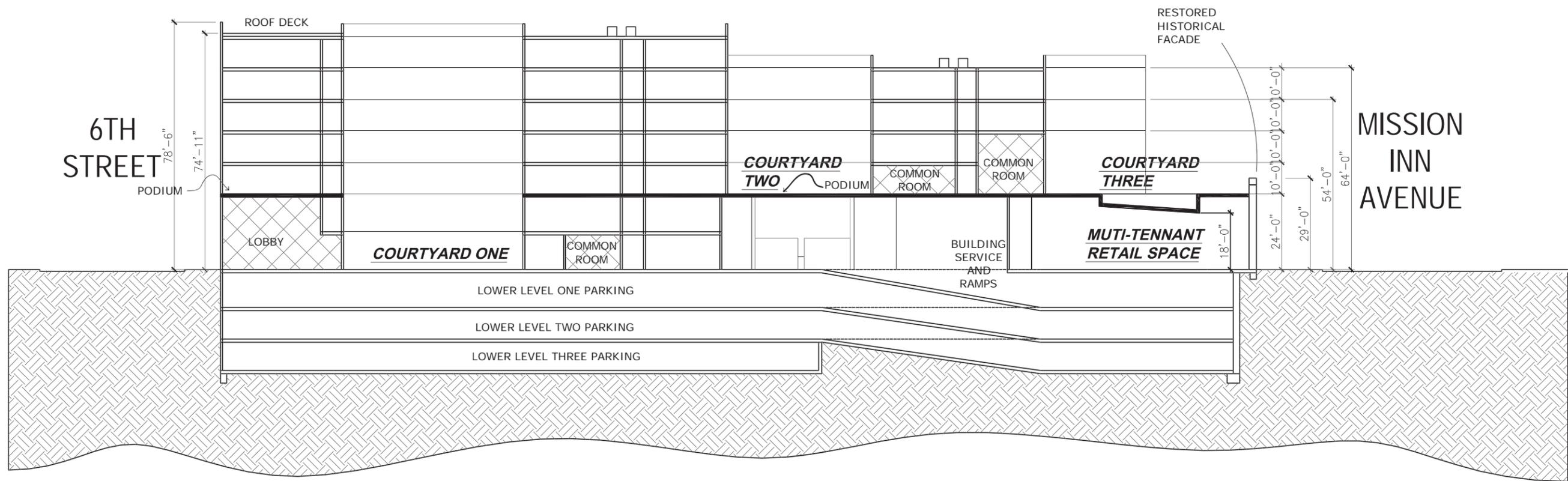
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FLOOR PLANS

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SECTION A-A

NOTE: SECTIONS ARE DRAWN WITH FLAT GRADE FOR CLARITY, GROUND FLOOR WILL STEP TO CONFORM TO ADJACENT GRADE

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0' 8' 16' 32' 64'
SCALE: 1" = 16'

A-1.5
2013-420 01.20.2017

SECTIONS

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MISSION INN AVENUE (SOUTH)

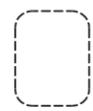
MATERIALS LEGEND

1. EXTERIOR PLASTER
2. PAINTED METAL AWNING
3. PERFORATED METAL RAILING
4. PERFORATED METAL SUNSHADE
5. ANODIZED STOREFRONT GLAZING SYSTEM
6. BRICK
7. VINYL WINDOW FRAME
8. PORCELAIN TILE
9. PERFORATED METAL FENCING AND GATE
10. RIBBED METAL PANELS
11. PROJECTING BALCONY WITH GLASS RAILING
12. RAISED PLANTING AREA OVER ROOF

NOTES:

1.0 ELEVATIONS ARE DRAWN WITH FLAT GRADE FOR CLARITY, GROUND FLOOR WILL STEP TO CONFORM TO ADJACENT GRADE.

2.0 PROJECT SIGNAGE ON HISTORIC FACADE ELEVATIONS AND ON NEW CONSTRUCTION (SHOWN CONCEPTUALLY ON THESE ELEVATIONS) ARE TO BE SUBMITTED FOR DESIGN REVIEW AND APPROVAL SEPARATELY FROM THIS SUBMITTAL



HISTORIC FACADE - SEE HISTORIC DRAWING SECTION FOR DESIGN OF THIS PORTION



MARKET STREET ELEVATION (WEST)

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0' 8' 16' 32' 64'
 SCALE: 1" = 16'
 2013-420 01.20.2017

A-2.1
CONCEPTUAL EXTERIOR ELEVATIONS
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2 6TH STREET ELEVATION (NORTH)

MATERIALS LEGEND

1. EXTERIOR PLASTER
2. PAINTED METAL AWNING
3. PERFORATED METAL RAILING
4. PERFORATED METAL SUNSHADE
5. ANODIZED STOREFRONT GLAZING SYSTEM
6. BRICK
7. VINYL WINDOW FRAME
8. PORCELAIN TILE
9. PERFORATED METAL FENCING AND GATE
10. RIBBED METAL PANELS
11. PROJECTING BALCONY WITH GLASS RAILING
12. RAISED PLANTING AREA OVER ROOF

NOTES:

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HISTORIC FACADE - SEE HISTORIC DRAWING SECTION FOR DESIGN OF THIS PORTION



8 ALLEY SIDE ELEVATION (EAST)

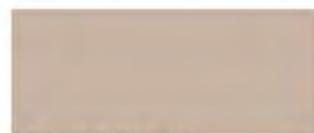
OUTLINE OF BUILDINGS ON OPPOSITE SIDE OF ALLEY



- MATERIAL LEGEND**
- (A) PORCELAIN TILE - COTTO D'ESTE
 - (B) PERFORATED METAL RAILING
 - (C) METAL SUNSHADE
 - (D) RIBBED METAL PANEL - ATAS
 - (E) BRICK - BELDEN BRICK
 - (F) GLASS PANEL BALCONY
 - (G) SHEETMETAL COPING
 - (H) EXTERIOR PLASTER - 20/30
 - (I) VINYL WINDOW FRAME - DARK BRONZE
 - (J) STORE FRONT - DARK BRONZE
 - (K) STONE VENEER - CORONADO STONE
 - (L) STONE VENEER - CORONADO STONE
 - (M) METAL CANOPY



① SW 7035 AESTHETIC WHITE



② SW 7038 TONY TAUPE



③ SW 7064 PASSIVE



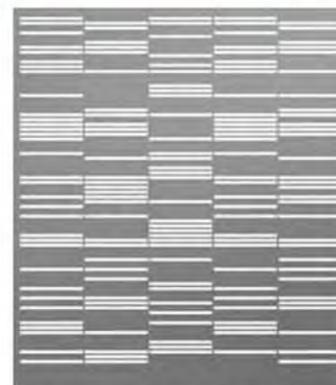
④ SW 7067 CITYSCAPE



⑤ SW 6990 CAVIAR



⑥ SW 6903 CHEERFUL



(B) METAL RAILING OR SIMILAR



(C) SUNSHADE OR SIMILAR



(D) RIBBED METAL PANEL ATAS - 20 SLATE GREY



(F) GLASS PANEL BALCONY OR SIMILAR



(A) PORCELAIN TILE SPECTHIN - DOVE



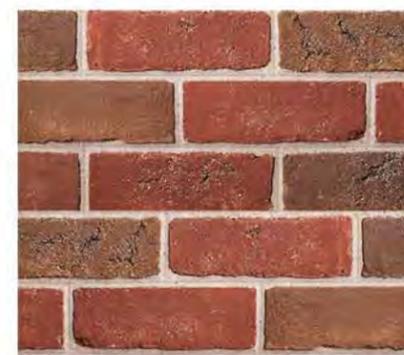
PORCELAIN TILE SPECTHIN - PEARL



PORCELAIN TILE SPECTHIN - GREY



PORCELAIN TILE SPECTHIN - BROWN



(E) BELDEN BRICK WINEWOOD BLEND



(K) CORONADO STONE LIMESTONE STADLER BLEND



(L) CORONADO STONE COLOSSEUM TRAVERTINE ROMAN



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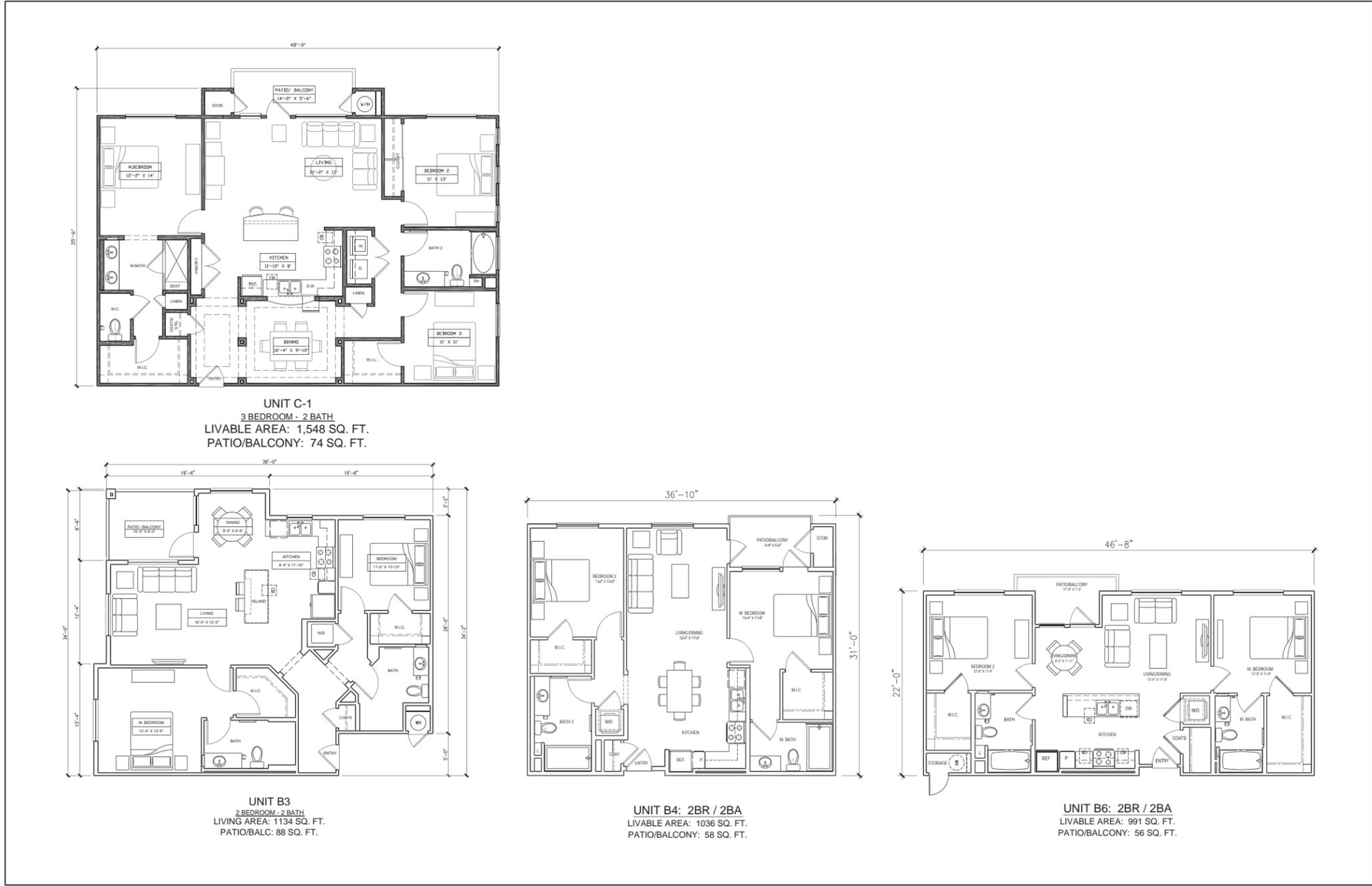


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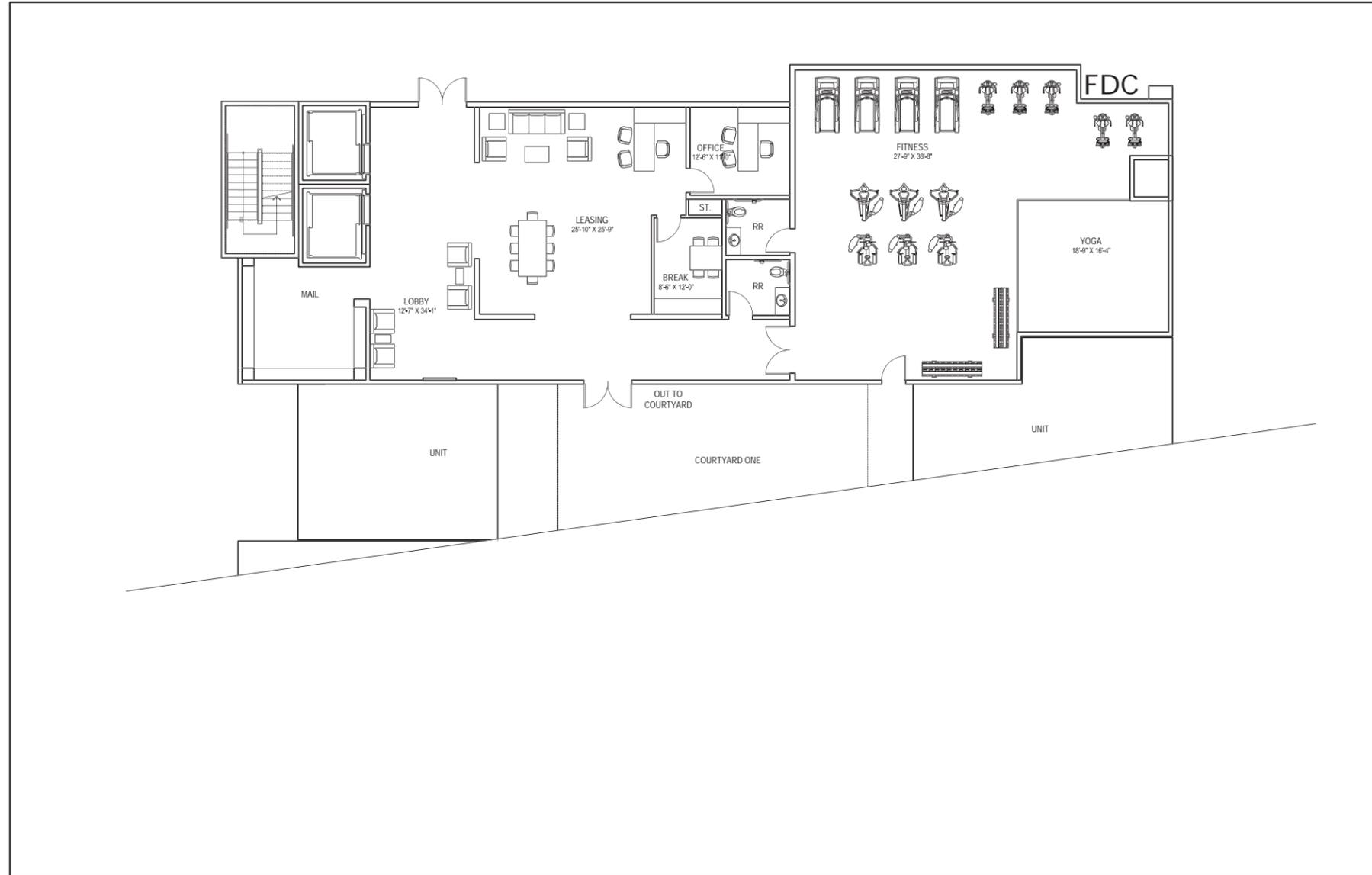
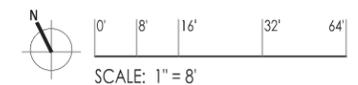


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ENLARGED LOBBY LEASING/FITNESS PLAN

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MARKET STREET

(OPTION TO BE STOREFRONT TYPES C.1 & C.2)
SOME ENTRIES MAY BE FURTHER RECESSED & WILL
EITHER HAVE DOORS, DOUBLE DOORS OR GLAZED
PANELS. EXACT NUMBER AND LOCATION TO BE
DETERMINED AT TIME OF TENANT IMPROVEMENT.

TYPE C.1

TYPE C.2



FURTHER RECESSED

NOTE: REFER TO STOREFRONT SCHEDULE ON H1.5

RECESSED STOREFRONT TO BE TYPE C (SIMILAR TO
OPENING OF HISTORIC AUTO ENTRY). OPTIONS FOR
DOOR OR GLAZED PANEL TO BE DETERMINED AT TIME OF
TENANT IMPROVEMENT.

TYPE C



FURTHER RECESSED

NOTE: REFER TO STOREFRONT SCHEDULE ON H1.5

(OPTION TO BE STOREFRONT TYPES A.1, A.2 OR B.1)
SOME ENTRIES MAY BE FURTHER RECESSED & WILL
EITHER HAVE DOORS, DOUBLE DOORS OR GLAZED
PANELS. EXACT NUMBER AND LOCATION TO BE
DETERMINED AT TIME OF TENANT IMPROVEMENT.

TYPE A.1

TYPE A.2

TYPE B.1



FURTHER RECESSED

FURTHER RECESSED

NOTE: REFER TO STOREFRONT SCHEDULE ON H1.5

RESTORE EXISTING HISTORIC STOREFRONT

ELEV.

PARKING
ACCESS
CONTROL

CO
DELI

COMM.
TRASH/
SERVICE

TRASH
EASEMENT
FOR
ADJACENT
PROPERTY

KITCHEN/GARAGE
EXHAUST
VENTS

RAMP DN

COMM. SERV. AREA

MAIN
ELECT.
METER
ROOM

TRANS.
ALCOVE

MULTI-TENANT COMMERCIAL 'B'
16,500 SF
high volume space

Exhibit 4 - P16-0323, Project Plans

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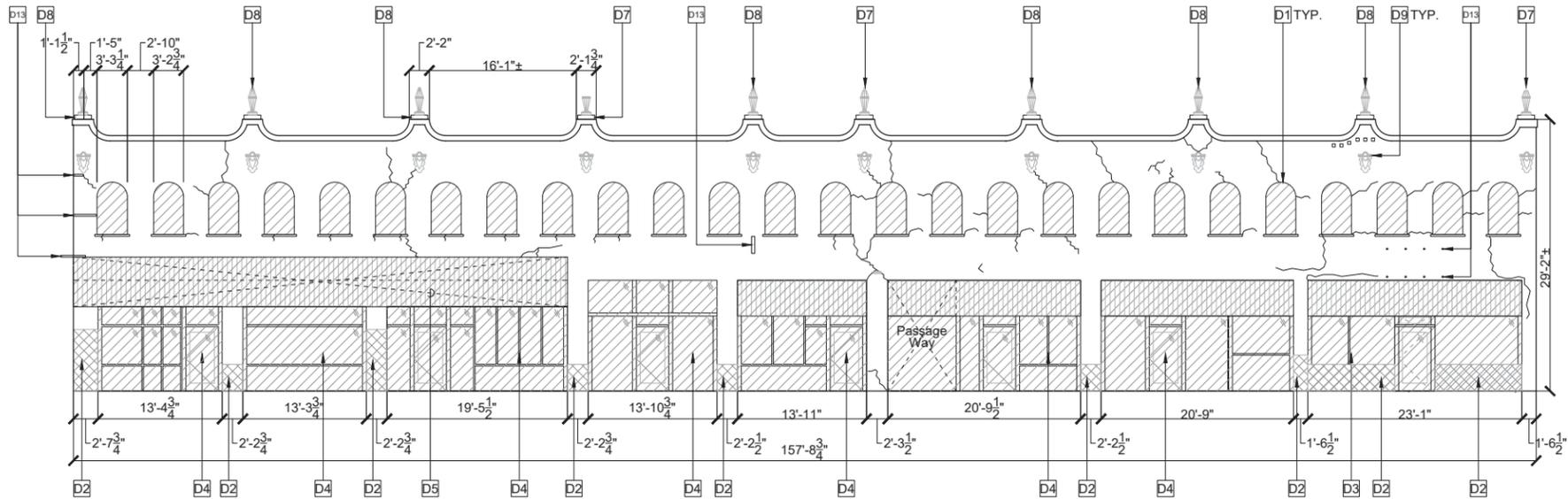
SCALE: 1/8" = 1'

H1.0
2013-420 02/28/2017

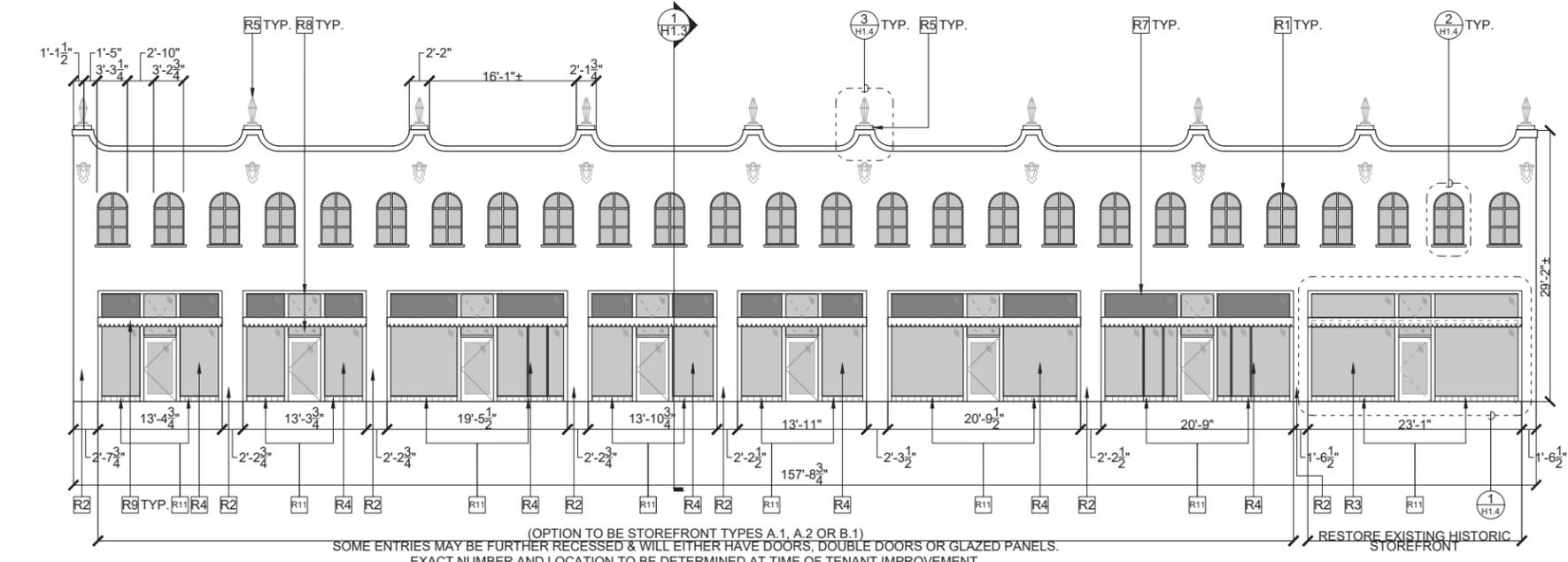
Partial Floor Plan at Historic Facade

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1 Existing Facade at South Elevation (Mission Inn Avenue)
Scale: 1/8" = 1'-0"



2 Proposed Restoration at South Elevation (Mission Inn Avenue)
Scale: 1/8" = 1'-0"

REHABILITATION KEY NOTES

- R1 RESTORE EXISTING WOOD CASEMENT WINDOWS. WINDOWS TO HAVE TRANSLUCENT GLASS. SEE DETAIL 2/H1.4 FOR ADDITIONAL NOTES.
- R2 REPAIR EXISTING DAMAGED PLASTER TYPICAL OR REPLACE WHERE PREVIOUSLY REMOVED OR AS A RESULT OF TILE OR STOREFRONT REMOVAL. MATCH ORIGINAL THICKNESS & TEXTURE. REPAIR W/JAHN PLASTER MORTAR OR PLASTER TO MATCH ORIGINAL MIX.
- R3 RESTORE EXTANT ORIGINAL WOOD STOREFRONT. SEE DETAIL 1/H1.4 FOR ADDITIONAL NOTES.
- R4 NEW STOREFRONT AT MISSION INN AVE TO BE SIMILAR TO EXISTING ORIGINAL IN DOOR & TRANSOM ELEMENTS & DIMENSIONS. SEE DETAIL 1/H1.4 FOR ADDITIONAL NOTES. (N) STOREFRONT TO BE COMPATIBLE METAL. MATCH (E) SETBACK DIMENSIONS
- R5 NEW URN TO BE CAST FROM SILICONE MOLD OF ORIGINAL. NEW URN TO BE GFRC OR FRP & MATCH ORIGINAL PROFILE & DIMENSIONS. FINISH TO MATCH (E) COLOR & GLOSS SHEEN.
- R6 NEW ARCHED WINDOW WITH SHED ROOF TO MATCH ORIGINAL
- R7 OPAQUE PANEL TO MATCH HISTORIC PHOTOGRAPH. PANEL TO BE GLASS W/OPAQUE FILM.
- R8 OPERABLE TRANSOM WINDOW (INSWING HOPPER)
- R9 FUTURE RETRACTABLE AWNINGS. AWNINGS TO BE RESTRICTED TO TRANSOM BAR LOCATION AS SHOWN & NOT COVER TRANSOMS ABOVE. SCALLOPED VALANCE TO MATCH HISTORIC PHOTOGRAPH.
- R10 NEW STOREFRONT AT MARKET ST. TO BE COMPATIBLE METAL SIMILAR TO MISSION INN AVE. STOREFRONTS. DIMENSIONS OF TRANSOM & SILL TO MATCH HISTORIC PHOTOGRAPHS.
- R11 TILE SILL WALL TO REPLICATE HISTORIC PHOTO
- R12 CEMENT PLASTER SILL WALL TO REPLICATE HISTORIC PHOTO

SELECTIVE AND CONTROLLED REMOVAL KEY NOTES

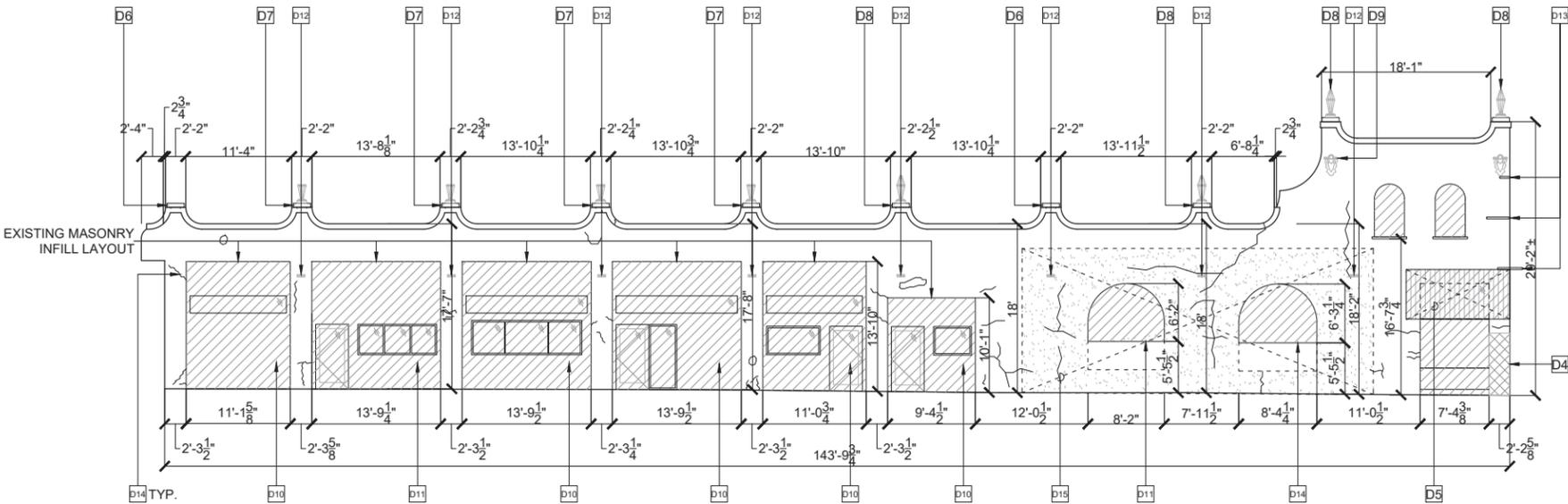
- D1 REMOVE (E) PLYWOOD COVERING TO EXPOSE ORIGINAL WINDOWS UNDERNEATH, PROTECT ORIGINAL WINDOW FROM DAMAGE DURING REMOVAL
- D2 REMOVE (E) NON-HISTORIC TILE WAINSCOT
- D3 REMOVE (E) PLYWOOD COVERING & NON-HISTORIC STOREFRONT GLAZING & WAINSCOT. PROTECT & RETAIN ORIGINAL WOOD STOREFRONT SILL, JAMB, & TRANSOM FRAMING, TRIM & ANY ORIGINAL UNBROKEN GLAZING
- D4 REMOVE ALL NON-HISTORIC STOREFRONT. PROTECT & PRESERVE ALL ADJACENT PLASTER FINISH MATERIALS. NOTIFY PRESERVATION ARCHITECT OF ANY DISCOVERED ENCAPSULATED ORIGINAL MATERIAL PRIOR TO REMOVAL
- D5 REMOVE NON-ORIGINAL SIGNAGE AND COVERING
- D6 EXISTING MISSING TERRA COTTA URN LOCATION
- D7 EXISTING DAMAGED & PARTIALLY MISSING TERRA COTTA URN. REMOVE & SALVAGE URNS FOR FUTURE DISPLAY
- D8 EXISTING TERRA COTTA URN WITH MINOR DETERIORATION
- D9 PRESERVE EXISTING ORIGINAL CAST STONE CARTOUCHE. VERIFY THAT THEY ARE SECURELY ATTACHED. USE STAINLESS STEEL ANCHORS & PATCH W/JAHN MORTAR AS REQUIRED.
- D10 REMOVE (E) NON-HISTORIC MASONRY INFILL & STOREFRONT INCLUDING DOOR & WINDOW ASSEMBLES.
- D11 REMOVE EXISTING NON-HISTORIC MASONRY INFILL. LOWER OPENING TO ORIGINAL SILL HEIGHT
- D12 EXISTING METAL DETAIL TO REMAIN
- D13 EXISTING ABANDONED METAL SIGN SUPPORTS TO BE REMOVED
- D14 EXISTING PLASTER CRACKS. ROUT FULL EXTENT OF CRACK TO SOUND MATERIAL AND KEY. CRACKS SHOWN ARE ONLY OBSERVABLE AT SURFACE PLASTER ONLY WITH NO MEASURABLE OFFSET. AFTER ROUTING PLASTER TO SUBSTRATE, REPORT IF ANY CRACKS OCCUR IN THE UN-REINFORCED MASONRY SUBSTRATE TO ARCHITECT. INJECT CRACKS W/EPXOXY OR REPAIR W/JAHN MORTAR AS DETERMINED NECESSARY.
- D15 EXISTING PLASTER AREA WITH CRACKS & POORLY MATCHED PREVIOUS PATCHING. REMOVE EXTENT OF PLASTER SHOWN POCHED. SEE D14 FOR ADDITIONAL NOTES
- D16 REMOVE (E) THROUGH-WALL BOLTS AFTER SHORING COMPLETE DURING REMOVAL OF ROOF & INTERIOR BUILDING STRUCTURE.

REHABILITATION SHEET NOTES

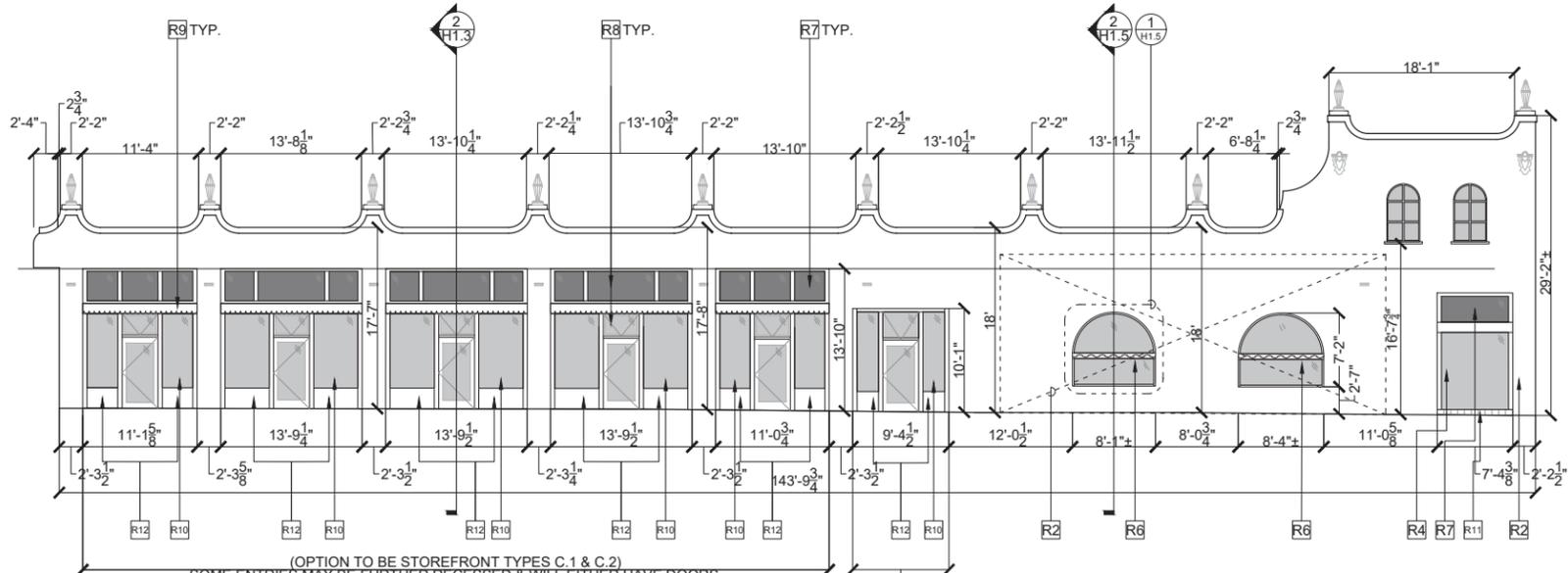
1. REPOINT EXISTING BRICK MASONRY AS REQUIRED THAT IS EXPOSED WITH DAMAGED MORTAR JOINTS. ANALYZE EXISTING MORTAR COMPOSITION & REPOINT WITH IN-KIND MORTAR MIX. MATCH POINTING PROFILES AT HEAD AND BED JAMB.
2. REPAINT ENTIRE FACADE. COLORS TBD AFTER PAINT & CHRONOLOGY ANALYSIS
3. DOCUMENT SIZES AND LOCATIONS OF ORIGINAL GRANITE CURBS & GUTTERS; REPOSITION CURBS IN THEIR ORIGINAL POSITIONS & ALIGNMENTS. SIDEWALK TO BE WIDENED, MEETING CURRENT RIVERSIDE PUBLIC WORKS REQUIREMENTS.

REHABILITATION SEQUENCING

1. REVIEW WITH HISTORIC CONSULTANT & DETERMINE URNS SUFFICIENTLY INTACT TO SALVAGE. REMOVE URNS & STORE. ENSURE ALL 2ND FLOOR WINDOWS ARE COVERED WITH PLYWOOD PROTECTION AS REQUIRED.
2. INSTALL SHORING & CONSTRUCTION BARRICADE PER SHORING ENGINEER DESIGN
3. SELECTIVELY REMOVE INTERIOR BUILDING & PROTECT (E) FACADE FROM DAMAGE. SELECTIVELY REMOVE NON-ORIGINAL STOREFRONTS
4. INSTALL NEW SHORTCRETE & BUILDING STRUCTURE
5. PERFORM WALL REPAIRS & DECORATIVE ELEMENT REPAIRS
6. PERFORM STOREFRONT INSTALLATION, WINDOW REHABILITATION, URN REPLICATION & PAINT



1 Existing Facade at West Elevation (Market Street)
Scale: 1/8" = 1'-0"



2 Proposed Restoration at West Elevation (Market Street)
Scale: 1/8" = 1'-0"

REHABILITATION KEY NOTES

- R1 RESTORE EXISTING WOOD CASEMENT WINDOWS. WINDOWS TO HAVE TRANSLUCENT GLASS. SEE DETAIL 2/H1.4 FOR ADDITIONAL NOTES.
- R2 REPAIR EXISTING DAMAGED PLASTER TYPICAL OR REPLACE WHERE PREVIOUSLY REMOVED OR AS A RESULT OF TILE OR STOREFRONT REMOVAL. MATCH ORIGINAL THICKNESS & TEXTURE. REPAIR W/JAHN PLASTER MORTAR OR PLASTER TO MATCH ORIGINAL MIX.
- R3 RESTORE EXTANT ORIGINAL WOOD STOREFRONT. SEE DETAIL 1/H1.4 FOR ADDITIONAL NOTES.
- R4 NEW STOREFRONT AT MISSION INN AVE TO BE SIMILAR TO EXISTING ORIGINAL IN DOOR & TRANSOM ELEMENTS & DIMENSIONS. SEE DETAIL 1/H1.4 FOR ADDITIONAL NOTES. (N) STOREFRONT TO BE COMPATIBLE METAL. MATCH (E) SETBACK DIMENSIONS
- R5 NEW URN TO BE CAST FROM SILICONE MOLD OF ORIGINAL. NEW URN TO BE GFRC OR FRP & MATCH ORIGINAL PROFILE & DIMENSIONS. FINISH TO MATCH (E) COLOR & GLOSS SHEEN.
- R6 NEW ARCHED WINDOW WITH SHED ROOF TO MATCH ORIGINAL
- R7 OPAQUE PANEL TO MATCH HISTORIC PHOTOGRAPH. PANEL TO BE GLASS W/OPAQUE FILM.
- R8 OPERABLE TRANSOM WINDOW (IN SWING HOPPER)
- R9 FUTURE RETRACTABLE AWNINGS. AWNINGS TO BE RESTRICTED TO TRANSOM BAR LOCATION AS SHOWN & NOT COVER TRANSOMS ABOVE. SCALLOPED VALANCE TO MATCH HISTORIC PHOTOGRAPH.
- R10 NEW STOREFRONT AT MARKET ST. TO BE COMPATIBLE METAL SIMILAR TO MISSION INN AVE. STOREFRONTS. DIMENSIONS OF TRANSOM & SILL TO MATCH HISTORIC PHOTOGRAPHS.
- R11 TILE SILL WALL TO REPLICATE HISTORIC PHOTO
- R12 CEMENT PLASTER SILL WALL TO REPLICATE HISTORIC PHOTO

SELECTIVE AND CONTROLLED REMOVAL KEY NOTES

- D1 REMOVE (E) PLYWOOD COVERING TO EXPOSE ORIGINAL WINDOWS UNDERNEATH, PROTECT ORIGINAL WINDOW FROM DAMAGE DURING REMOVAL
- D2 REMOVE (E) NON-HISTORIC TILE WAINSCOT
- D3 REMOVE (E) PLYWOOD COVERING & NON-HISTORIC STOREFRONT GLAZING & WAINSCOT. PROTECT & RETAIN ORIGINAL WOOD STOREFRONT SILL, JAMB, & TRANSOM FRAMING, TRIM & ANY ORIGINAL UNBROKEN GLAZING
- D4 REMOVE ALL NON-HISTORIC STOREFRONT. PROTECT & PRESERVE ALL ADJACENT PLASTER FINISH MATERIALS. NOTIFY PRESERVATION ARCHITECT OF ANY DISCOVERED ENCAPSULATED ORIGINAL MATERIAL PRIOR TO REMOVAL
- D5 REMOVE NON-ORIGINAL SIGNAGE AND COVERING
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- D8 EXISTING TERRA COTTA URN WITH MINOR DETERIORATION ORIGINAL
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- D12 EXISTING METAL DETAIL TO REMAIN
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- D14 EXISTING PLASTER CRACKS. ROUT FULL EXTENT OF CRACK TO SOUND MATERIAL AND KEY. CRACKS SHOWN ARE ONLY OBSERVABLE AT SURFACE PLASTER ONLY WITH NO MEASURABLE OFFSET. AFTER ROUTING PLASTER TO SUBSTRATE, REPORT IF ANY CRACKS OCCUR IN THE UN-REINFORCED MASONRY SUBSTRATE TO ARCHITECT. INJECT CRACKS W/EPXOXY OR REPAIR W/JAHN MORTAR AS DETERMINED NECESSARY.
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- D16 REMOVE (E) THROUGH-WALL BOLTS AFTER SHORING COMPLETE DURING REMOVAL OF ROOF & INTERIOR BUILDING STRUCTURE.

REHABILITATION SHEET NOTES

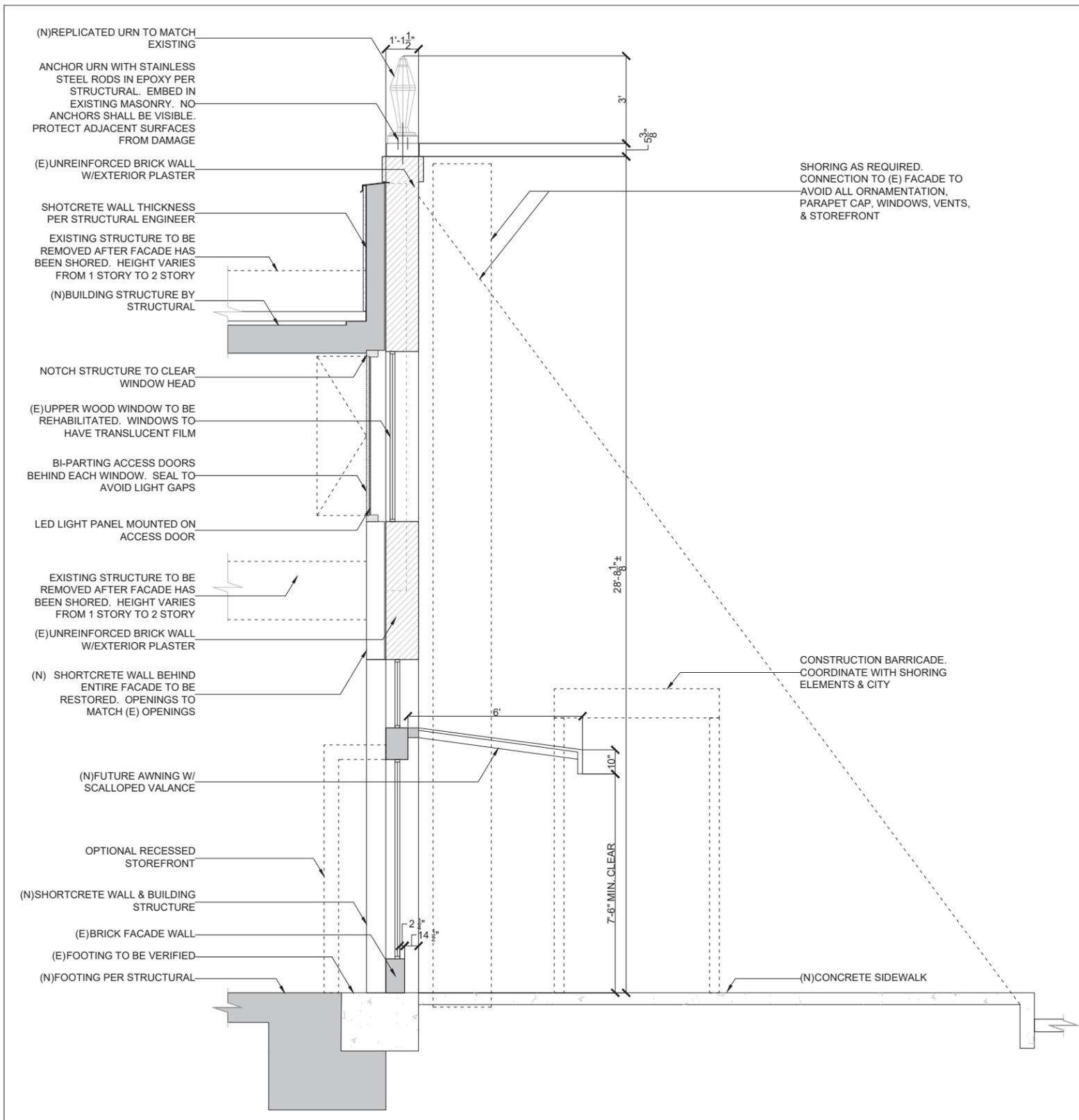
1. REPOINT EXISTING BRICK MASONRY AS REQUIRED THAT IS EXPOSED WITH DAMAGED MORTAR JOINTS. ANALYZE EXISTING MORTAR COMPOSITION & REPOINT WITH IN-KIND MORTAR MIX. MATCH POINTING PROFILES AT HEAD AND BED JAMB.
2. REPAINT ENTIRE FACADE. COLORS TBD AFTER PAINT & CHRONOLOGY ANALYSIS
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REHABILITATION SEQUENCING

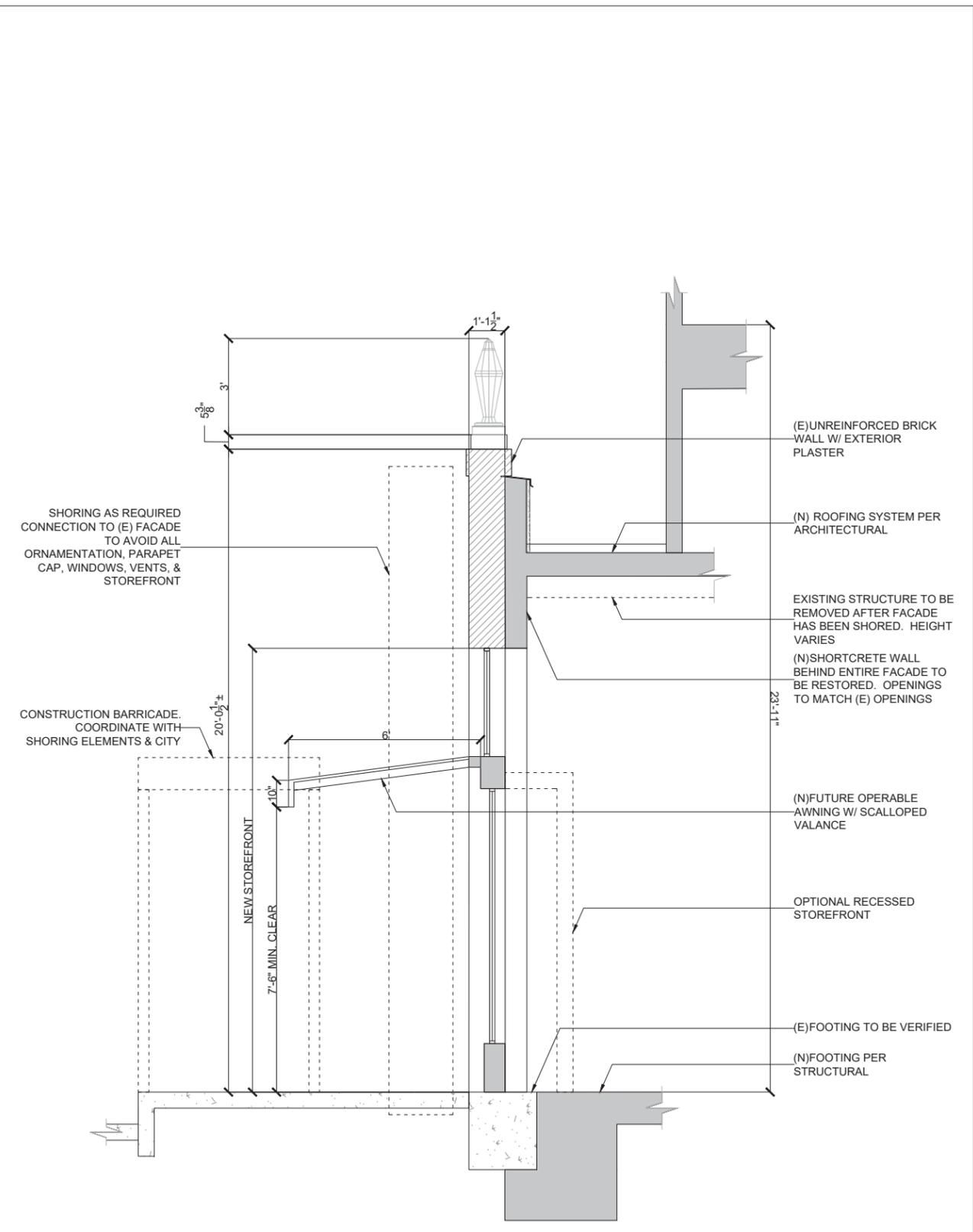
1. REVIEW WITH HISTORIC CONSULTANT & DETERMINE URNS SUFFICIENTLY INTACT TO SALVAGE. REMOVE URNS & STORE. ENSURE ALL 2ND FLOOR WINDOWS ARE COVERED WITH PLYWOOD PROTECTION AS REQUIRED.
2. INSTALL SHORING & CONSTRUCTION BARRICADE PER SHORING ENGINEER DESIGN
3. SELECTIVELY REMOVE INTERIOR BUILDING & PROTECT (E) FACADE FROM DAMAGE. SELECTIVELY REMOVE NON-ORIGINAL STOREFRONTS
4. INSTALL NEW SHORTCRETE & BUILDING STRUCTURE
5. PERFORM WALL REPAIRS & DECORATIVE ELEMENT REPAIRS
6. PERFORM STOREFRONT INSTALLATION, WINDOW REHABILITATION, URN REPLICATION & PAINT

SELECTIVE AND CONTROLLED REMOVAL SHEET NOTES

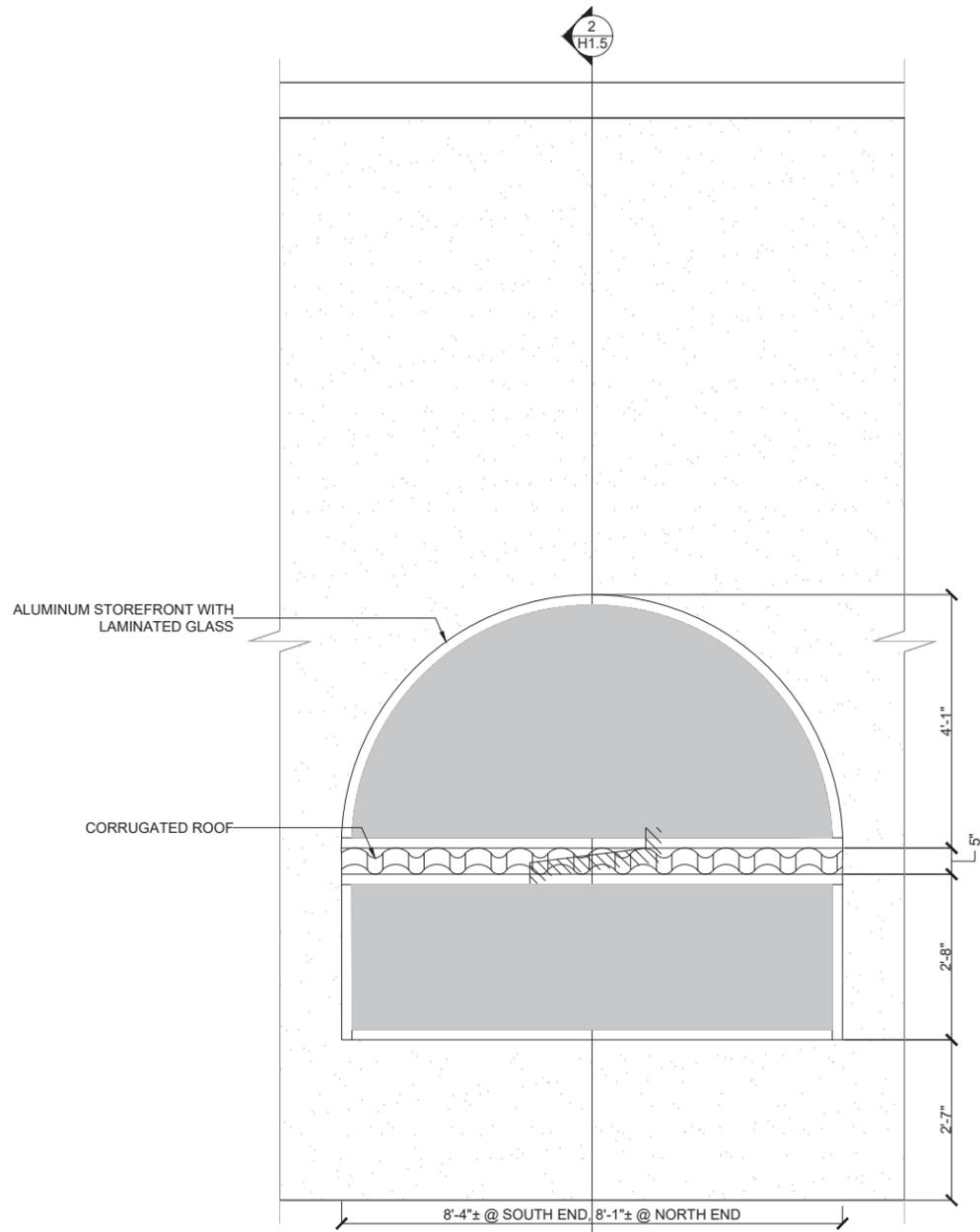
1. PROTECT (E) HISTORIC MATERIAL TO REMAIN FROM DAMAGE. REMOVE ONLY MATERIAL SPECIFICALLY NOTED. COMPLY WITH RECOMMENDATIONS FROM NPS PRESERVATION TECH NOTES 1-3 ON TEMPORARY PROTECTION
2. COORDINATE W/PRESERVATION CONSULTANT ON SITE PRIOR TO THE START OF WORK.
3. PROVIDE CONSTRUCTION BARRIER TO SEPARATE HISTORIC FACADE FROM PUBLIC ACCESS DURING CONSTRUCTION.
4. SHORING SHOULD NOT TOUCH EXISTING PARAPET CAP, WINDOWS, OR CARTOUCHE. SHORING ATTACHMENTS SHALL BE MINIMAL AND ONLY OCCUR IN FLAT PLASTER AREA.
5. DOCUMENT (PHOTOGRAPH, NUMBER, & TAG) URNS REMOVED. CRATE AND BUBBLE WRAP URNS & STORE FOR FUTURE RELOCATION IN PROJECT. COORDINATE STORAGE LOCATION W/OWNER'S REP.



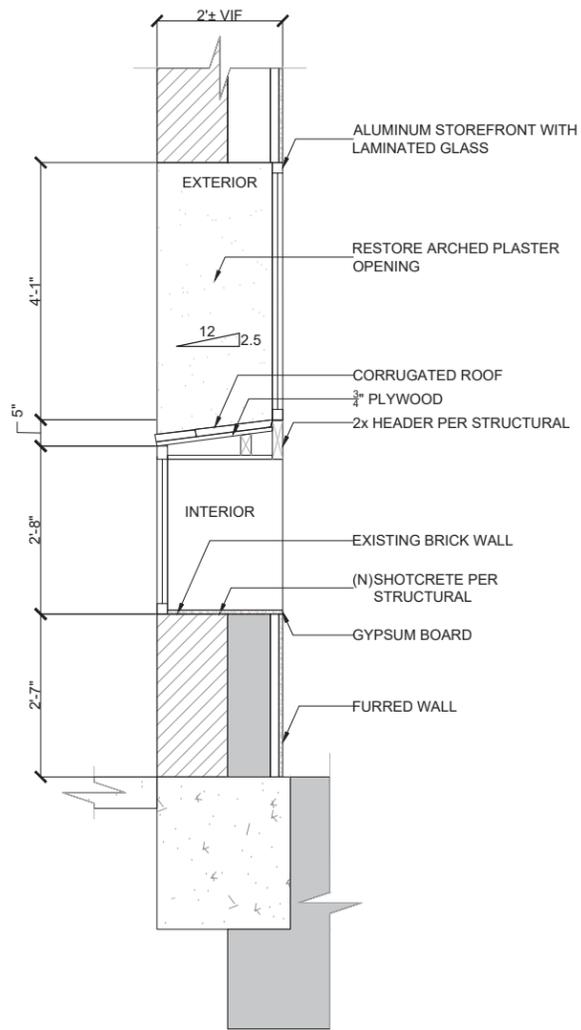
① Proposed Facade Rehabilitation Sections - Mission Inn Ave.
Scale: 1/2" = 1'-0"



② Proposed Facade Rehabilitation Sections - Market Street
Scale: 1/2" = 1'-0"



① Arched Shed Window Rehabilitation
Scale: 3/4" = 1'-0"



② Proposed Facade Rehabilitation Section - Market Street @ Arched Window
Scale: 3/4" = 1'-0"

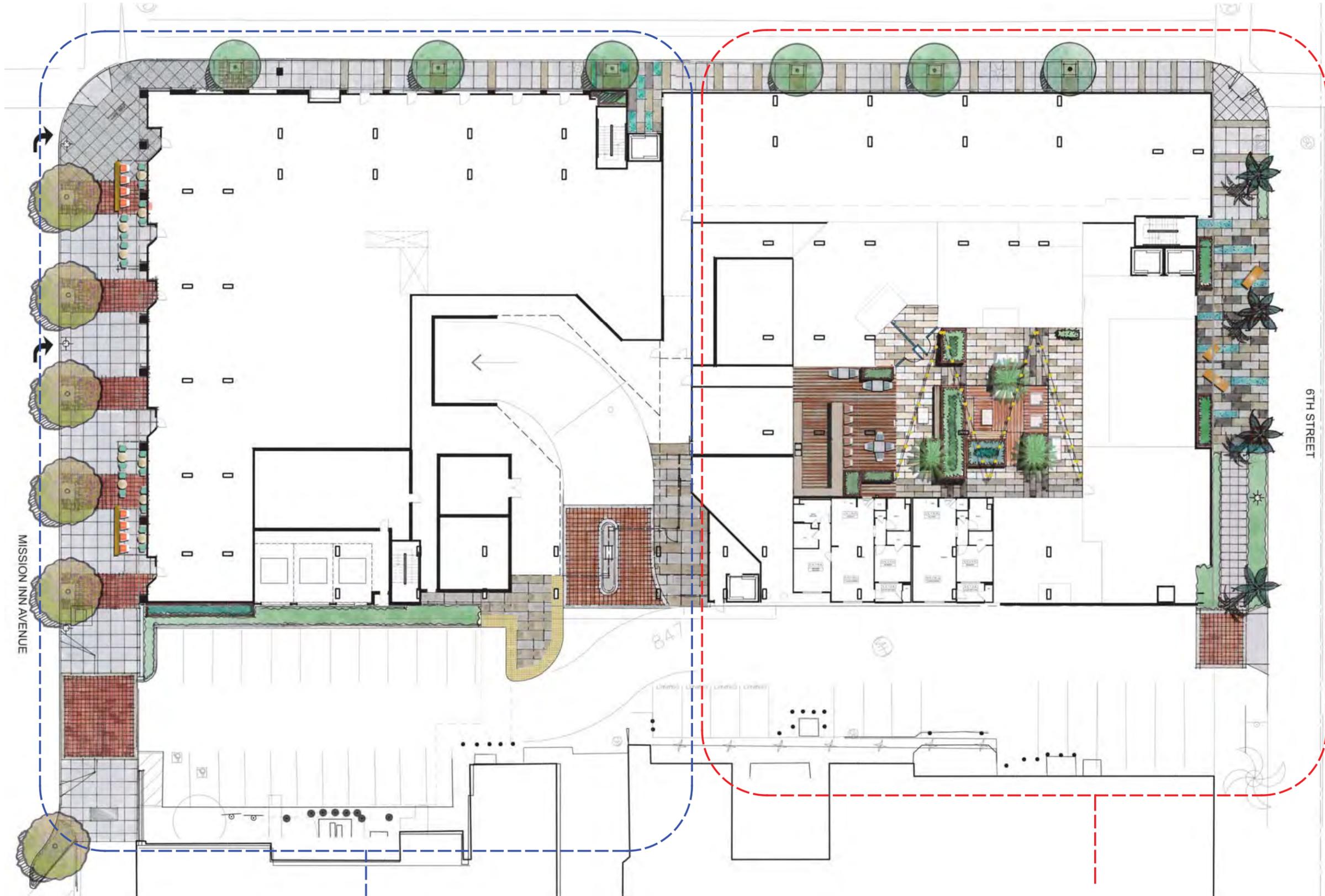
NOTES

DOORS TO BE OPTIONAL SINGLES, DOUBLE OR FIXED GLAZED PANEL.
SWING DIRECTION WILL BE DETERMINED AT TIME OF TENANT
IMPROVEMENT.

| | | |
|-----|------------------|--|
| A.1 | | |
| | FURTHER RECESSED | |
| A.2 | | |
| | FURTHER RECESSED | |
| B.1 | | |
| | FURTHER RECESSED | |
| C | | |
| | FURTHER RECESSED | |
| C.1 | | |
| | FURTHER RECESSED | |
| C.2 | | |
| | FURTHER RECESSED | |

③ Storefront Schedule
Scale: 3/16" = 1'-0"





. STREET LEVEL MISSION INN AVE. ENLARGEMENT.
SEE SHEET L-4

. STREET LEVEL 6TH STREET ENLARGEMENT.
SEE SHEET L-3



Exhibit 4 P16-0323 Project Plans

STALDER PLAZA RIVERSIDE, CA

REGIONAL PROPERTIES

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L-1

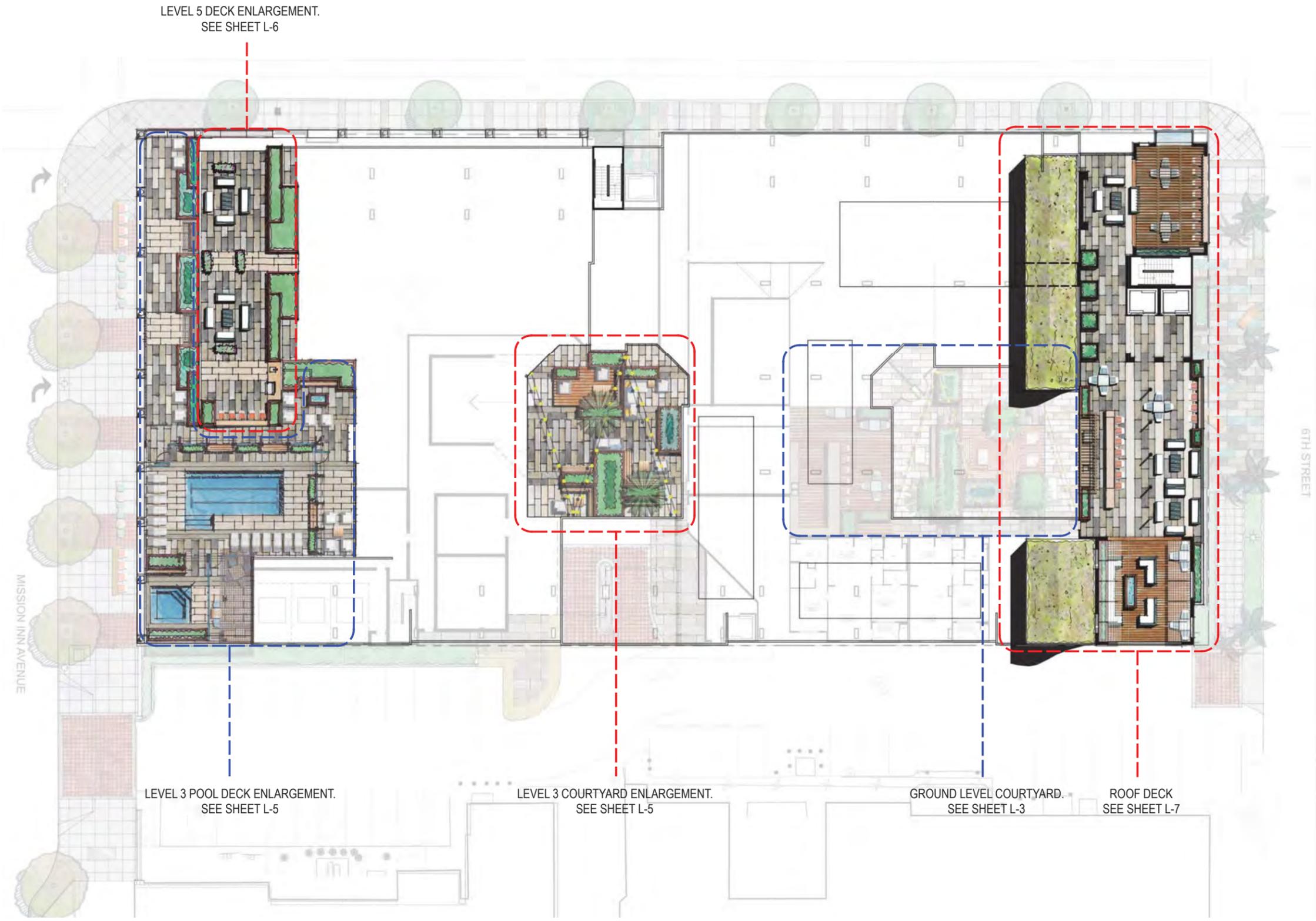
1613 12.21.2016

OVERALL PLAN AT STREET LEVEL



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LEVEL 5 DECK ENLARGEMENT.
SEE SHEET L-6

LEVEL 3 POOL DECK ENLARGEMENT.
SEE SHEET L-5

LEVEL 3 COURTYARD ENLARGEMENT.
SEE SHEET L-5

GROUND LEVEL COURTYARD.
SEE SHEET L-3

ROOF DECK
SEE SHEET L-7

MISSION INN AVENUE

6TH STREET

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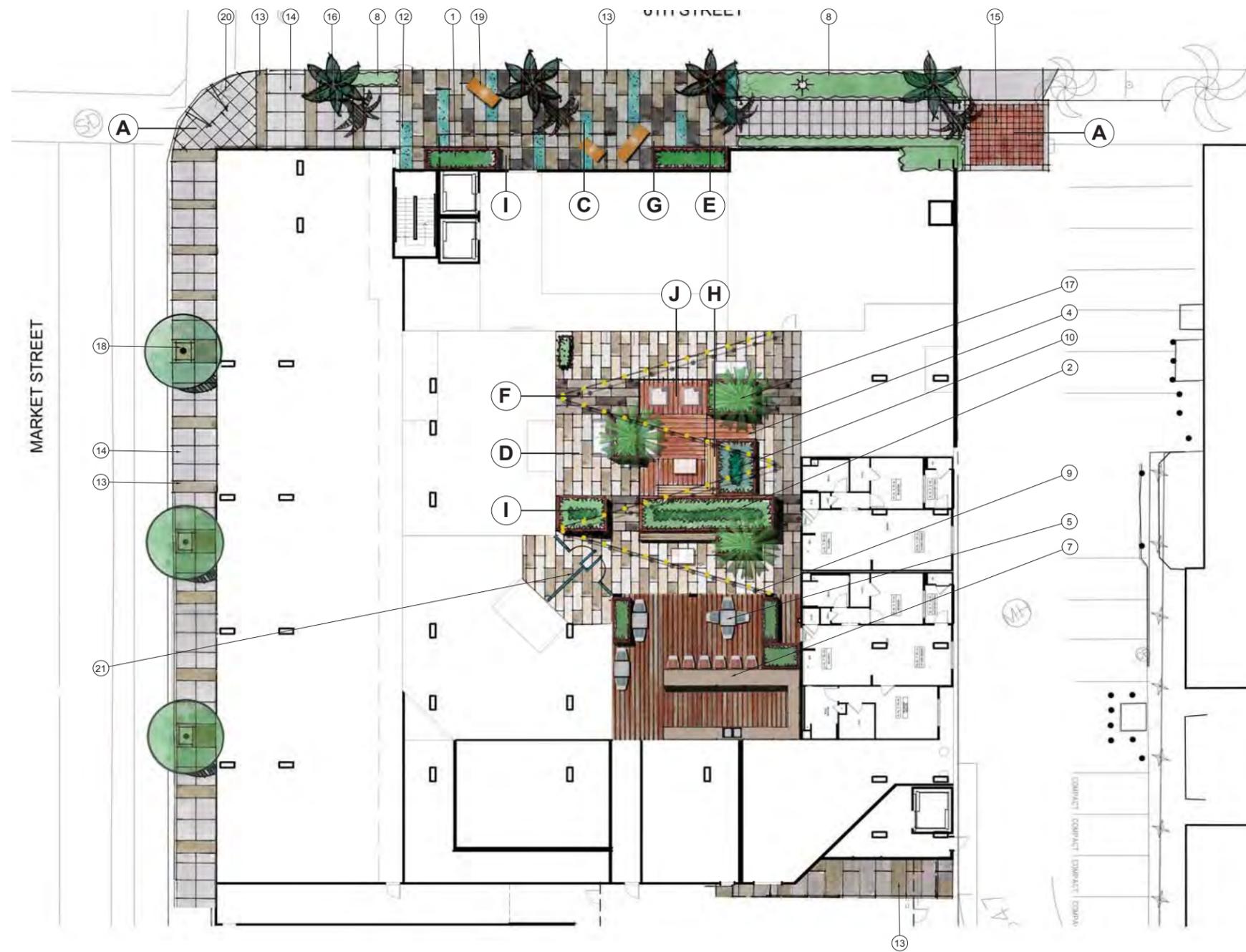
OVERALL DECKS AND COURTYARD PLAN **L-2**
1613 12.21.2016



**ARCHITERRA
DESIGN GROUP**
LANDSCAPE ARCHITECTURE AND PLANNING
1000 N. TULSA AVE. SUITE 100
ORANGE, CA 92668

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FEATURE LEGEND:

- ① RAISED PLANTER BED.
- ② RAISED PLANTER W/ BUILT-IN SEATING
- ③ PORTABLE SEATING W/ CUSION.
- ④ RAISED WOOD COMPOSITE OR PAVER DECKING SEATING AREA W/ RAMP ACCESS.
- ⑤ PORTABLE FURNITURE.
- ⑥ PODIUM CONCRETE PAVERS.
- ⑦ BAR SEATING AND BUILT-IN SINK/ SERVING AREA.
- ⑧ PLANTING AREA AT GRADE LEVEL.
- ⑨ STRING LIGHTING.
- ⑩ IN-GROUND WQMP PLANTER FLOW-THROUGH TO PARKING BELOW.
- ⑪ RAISED WQMP PLANTER FROM ROOF DRAIN.
- ⑫ GLASS SEEDED CONCRETE.
- ⑬ COLORED CONCRETE.
- ⑭ STANDARD GRAY CONCRETE SIDEWALK.
- ⑮ BURNISHED CONCRETE UNIT PAVER.
- ⑯ QUEEN PALM STREET TREE W/ CORTEN STEEL TREE GRATE.
- ⑰ KENTIA PALM TREE.
- ⑱ PODOCARPUS STREET TREE W/ TREE GRATE.
- ⑲ SIGNATURE SEATING BLOCKS WITH LED ILLUMINATED INTERIOR.
- ⑳ ENHANCED CONCRETE FINISH.
- ㉑ LOW PRIVATE COURTYARD FENCE AND GATE.

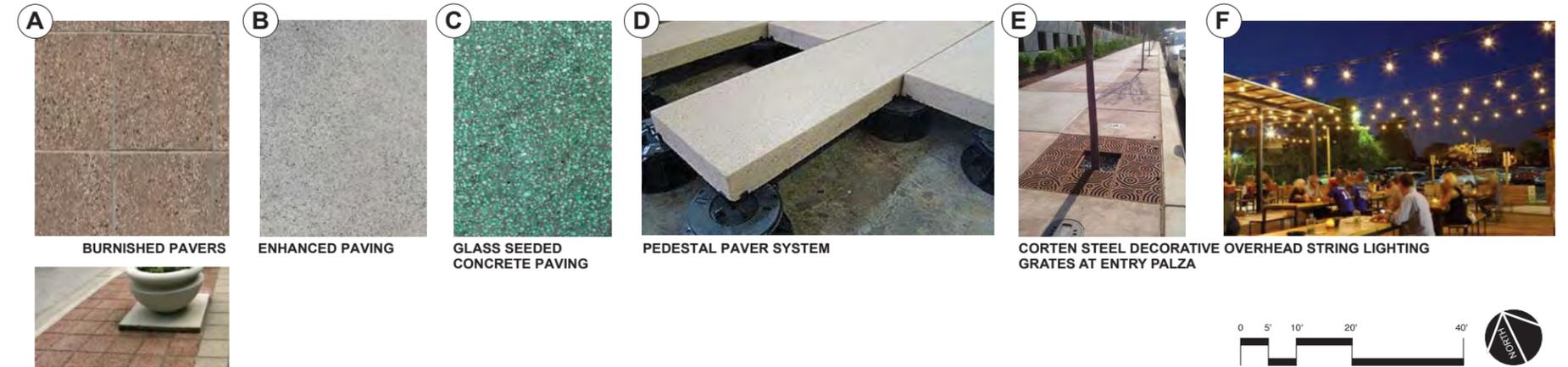


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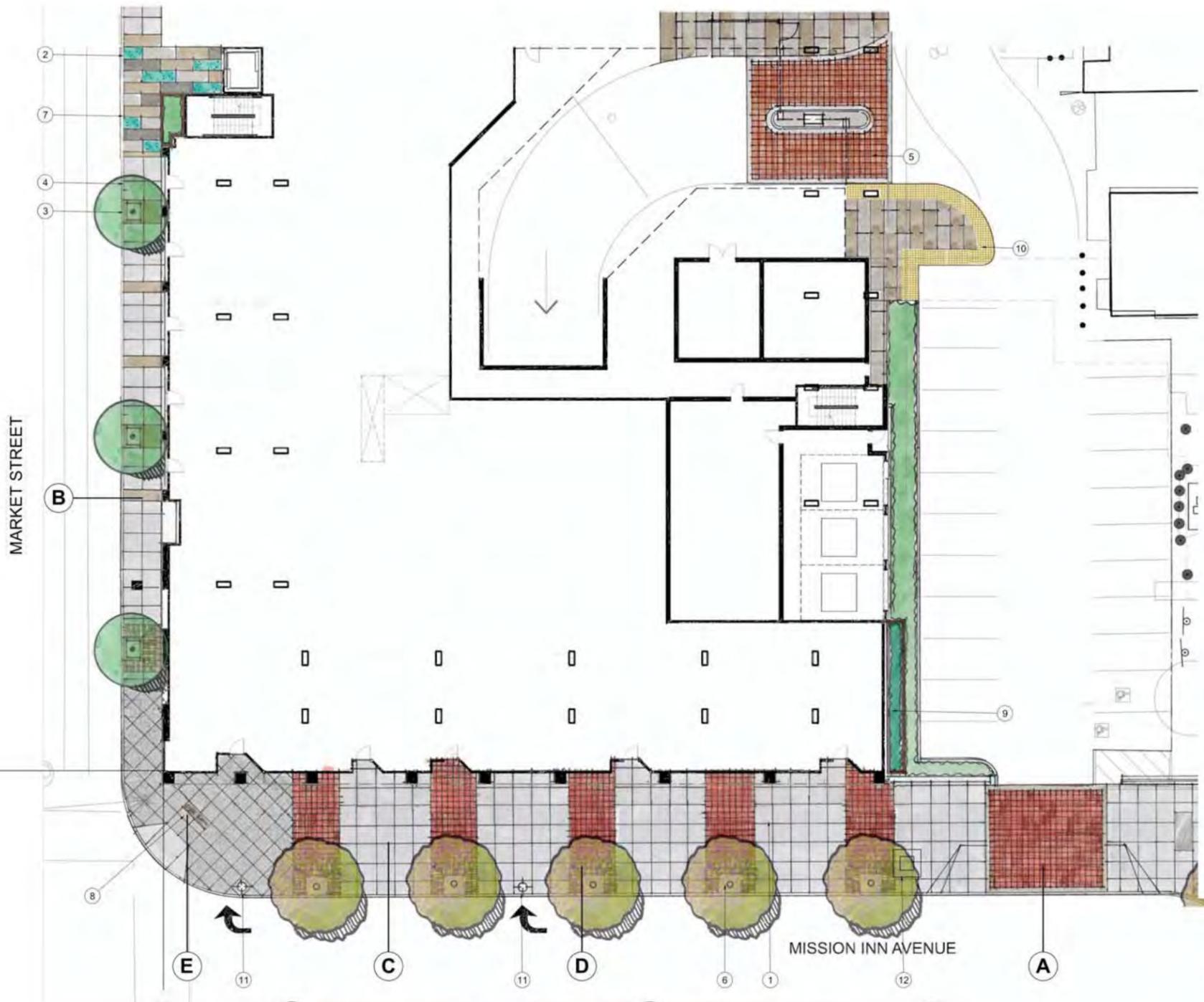
6th STREET AT STREET LEVEL



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L-3
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FEATURE LEGEND:

- ① OUTDOOR DINING.
- ② GLASS SEEDED CONCRETE.
- ③ COLORED CONCRETE.
- ④ STANDARD GRAY CONCRETE SIDEWALK.
- ⑤ BURNISHED CONCRETE UNIT PAVER.
- ⑥ TABEBUIA STREET TREE AT MISSION INN AVE.
- ⑦ PODOCARPUS STREET TREE IN TREE GRATE.
- ⑧ SIGNATURE CONCRETE INLAY AT CORNER.
- ⑨ RAISED WQMP PLANTER FROM ROOF DRAIN.
- ⑩ TRUNCATED DOMES AT ZERO CURB.
- ⑪ CITY OF RIVERSIE HISTORICAL LIGHT POST.
- ⑫ TRANSFORMER SWITCH GEAR BOX.



OUTDOOR DINING



TABEBUIA STREET TREE



SIGNATURE CONCRETE INLAY



BURNISHED PAVERS



ENHANCED PAVING BANDS



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MISSION INN AVE. AT STREET LEVEL



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DECKING, PORTABLE SEATING, AND RAISED PLANTER



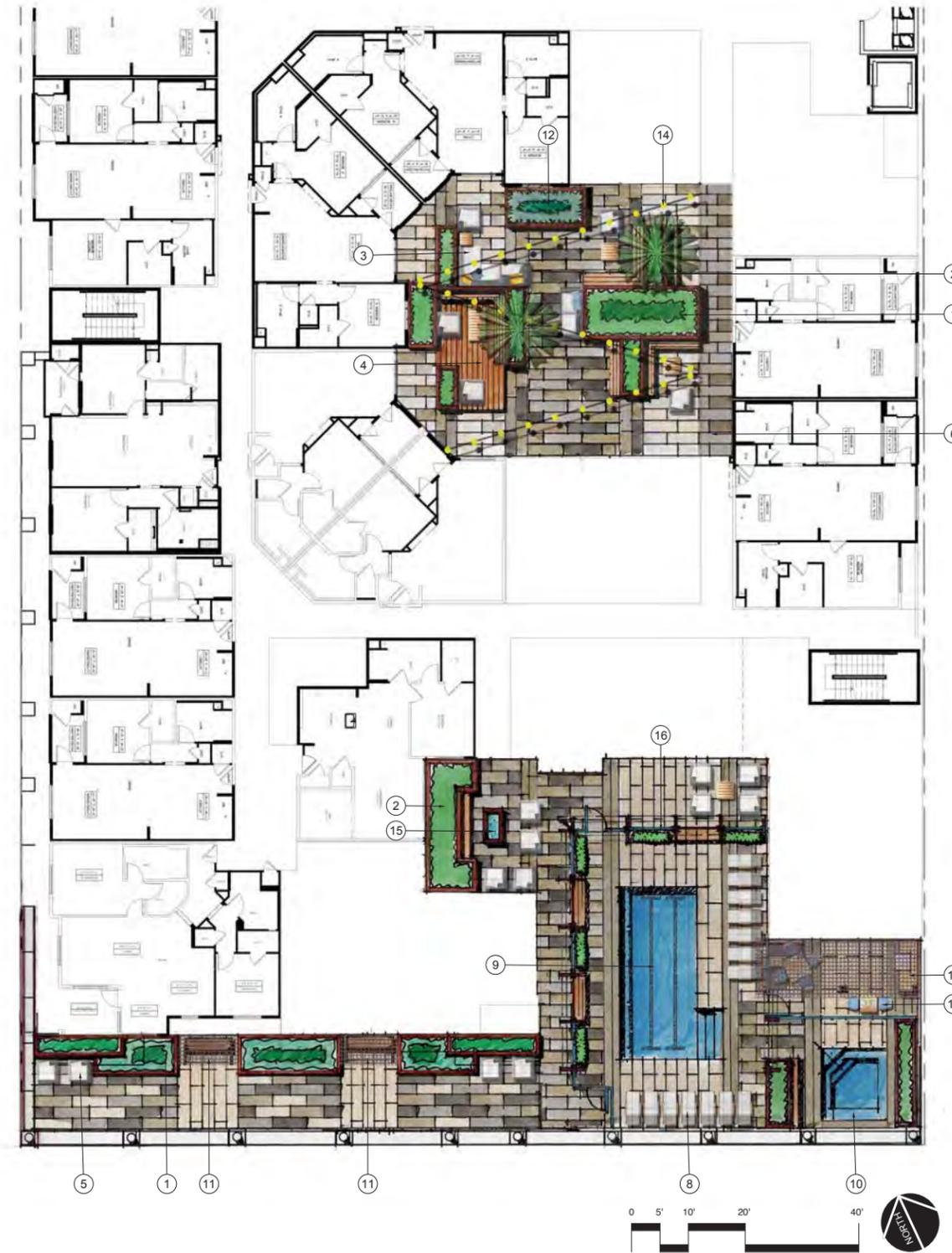
POOL DECK AND LOUNGE AREAS



WOOD DECKING WITH BUILT-IN SEATING

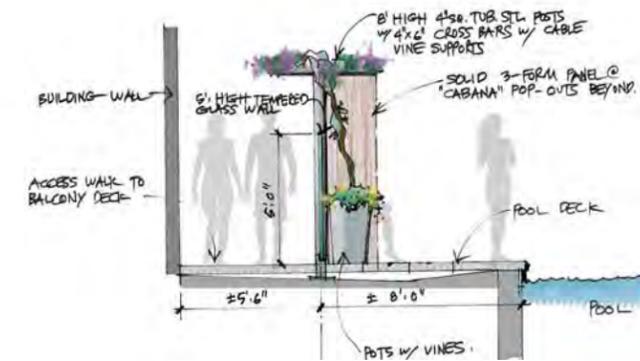


RAISED CORTEN STEEL PLANTER



FEATURE LEGEND:

- ① RAISED PLANTER BED.
- ② RAISED PLANTER W/ BUILT-IN SEATING
- ③ PORTABLE SEATING W/ CUSHION.
- ④ OMITTED.
- ⑤ PORTABLE FURNITURE.
- ⑥ PODIUM CONCRETE PAVERS.
- ⑦ PODIUM CONCRETE PAVER ACCENT BAND.
- ⑧ POOL LOUNGE FURNISHING.
- ⑨ POOL.
- ⑩ SPA.
- ⑪ ARCHITECTURAL OVERHEAD TRELLIS.
- ⑫ WQMP PLANTER FROM ROOF DRAIN.
- ⑬ ENCLOSED SEATING AREA EXTENDING FROM INTERIOR.
- ⑭ STRING LIGHTING.
- ⑮ FIRE PIT.
- ⑯ 5' HIGH POOL ENCLOSURE WITH SEATING NOOKS AND OVERHEAD CABLE TRELLIS.



POOL ENCLOSURE SECTION



POOL ENCLOSURE ELEVATION

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L-5 1613 12.21.2016

3RD FLOOR COURTYARD, POOL, AND DECK AREA



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FEATURE LEGEND:

- ① RAISED PLANTER BED.
- ② PORTABLE FURNITURE
- ③ PODIUM CONCRETE PAVERS.
- ④ BAR SEATING AND BUILT-IN SINK/ SERVING AREA.
- ⑤ BARBECUE AND SINK.



TABLE AND BAR SEATING AT DECK



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L-6
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5TH FLOOR ROOF DECK
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MOVIE PROJECTOR WALL



SLOPED GREEN ROOF



GREEN ROOF



BAR SEATING WITH A VIEW



FEATURE LEGEND:

- ① RAISED PLANTER BED.
- ② MOVIE PROJECTOR WALL.
- ③ PORTABLE FURNITURE.
- ④ CONCRETE UNIT PAVER ON PEDESTAL SYSTEM.
- ⑤ WOOD DECKING ON PEDESTAL SYSTEM.
- ⑥ BAR SEATING.
- ⑦ SLOPED ROOF GARDEN UTILITY SCREEN.
- ⑧ OUTDOOR ROOM W/ ARCHITECTURAL OVERHEAD.
- ⑨ BUILT-IN GRILLING STATION.
- ⑩ BAR SEATING.
- ⑪ OVERHEAD TRELLIS.
- ⑫ POLE LIGHTING.
- ⑬ GAS FIREPIT.
- ⑭ RAISED CULINARY PLANTING BEDS.
- ⑮ GLASS BOTTOM BALCONY PER ARCHITECT.
- ⑯ ELEVATOR



FIREPIT WITH SOFA STYLE SEATING



GRILLING SPACE WITH TRELLIS STRUCTURE

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L-7
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TOP FLOOR ROOF DECK AND GREEN ROOF



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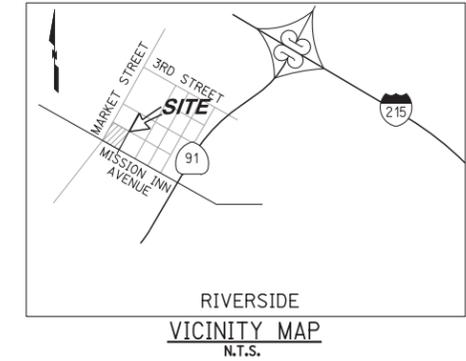
| | |
|--|--------------------------------|
| Trees | |
| Botanical Name | Common Name |
| Syagrus romanzoffianum | Queen Palm |
| Podocarpus gracilior | Fern Pine |
| Washingtonia filifera | California Fan Palm |
| *Howea forsteriana | Paradise Palm |
| *Rhaphis humilis | Slender Lady Palm |
| Parkinsonia x 'Desert Museum' | Palo Verde |
| Shrubs | |
| Botanical Name | Common Name |
| Aloe ferox | Bitter Aloe |
| Aloe striata | Coral Aloe |
| Senecio serpens | Blue Chalk Sticks |
| *Clivia miniata | Kaffir Lily |
| *Sansevieria trifasciata | Mother in-Laws Tongue |
| *Cyrtonium falcatum | Japanese Holly Fern |
| *Carex divulsa | Berkley Sedge |
| *Philodendron 'Xanadu' | NCN |
| *Dianella 'Little Rev' | Flax Lily |
| *Liriope m. 'Silver-Sunproof' | Sivery-Sunproof Lily Turf |
| Hesperaloe parviflora | Red Yucca |
| *Heuchera sanguinea | Coral Bells |
| *Juncus patens | California Gray Rush |
| Cycas revolta | Sago Palm |
| Phyllostachys nigra | Black Bamboo |
| Festuca g. 'Elijah Blue' | Blue Fescue |
| Green Roof Groundcovers | |
| Botanical Name | Common Name |
| Sedum rubrotinctum | Pork & Beans |
| Sedum rupestre 'Angeline' | Croked Stonecrop |
| Sedum spurium 'Dragons Blood' | Dragons Blood Stonecrop |
| Epilobium c. 'Everetts Choice' | Everetts Choice Calif. Fuchsia |
| Aloe brevifolia | Short Leaved Aloe |
| Vines | |
| Botanical Name | Common Name |
| Solandra maxima | Cup of Gold Vine |
| *Plants for shaded courtyards/ north face ground floor planters. | |

CONCEPTUAL PLANTING PALETTE

| | |
|---|----------------------|
| Project Information | |
| Total square footage of Landscape Area (including Special Landscape Area) LA= | 7,461 |
| Total square footage of Special Landscape Area SLA= | 100 |
| Hist. ETo for the area ETo= | 54.6 |
| Maximum Annual Water Allocation (MAWA) | |
| MAWA is calculated using the following formula: (Eto) (.62) [(0.45 x LA) + (0.55 x SLA)] gallons / yr | |
| MAWA is calculated using the following formula: (Eto) (.62) [(0.45 x LA) + (0.55 x SLA)] / 7 ccf / yr | |
| MAWA = | 115,518 gallons / yr |
| | 154 ccf / yr |
| Estimated Applied Water Use (EAWU) | |
| EAWU is calculated using the following formula: (Eto) (.62) [(PF x HA / IE)+ SLA] gallons / yr | |
| EAWU is calculated using the following formula: (Eto) (.62) [(PF x HA / IE)+ SLA] / 748 ccf / yr | |
| Hydrozone # 1: Shrubs-Low, Drip | |
| square footage of hydrozone | Plant Factor PF= 0.2 |
| HA= 2,691 (SLA=0) | |
| hydrozone irrigation efficiency IE= 0.81 | |
| #1 EAWU = 22,493 gallons / yr | |
| | 30 ccf / yr |
| Hydrozone # 2: Shrub-Mod, Drip | |
| square footage of hydrozone | Plant Factor PF= 0.5 |
| HA= 2,220 (SLA=0) | |
| hydrozone irrigation efficiency IE= 0.81 | |
| #2 EAWU = 46,390 gallons / yr | |
| | 62 ccf / yr |
| Hydrozone # 3: Pool-High | |
| square footage of hydrozone | Plant Factor PF= 0.8 |
| HA= 600 (SLA=0) | |
| hydrozone irrigation efficiency IE= 1 | |
| #3 EAWU = 16,249 gallons / yr | |
| | 22 ccf / yr |
| Hydrozone # 4: Greenroof-Low Spray | |
| square footage of hydrozone | Plant Factor PF= 0.2 |
| HA= 1,650 (SLA=0) | |
| hydrozone irrigation efficiency IE= 0.75 | |
| #4 EAWU = 16,700 gallons / yr | |
| | 22 ccf / yr |
| Hydrozone # 5: SLA/ Vegetable Drip | |
| square footage of hydrozone | Plant Factor PF= 0.8 |
| HA= 100 (SLA=0) | |
| hydrozone irrigation efficiency IE= 0.81 | |
| #5 EAWU = 3,385 gallons / yr | |
| | 5 ccf / yr |
| Total EAWU = | 105,217 gallons / yr |
| | 141 ccf / yr |
| MAWA - EAWU = | 10,301 gallons / yr |
| | 14 ccf / yr |

CONCEPTUAL WATER USE CALCULATIONS

IN THE CITY OF RIVERSIDE, CALIFORNIA
PLOT PLAN
 STALDER PLAZA



APPLICANT/OWNER/DEVELOPER

REGIONAL PROPERTIES
 9201 WILSHIRE BLVD, SUITE 103
 BEVERLY HILLS, CA 90210
 ATTN: MARK RUBIN
 PHONE: (310) 513-1776

ENGINEER

RICK ENGINEERING COMPANY
 1770 IOWA AVENUE, SUITE 100
 RIVERSIDE, CA 92507
 PHONE: (951) 782-0707
 FAX: (951) 782-0723
 ATT: KRISTIN WERKSMAN

ASSESSOR'S PARCEL NUMBER

231-222-001, -002, -003

SITE ADDRESS

3650 MARKET STREET
 RIVERSIDE, CA 92501

TOPOGRAPHY LEGEND

| | |
|------------------------------|-----|
| EXISTING BOLLARD | ● |
| EXISTING CATCH BASIN | ⊕ |
| EXISTING ELECTRICAL MANHOLE | ⊕ |
| EXISTING FIRE HYDRANT | ⊕ |
| EXISTING LIGHT | ⊕ |
| EXISTING PALM TREE | ⊕ |
| EXISTING SEWER MANHOLE | ⊕ |
| EXISTING STORM DRAIN MANHOLE | ⊕ |
| EXISTING SIGN | ⊕ |
| EXISTING WATER METER | ⊕ |
| EXISTING WALL | ⊕ |
| EXISTING TREE | ⊕ |
| PROJECT BOUNDARY | --- |

ABBREVIATIONS

| | |
|----------------------------|-----|
| FINISHED FLOOR ELEVATION | FFE |
| FINISHED GRADE ELEVATION | FG |
| FLOW LINE ELEVATION | FL |
| FINISHED SURFACE ELEVATION | FS |
| GRADE BREAK | GB |
| PLANTING AREA | PA |
| RIGHT-OF-WAY | R/W |
| TOP OF CURB ELEVATION | TC |

DATE PREPARED: MAY 10, 2016
 REVISED: JAN 20, 2017
PLOT PLAN
STALDER PLAZA
 CITY OF RIVERSIDE
 IN THE COUNTY OF RIVERSIDE, CALIFORNIA
 SHEET 1 OF 1

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 rickengineering.com

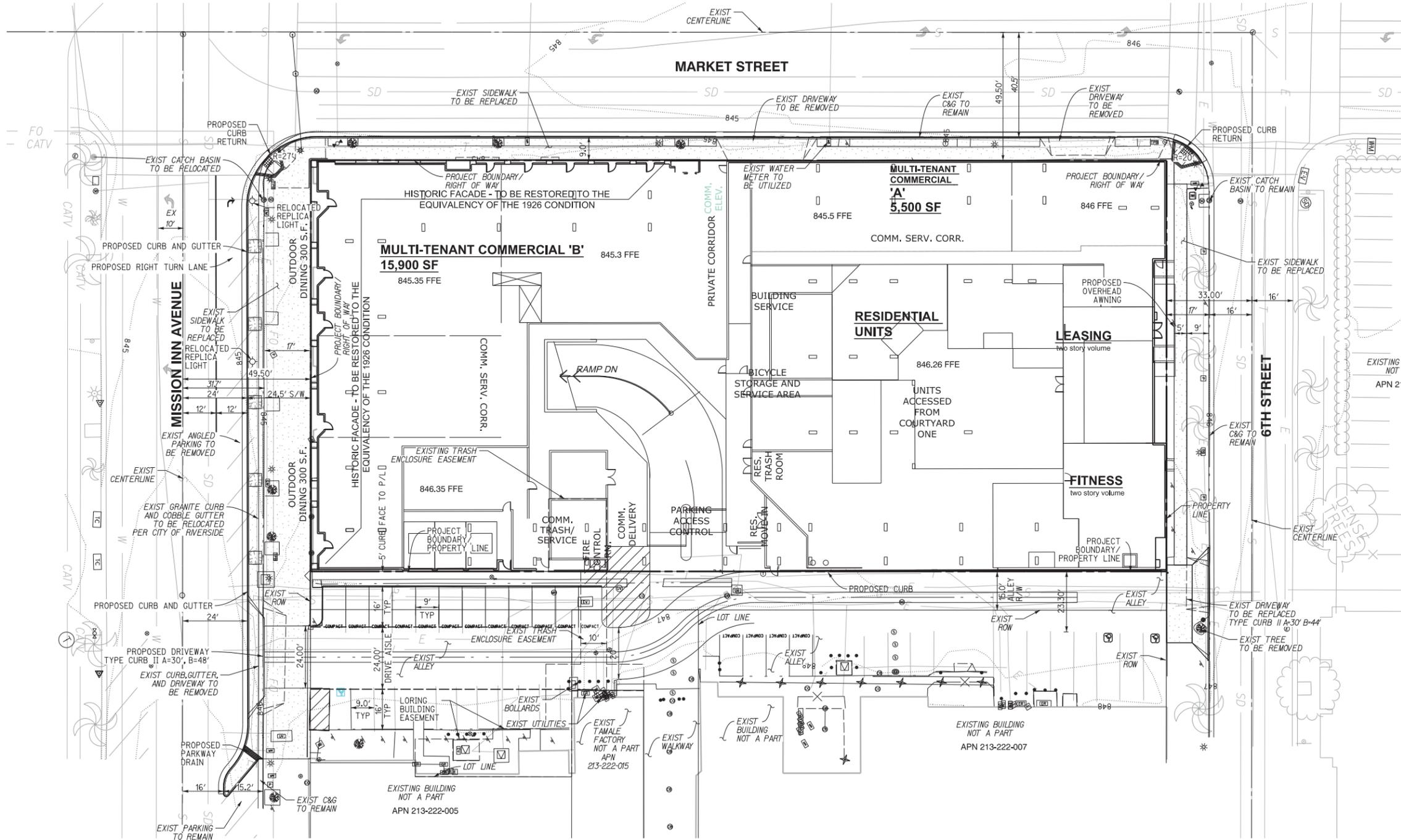
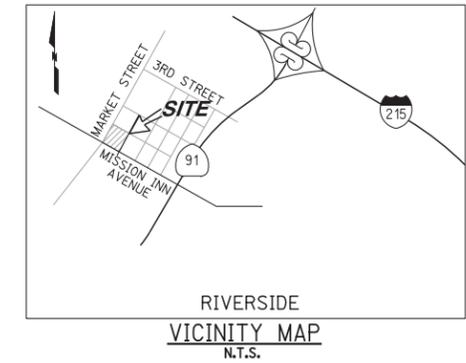


Exhibit 4 - P16-0323, Project Plans



IN THE CITY OF RIVERSIDE, CALIFORNIA
PRELIMINARY GRADING
 STALDER PLAZA



APPLICANT/OWNER/DEVELOPER

REGIONAL PROPERTIES
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 BEVERLY HILLS, CA 90210
 ATTN: MARK RUBIN
 PHONE: (310) 513-1776

ENGINEER

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 PHONE: (951) 782-0707
 FAX: (951) 782-0723
 ATT: KRISTIN WERKSMAN

ASSESSOR'S PARCEL NUMBER

231-222-001, -002, -003

SITE ADDRESS

3650 MARKET STREET
 RIVERSIDE, CA 92501

TOPOGRAPHY LEGEND

- EXISTING BOLLARD
- EXISTING CATCH BASIN
- EXISTING ELECTRICAL MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING LIGHT
- EXISTING PALM TREE
- EXISTING SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING SIGN
- EXISTING WATER METER
- EXISTING WALL
- EXISTING TREE
- PROJECT BOUNDARY
- PROPOSED STREET TREE
- RELOCATED REPLICA LIGHT

ABBREVIATIONS

- FINISHED FLOOR ELEVATION FFE
- FINISHED GRADE ELEVATION FG
- FLOW LINE ELEVATION FL
- FINISHED SURFACE ELEVATION FS
- GRADE BREAK GB
- RIGHT-OF-WAY R/W
- TOP OF CURB ELEVATION TC

DATE PREPARED: MAY 10, 2016
 REVISED: JAN 20, 2017
 FEB 17, 2017

**PRELIMINARY GRADING
 STALDER PLAZA**

CITY OF RIVERSIDE
 IN THE COUNTY OF RIVERSIDE, CALIFORNIA
 SHEET 1 OF 2

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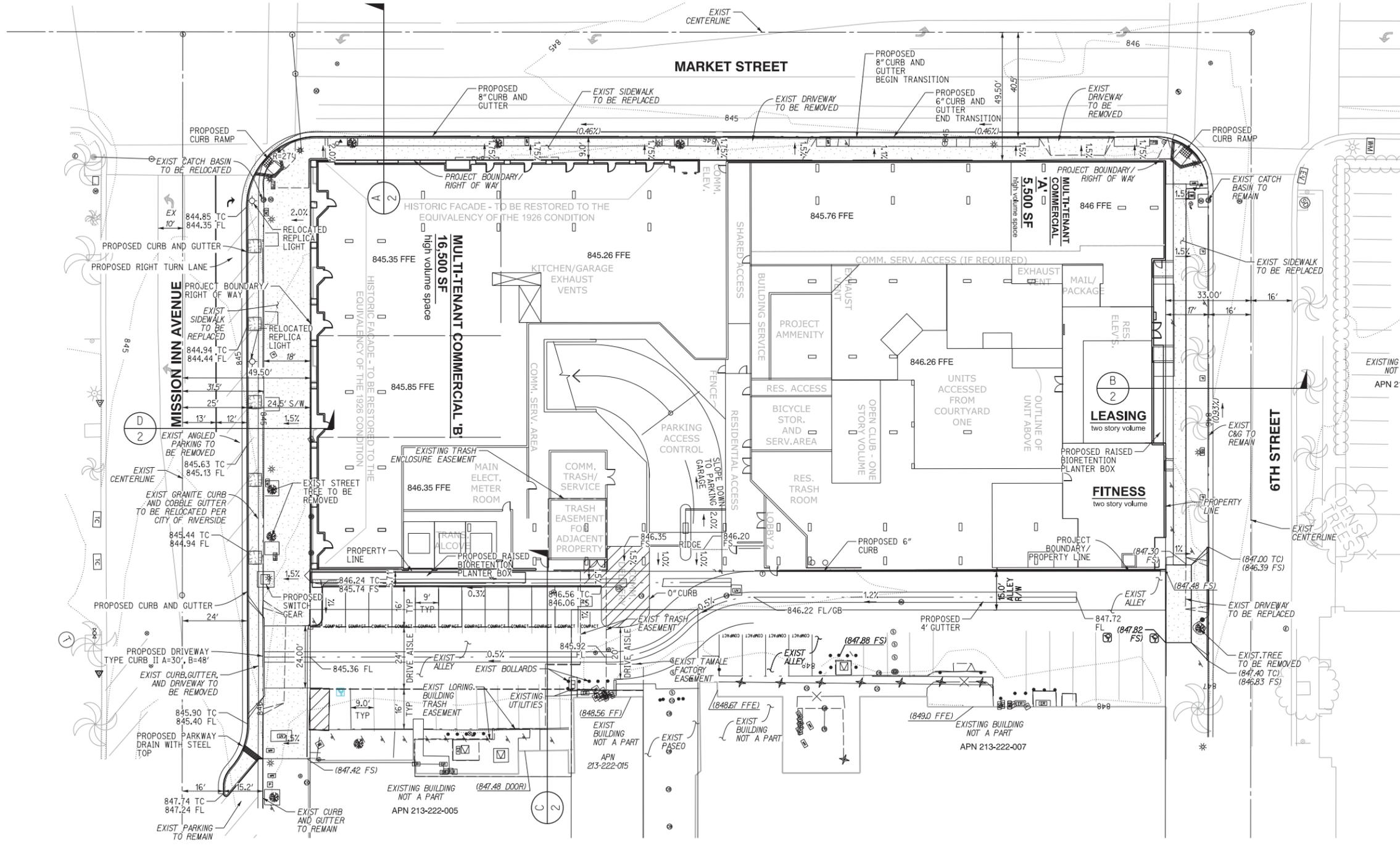
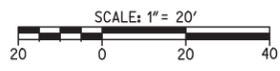
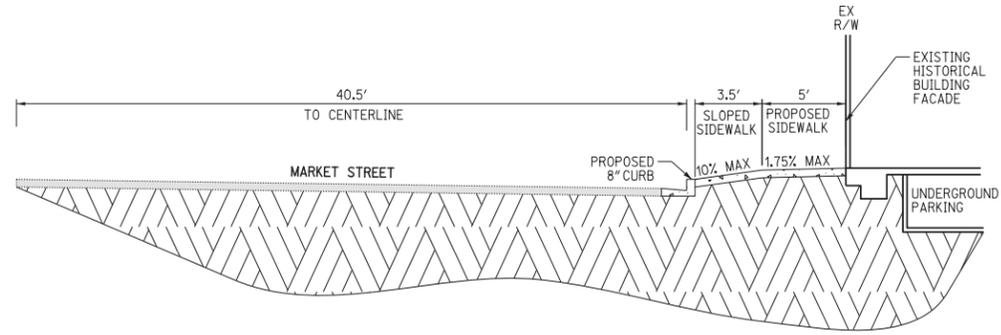
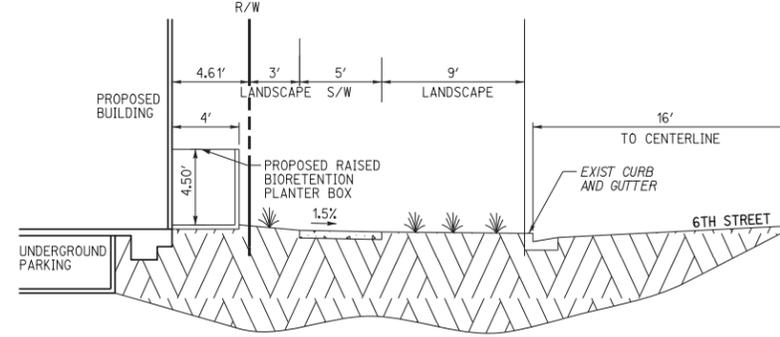


Exhibit 4 - P16-0323, Project Plans

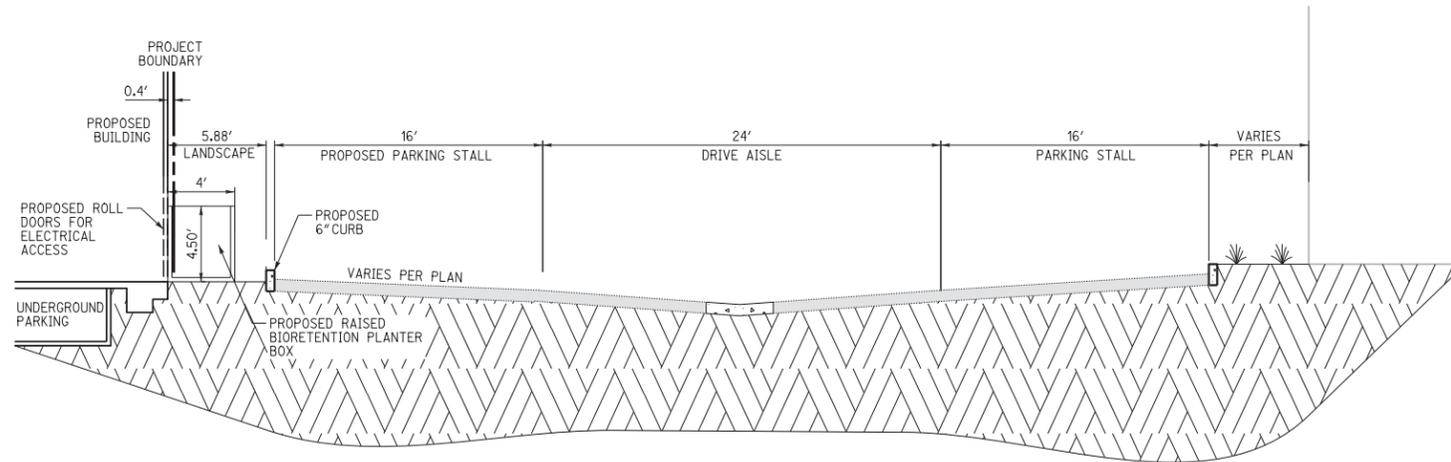




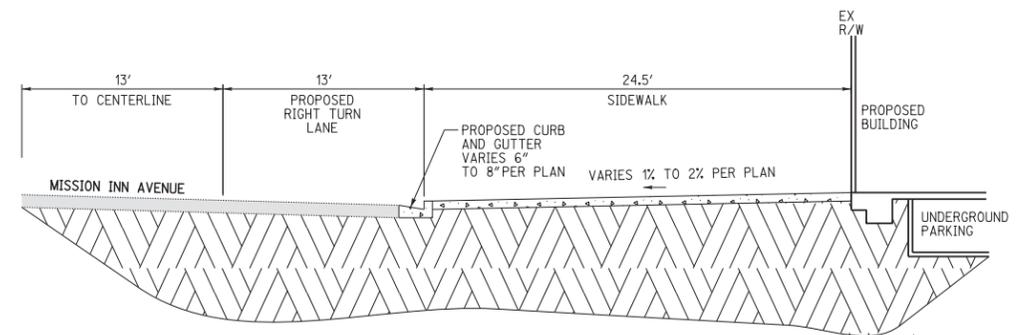
A
2
1"=5'



B
2
1"=5'



C
2
1"=5'



D
2
1"=5'

DATE PREPARED: MAY 10, 2016
 REVISED: JAN 20, 2017
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**TYPICAL SECTIONS
 STALDER PLAZA**

CITY OF RIVERSIDE
 IN THE COUNTY OF RIVERSIDE, CALIFORNIA
 SHEET 2 OF 2

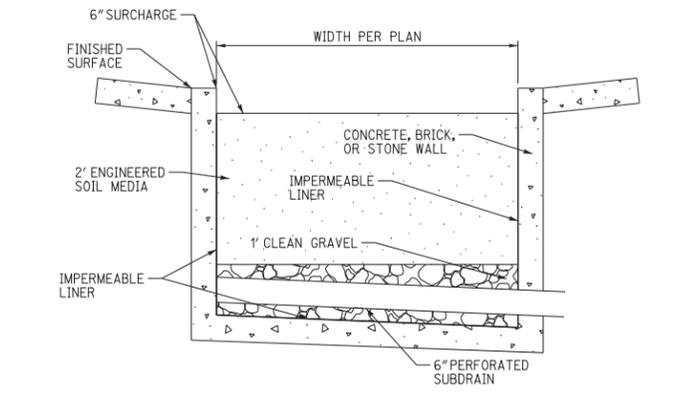
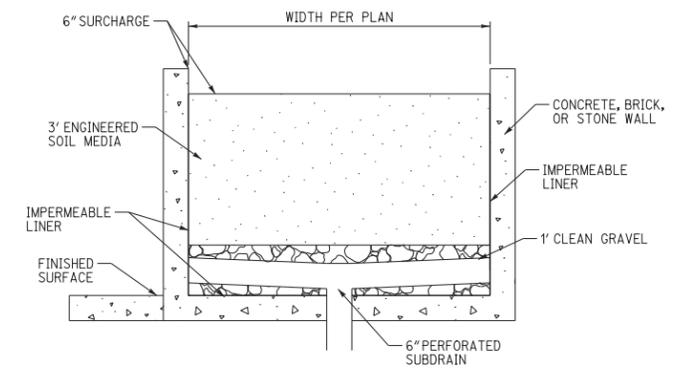
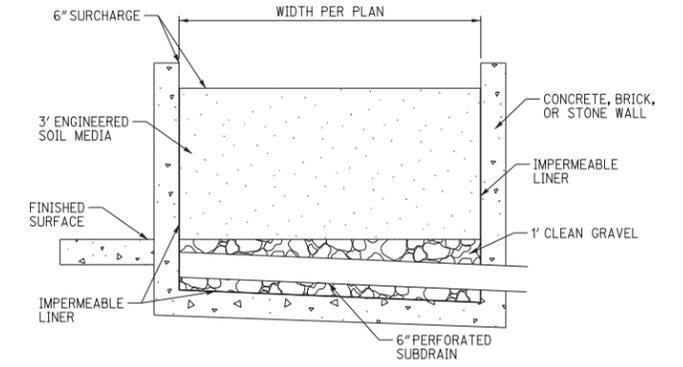
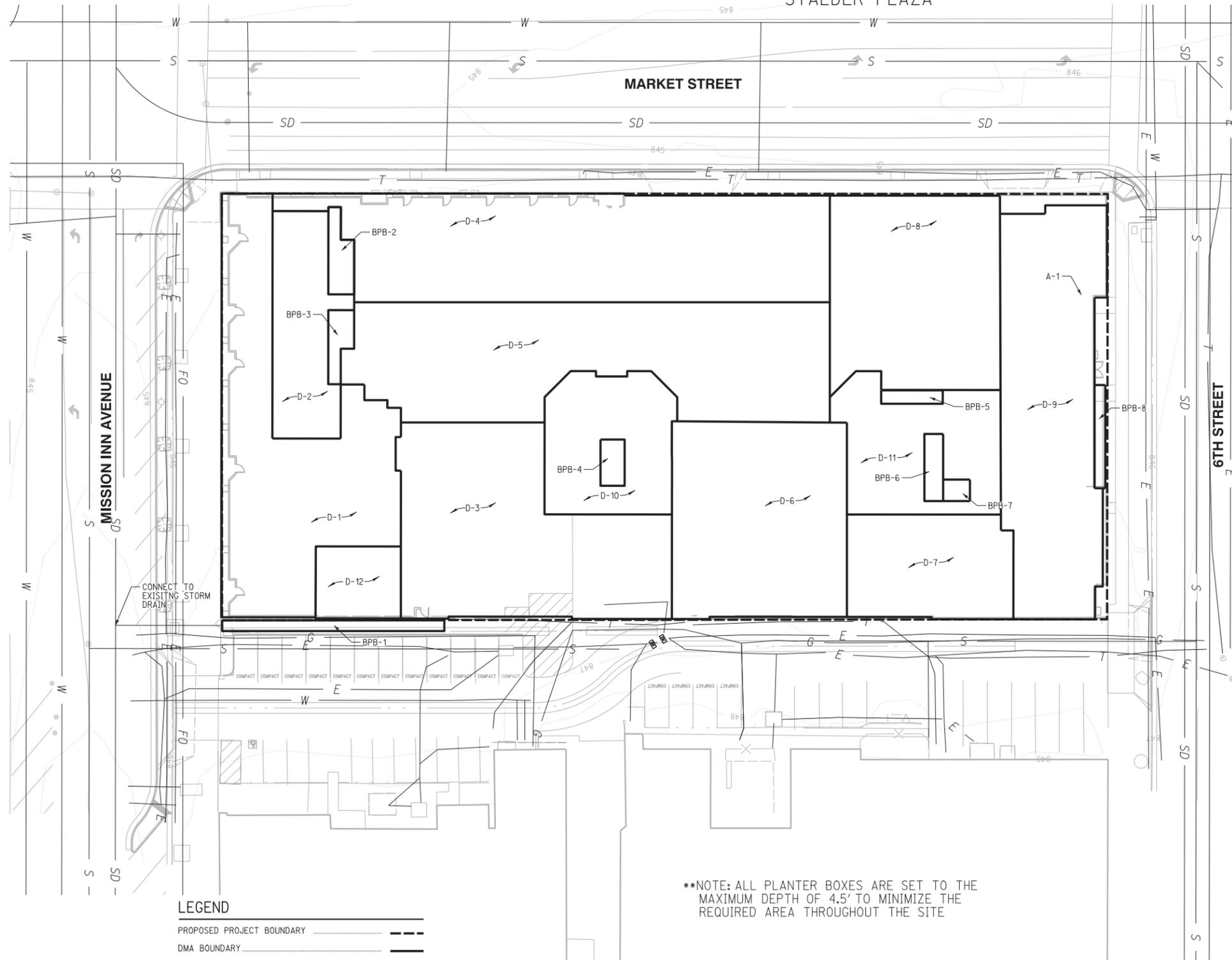
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 Riverside

Exhibit 4 - P16-0323, Project Plans

PRELIMINARY WATER QUALITY MANAGEMENT PLAN

IN THE CITY OF RIVERSIDE, CALIFORNIA

STALDER PLAZA



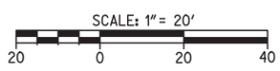
LEGEND
 PROPOSED PROJECT BOUNDARY ————
 DMA BOUNDARY ————

****NOTE: ALL PLANTER BOXES ARE SET TO THE MAXIMUM DEPTH OF 4.5' TO MINIMIZE THE REQUIRED AREA THROUGHOUT THE SITE**

****NOTE: THE OWNER IS CURRENTLY IN THE PROCESS OF PURCHASING THE PUBLIC ALLEY. ULTIMATELY BPB-1 WILL BE ON THE OWNER'S PROPERTY**

SITE ADDRESS
 3650 MARKET STREET
 RIVERSIDE, CA 92501

Exhibit 4 - P16-0323, Project Plans



LEGEND
 DMA NUMBER
 DMA TYPE
 A: SELF TREATING
 B: SELF RETAINING
 C: AREAS THAT DRAIN TO SELF RETAINING
 D: AREAS THAT DRAIN TO BMPs

DATE PREPARED: MAY 10, 2016
 REVISED: JAN 20, 2017
 FEB 17, 2017
PRELIMINARY WQMP EXHIBIT
STALDER PLAZA
 CITY OF RIVERSIDE
 IN THE COUNTY OF RIVERSIDE, CALIFORNIA
 SHEET 1 OF 1

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