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Exhibit 4 - P16-0323, Project Plans

STALDER PLAZA RIVERSIDE, CA

REGIONAL PROPERTIES 9201 WILSHIRE BLVD, SUITE 103
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REGIONAL PROPERTIES - RIVERSIDE

PROJECT SUMMARY - SITE 07

4 FLOORS FLOOR TYPE 1 ON TOP OF ABOVE GRADE TYPE 1 CONCRETE STRUCTURE
CONTAINING 8 PORTION WITH TWO FLOORS RESIDENTIAL AND PORTION WITH ONE LEVEL COMMERCIAL
AND 3 FLOORS CONCRETE SUBTERRANEAN PARKING LEVELS

SITE AREA		
	100,000	SQ. FEET SF
TOTAL UNITS	155 UNITS	
DENSITY	155 D.U./AC	
TOTAL GSF	134,758 SF	
FAR	4.47	

UNIT SUMMARY

FLOOR	STUDIO	1 BR										2 BR										3 BR				
		S1	S2	S3	A1	A3	A3.1	A3.2	A3.3	A3.4	A3.5	A8	B1	B2	B3	B3.2	B4	B6	B7	B8	B9	B10	C1	Total		
FLOOR 1	-	-	-	-	-	1	1	-	-	-	-	1	-	-	-	-	-	-	-	1	1	-	-	5		
FLOOR 2	-	-	-	-	-	1	1	-	-	-	-	1	-	-	-	-	-	-	-	1	1	-	-	5		
FLOOR 3	1	1	1	1	1	1	1	1	-	-	-	1	1	1	1	1	1	-	-	-	-	-	1	80		
FLOOR 4	1	1	1	1	1	1	1	1	-	-	-	1	1	1	1	1	1	-	-	-	-	-	1	80		
FLOOR 5	1	1	1	1	1	1	1	1	-	-	-	1	1	1	1	1	1	1	1	-	-	-	1	84		
FLOOR 6	1	1	1	1	1	1	1	1	-	-	-	1	1	1	1	1	1	1	1	-	-	-	1	80		
FLOOR 7	1	1	1	1	1	1	1	1	-	-	-	1	1	1	1	1	-	-	-	-	-	-	1	80		
TOTAL UNITS	5	11	5	11	11	11	11	5	1	1	5	11	11	5	5	1	1	1	1	1	1	5	155			
TOTAL UNITS	11				30							30										5	155			
PERCENTAGE	15.5%				45.7%							15.5%										5.0%	100.0%			

NRSE SUMMARY

UNIT TYPE	QUANTITY	BALCONY	S.F.	TOTAL S.F.	AVG.
ST	5		571	2,855	571
SA	11		540	5,940	
SB	5		507	2,535	
AL	11	57	708	11,104	720
AS	11	50	745	11,594	
AS.1	7	51	885	6,195	
AS.2	5	45	907	4,535	
AS.3	3	4	571	1,603	
AS.4	1	45	395	395	
AS.5	1	45	570	570	
AS	5	54	555	2,775	
S1	11	45	1,081	14,000	1,273
S2	11	55	1,040	11,440	
S3	5	41	1,134	5,670	
S3.1	5	57	1,505	7,525	
S4	1	55	1,035	1,035	
S5	1	55	1,085	1,070	
S7	1	1	1,035	1,035	
S8	1	55	1,045	1,045	
S9	1	57	1,500	1,500	
S11	1	107	1,400	1,500	
CL	5	50	1,547	7,735	1,547
TOTAL NRSE	155			146,752	893

FAR SUMMARY

LEVEL	OUTSIDE LINE	INSIDE LINE	CLUB ROOM	VOLUME	SHAFTS	TOTAL
1	45,175 SF	5,314 SF			550	40,311
2	45,200 SF	5,375 SF			1,045	40,400
3	44,890 SF	5,117 SF			1,340	39,503
4	44,890 SF	5,117 SF	1,840 SF		1,340	39,181
5	44,890 SF	5,117 SF			1,340	39,503
6	40,480 SF	5,117 SF			1,340	35,003
7	38,140 SF	5,314 SF			550	32,276
TOTAL						234,758
FAR PROPOSED -						4.47
FAR ALLOWED -	32,450 SF	1	4.5	=		285,079

AREA UNDER PROJECTING CANOPIES

LOCATION	AREA over Sidewalk
5TH STREET ELEVATION	114 SF
TOTAL	114 SF

OPEN SPACE SUMMARY

OPEN SPACE REQUIRED:	SF
COMMON - 50 SF / UNIT	5,500
PRIVATE - 50 SF / SINGLE UNIT	
OPEN SPACE PROVIDED:	
COURTHARD 1	1,500
COURTHARD 2 ATTACHED LEVEL	1,450
COURTHARD 3 PROVIDED ATTACHED LEVEL	5,050
LEASING / EVENTS	5,500
POOLED / TERRACE	5,500
TOTAL PROVIDED:	22,223

NRSE SUMMARY COMMERCIAL

MULTIFAMILY COMMERCIAL SPACE-A	5,500
MULTIFAMILY COMMERCIAL SPACE-B	15,500
TOTAL	22,000

RESIDENTIAL REQUIRED STALLS

RESIDENTIAL	STALLS
STUDIO - 1.5 UNIT	15
1 BEDRM - 1.5 UNIT	115
2 BEDRM - 2 UNIT	110
3 BEDRM - 2.5 UNIT	10
TOTAL RESIDENTIAL	278

COMMERCIAL REQUIRED STALLS

AREA TOTAL	RATIO
* 10,000 SF - 1 STALL / 100 SF	147

* RETAIL PARK USE

PROVIDED PARKING SUMMARY

SUMMARY BY LEVEL	STALLS
UNDER LEVEL 1	115
UNDER LEVEL 2	115
UNDER LEVEL 3	115
TOTAL PROVIDED	335

SUMMARY BY USE

* RESIDENTIAL	155
* SUBSTANTIAL RESIDENTIAL	45
COMMERCIAL	50
TOTAL PROVIDED	335

RESIDENTIAL PARKING RATIO
* INCLUDED IN THE RATIO

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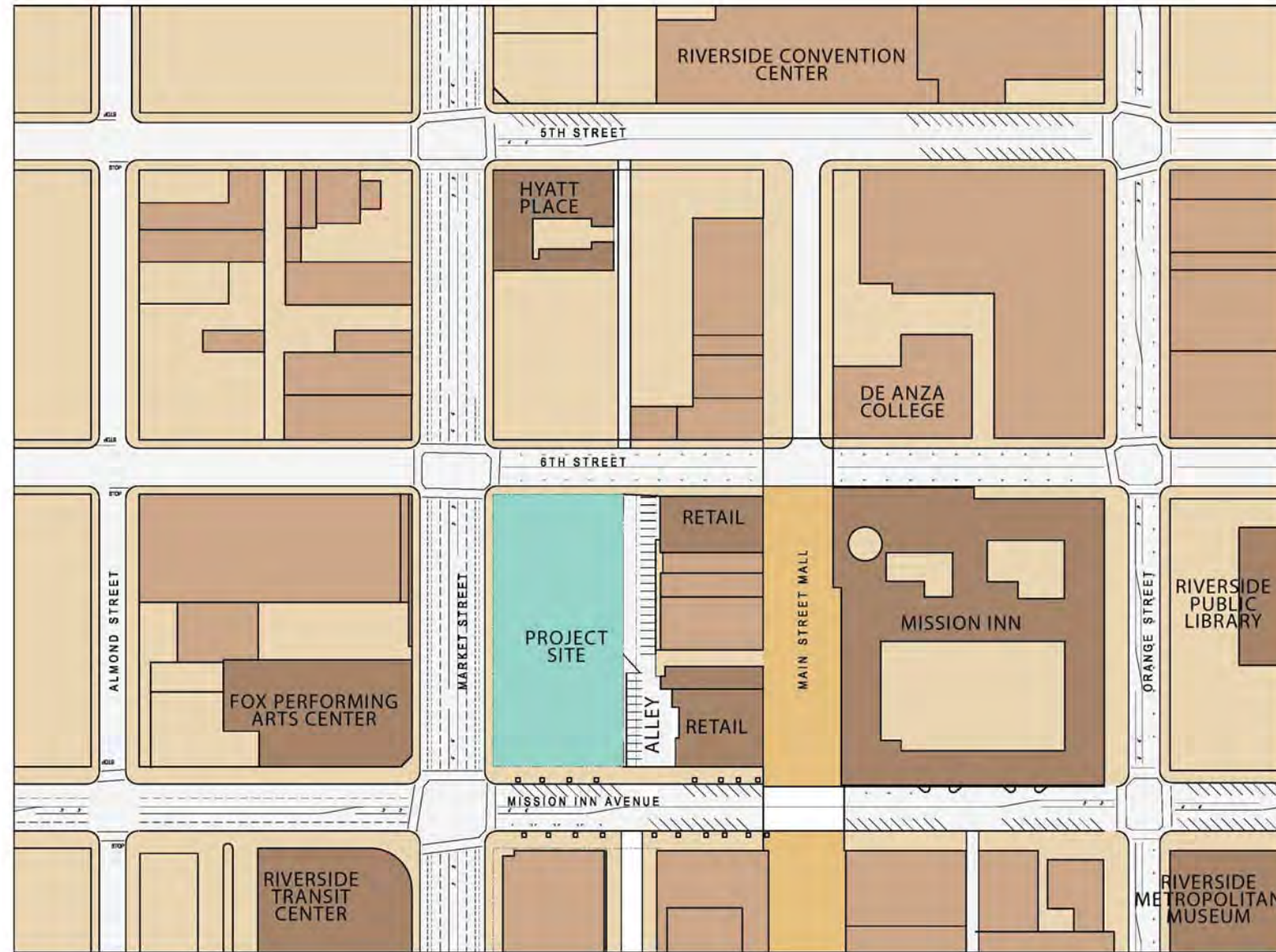


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A-0.1
2013-420 01.20.2017

VICINITY MAP

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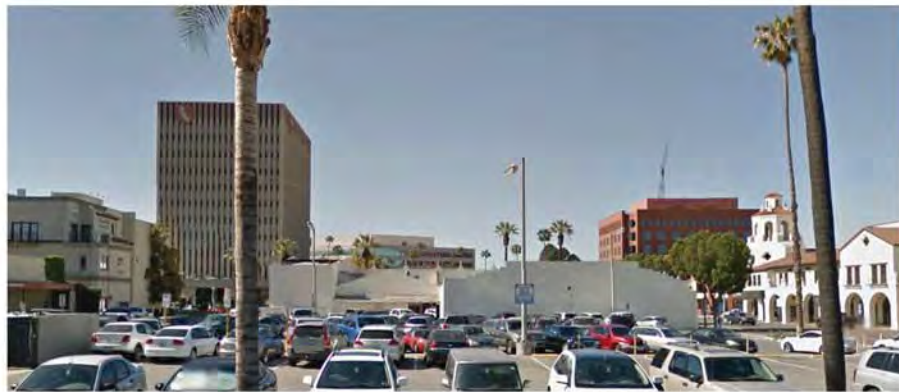
MISSION INN AVENUE



ALLEY



MARKET STREET



6TH STREET CLOSE-UP



6TH STREET

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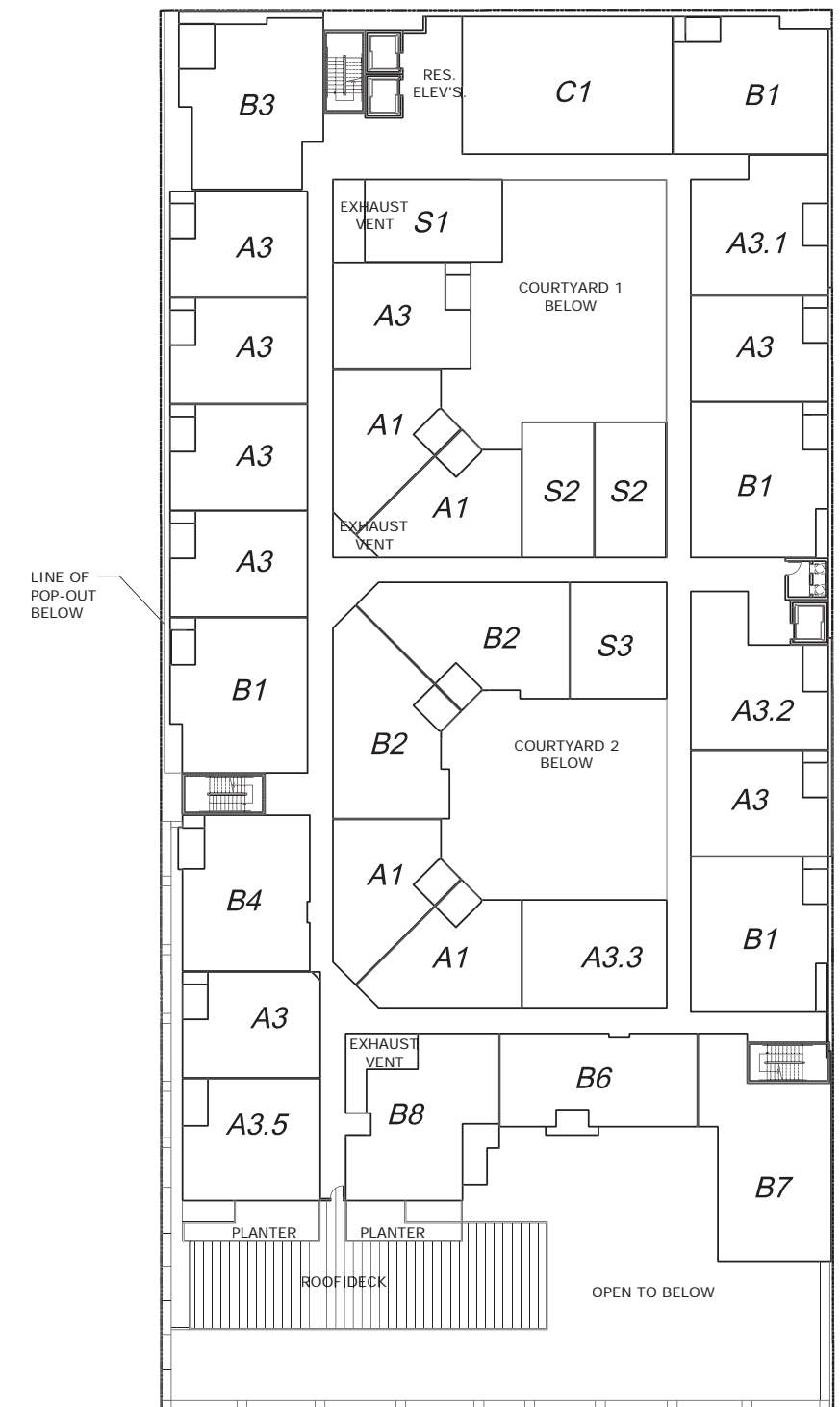
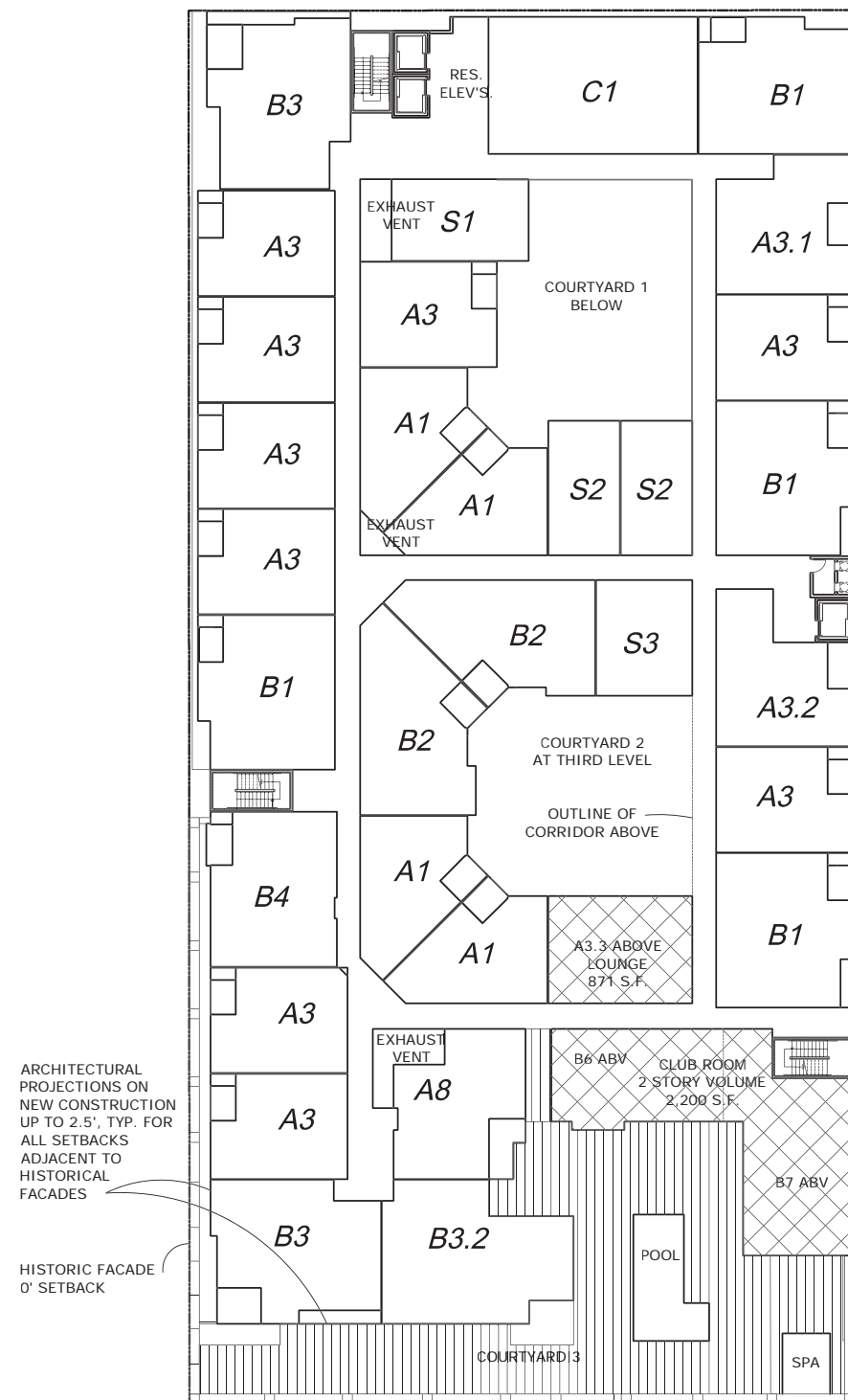
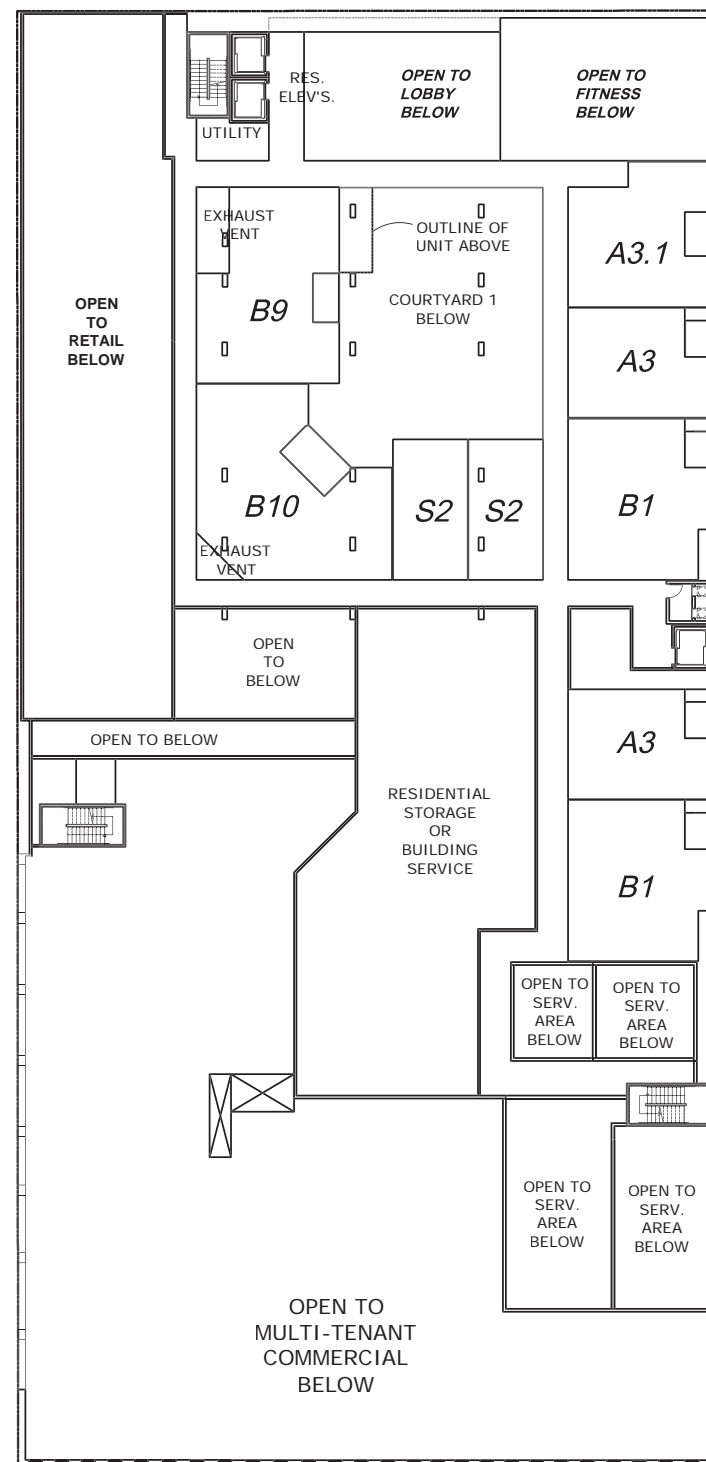
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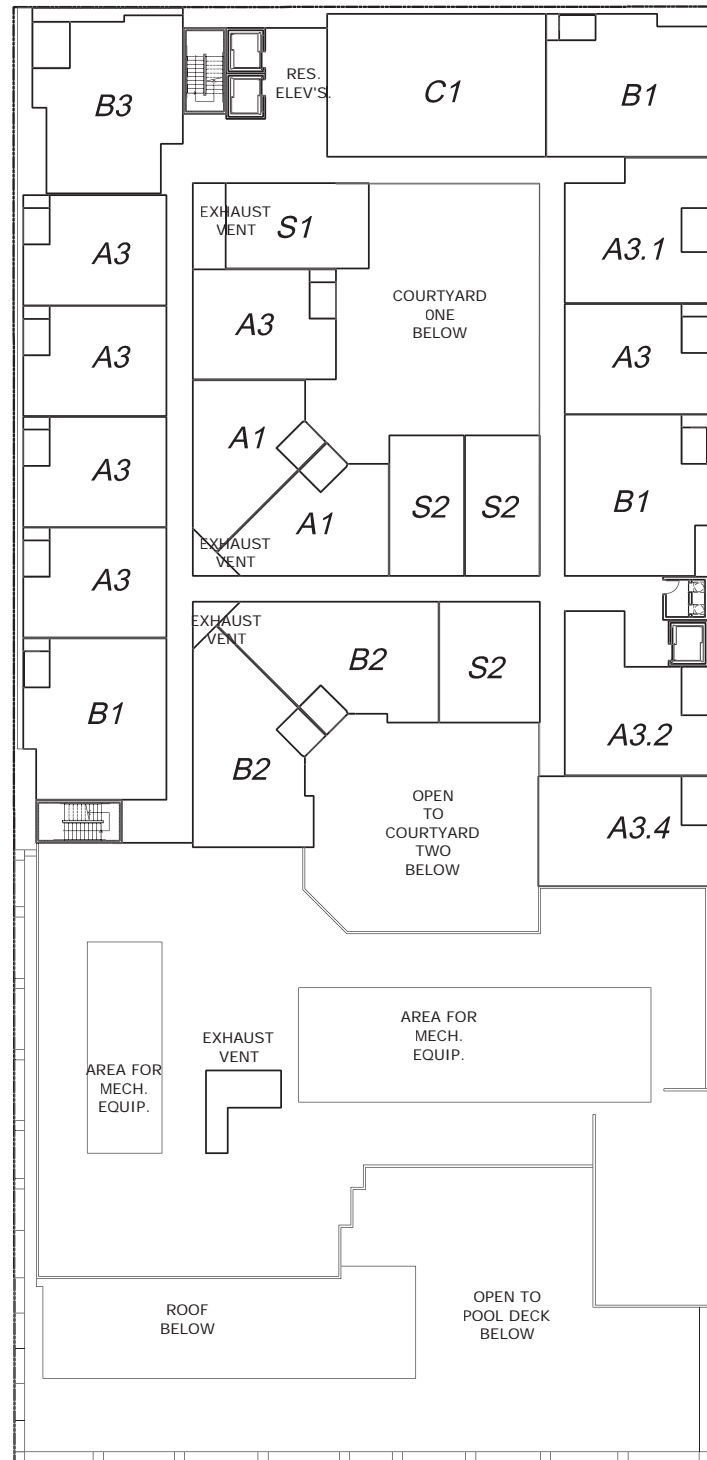
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2013-420 01.20.2017

SITE PHOTOS

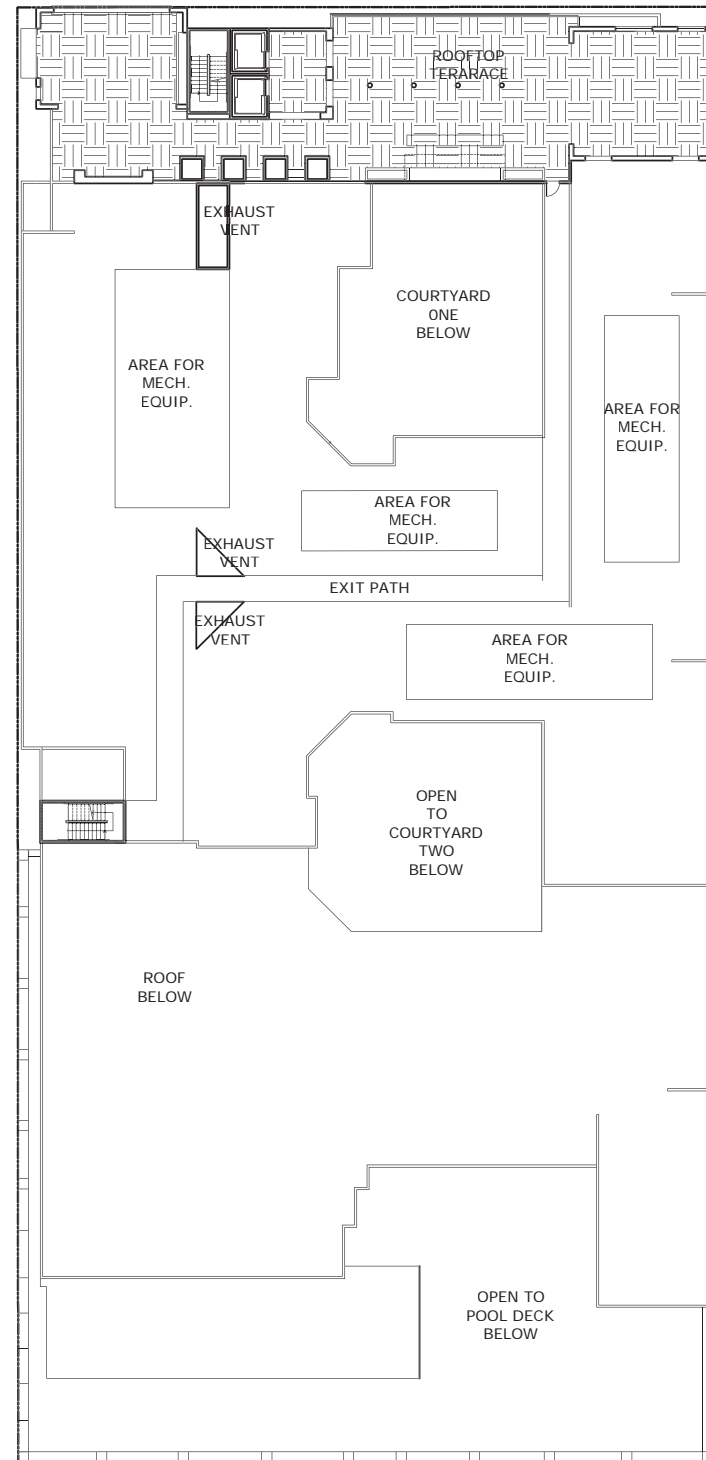
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7TH FLOOR PLAN



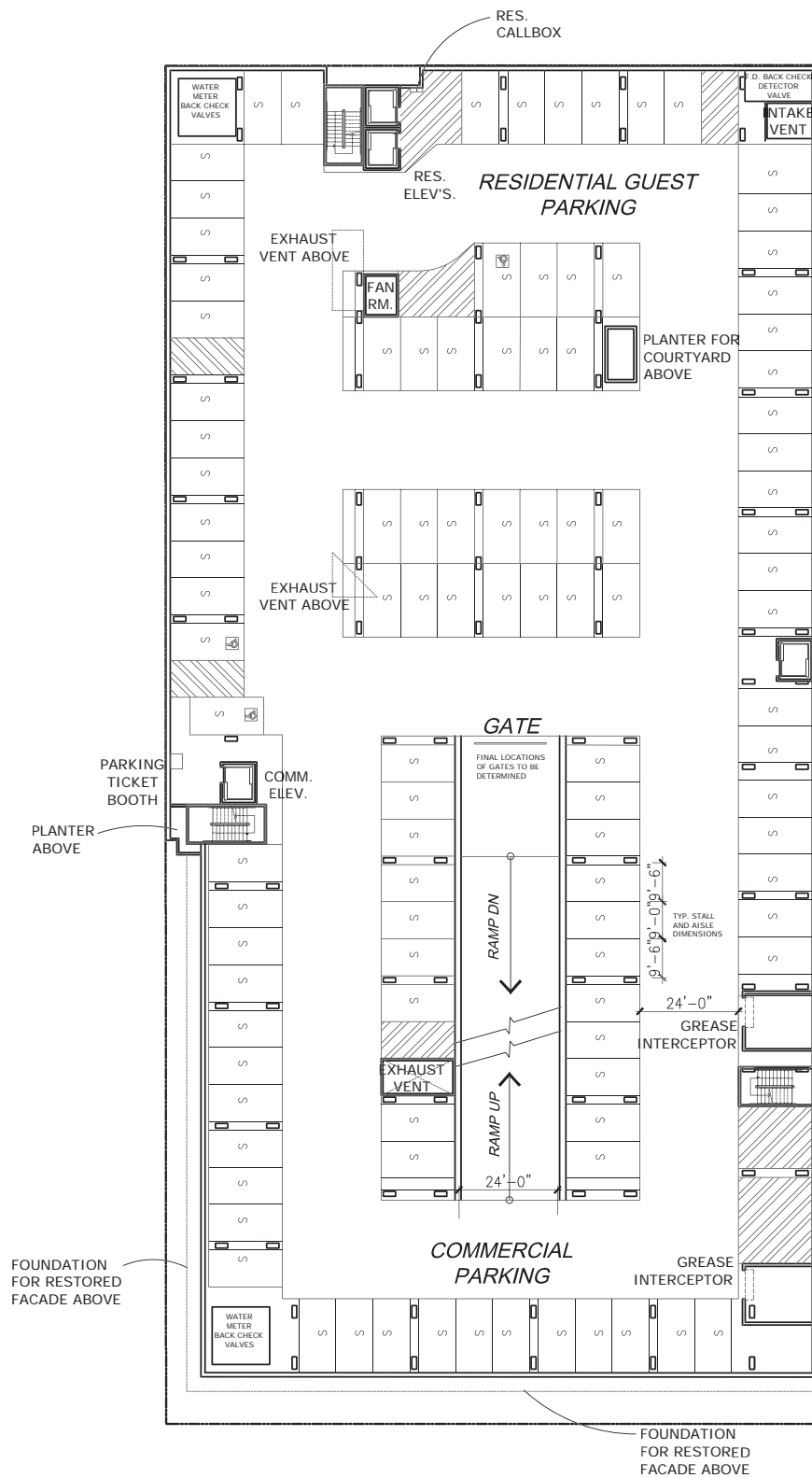
ROOF PLAN

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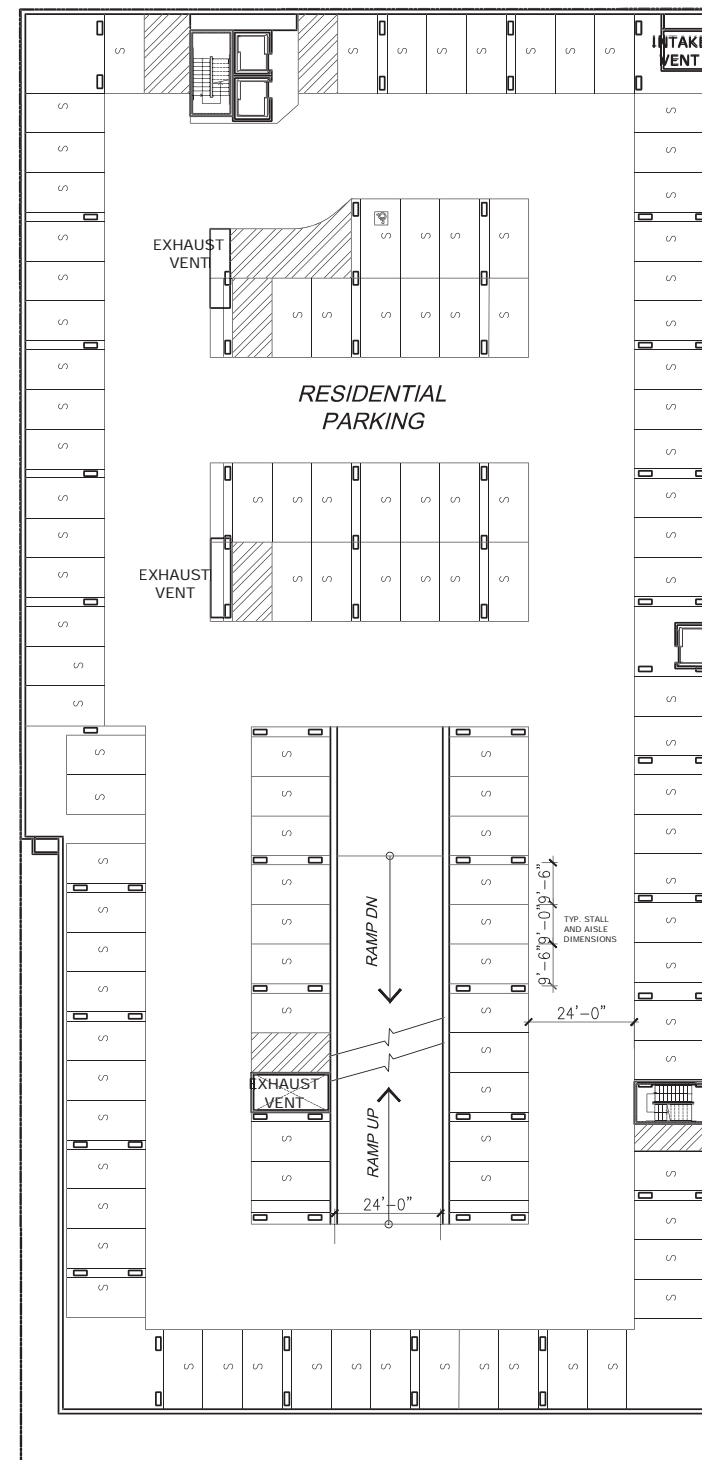
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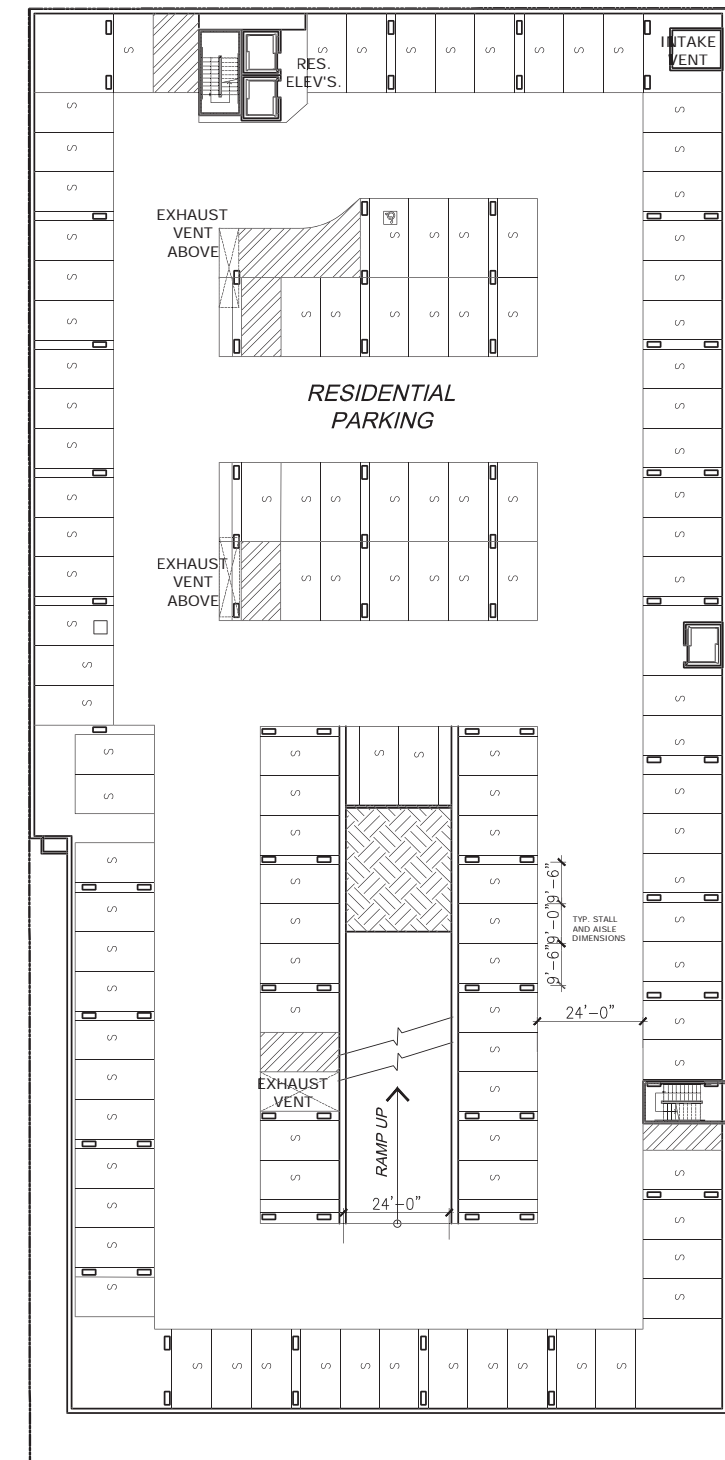
*SEE LANDSCAPE DRAWINGS FOR COURTYARD / DECK LAYOUT DESIGN
*ARCHITECTURAL WALL PROJECTIONS ARE NOT SHOWN ON FLOOR PLANS



SUBTERRANEAN LEVEL 1



SUBTERRANEAN LEVEL 2

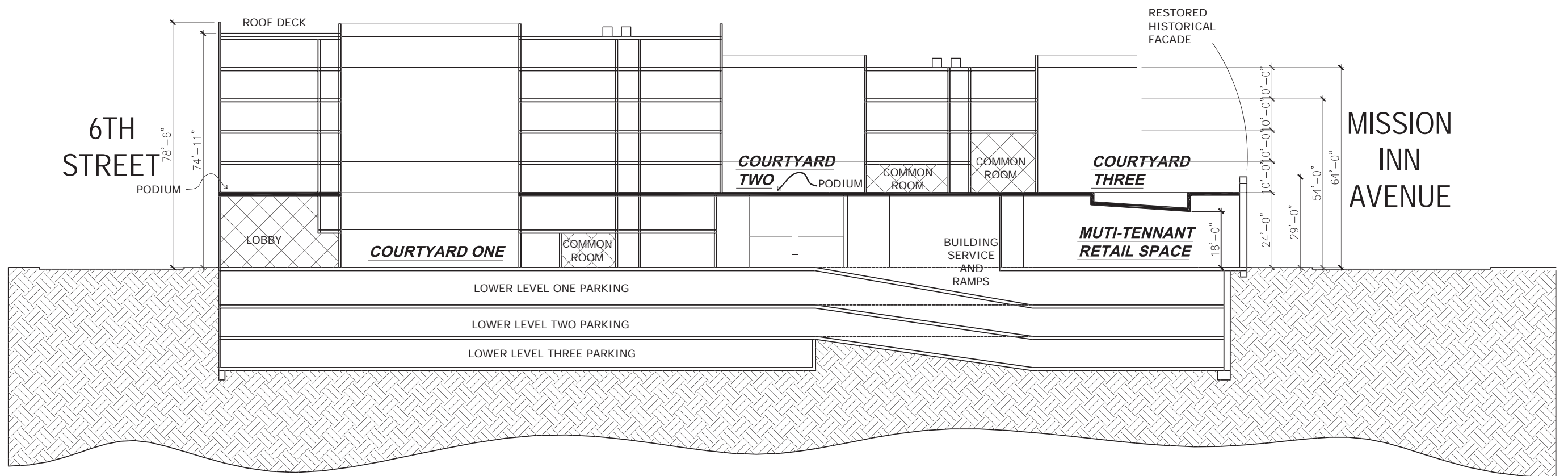


SUBTERRANEAN LEVEL 3

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SECTION A-A

NOTE: SECTIONS ARE DRAWN WITH FLAT GRADE FOR CLARITY, GROUND FLOOR WILL STEP TO CONFORM TO ADJACENT GRADE

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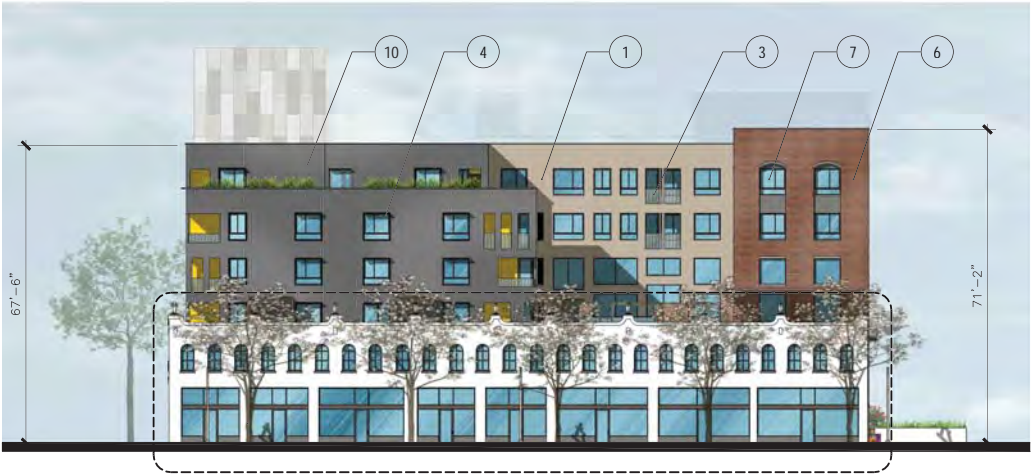
0' 8' 16' 32' 64'
SCALE: 1" = 16'

A-1.5
2013-420 01.20.2017

SECTIONS

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MISSION INN AVENUE (SOUTH)

MATERIALS LEGEND

- 1. EXTERIOR PLASTER
- 2. PAINTED METAL AWNING
- 3. PERFORATED METAL RAILING
- 4. PERFORATED METAL SUNSHADE
- 5. ANODIZED STOREFRONT GLAZING SYSTEM
- 6. BRICK
- 7. VINYL WINDOW FRAME
- 8. PORCELAIN TILE
- 9. PERFORATED METAL FENCING AND GATE
- 10. RIBBED METAL PANELS
- 11. PROJECTING BALCONY WITH GLASS RAILING
- 12. RAISED PLANTING AREA OVER ROOF

NOTES:

1.0 ELEVATIONS ARE DRAWN WITH FLAT GRADE FOR CLARITY, GROUND FLOOR WILL STEP TO CONFORM TO ADJACENT GRADE.

2.0 PROJECT SIGNAGE ON HISTORIC FACADE ELEVATIONS AND ON NEW CONSTRUCTION (SHOWN CONCEPTUALLY ON THESE ELEVATIONS) ARE TO BE SUBMITTED FOR DESIGN REVIEW AND APPROVAL SEPARATELY FROM THIS SUBMITTAL



HISTORIC FACADE - SEE HISTORIC DRAWING SECTION FOR DESIGN OF THIS PORTION



MARKET STREET ELEVATION (WEST)

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MATERIALS LEGEND

- 1. EXTERIOR PLASTER
- 2. PAINTED METAL AWNING
- 3. PERFORATED METAL RAILING
- 4. PERFORATED METAL SUNSHADE
- 5. ANODIZED STOREFRONT GLAZING SYSTEM
- 6. BRICK
- 7. VINYL WINDOW FRAME
- 8. PORCELAIN TILE
- 9. PERFORATED METAL FENCING AND GATE
- 10. RIBBED METAL PANELS
- 11. PROJECTING BALCONY WITH GLASS RAILING
- 12. RAISED PLANTING AREA OVER ROOF

NOTES:

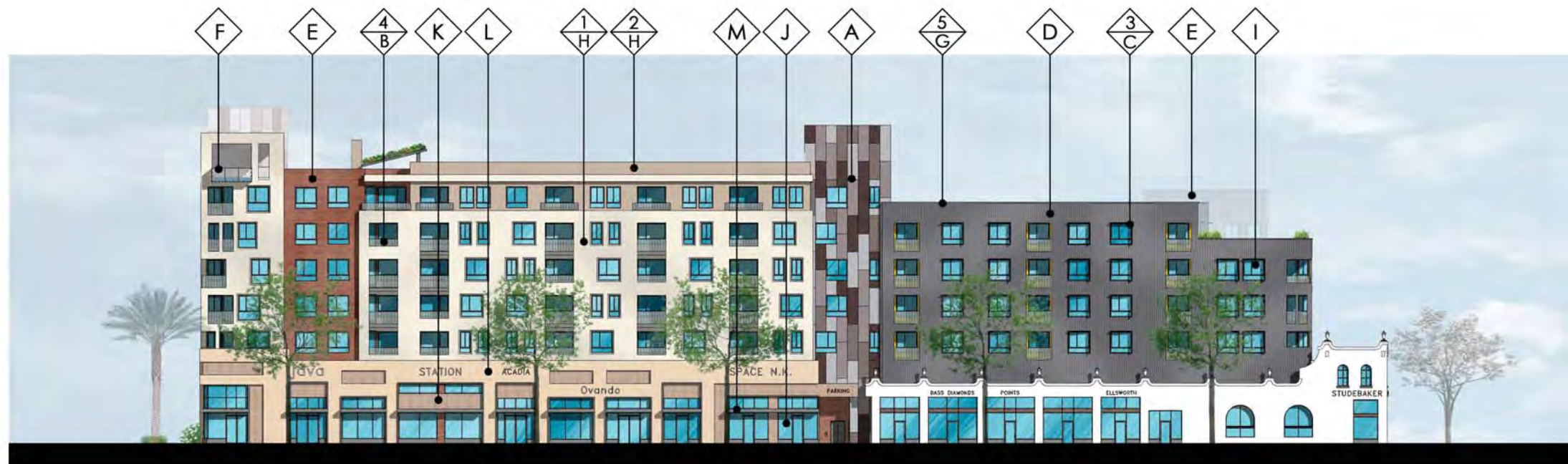
1.0 ELEVATIONS ARE DRAWN WITH FLAT GRADE FOR CLARITY, GROUND FLOOR WILL STEP TO CONFORM TO ADJACENT GRADE.

2.0 PROJECT SIGNAGE ON HISTORIC FACADE ELEVATIONS AND ON NEW CONSTRUCTION (SHOWN CONCEPTUALLY ON THESE ELEVATIONS) ARE TO BE SUBMITTED FOR DESIGN REVIEW AND APPROVAL SEPARATELY FROM THIS SUBMITTAL

HISTORIC FACADE - SEE HISTORIC DRAWING SECTION FOR DESIGN OF THIS PORTION



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- MATERIAL LEGEND**
- (A) PORCELAIN TILE - COTTO D'ESTE
 - (B) PERFORATED METAL RAILING
 - (C) METAL SUNSHADE
 - (D) RIBBED METAL PANEL - ATAS
 - (E) BRICK - BELDEN BRICK
 - (F) GLASS PANEL BALCONY
 - (G) SHEETMETAL COPING
 - (H) EXTERIOR PLASTER - 20/30
 - (I) VINYL WINDOW FRAME - DARK BRONZE
 - (J) STORE FRONT - DARK BRONZE
 - (K) STONE VENEER - CORONADO STONE
 - (L) STONE VENEER - CORONADO STONE
 - (M) METAL CANOPY



① SW 7035
AESTHETIC WHITE



② SW 7038
TONY TAUPE



③ SW 7064
PASSIVE



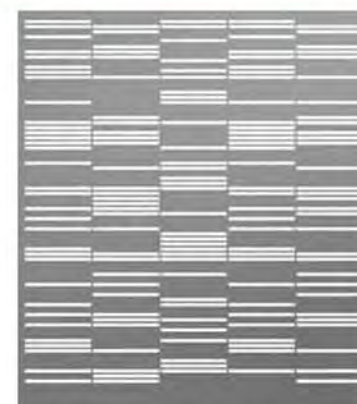
④ SW 7067
CITYSCAPE



⑤ SW 6990
CAVIAR



⑥ SW 6903
CHEERFUL



(B) METAL RAILING
OR SIMILAR



(C) SUNSHADE
OR SIMILAR



(D) RIBBED METAL PANEL
ATAS - 20 SLATE GREY



(F) GLASS PANEL BALCONY
OR SIMILAR



(A) PORCELAIN TILE
SPECTHIN - DOVE



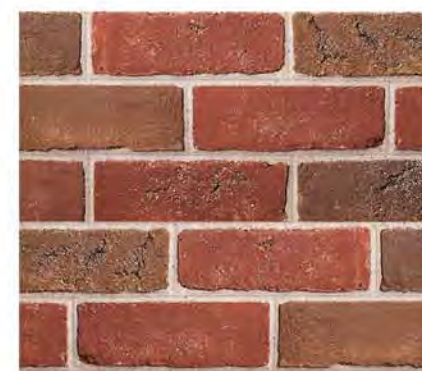
PORCELAIN TILE
SPECTHIN - PEARL



PORCELAIN TILE
SPECTHIN - GREY



PORCELAIN TILE
SPECTHIN - BROWN



(E) BELDEN BRICK
WINWOOD BLEND



(K) CORONADO STONE
LIMESTONE
STADLER BLEND



(L) CORONADO STONE
COLOSSEUM TRAVERTINE
ROMAN

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A-2.3
2013-420 02.23.2016
COLOR AND MATERIAL BOARD
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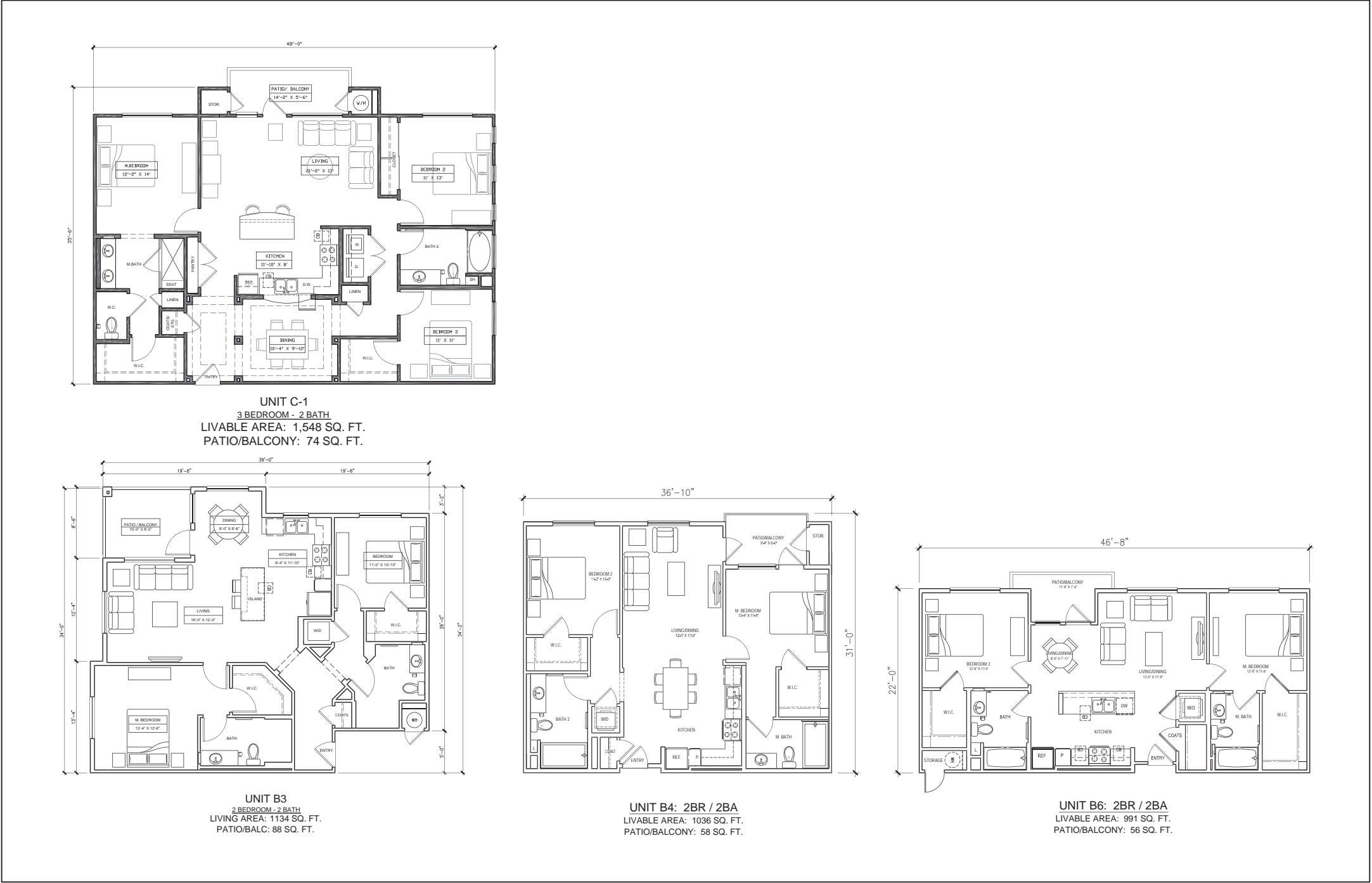


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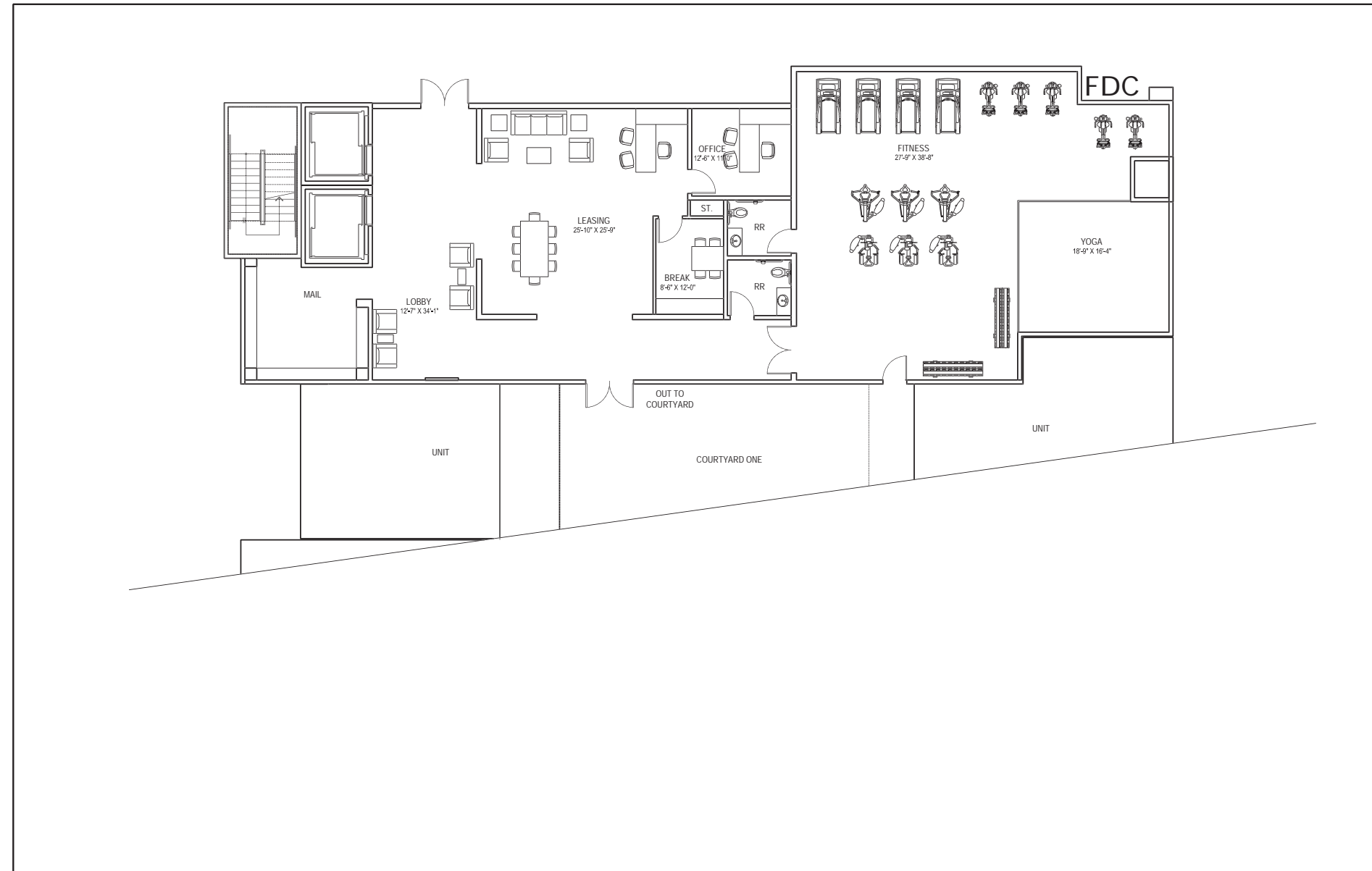
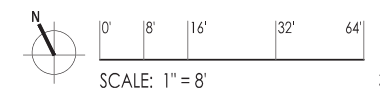


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A-3.3
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ENLARGED LOBBY LEASING/FITNESS PLAN

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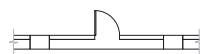


MARKET STREET

(OPTION TO BE STOREFRONT TYPES C.1 & C.2)
SOME ENTRIES MAY BE FURTHER RECESSED & WILL
EITHER HAVE DOORS, DOUBLE DOORS OR GLAZED
PANELS. EXACT NUMBER AND LOCATION TO BE
DETERMINED AT TIME OF TENANT IMPROVEMENT.

TYPE C.1

TYPE C.2



FURTHER RECESSED

NOTE: REFER TO STOREFRONT SCHEDULE ON H1.5

RECESSED STOREFRONT TO BE TYPE C (SIMILAR TO
OPENING OF HISTORIC AUTO ENTRY). OPTIONS FOR
DOOR OR GLAZED PANEL TO BE DETERMINED AT TIME OF
TENANT IMPROVEMENT.

TYPE C



FURTHER RECESSED

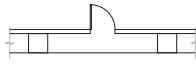
NOTE: REFER TO STOREFRONT SCHEDULE ON H1.5

(OPTION TO BE STOREFRONT TYPES A.1, A.2 OR B.1)
SOME ENTRIES MAY BE FURTHER RECESSED & WILL
EITHER HAVE DOORS, DOUBLE DOORS OR GLAZED
PANELS. EXACT NUMBER AND LOCATION TO BE
DETERMINED AT TIME OF TENANT IMPROVEMENT.

TYPE A.1

TYPE A.2

TYPE B.1



FURTHER RECESSED

FURTHER RECESSED

NOTE: REFER TO STOREFRONT SCHEDULE ON H1.5

RESTORE EXISTING HISTORIC STOREFRONT

ELEV.

PARKING
ACCESS
CONTROL

CO
DELI

COMM.
TRASH/
SERVICE

TRASH
EASEMENT
FOR
ADJACENT
PROPERTY

KITCHEN/GARAGE
EXHAUST
VENTS

RAMP DN

COMM. SERV. AREA

MAIN
ELECT.
METER
ROOM

TRANS.
ALCOVE

MULTI-TENANT COMMERCIAL 'B'
16,500 SF
high volume space



0' 4' 8' 16' 24'
SCALE: 1/8" = 1'

H1.0
2013-420 02/28/2017

Partial Floor Plan at Historic Facade

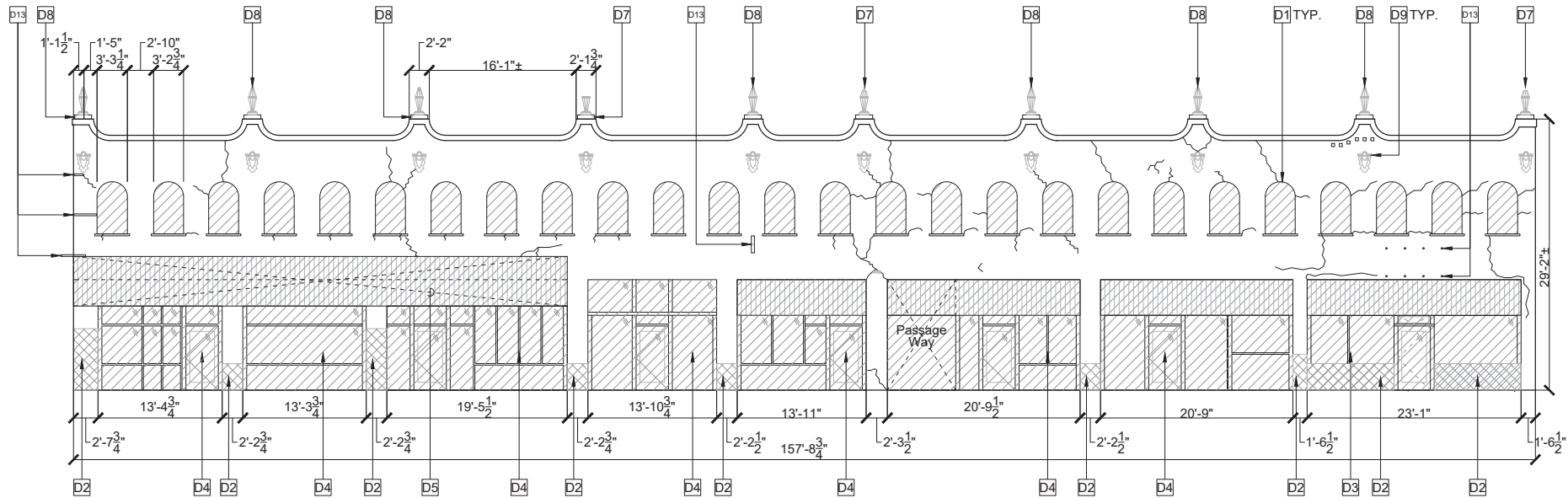
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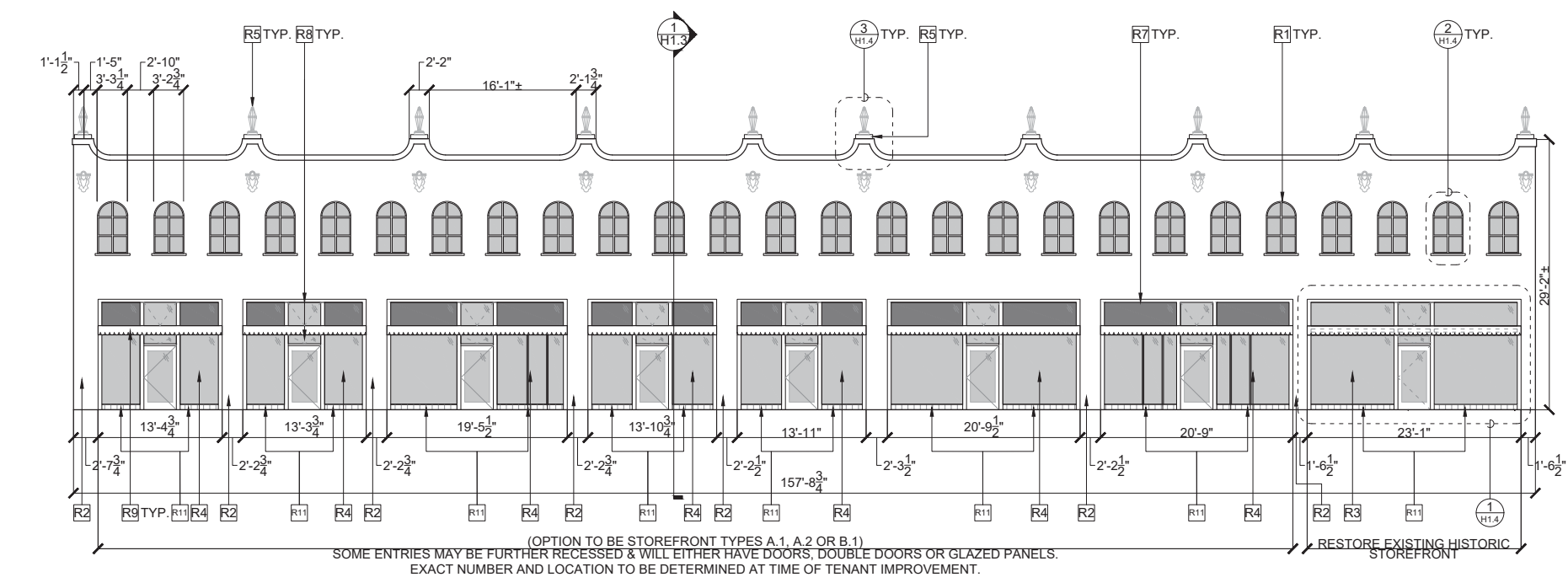
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1 Existing Facade at South Elevation (Mission Inn Avenue)
Scale: 1/8" = 1'-0"

- REHABILITATION KEY NOTES**
- R1 RESTORE EXISTING WOOD CASEMENT WINDOWS. WINDOWS TO HAVE TRANSLUCENT GLASS. SEE DETAIL 2/H1.4 FOR ADDITIONAL NOTES.
 - R2 REPAIR EXISTING DAMAGED PLASTER TYPICAL OR REPLACE WHERE PREVIOUSLY REMOVED OR AS A RESULT OF TILE OR STOREFRONT REMOVAL. MATCH ORIGINAL THICKNESS & TEXTURE. REPAIR W/JAHN PLASTER MORTAR OR PLASTER TO MATCH ORIGINAL MIX.
 - R3 RESTORE EXTANT ORIGINAL WOOD STOREFRONT. SEE DETAIL 1/H1.4 FOR ADDITIONAL NOTES.
 - R4 NEW STOREFRONT AT MISSION INN AVE TO BE SIMILAR TO EXISTING ORIGINAL IN DOOR & TRANSOM ELEMENTS & DIMENSIONS. SEE DETAIL 1/H1.4 FOR ADDITIONAL NOTES. (N) STOREFRONT TO BE COMPATIBLE METAL. MATCH (E) SETBACK DIMENSIONS
 - R5 NEW URN TO BE CAST FROM SILICONE MOLD OF ORIGINAL. NEW URN TO BE GFRC OR FRP & MATCH ORIGINAL PROFILE & DIMENSIONS. FINISH TO MATCH (E) COLOR & GLOSS SHEEN.
 - R6 NEW ARCHED WINDOW WITH SHED ROOF TO MATCH ORIGINAL
 - R7 OPAQUE PANEL TO MATCH HISTORIC PHOTOGRAPH. PANEL TO BE GLASS W/OPAQUE FILM.
 - R8 OPERABLE TRANSOM WINDOW (INSWING HOPPER)
 - R9 FUTURE RETRACTABLE AWNINGS. AWNINGS TO BE RESTRICTED TO TRANSOM BAR LOCATION AS SHOWN & NOT COVER TRANSOMS ABOVE. SCALLOPED VALANCE TO MATCH HISTORIC PHOTOGRAPH.
 - R10 NEW STOREFRONT AT MARKET ST. TO BE COMPATIBLE METAL SIMILAR TO MISSION INN AVE. STOREFRONTS. DIMENSIONS OF TRANSOM & SILL TO MATCH HISTORIC PHOTOGRAPHS.
 - R11 TILE SILL WALL TO REPLICATE HISTORIC PHOTO
 - R12 CEMENT PLASTER SILL WALL TO REPLICATE HISTORIC PHOTO

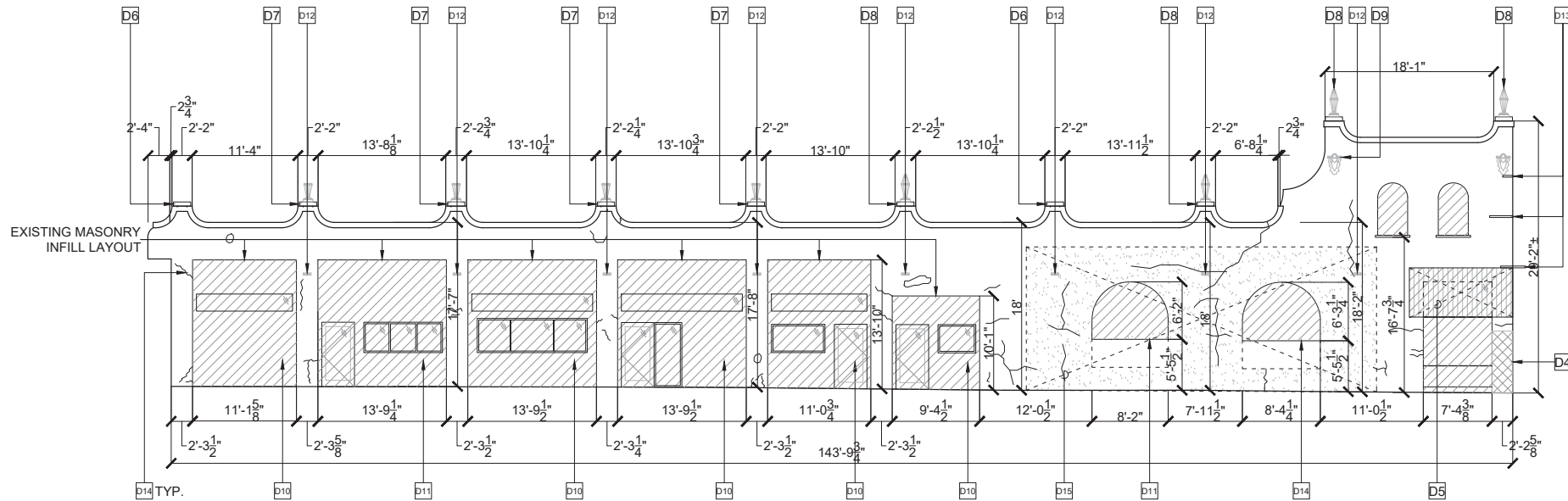
- SELECTIVE AND CONTROLLED REMOVAL KEY NOTES**
- D1 REMOVE (E) PLYWOOD COVERING TO EXPOSE ORIGINAL WINDOWS UNDERNEATH, PROTECT ORIGINAL WINDOW FROM DAMAGE DURING REMOVAL
 - D2 REMOVE (E) NON-HISTORIC TILE WAINSCOT
 - D3 REMOVE (E) PLYWOOD COVERING & NON-HISTORIC STOREFRONT GLAZING & WAINSCOT. PROTECT & RETAIN ORIGINAL WOOD STOREFRONT SILL, JAMB, & TRANSOM FRAMING, TRIM & ANY ORIGINAL UNBROKEN GLAZING
 - D4 REMOVE ALL NON-HISTORIC STOREFRONT. PROTECT & PRESERVE ALL ADJACENT PLASTER FINISH MATERIALS. NOTIFY PRESERVATION ARCHITECT OF ANY DISCOVERED ENCAPSULATED ORIGINAL MATERIAL PRIOR TO REMOVAL
 - D5 REMOVE NON-ORIGINAL SIGNAGE AND COVERING
 - D6 EXISTING MISSING TERRA COTTA URN LOCATION
 - D7 EXISTING DAMAGED & PARTIALLY MISSING TERRA COTTA URN. REMOVE & SALVAGE URNS FOR FUTURE DISPLAY
 - D8 EXISTING TERRA COTTA URN WITH MINOR DETERIORATION
 - D9 PRESERVE EXISTING ORIGINAL CAST STONE CARTOUCHE. VERIFY THAT THEY ARE SECURELY ATTACHED. USE STAINLESS STEEL ANCHORS & PATCH W/JAHN MORTAR AS REQUIRED.
 - D10 REMOVE (E) NON-HISTORIC MASONRY INFILL & STOREFRONT INCLUDING DOOR & WINDOW ASSEMBLES.
 - D11 REMOVE EXISTING NON-HISTORIC MASONRY INFILL. LOWER OPENING TO ORIGINAL SILL HEIGHT
 - D12 EXISTING METAL DETAIL TO REMAIN
 - D13 EXISTING ABANDONED METAL SIGN SUPPORTS TO BE REMOVED
 - D14 EXISTING PLASTER CRACKS. ROUT FULL EXTENT OF CRACK TO SOUND MATERIAL AND KEY. CRACKS SHOWN ARE ONLY OBSERVABLE AT SURFACE PLASTER ONLY WITH NO MEASURABLE OFFSET. AFTER ROUTING PLASTER TO SUBSTRATE, REPORT IF ANY CRACKS OCCUR IN THE UN-REINFORCED MASONRY SUBSTRATE TO ARCHITECT. INJECT CRACKS W/EXPOXY OR REPAIR W/JAHN MORTAR AS DETERMINED NECESSARY.
 - D15 EXISTING PLASTER AREA WITH CRACKS & POORLY MATCHED PREVIOUS PATCHING. REMOVE EXTENT OF PLASTER SHOWN POCHED. SEE D14 FOR ADDITIONAL NOTES
 - D16 REMOVE (E) THROUGH-WALL BOLTS AFTER SHORING COMPLETE DURING REMOVAL OF ROOF & INTERIOR BUILDING STRUCTURE.



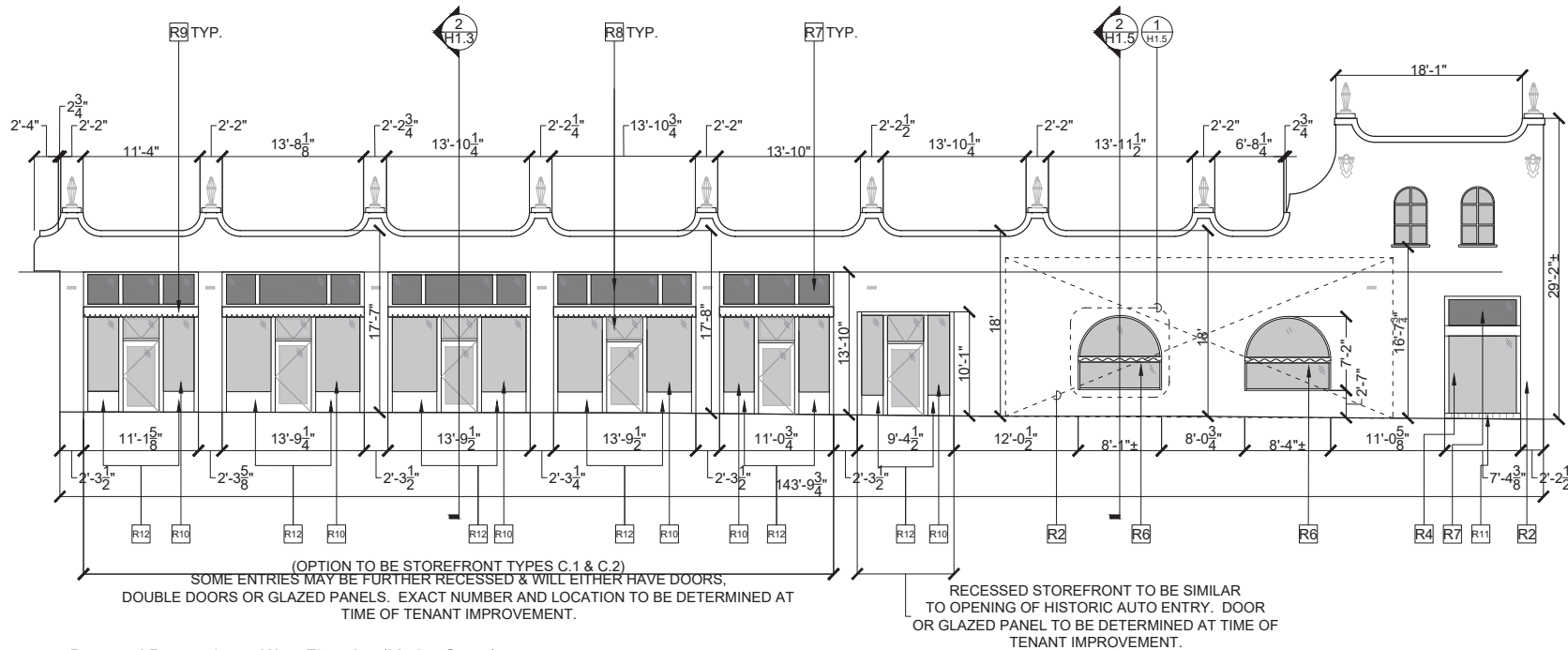
2 Proposed Restoration at South Elevation (Mission Inn Avenue)
Scale: 1/8" = 1'-0"

- REHABILITATION SHEET NOTES**
- REPOINT EXISTING BRICK MASONRY AS REQUIRED THAT IS EXPOSED WITH DAMAGED MORTAR JOINTS. ANALYZE EXISTING MORTAR COMPOSITION & REPOINT WITH IN-KIND MORTAR MIX. MATCH POINTING PROFILES AT HEAD AND BED JAMB.
 - REPAINT ENTIRE FACADE. COLORS TBD AFTER PAINT & CHRONOLOGY ANALYSIS
 - DOCUMENT SIZES AND LOCATIONS OF ORIGINAL GRANITE CURBS & GUTTERS; REPOSITION CURBS IN THEIR ORIGINAL POSITIONS & ALIGNMENTS. SIDEWALK TO BE WIDENED, MEETING CURRENT RIVERSIDE PUBLIC WORKS REQUIREMENTS.
- REHABILITATION SEQUENCING**
- REVIEW WITH HISTORIC CONSULTANT & DETERMINE URNS SUFFICIENTLY INTACT TO SALVAGE. REMOVE URNS & STORE. ENSURE ALL 2ND FLOOR WINDOWS ARE COVERED WITH PLYWOOD PROTECTION AS REQUIRED.
 - INSTALL SHORING & CONSTRUCTION BARRICADE PER SHORING ENGINEER DESIGN
 - SELECTIVELY REMOVE INTERIOR BUILDING & PROTECT (E) FACADE FROM DAMAGE. SELECTIVELY REMOVE NON-ORIGINAL STOREFRONTS
 - INSTALL NEW SHORTCRETE & BUILDING STRUCTURE
 - PERFORM WALL REPAIRS & DECORATIVE ELEMENT REPAIRS
 - PERFORM STOREFRONT INSTALLATION, WINDOW REHABILITATION, URN REPLICATION & PAINT

- SELECTIVE AND CONTROLLED REMOVAL SHEET NOTES**
- PROTECT (E) HISTORIC MATERIAL TO REMAIN FROM DAMAGE. REMOVE ONLY MATERIAL SPECIFICALLY NOTED. COMPLY WITH RECOMMENDATIONS FROM NPS PRESERVATION TECH NOTES 1-3 ON TEMPORARY PROTECTION
 - COORDINATE W/PRESERVATION CONSULTANT ON SITE PRIOR TO THE START OF WORK.
 - PROVIDE CONSTRUCTION BARRIER TO SEPARATE HISTORIC FACADE FROM PUBLIC ACCESS DURING CONSTRUCTION.
 - SHORING SHOULD NOT TOUCH EXISTING PARAPET CAP, WINDOWS, OR CARTOUCHE. SHORING ATTACHMENTS SHALL BE MINIMAL AND ONLY OCCUR IN FLAT PLASTER AREA.
 - DOCUMENT (PHOTOGRAPH, NUMBER, & TAG) URNS REMOVED. CRATE AND BUBBLE WRAP URNS & STORE FOR FUTURE RELOCATION IN PROJECT. COORDINATE STORAGE LOCATION W/OWNER'S REP.



1 Existing Facade at West Elevation (Market Street)
Scale: 1/8" = 1'-0"



2 Proposed Restoration at West Elevation (Market Street)
Scale: 1/8" = 1'-0"

REHABILITATION KEY NOTES

- R1** RESTORE EXISTING WOOD CASEMENT WINDOWS. WINDOWS TO HAVE TRANSLUCENT GLASS. SEE DETAIL 2/H1.4 FOR ADDITIONAL NOTES.
- R2** REPAIR EXISTING DAMAGED PLASTER TYPICAL OR REPLACE WHERE PREVIOUSLY REMOVED OR AS A RESULT OF TILE OR STOREFRONT REMOVAL. MATCH ORIGINAL THICKNESS & TEXTURE. REPAIR W/JAHN PLASTER MORTAR OR PLASTER TO MATCH ORIGINAL MIX.
- R3** RESTORE EXTANT ORIGINAL WOOD STOREFRONT. SEE DETAIL 1/H1.4 FOR ADDITIONAL NOTES.
- R4** NEW STOREFRONT AT MISSION INN AVE TO BE SIMILAR TO EXISTING ORIGINAL IN DOOR & TRANSOM ELEMENTS & DIMENSIONS. SEE DETAIL 1/H1.4 FOR ADDITIONAL NOTES. (N) STOREFRONT TO BE COMPATIBLE METAL. MATCH (E) SETBACK DIMENSIONS
- R5** NEW URN TO BE CAST FROM SILICONE MOLD OF ORIGINAL. NEW URN TO BE GFRC OR FRP & MATCH ORIGINAL PROFILE & DIMENSIONS. FINISH TO MATCH (E) COLOR & GLOSS SHEEN.
- R6** NEW ARCHED WINDOW WITH SHED ROOF TO MATCH ORIGINAL
- R7** OPAQUE PANEL TO MATCH HISTORIC PHOTOGRAPH. PANEL TO BE GLASS W/OPAQUE FILM.
- R8** OPERABLE TRANSOM WINDOW (INSWING HOPPER)
- R9** FUTURE RETRACTABLE AWNINGS. AWNINGS TO BE RESTRICTED TO TRANSOM BAR LOCATION AS SHOWN & NOT COVER TRANSOMS ABOVE. SCALLOPED VALANCE TO MATCH HISTORIC PHOTOGRAPH.
- R10** NEW STOREFRONT AT MARKET ST. TO BE COMPATIBLE METAL SIMILAR TO MISSION INN AVE. STOREFRONTS. DIMENSIONS OF TRANSOM & SILL TO MATCH HISTORIC PHOTOGRAPHS.
- R11** TILE SILL WALL TO REPLICATE HISTORIC PHOTO
- R12** CEMENT PLASTER SILL WALL TO REPLICATE HISTORIC PHOTO

REHABILITATION SHEET NOTES

1. REPOINT EXISTING BRICK MASONRY AS REQUIRED THAT IS EXPOSED WITH DAMAGED MORTAR JOINTS. ANALYZE EXISTING MORTAR COMPOSITION & REPOINT WITH IN-KIND MORTAR MIX. MATCH POINTING PROFILES AT HEAD AND BED JAMB.
2. REPAINT ENTIRE FACADE. COLORS TBD AFTER PAINT & CHRONOLOGY ANALYSIS
3. DOCUMENT SIZES AND LOCATIONS OF ORIGINAL GRANITE CURBS & GUTTERS; REPOSITION CURBS IN THEIR ORIGINAL POSITIONS & ALIGNMENTS. SIDEWALK TO BE WIDENED, MEETING CURRENT RIVERSIDE PUBLIC WORKS REQUIREMENTS.

REHABILITATION SEQUENCING

1. REVIEW WITH HISTORIC CONSULTANT & DETERMINE URNS SUFFICIENTLY INTACT TO SALVAGE. REMOVE URNS & STORE. ENSURE ALL 2ND FLOOR WINDOWS ARE COVERED WITH PLYWOOD PROTECTION AS REQUIRED.
2. INSTALL SHORING & CONSTRUCTION BARRICADE PER SHORING ENGINEER DESIGN
3. SELECTIVELY REMOVE INTERIOR BUILDING & PROTECT (E) FACADE FROM DAMAGE. SELECTIVELY REMOVE NON-ORIGINAL STOREFRONTS
4. INSTALL NEW SHORTCRETE & BUILDING STRUCTURE
5. PERFORM WALL REPAIRS & DECORATIVE ELEMENT REPAIRS
6. PERFORM STOREFRONT INSTALLATION, WINDOW REHABILITATION, URN REPLICATION & PAINT

SELECTIVE AND CONTROLLED REMOVAL KEY NOTES

- D1** REMOVE (E) PLYWOOD COVERING TO EXPOSE ORIGINAL WINDOWS UNDERNEATH, PROTECT ORIGINAL WINDOW FROM DAMAGE DURING REMOVAL
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- D16** REMOVE (E) THROUGH-WALL BOLTS AFTER SHORING COMPLETE DURING REMOVAL OF ROOF & INTERIOR BUILDING STRUCTURE.

SELECTIVE AND CONTROLLED REMOVAL SHEET NOTES

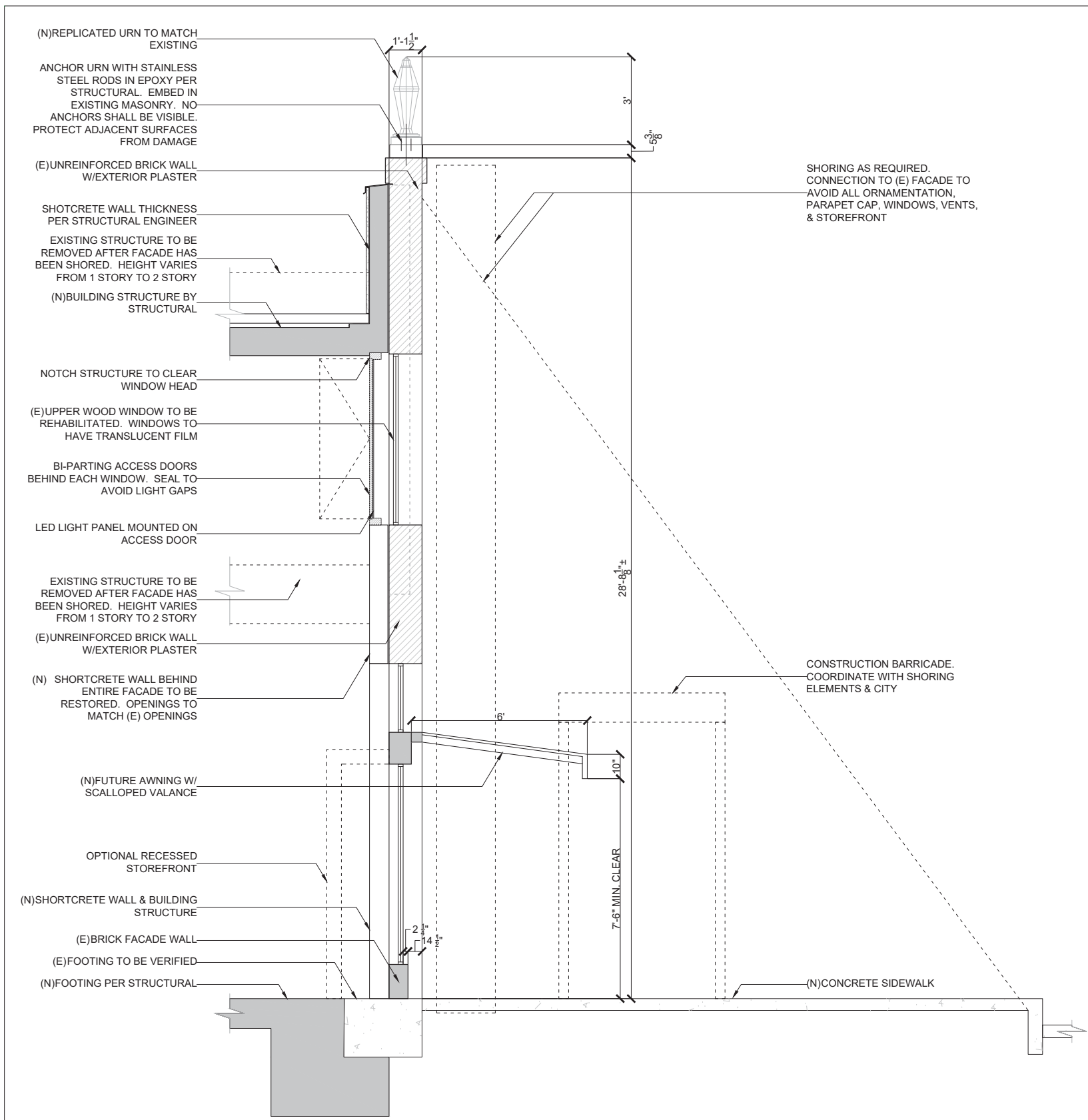
1. PROTECT (E) HISTORIC MATERIAL TO REMAIN FROM DAMAGE. REMOVE ONLY MATERIAL SPECIFICALLY NOTED. COMPLY WITH RECOMMENDATIONS FROM NPS PRESERVATION TECH NOTES 1-3 ON TEMPORARY PROTECTION
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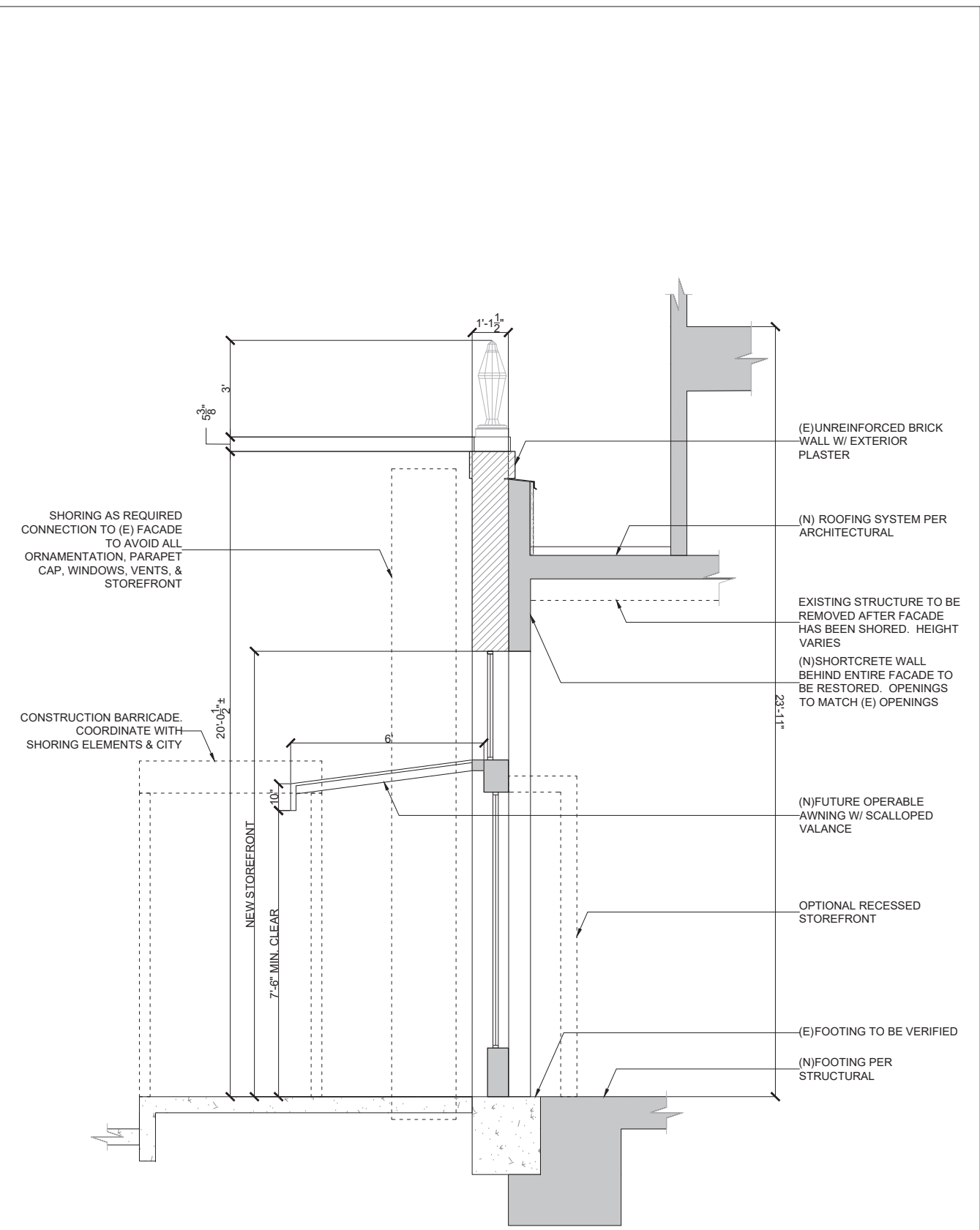
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West Elevation (Market Street) Proposed Rehabilitation



① Proposed Facade Rehabilitation Sections - Mission Inn Ave.
Scale: 1/2" = 1'-0"



② Proposed Facade Rehabilitation Sections - Market Street
Scale: 1/2" = 1'-0"

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0' 1' 2' 4' 6'
SCALE: 1/2" = 1'

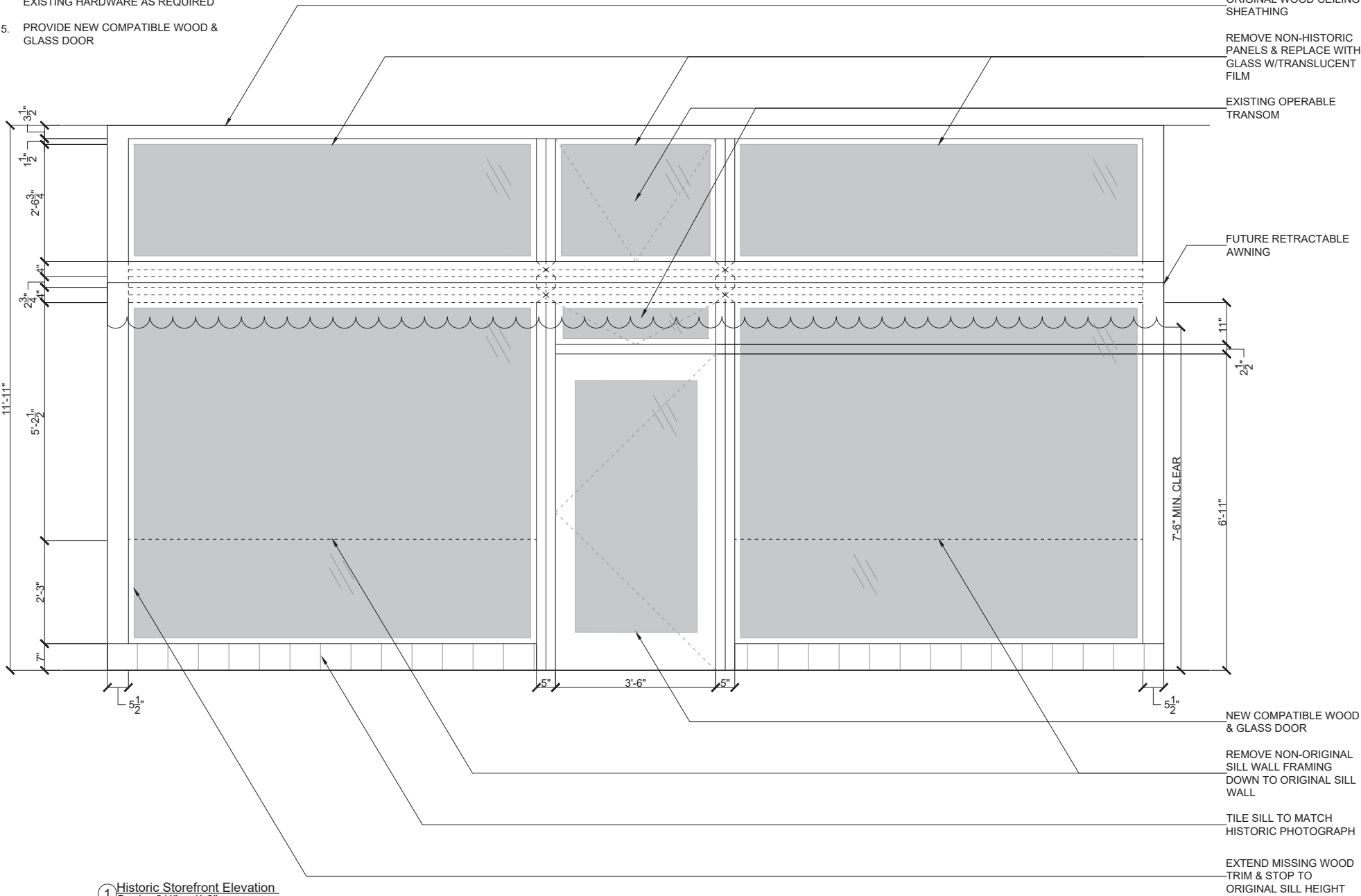
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Partial Historic Facade Sections

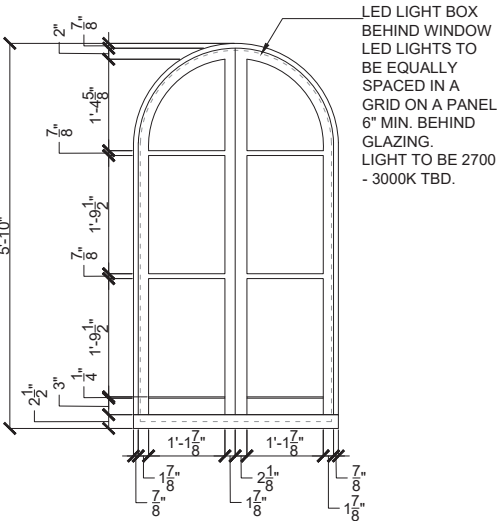
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STOREFRONT REPAIR NOTES

1. REMOVE ALL NON-HISTORIC DOOR SOUND PANEL INFILL & SILL WALL EXTENSION. PROTECT ORIGINAL STOREFRONT MATERIAL. STRIP EXISTING PAINT
2. REPAIR DETERIORATED WOOD (LESS THAN 30% DECAYED) WITH ABATRON LIQUID WOOD & WOOD EPOXY AS REQUIRED.
3. REPLACE SIGNIFICANTLY MISSING, DETERIORATED OR SPLIT WOOD COMPONENTS THAT CANNOT BE REPAIRED (MORE THAN 30% DECAYED) WITH WOOD EPOXY WITH IN-KIND COMPONENTS TO MATCH ORIGINAL PROFILE & DIMENSIONS. REPLACE BROKEN GLASS OR MISSING GLASS WITH NEW LAMINATED GLASS TO MATCH.
4. MAKE TRANSOMS OPERABLE. REPAIR EXISTING HARDWARE AS REQUIRED
5. PROVIDE NEW COMPATIBLE WOOD & GLASS DOOR



① Historic Storefront Elevation
Scale: 3/4" = 1'-0"



② Arched Window Rehabilitation
Scale: 3/4" = 1'-0"

WINDOW REPAIR NOTES

1. PROTECT ALL EXISTING WOOD WINDOW COMPONENTS FROM DAMAGE DURING REMOVAL OF BOARDING.
2. REPAIR DETERIORATED WOOD (LESS THAN 30% DECAY) WITH ABATRON LIQUID WOOD & WOOD EPOXY AS REQUIRED
3. REPLACE SIGNIFICANTLY MISSING, DETERIORATED OR SPLIT WOOD COMPONENTS THAT CANNOT BE REPAIRED (MORE THAN 30% DECAY) WITH IN-KIND COMPONENTS TO MATCH ORIGINAL PROFILE & DIMENSIONS.
4. REPAIR EXISTING HARDWARE AS REQUIRED
5. IF OCCURS, CLEAN & RE-GLAZE (E) TEXTURIZED TRANSLUCENT GLASS. REPLACE BROKEN OR MISSING GLASS W/IN-KIND TEXTURIZED GLASS & TRANSLUCENT FILM TO MATCH.

TERRA COTTA URN REPAIR NOTES

EXISTING TERRA COTTA URNS RANGE FROM MINOR DAMAGE, PARTIALLY MISSING TO MISSING. ALL HAVE SINGLE REBAR ATTACHMENT WITH CORROSION. REMOVE ALL URNS & STORE FOR FUTURE INSTALLATION ELSEWHERE IN PROJECT. INSTALL NEW GFRC OR FRP URNS CAST FROM MOLDS OF EXISTING URNS TO MATCH EXACT PROFILE. NEW ATTACHMENTS TO BE NON-CORROSIVE WITH EPOXY SETTING BED OR AS DETERMINED BY STRUCTURAL. EMBED PER STRUCTURAL RECOMMENDATIONS INTO SOLID BRICK WALL.

URN FINISH TO MATCH ORIGINAL COLOR AND SHEEN. FINISH USED TO BE EDISON AQUATHANE COATINGS AND/OR NOVA COLORS



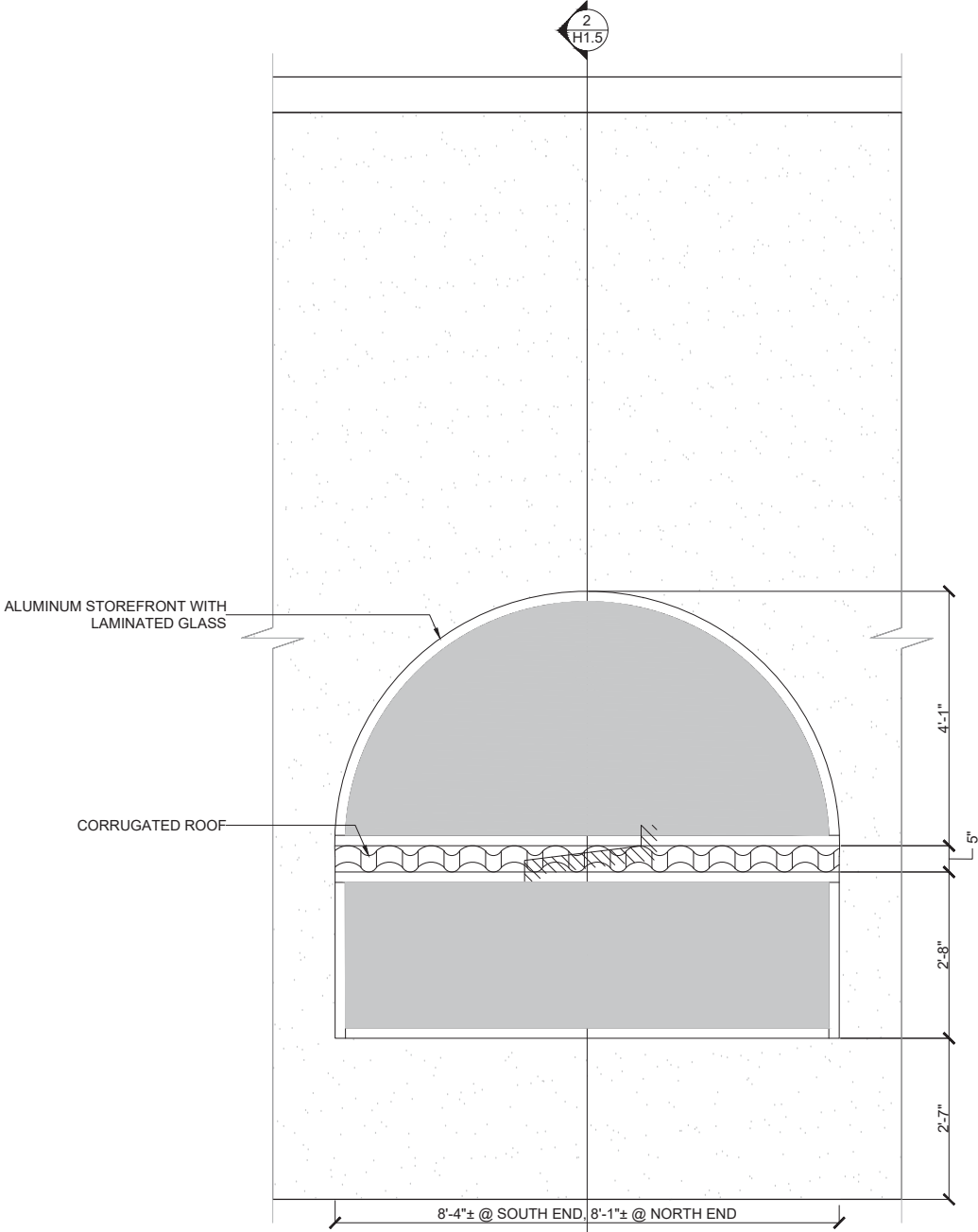
③ Decorative Terra Cotta Urn Rehabilitation
Scale: NTS

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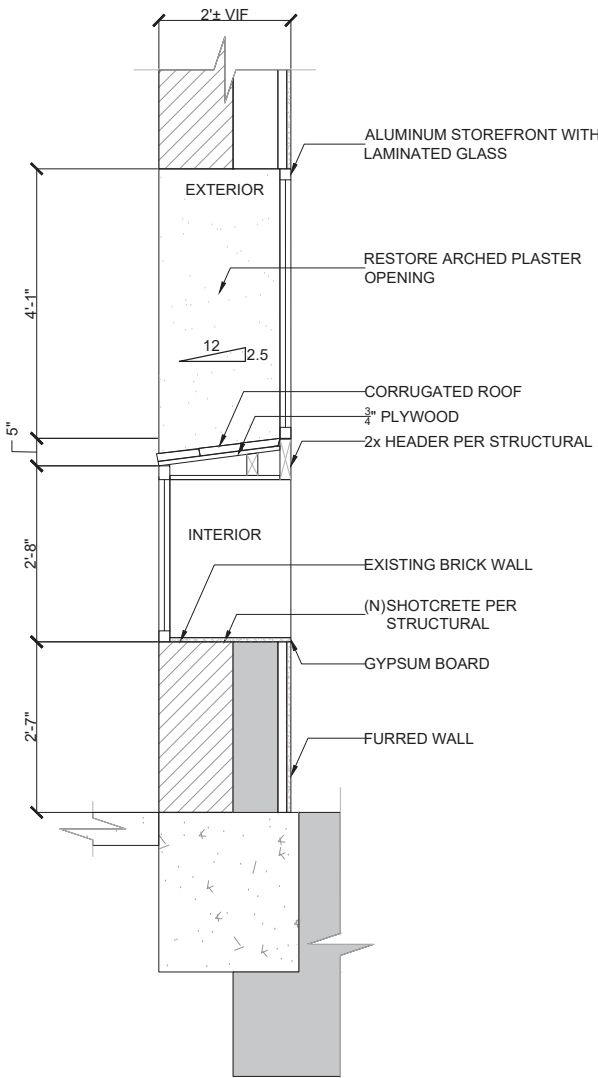
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2013-420 01.20.2017
Facade Rehabilitation Detail
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① Arched Shed Window Rehabilitation
Scale: 3/4" = 1'-0"



② Proposed Facade Rehabilitation Section - Market Street @ Arched Window
Scale: 3/4" = 1'-0"

NOTES

DOORS TO BE OPTIONAL SINGLES, DOUBLE OR FIXED GLAZED PANEL.
SWING DIRECTION WILL BE DETERMINED AT TIME OF TENANT
IMPROVEMENT.

A.1		
	FURTHER RECESSED	
A.2		
	FURTHER RECESSED	
B.1		
	FURTHER RECESSED	
C		
	FURTHER RECESSED	
C.1		
	FURTHER RECESSED	
C.2		
	FURTHER RECESSED	

③ Storefront Schedule
Scale: 3/16" = 1'-0"

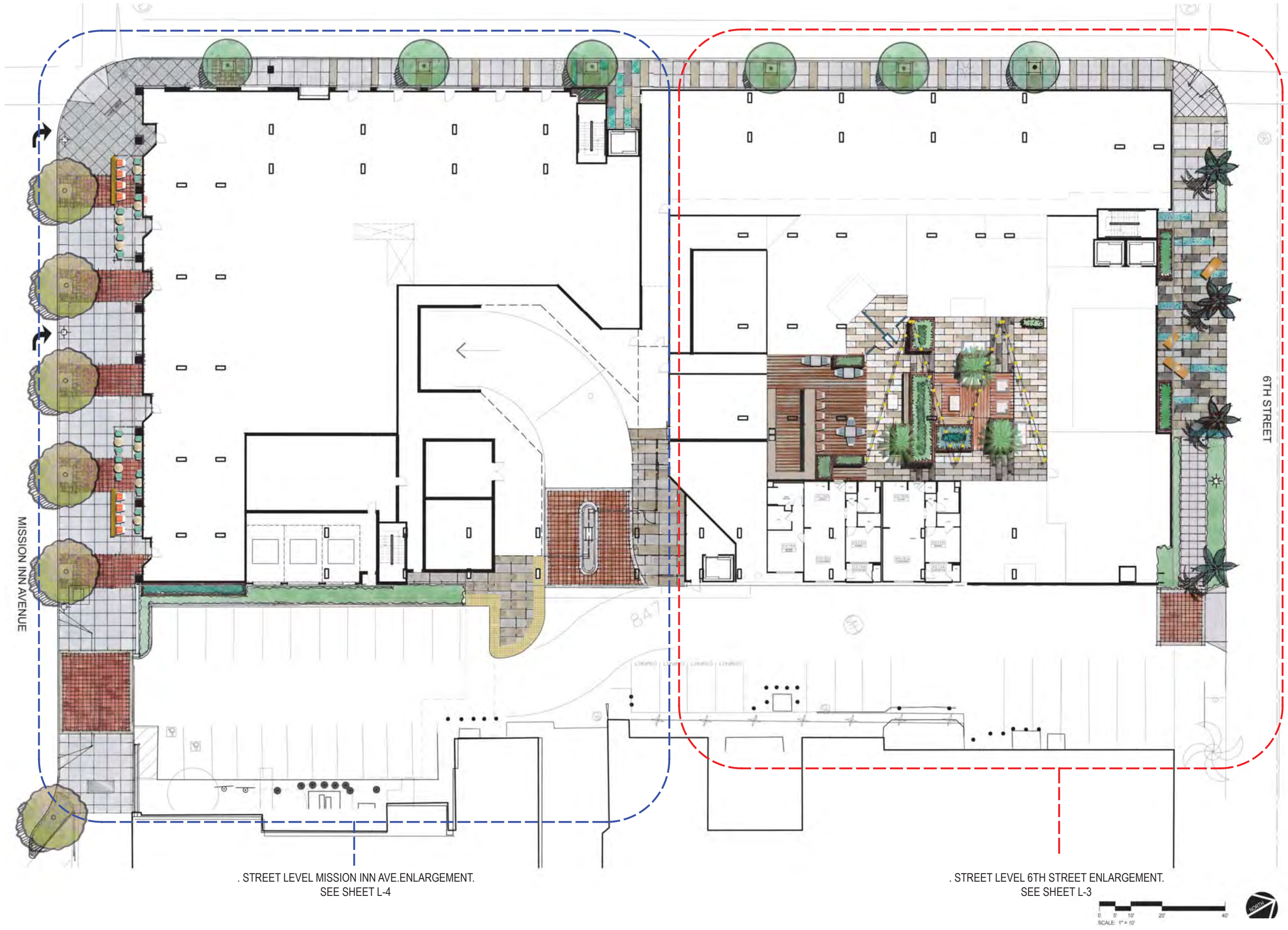


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OVERALL PLAN AT STREET LEVEL

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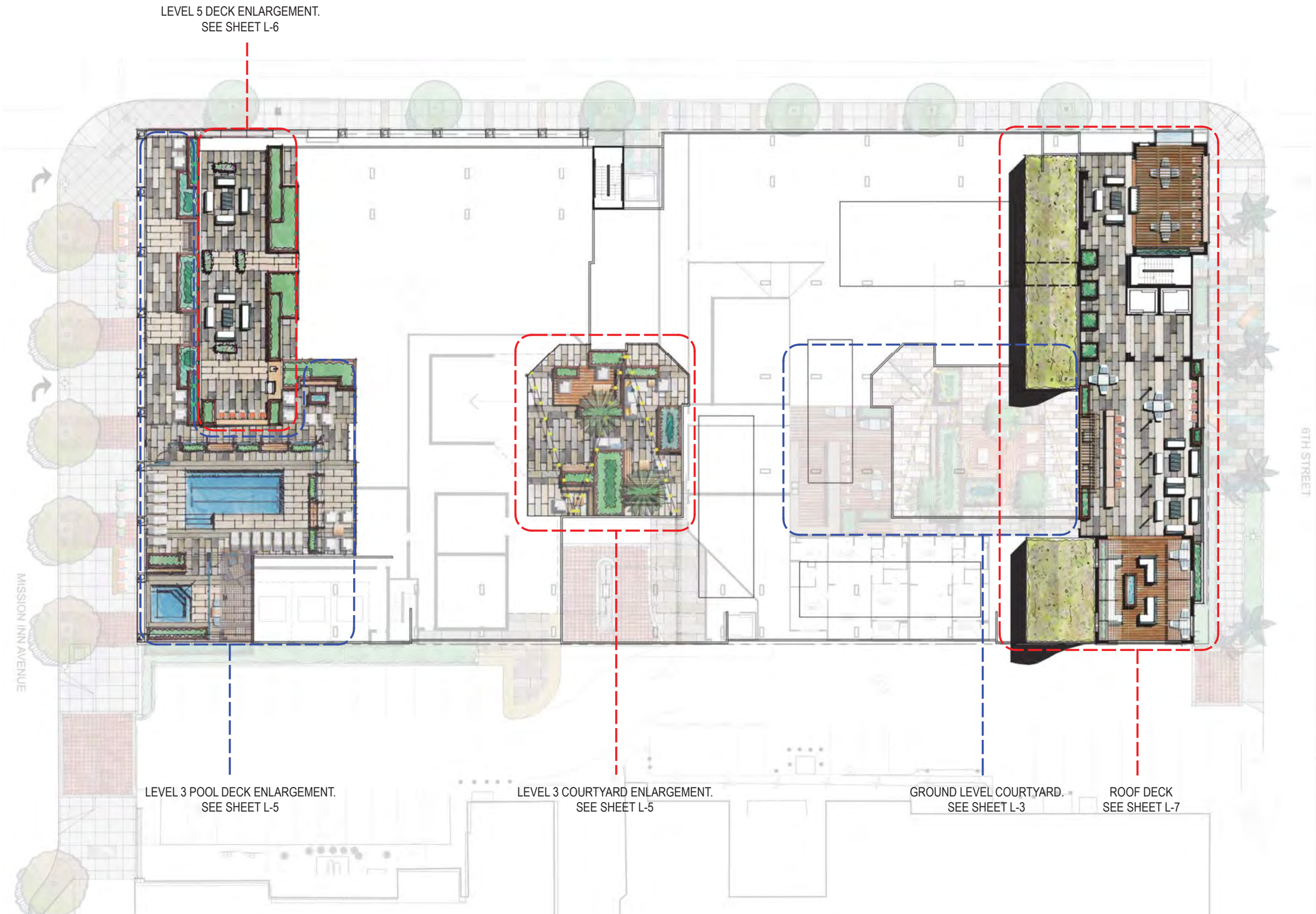
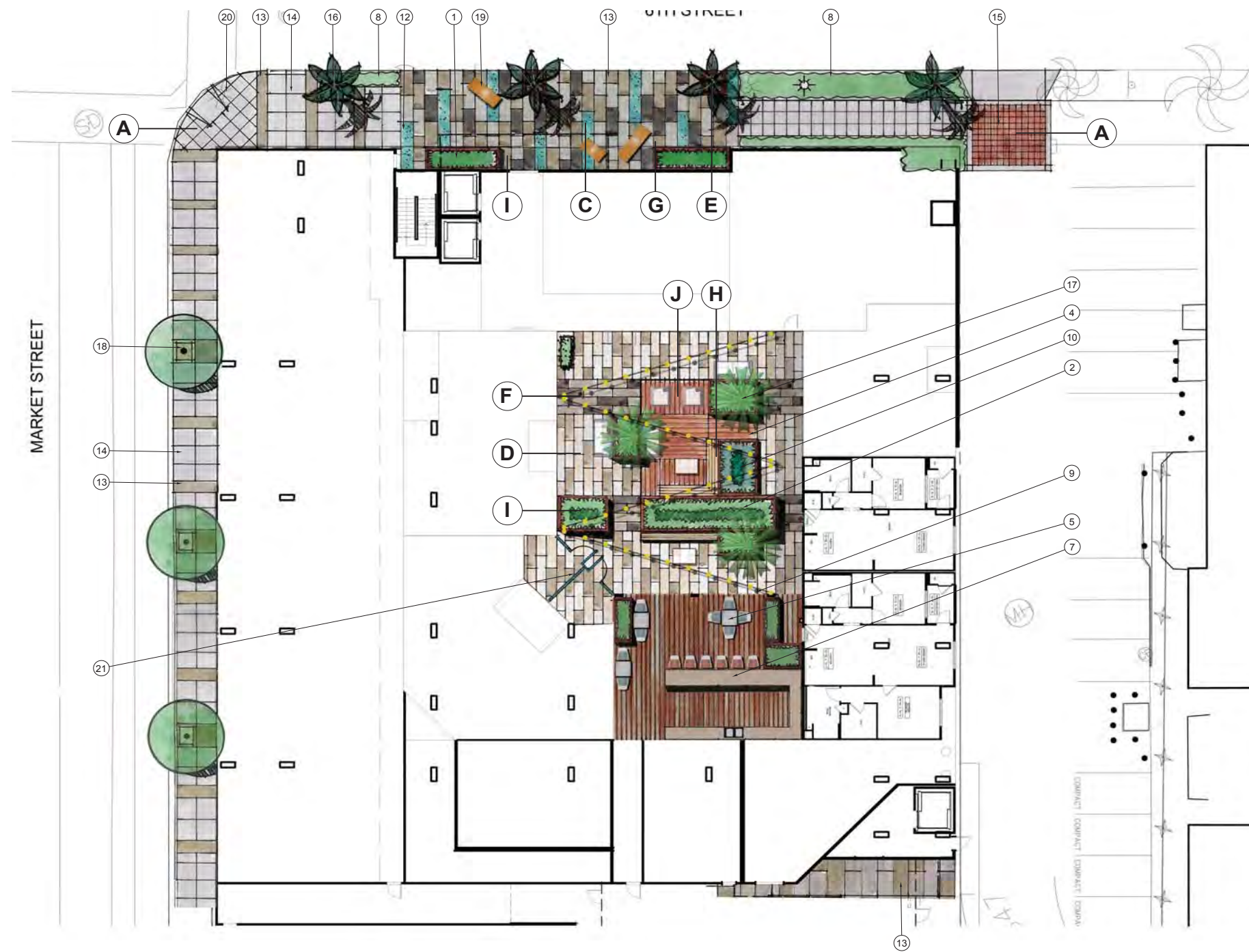


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FEATURE LEGEND:

- ① RAISED PLANTER BED.
- ② RAISED PLANTER W/ BUILT-IN SEATING
- ③ PORTABLE SEATING W/ CUSION.
- ④ RAISED WOOD COMPOSITE OR PAVER DECKING SEATING AREA W/ RAMP ACCESS.
- ⑤ PORTABLE FURNITURE.
- ⑥ PODIUM CONCRETE PAVERS.
- ⑦ BAR SEATING AND BUILT-IN SINK/ SERVING AREA.
- ⑧ PLANTING AREA AT GRADE LEVEL.
- ⑨ STRING LIGHTING.
- ⑩ IN-GROUND WQMP PLANTER FLOW-THROUGH TO PARKING BELOW.
- ⑪ RAISED WQMP PLANTER FROM ROOF DRAIN.
- ⑫ GLASS SEEDED CONCRETE.
- ⑬ COLORED CONCRETE.
- ⑭ STANDARD GRAY CONCRETE SIDEWALK.
- ⑮ BURNISHED CONCRETE UNIT PAVER.
- ⑯ QUEEN PALM STREET TREE W/ CORTEN STEEL TREE GRATE.
- ⑰ KENTIA PALM TREE.
- ⑱ PODOCARPUS STREET TREE W/ TREE GRATE.
- ⑲ SIGNATURE SEATING BLOCKS WITH LED ILLUMINATED INTERIOR.
- ⑳ ENHANCED CONCRETE FINISH.
- ㉑ LOW PRIVATE COURTYARD FENCE AND GATE.

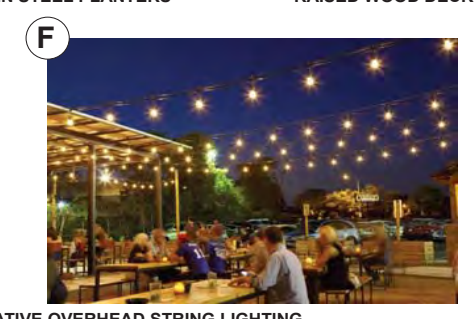
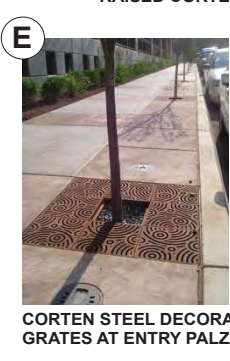
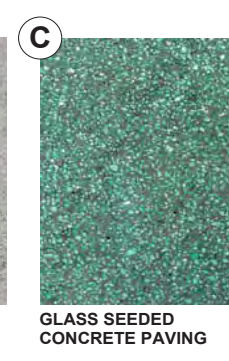
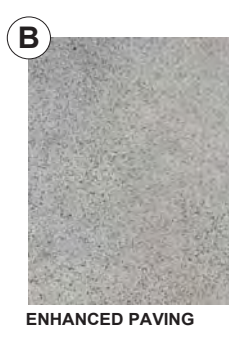
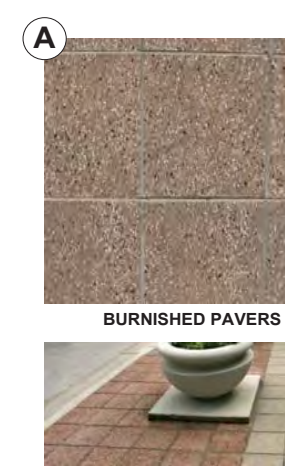
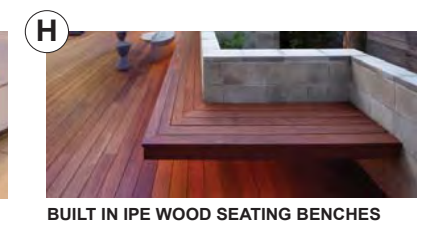


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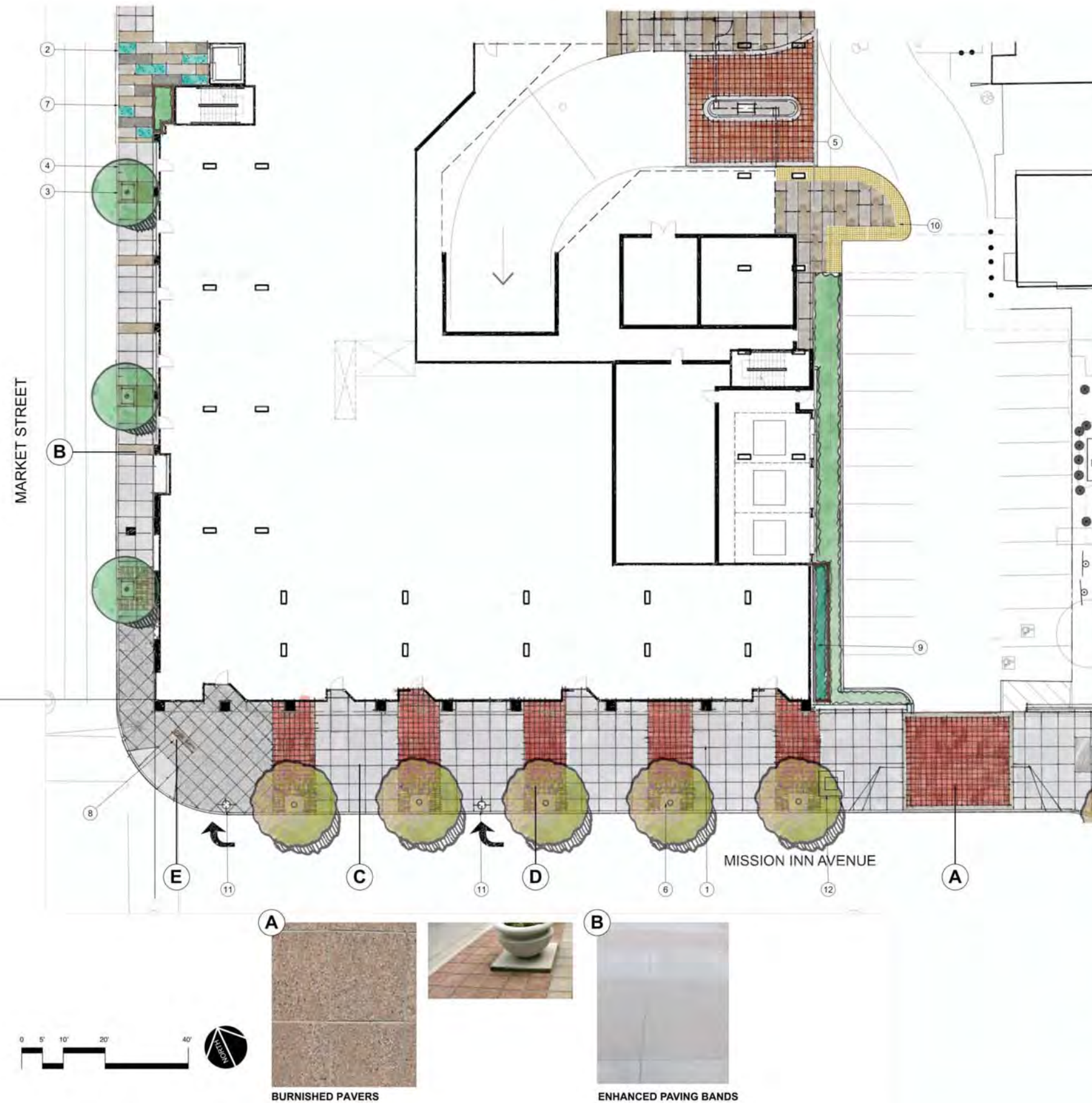
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DESIGN GROUP
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6th STREET AT STREET LEVEL

L-3
1613 12.21.2016



FEATURE LEGEND:

- 1 OUTDOOR DINING.
- 2 GLASS SEEDED CONCRETE.
- 3 COLORED CONCRETE.
- 4 STANDARD GRAY CONCRETE SIDEWALK.
- 5 BURNISHED CONCRETE UNIT PAVER.
- 6 TABEBUIA STREET TREE AT MISSION INN AVE.
- 7 PODOCARPUS STREET TREE IN TREE GRATE.
- 8 SIGNATURE CONCRETE INLAY AT CORNER.
- 9 RAISED WQMP PLANTER FROM ROOF DRAIN.
- 10 TRUNCATED DOMES AT ZERO CURB.
- 11 CITY OF RIVERSIE HISTORICAL LIGHT POST.
- 12 TRANSFORMER SWITCH GEAR BOX.



OUTDOOR DINING



TABEBUIA STREET TREE



SIGNATURE CONCRETE INLAY

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DECKING, PORTABLE SEATING, AND RAISED PLANTER



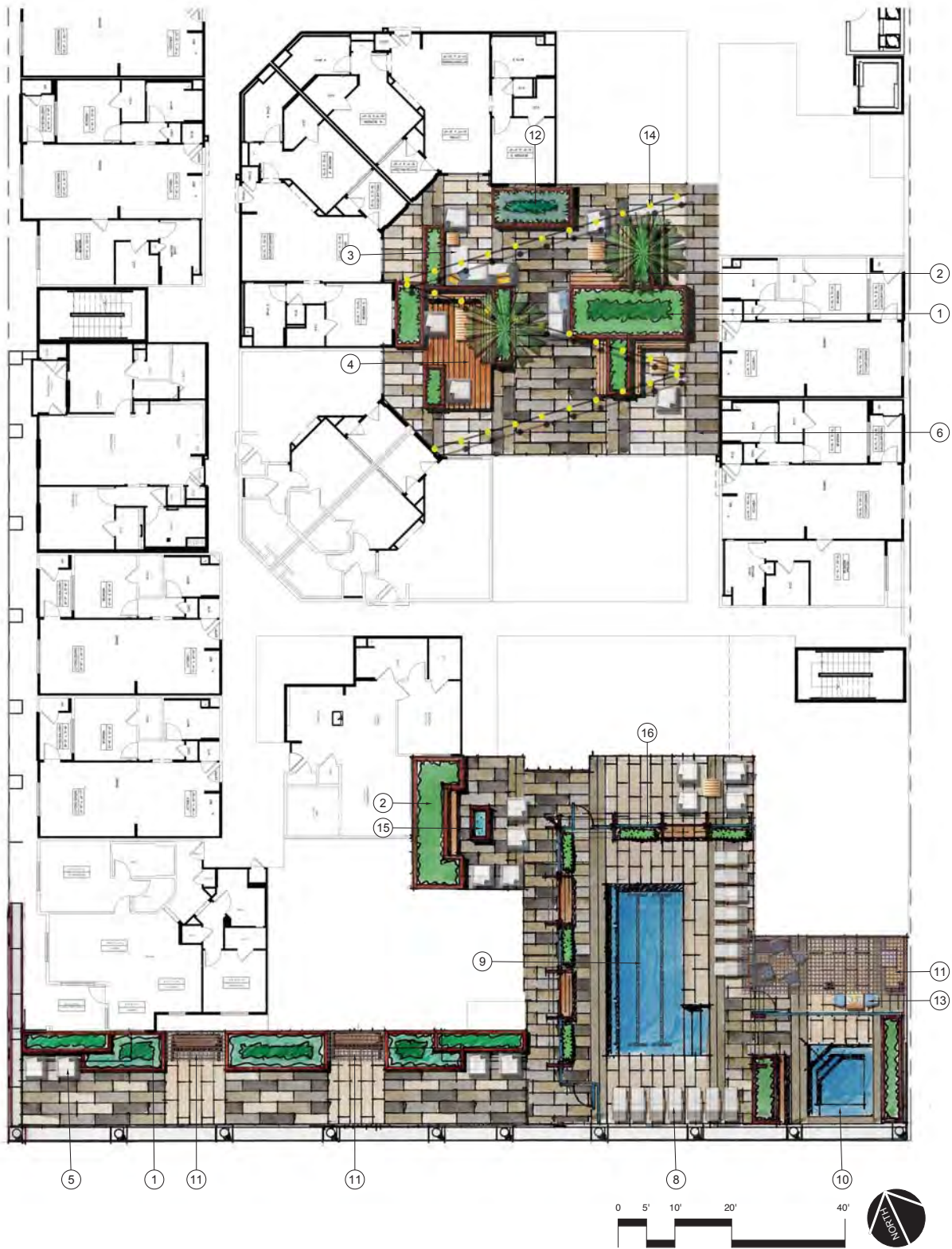
POOL DECK AND LOUNGE AREAS



WOOD DECKING WITH BUILT-IN SEATING

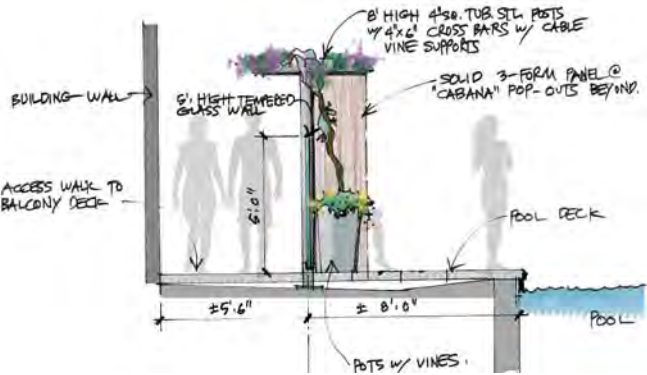


RAISED CORTEN STEEL PLANTER



FEATURE LEGEND:

- ① RAISED PLANTER BED.
- ② RAISED PLANTER W/ BUILT-IN SEATING
- ③ PORTABLE SEATING W/ CUSION.
- ④ OMITTED.
- ⑤ PORTABLE FURNITURE.
- ⑥ PODIUM CONCRETE PAVERS.
- ⑦ PODIUM CONCRETE PAVER ACCENT BAND.
- ⑧ POOL LOUNGE FURNISHING.
- ⑨ POOL.
- ⑩ SPA.
- ⑪ ARCHITECTURAL OVERHEAD TRELLIS.
- ⑫ WQMP PLANTER FROM ROOF DRAIN.
- ⑬ ENCLOSED SEATING AREA EXTENDING FROM INTERIOR.
- ⑭ STRING LIGHTING.
- ⑮ FIRE PIT.
- ⑯ 5' HIGH POOL ENCLOSURE WITH SEATING NOOKS AND OVERHEAD CABLE TRELLIS.



POOL ENCLOSURE SECTION



POOL ENCLOSURE ELEVATION

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3RD FLOOR COURTYARD, POOL, AND DECK AREA

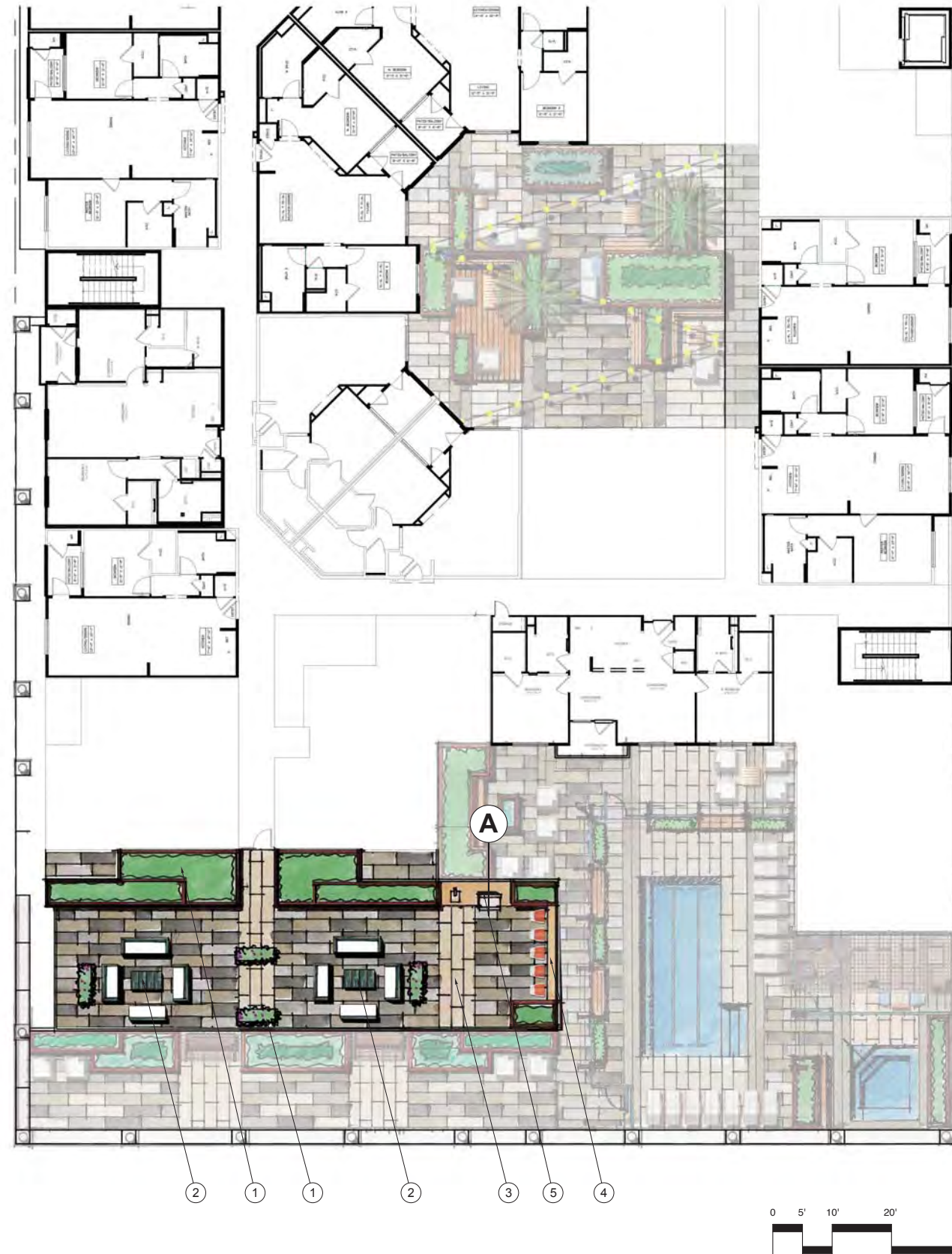


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L-5
1613 12.21.2016



FEATURE LEGEND:

- ① RAISED PLANTER BED.
- ② PORTABLE FURNITURE
- ③ PODIUM CONCRETE PAVERS.
- ④ BAR SEATING AND BUILT-IN SINK/ SERVING AREA.
- ⑤ BARBECUE AND SINK.

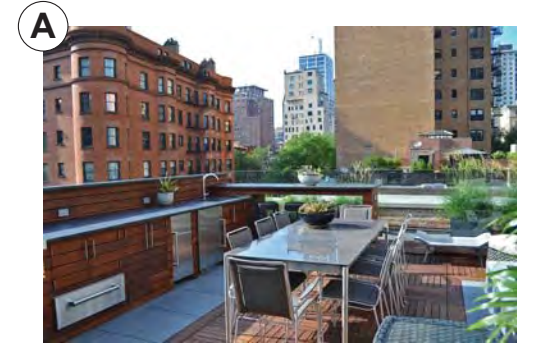


TABLE AND BAR SEATING AT DECK

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L-6
1613 12.21.2016
5TH FLOOR ROOF DECK
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MOVIE PROJECTOR WALL



SLOPED GREEN ROOF



GREEN ROOF

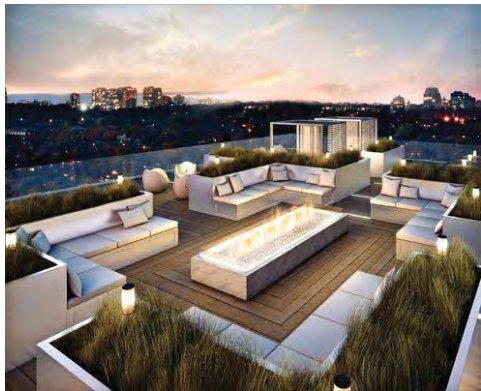


BAR SEATING WITH A VIEW



FEATURE LEGEND:

- ① RAISED PLANTER BED.
- ② MOVIE PROJECTOR WALL.
- ③ PORTABLE FURNITURE.
- ④ CONCRETE UNIT PAVER ON PEDESTAL SYSTEM.
- ⑤ WOOD DECKING ON PEDESTAL SYSTEM.
- ⑥ BAR SEATING.
- ⑦ SLOPED ROOF GARDEN UTILITY SCREEN.
- ⑧ OUTDOOR ROOM W/ ARCHITECTURAL OVERHEAD.
- ⑨ BUILT-IN GRILLING STATION.
- ⑩ BAR SEATING.
- ⑪ OVERHEAD TRELLIS.
- ⑫ POLE LIGHTING.
- ⑬ GAS FIREPIT.
- ⑭ RAISED CULINARY PLANTING BEDS.
- ⑮ GLASS BOTTOM BALCONY PER ARCHITECT.
- ⑯ ELEVATOR



FIREPIT WITH SOFA STYLE SEATING



GRILLING SPACE WITH TRELLIS STRUCTURE

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STALDER PLAZA RIVERSIDE, CA

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Trees	
Botanical Name	Common Name
Syagrus romanzoffianum	Queen Palm
Podocarpus gracilior	Fern Pine
Washingtonia filifera	California Fan Palm
*Howea forsteriana	Paradise Palm
*Rhaphis humilis	Slender Lady Palm
Parkinsonia x 'Desert Museum'	Palo Verde
Shrubs	
Botanical Name	Common Name
Aloe ferox	Bitter Aloe
Aloe striata	Coral Aloe
Senecio serpens	Blue Chalk Sticks
*Clivia miniata	Kaffir Lily
*Sansevieria trifasciata	Mother in-Laws Tongue
*Cyrtonium falcatum	Japanese Holly Fern
*Carex divulsa	Berkley Sedge
*Philodendron 'Xanadu'	NCN
*Dianella 'Little Rev'	Flax Lily
*Liriope m. 'Silvery-Sunproof'	Sivery-Sunproof Lily Turf
Hesperaloe parviflora	Red Yucca
*Heuchera sanguinea	Coral Bells
*Juncus patens	California Gray Rush
Cycas revoluta	Sago Palm
Phyllostachys nigra	Black Bamboo
Festuca g. 'Elijah Blue'	Blue Fescue
Green Roof Groundcovers	
Botanical Name	Common Name
Sedum rubrotinctum	Pork & Beans
Sedum rupestre 'Angeline'	Croked Stonecrop
Sedum spurium 'Dragons Blood'	Dragons Blood Stonecrop
Epilobium c. 'Everetts Choice'	Everetts Choice Calif. Fuchsia
Aloe brevifolia	Short Leaved Aloe
Vines	
Botanical Name	Common Name
Solandra maxima	Cup of Gold Vine
*Plants for shaded courtyards/ north face ground floor planters.	

CONCEPTUAL PLANTING PALETTE

Project Information

Total square footage of Landscape Area (including Special Landscape Area)

LA=7,461

Total square footage of Special Landscape Area

SLA=100

Hist. ETo for the area

ETo=54.6

Maximum Annual Water Allocation (MAWA)

MAWA is calculated using the following formula: (Eto) (.62) [(0.45 x LA) + (0.55 x SLA)] gallons / yr

MAWA is calculated using the following formula: (Eto) (.62) [(0.45 x LA) + (0.55 x SLA)] / 7 ccf / yr

MAWA =115,518gallons / yr

MAWA =154ccf / yr

Estimated Applied Water Use (EAWU)

EAWU is calculated using the following formula: (Eto) (.62) [(PF x HA / IE)+ SLA] gallons / yr

EAWU is calculated using the following formula: (Eto) (.62) [(PF x HA / IE)+ SLA] / 748 ccf / yr

Hydrozone # 1: Shrubs-Low, Drip

square footage of hydrozone

HA=2,691

(SLA=0)

hydrozone irrigation efficiency

IE=0.81

#1 EAWU =

22,493gallons / yr

30ccf / yr

Hydrozone # 2: Shrub-Mod, Drip

square footage of hydrozone

HA=2,220

(SLA=0)

hydrozone irrigation efficiency

IE=0.81

#2 EAWU =

46,390gallons / yr

62ccf / yr

Hydrozone # 3: Pool-High, Drip

square footage of hydrozone

HA=600

(SLA=0)

hydrozone irrigation efficiency

IE=1

#3 EAWU =

16,249gallons / yr

22ccf / yr

Hydrozone # 4: Greenroof-Low, Spray

square footage of hydrozone

HA=1,650

(SLA=0)

hydrozone irrigation efficiency

IE=0.75

#4 EAWU =

16,700gallons / yr

22ccf / yr

Hydrozone # 5: SLA/ Vegetable, Drip

square footage of hydrozone

HA=100

(SLA=0)

hydrozone irrigation efficiency

IE=0.81

#5 EAWU =

3,385gallons / yr

5ccf / yr

Total EAWU =

105,217gallons / yr

141ccf / yr

MAWA - EAWU =

10,301gallons / yr

14ccf / yr

CONCEPTUAL WATER USE CALCULATIONS

Exhibit 4 - P16-0323, Project Plans

STALDER PLAZA RIVERSIDE, CA

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PLOT PLAN



APPLICANT/OWNER/DEVELOPER

REGIONAL PROPERTIES
9201 WILSHIRE BLVD, SUITE 103
BEVERLY HILLS, CA 90210
ATTN: MARK RUBIN
PHONE: (310) 513-1776

ENGINEER

RICK ENGINEERING COMPANY
1770 IOWA AVENUE, SUITE 100
RIVERSIDE, CA 92507
PHONE: (951) 782-0707
FAX: (951) 782-0723
ATT: KRISTIN WERKSMAN














ASSESSOR'S PARCEL NUMBER

231-222-001, -002, -003

LOT	SITE ADDRESS
-----	--------------

8 3650 MARKET STREET
RIVERSIDE, CA 92501

TOPOGRAPHY LEGEND

EXISTING BOLLARD	
EXISTING CATCH BASIN	
EXISTING ELECTRICAL MANHOLE	
EXISTING FIRE HYDRANT	
EXISTING LIGHT	
EXISTING PALM TREE	
EXISTING SEWER MANHOLE	
EXISTING STORM DRAIN MANHOLE	
EXISTING SIGN	
EXISTING WATER METER	
EXISTING WALL	
EXISTING TREE	
PROJECT BOUNDARY	

ABBREVIATIONS

FINISHED FLOOR ELEVATION	FFE
FINISHED GRADE ELEVATION	FG
FLOW LINE ELEVATION	FL
FINISHED SURFACE ELEVATION	FS
GRADE BREAK	GB
PLANTING AREA	PA
RIGHT-OF-WAY	R/W
TOP OF CURB ELEVATION	TC

DATE PREPARED: MAY 10, 2016

REVISÉ: JAN 20, 2017

**PLOT PLAN
STALDER PLAZA**

CITY OF RIVERSIDE
IN THE COUNTY OF RIVERSIDE, CALIFORNIA
SHEET 1 OF 1

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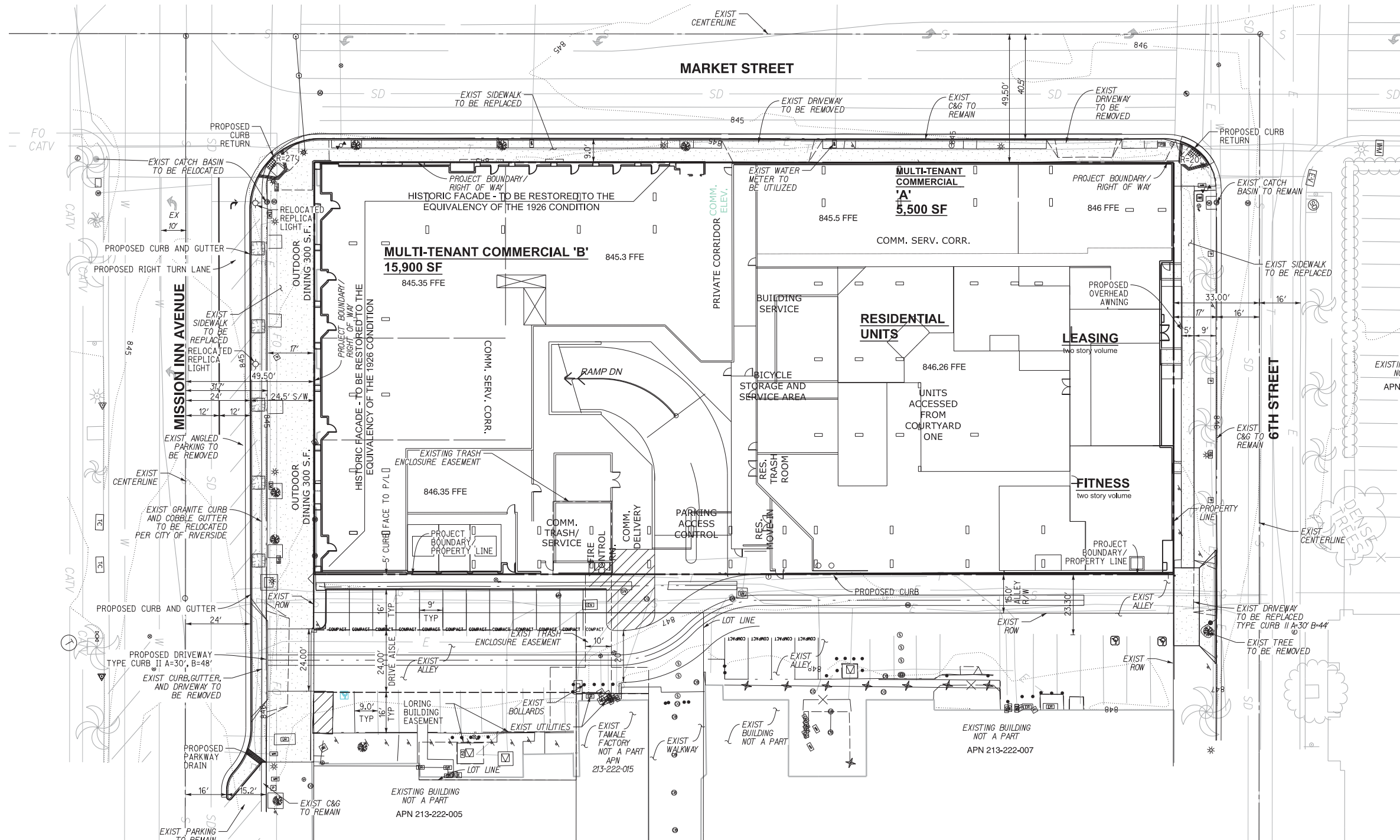
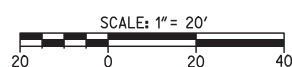


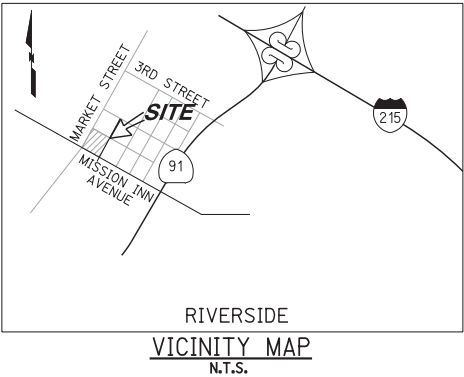
Exhibit 4 - P16-0323, Project Plans



IN THE CITY OF RIVERSIDE, CALIFORNIA

PRELIMINARY GRADING

STALDER PLAZA



APPLICANT/OWNER/DEVELOPER

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FAX: (951) 782-0723
ATT: KRISTIN WERKSMAN

ASSESSOR'S PARCEL NUMBER

231-222-001, -002, -003

SITE ADDRESS

3650 MARKET STREET
RIVERSIDE, CA 92501

TOPOGRAPHY LEGEND

EXISTING BOLLARD	●
EXISTING CATCH BASIN	⊕
EXISTING ELECTRICAL MANHOLE	⊕
EXISTING FIRE HYDRANT	⊕
EXISTING LIGHT	⊕
EXISTING PALM TREE	⊕
EXISTING SEWER MANHOLE	⊕
EXISTING STORM DRAIN MANHOLE	⊕
EXISTING SIGN	⊕
EXISTING WATER METER	⊕
EXISTING WALL	⊕
EXISTING TREE	⊕
PROJECT BOUNDARY	---
PROPOSED STREET TREE	⊕
RELOCATED REPLICA LIGHT	⊕

ABBREVIATIONS

FINISHED FLOOR ELEVATION	FFE
FINISHED GRADE ELEVATION	FG
FLOW LINE ELEVATION	FL
FINISHED SURFACE ELEVATION	FS
GRADE BREAK	GB
RIGHT-OF-WAY	R/W
TOP OF CURB ELEVATION	TC

DATE PREPARED: MAY 10, 2016

REVISED: JAN 20, 2017

FEB 17, 2017

PRELIMINARY GRADING STALDER PLAZA

CITY OF RIVERSIDE
IN THE COUNTY OF RIVERSIDE, CALIFORNIA
SHEET 1 OF 2

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PLOT DATE: 17-FEB-2017

JN 17567

Exhibit 4 - P16-0323, Project Plans

SCALE: 1" = 20'

20 0 20 40

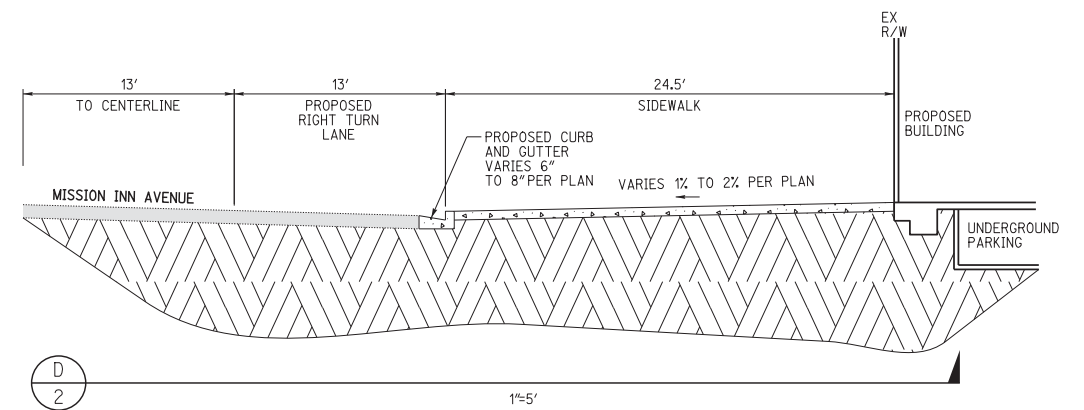
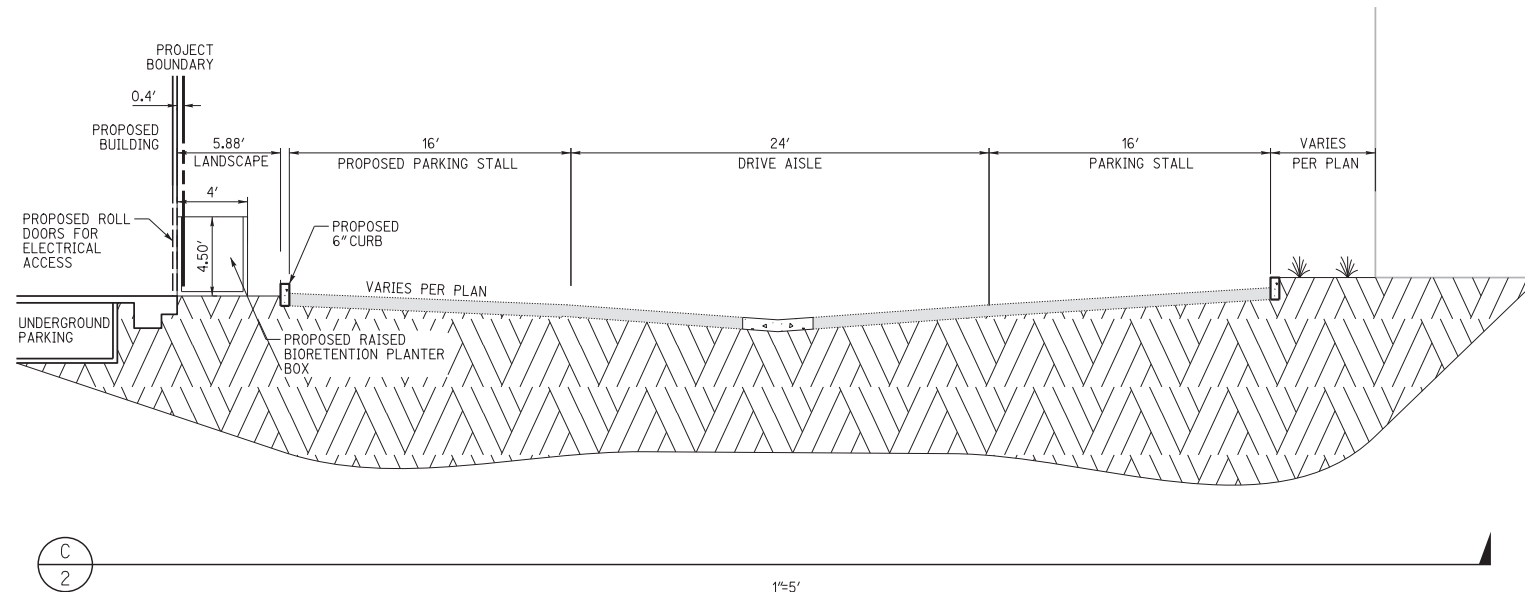
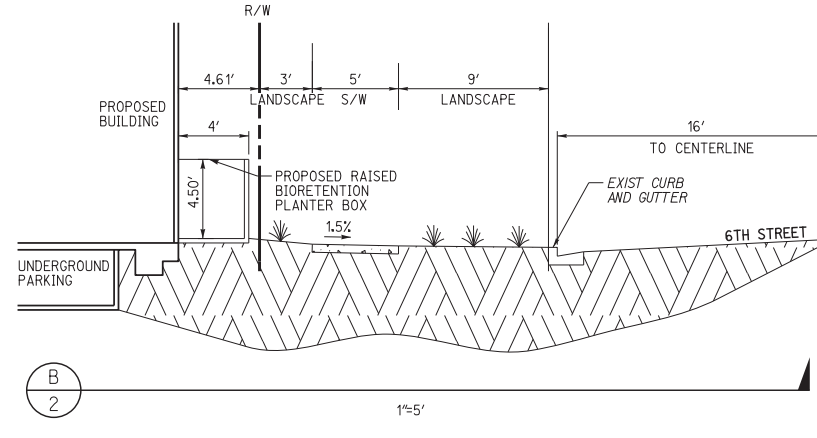
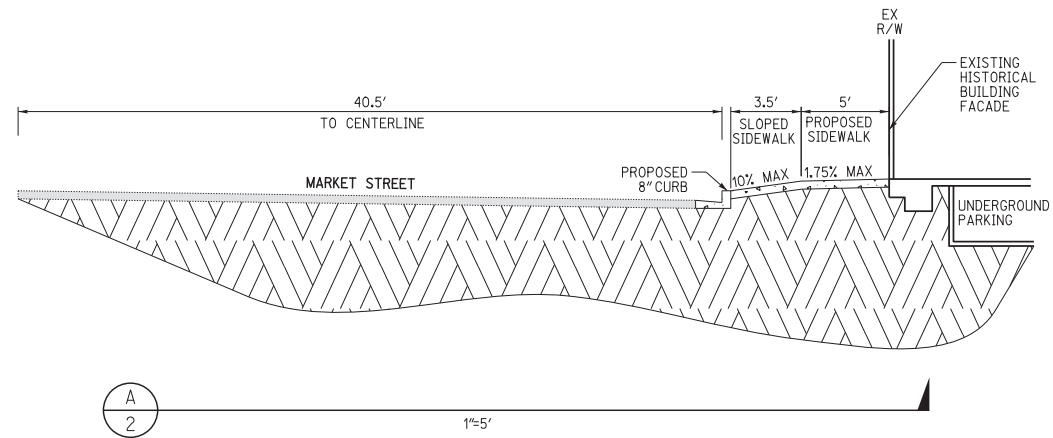


Exhibit 4 - P16-0323, Project Plans

DATE PREPARED: MAY 10, 2016
REVISED: JAN 20, 2017
FEB 17, 2017

**TYPICAL SECTIONS
STALDER PLAZA**

CITY OF RIVERSIDE
IN THE COUNTY OF RIVERSIDE, CALIFORNIA
SHEET 2 OF 2

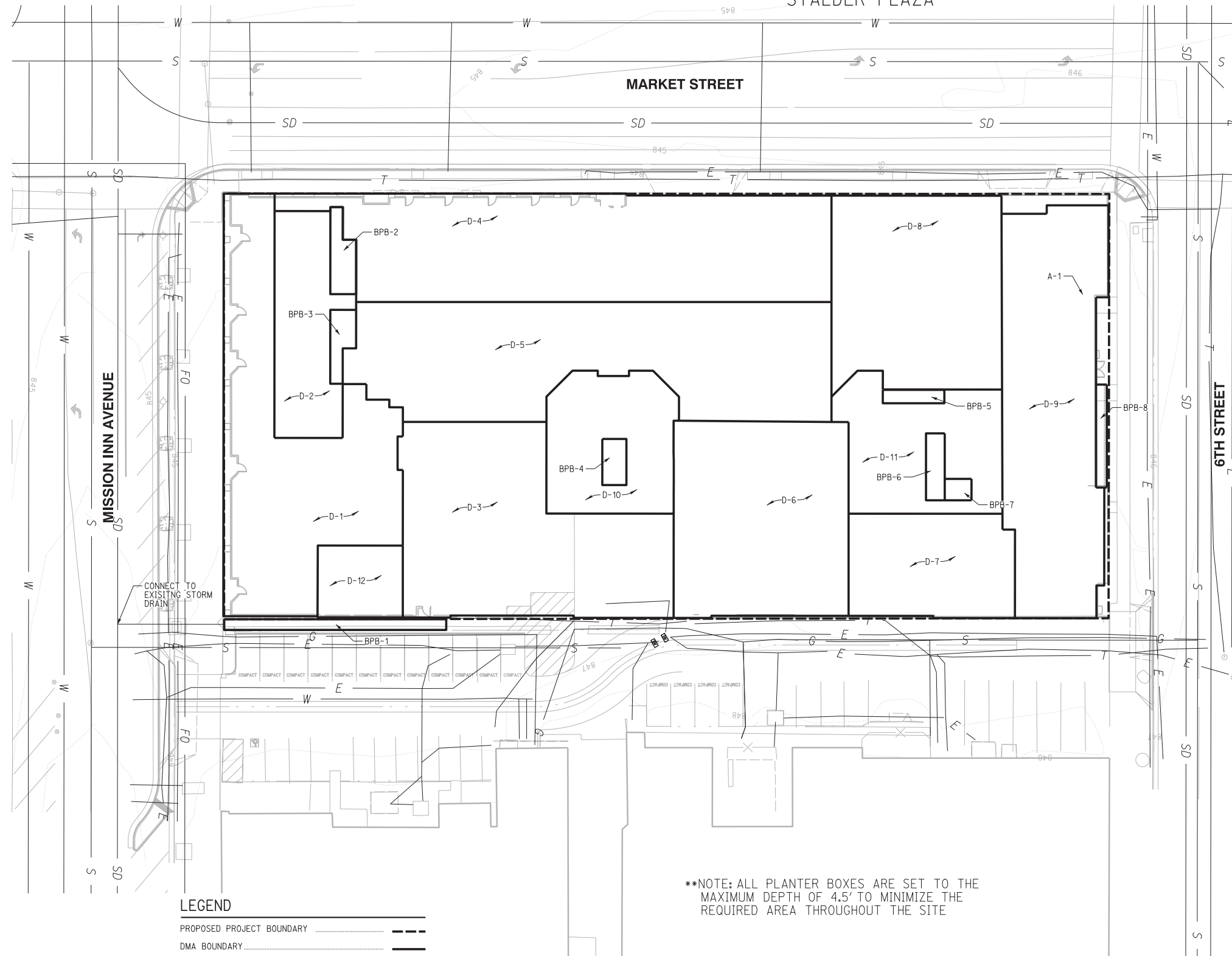
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IN THE CITY OF RIVERSIDE, CALIFORNIA

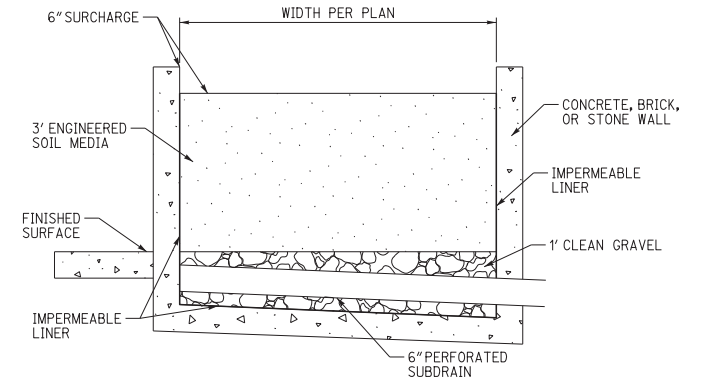
PRELIMINARY WATER QUALITY MANAGEMENT PLAN

STALDER PLAZA



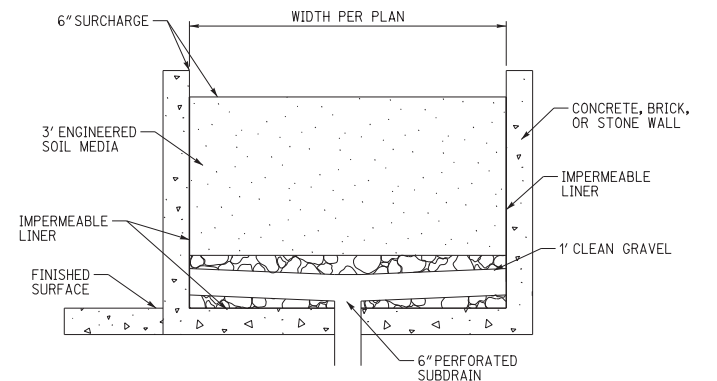
**NOTE: ALL PLANTER BOXES ARE SET TO THE MAXIMUM DEPTH OF 4.5' TO MINIMIZE THE REQUIRED AREA THROUGHOUT THE SITE

**NOTE: THE OWNER IS CURRENTLY IN THE PROCESS OF PURCHASING THE PUBLIC ALLEY. ULTIMATELY BPB-1 WILL BE ON THE OWNER'S PROPERTY



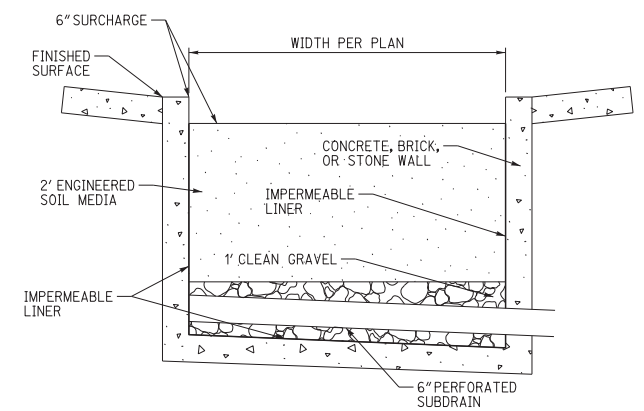
RAISED PLANTER BOX DETAIL 1

NOT TO SCALE
BPB-2; BPB-3; BPB-4; BPB-5; BPB-6



RAISED PLANTER BOX DETAIL 2

NOT TO SCALE
BPB-1; BPB-8



SUBTERRANEAN PLANTER BOX

NOT TO SCALE
BPB-7

DATE PREPARED: MAY 10, 2016
REVISED: JAN 20, 2017
FEB 17, 2017

PRELIMINARY WQMP EXHIBIT
STALDER PLAZA

CITY OF RIVERSIDE
IN THE COUNTY OF RIVERSIDE, CALIFORNIA
SHEET 1 OF 1

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PLOT DATE: 17-FEB-2017 JN 17567

Exhibit 4 - P16-0323, Project Plans



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