

Exhibit 1 - P17-0015, Aerial Map

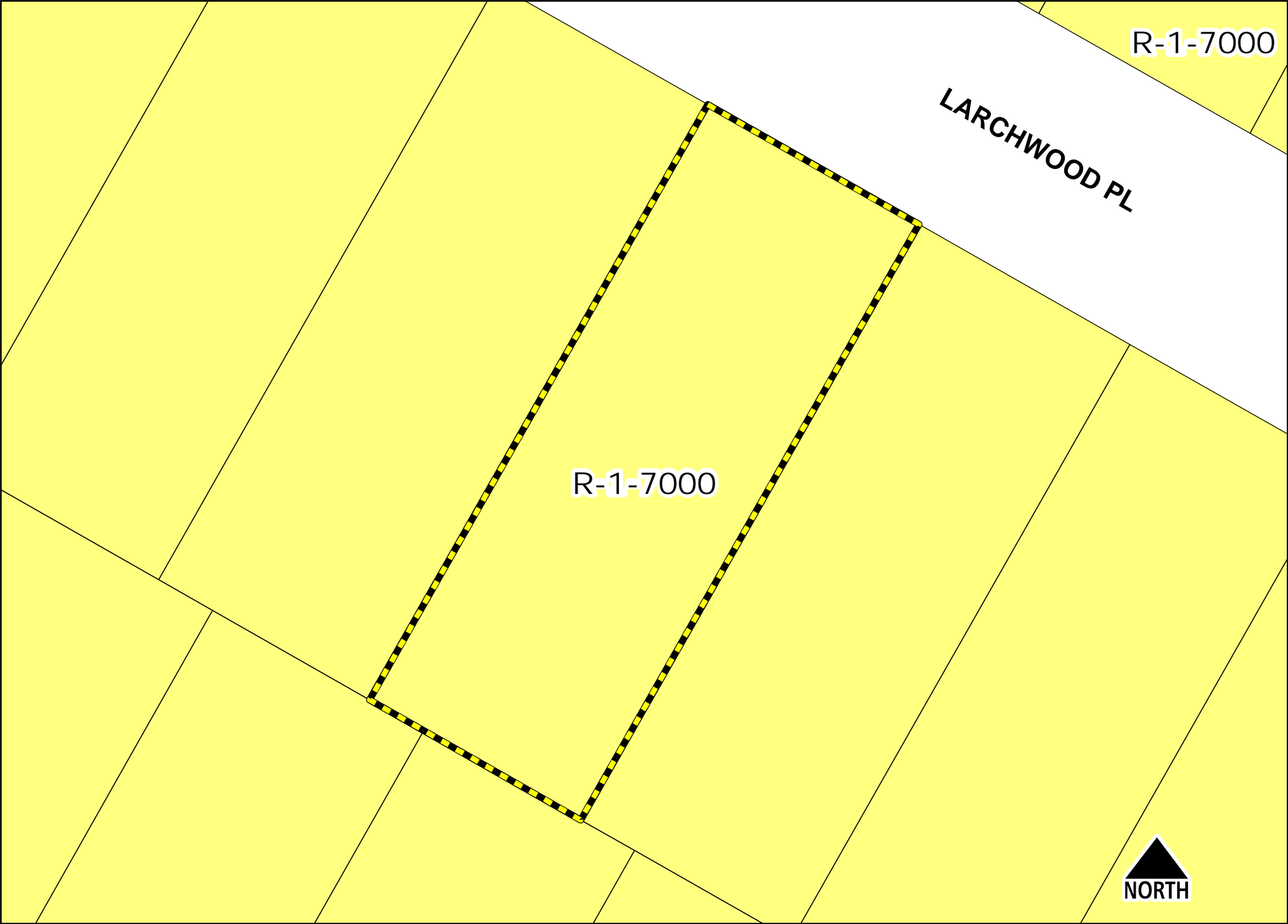


Exhibit 2 - P17-0015, Zoning

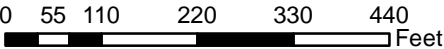


Exhibit 3 – Photos



Existing Property



Facade of Existing Residence



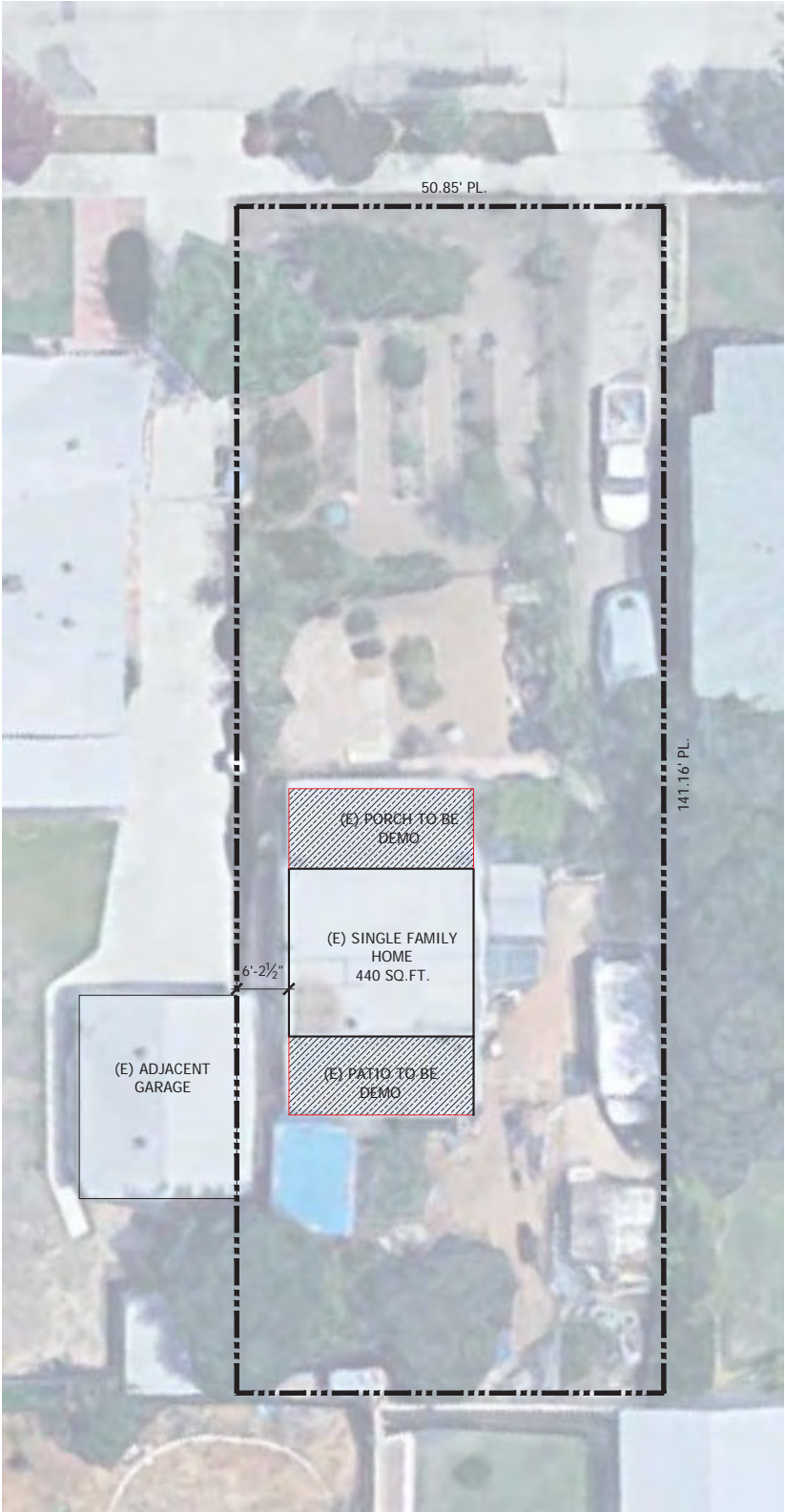
Rear Elevation of Existing Residence

New Room Addition / Renovation

4258 Larchwood Pl. Riverside, CA 92506

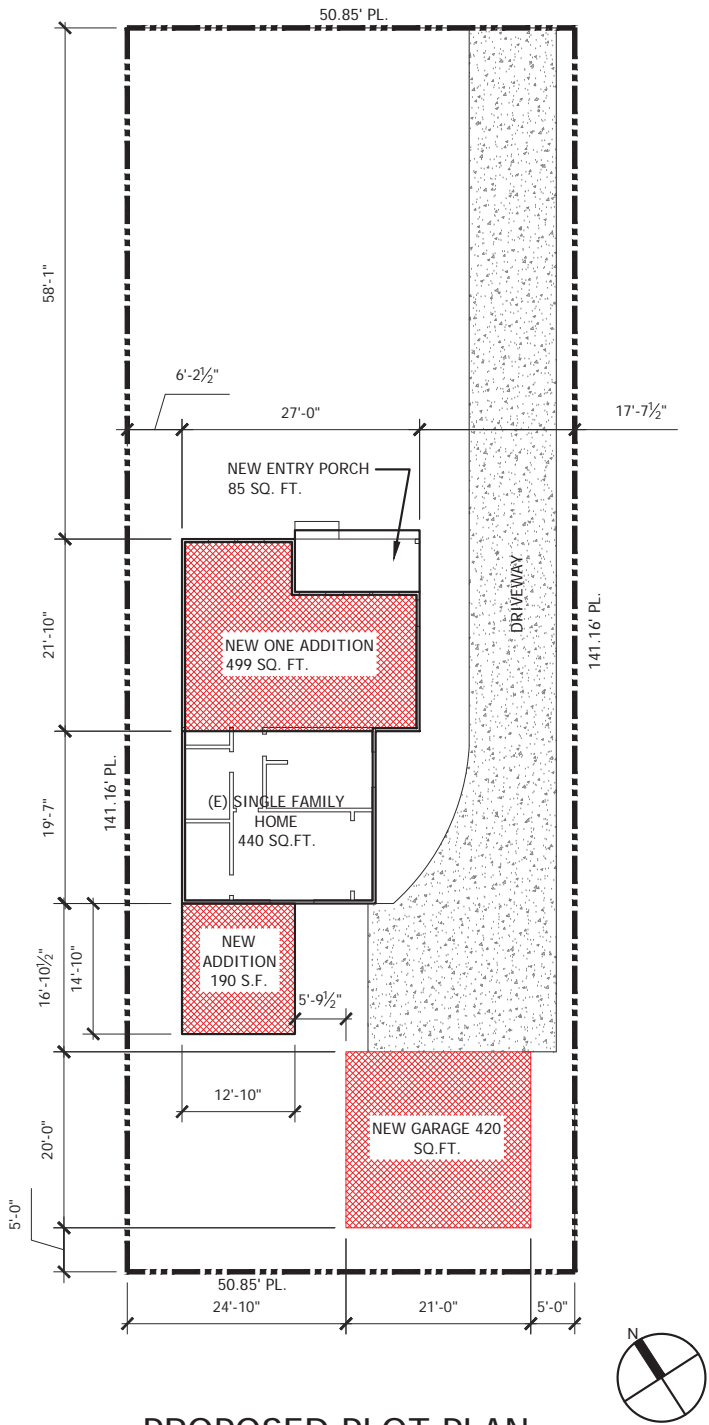
XAVIER
DESIGN
GROUP

4481 Pondmoor Dr
Riverside
California 92505
951 830 2018



EXISTING PLOT PLAN

SCALE: 1" = 10'-0"



PROPOSED PLOT PLAN

SCALE: 1" = 10'-0"

Project Areas

EXISTING LIVING AREA SQ. FOOTAGE	440	SQ. FT.
NEW ADDITION AREA SQ. FOOTAGE	689	SQ. FT.
TOTAL LIVING AREA SQ. FOOTAGE	1129	SQ. FT.
NEW ENTRY PORCH	85	SQ. FT.
NEW GARAGE AREA SQ. FOOTAGE	420	SQ. FT.

TOTAL BUILDING AREA	1634	SQ. FT.
LOT SIZE:	6969	SQ. FT. ±

TOTAL LOT COVERAGE 23%

Project Data

ZONING INFO:

BUILDING ZONE	R1-7000
OCCUPANCY	R-3 , GROUP U
CONSTRUCTION TYPE	V-B
FIRE SPRINKLER REQ.	NO

COUNTY	RIVERSIDE
CITY	RIVERSIDE
NUMBER OF STORIES	1 STORY

LEGAL DESCRIPTION

A.P.N.:	217182016
LOT SIZE:	6969 SQ. FT. ±
YEAR BUILT:	1920
	Lot 43 MB 008/072 DR BOGUE TR

Contact Info

Contractor:
Mike Cote
951.823.7148

Designer:
Xavier Design Group
4481 Pondmoor Dr.
Riverside, CA 92505
Contact: Xavier Hernandez
Tel: 951.830.2018
xavier@xavierdesigngroup.com

T24 Consultant:
Xavier Design Group
4481 Pondmoor Dr.
Riverside, CA 92505
Contact: Xavier Hernandez
Tel: 951.830.2018
xavier@title24consultants.net

Structural Engineer:
N. Skaf Consultant
411 Green Orchard Pl.
Riverside, CA 92506
Tel: 951.522.2837

Project Description

To build an attached room addition which consist of a new kitchen, dining and living room. Existing residence to be completely renovated to include two bedrooms and two bathrooms.

Drawing Index

SHEET	SHEET TITLE
CS	COVER SHEET + SITE PLAN
A1	FLOOR PLANS
A2	BUILDING ELEVATIONS
A2.1	COLOR ELEVATIONS

Site Plan Notes

1. FINISH GRADE AROUND THE NEW STRUCTURE / ADDITION SHALL BE SLOPED AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.
2. INSTALLATION CERTIFICATES, OPERATING INFORMATION, MAINTENANCE INFORMATION, AND VENTILATION INFORMATION MUST BE PROVIDED TO THE BUILDING OWNER PRIOR TO FINAL INSPECTION.
3. MANUFACTURER'S PRODUCT INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION.
4. ALL APPLICABLE INSTALLATION CERTIFICATES (CF-6R) FORMS AND CERTIFICATE OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF-4R) FORMS SHALL BE COMPLETED AND POSTED AT THE PROJECT SITE TO BE VERIFIED BY THE BUILDING INSPECTOR.
5. A MINIMUM OF 50% OF THE NON-HAZARDOUS CONSTRUCTION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO RECYCLE OR SALVAGE

APPLICABLE BUILDING CODES:

2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA RESIDENTIAL CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA GREEN CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA ENERGY CODE

Vicinity Map



PROJECT:

New Addition
4258 Larchwood Pl.
Riverside, CA 92506

Revision	Date

Cover Sheet
+ Site Plan

CS

- 1 REFRIGERATOR SPACE, PROVIDE RECESSED COLD WATER BIB AND SHUT-OFF FOR ICE MAKER.
- 2 RANGE/COOKTOP WITH 100 CFM MIN. HOOD, LIGHT AND FAN (VENT TO OUTSIDE AIR).
- 3 PAINT-GRADE WOOD OR VINYL-COATED WIRE, 12" DEEP SHELF AT 67" ABOVE FINISHED FLOOR.
- 4 32"x60" FIBERGLASS TUB AND SHOWER UNIT W/ MIN. 70" HIGH CEMENT PLASTER, CERAMIC TILE OR APPROVED EQUAL AT WALLS. PROVIDE CERTAIN TUB AND SAFETY GLASS GLAZING/SHOWER/ENTRY VALVES TO BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
- 5 200 AMP ELECTRICAL PANEL WITH MIN 20' UFER GROUND WITH BOND TO GAS AND WATER PIPING. CONDUCTORS SHALL HAVE A VERTICAL CLEARANCE ABOVE ROOFS OF NOT LESS THAN 3'-0".
- 6 WATER CLOSETS SHALL HAVE 15" CLEARANCE TO ANY WALL OR OBSTRUCTION ON EACH SIDE OF ITS CENTERLINE AND 24" CLEAR SPACE IN FRONT.

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1. ALL WINDOWS TO BE DUAL GLAZE VINYL WINDOWS BY ANDERSEN MISSION REVIVAL
2. ALL EXTERIOR DOORS TO BE SOLID WOOD DOORS BY ANDERSEN MISSION REVIVAL

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2. ALL EXTERIOR DOORS TO BE SOLID WOOD DOORS BY ANDERSEN MISSION REVIVAL

Xavier Hernandez
Principal Designer

WATER CLOSETS:	1.28 GAL PER FLUSH
SHOWER HEAD:	1.8 GAL PER MINUTE @ 60 PSI
FAUCETS/SINKS/LAVS:	1.5 GAL PER MINUTE @ 60 PSI
KITCHEN FAUCETS	1.8 GAL PER MINUTE @ 60 PSI

NEW WALL (2X4 STUDS @ 16" O.C.)

(E) WALL

WALLS TO BE DEMOLISHED

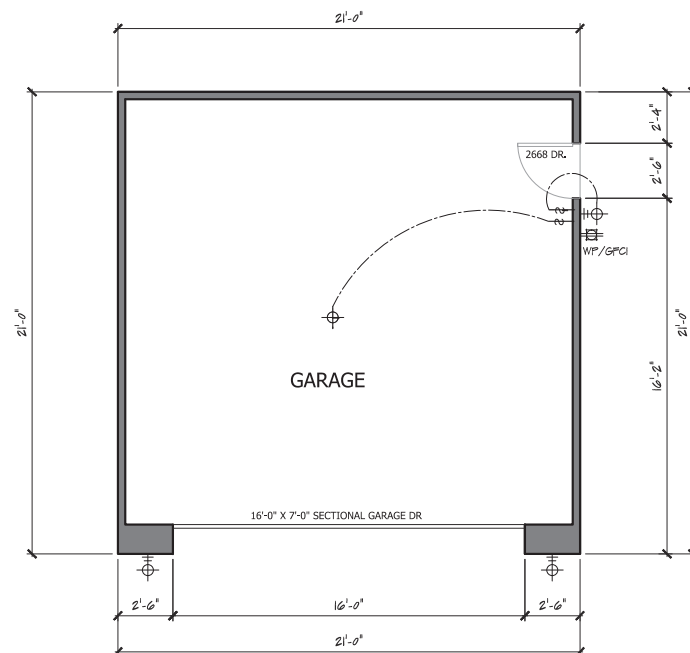
PROJECT:

New Addition
4258 Larchwood Pl.
Riverside, CA 92506

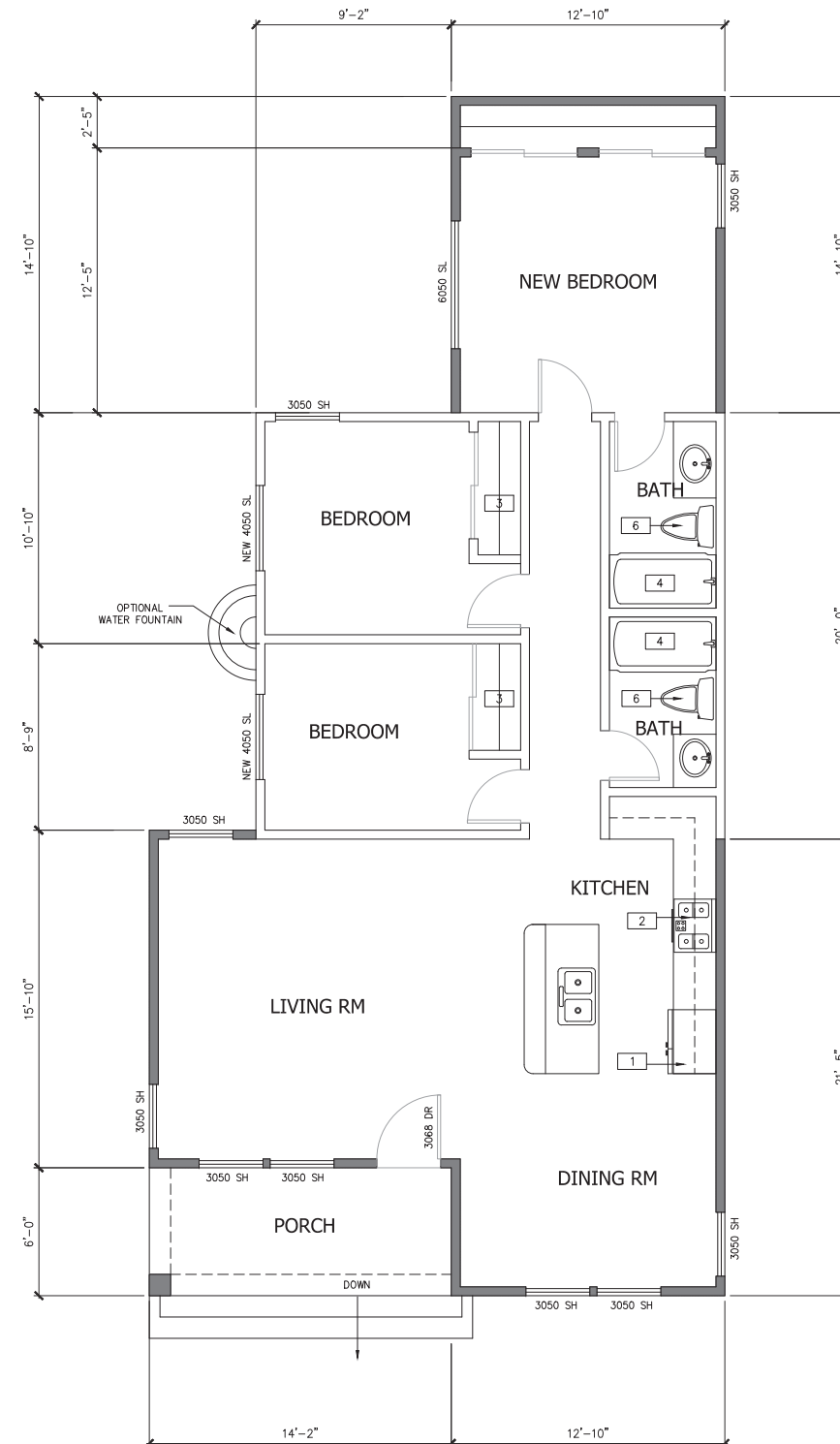
[illegible]

Floor Plan

A1



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



ELEVATION KEYNOTES

- 1 3/8" STUCCO FIN. 0/ 2-LAYERS OF GRADE "D" PAPER, TO MATCH (E)
- 2 A MIN. 26 GA. CORROSION RESISTANT OR PLASTIC WEEP SCREED WITH A MIN. VERTICAL FLANGE OF 3 1/2" SHALL BE PROVIDED AT OR BELOW FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. SCREED SHALL BE A MIN. OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS.
- 3 TILE ROOF, 0/ 30# FELT 0/ 1/2" PLWD. SHEATHING ESR-1900.
- 4 DECORATIVE 4X WOOD CORBEL
- 5 DECORATIVE 4" WOOD TRIM, PAINTED
- 6 DECORATIVE WOOD TRIM. PAINTED
- 7 COMPOSITION ROOF, 0/ 30# FELT 0/ 1/2" PLWD. CLASS "A",TO MATCH (E) ESR #1475
- 8 DECORATIVE 6" SQ. CERAMIC TILES
- 9 6" ROUND CLAY TILE SCUPPERS

ELEVATION NOTES

APPROVED CORROSION RESISTANT FLASHING SHALL BE INSTALLED AT ALL THE FOLLOWING LOCATIONS.

EXTERIOR WINDOWS AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE .

AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.

UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.

CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.

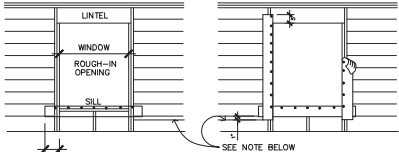
WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION.

AT WALL AND ROOF INTERSECTIONS.

AT BUILT IN GUTTER.

WINDOW SILL HEIGHT IN THE BEDROOMS FOR EMERGENCY ESCAPE SHALL BE NOT MORE THAN 44" ABOVE FLOOR.

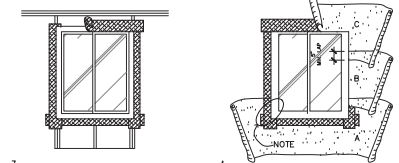
"EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF".



1. ATTACH SILL STRIP WITH TOP EDGE LEVEL WITH ROUGH SILL - EXTEND BEYOND EDGE OF ROUGH OPENING AT LEAST 8". SECURE ALL MOIST STOP (OR EQUAL) WITH GALVANIZED NAILS OR POWER-DRIVEN STAPLES.
2. ATTACH JAMB STRIP WITH SIDE EDGE EVEN WITH ROUGH-JAMB FRAMING. START STRIP 1" BELOW LOWER EDGE OF SILL STRIP AND EXTEND 4" ABOVE LOWER EDGE OF LINTEL.

NOTE: LINE-WIRE, WHEN USED AS BACKING TO SUPPORT BUILDING PAPER BENEATH WIRE (LATH (NETTING) FOR PORTLAND CEMENT PLASTER (STUCCO)), SHALL BE INSTALLED AS FOLLOWS:

1. WIRE GAUGE, SPACING, AND ATTACHMENT SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF BUILDING NEWS ITEMS 47-1.
2. PERIPHERAL FLASHING, AT ALL EDGES OF WALL OPENINGS, MUST COVER THE WIRE BACKING.
3. NO ATTACHMENT DEVICES NOR THE WIRE BACKING SHALL COVER OR PENETRATE THE FLASHING MATERIAL.



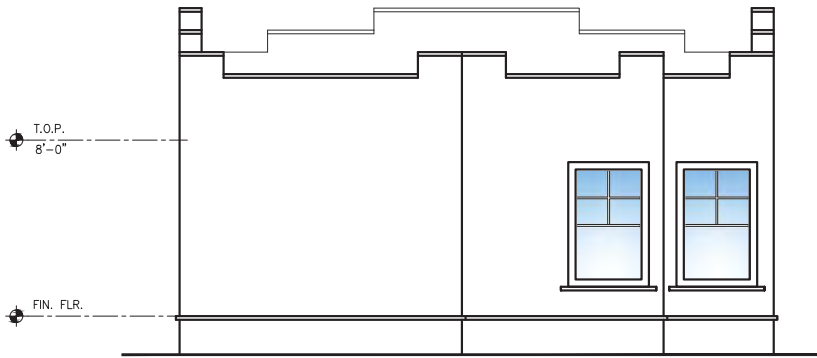
3. INSTALL WINDOW JAMB NAILING FLANGES OVER A CONTINUOUS BEAD OF SEALANT ON THE MOIST STOP (OR EQUAL). INSTALL THE WINDOW HEAD MOIST STOP (OR EQUAL) ON A CONTINUOUS BEAD OF SEALANT APPLIED TO THE WINDOW HEAD NAILING FLANGE.

4. COMMENCING AT THE BOTTOM (SOLE PLATE) OF THE WALL, LAY BUILDING PAPER UNDER SILL STRIP. NOTE: CUT ANY EXCESS BUILDING PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE LINE. DO NOT SLICE BUILDING PAPER HORIZONTALLY SO THAT PAPER WILL LAP OVER THE JAMB STRIPS. INSTALL SUCCESSIVE LINES OF BUILDING PAPER (B.C.D. ETC.) OVER JAMB AND HEAD FLANGES, LAPPING EACH COURSE.

THE ABOVE METHOD APPLIES ONLY TO THE MOST COMMONLY USED TYPE OF METAL FRAME (SURFACE MOUNTED). FOR OTHER TYPES OF FRAMES, SPECIAL ATTENTION MUST BE PAID TO THE MANUFACTURER RECOMMENDATIONS.

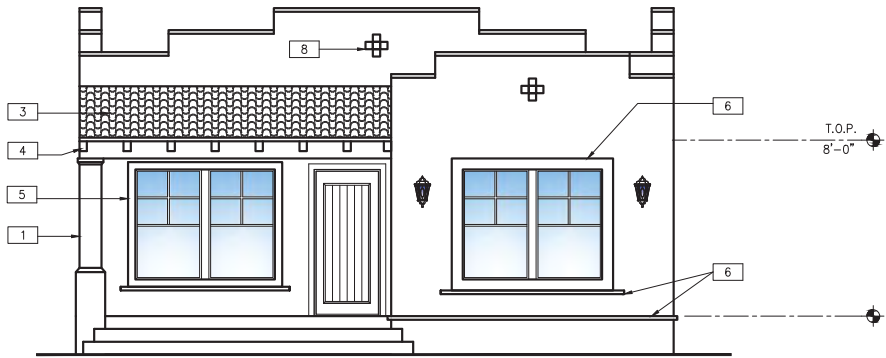
HEAD AND JAMB INSTALLATION IS TYPICAL FOR SLIDING GLASS, DOORS, NOTE, LAP JAMB, MOIST STOP OVER PLASTER SCREED NAILING FLANGE.

INSTALL WINDOWS PER MANUFACTURER RECOMMENDATIONS SILICON SEAL ALL WINDOW FRAME JOINTS AT EXTERIOR FRAME LOCATIONS AFTER WINDOW IS INSTALLED PRIOR TO FINISH MATERIAL INSTALLATION.



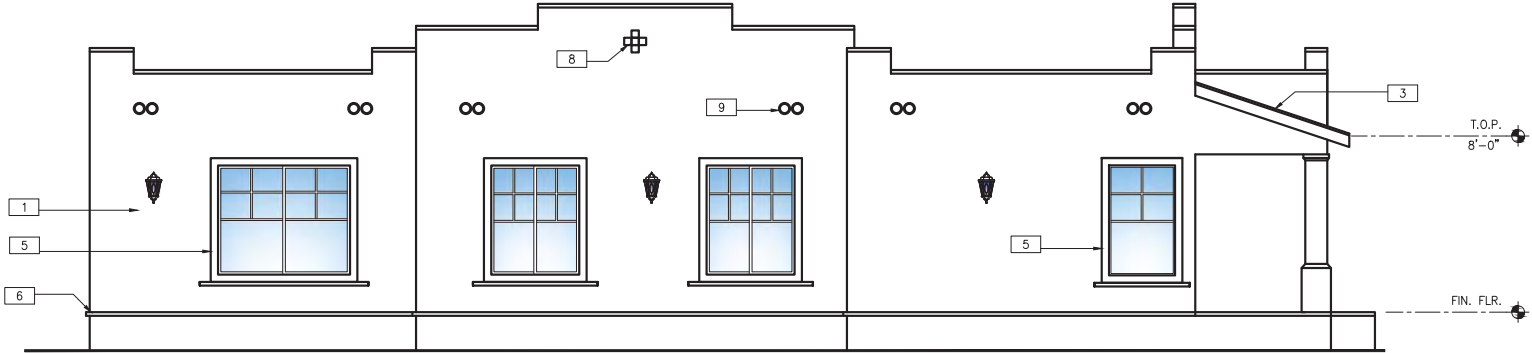
REAR ELEVATION - SOUTH

SCALE: 1/4" = 1'-0"



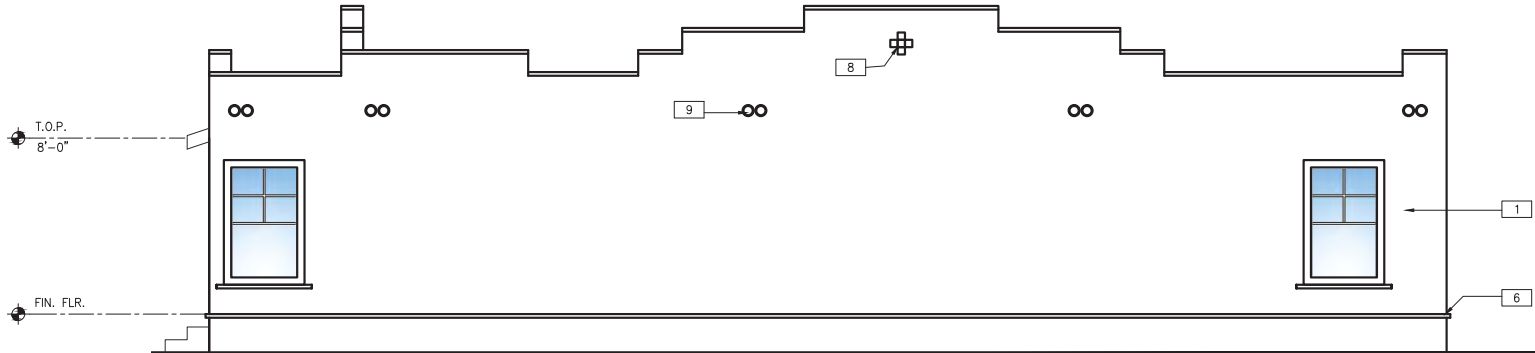
FRONT ELEVATION - NORTH

SCALE: 1/4" = 1'-0"



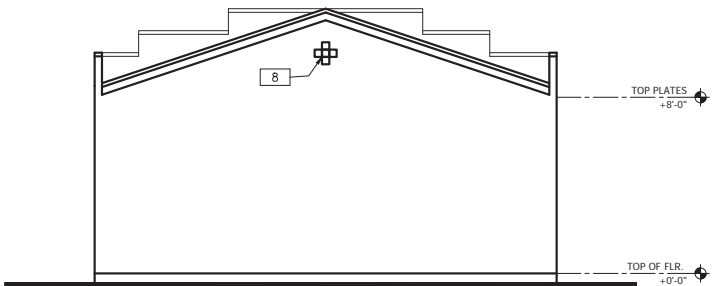
LEFT ELEVATION - EAST

SCALE: 1/4" = 1'-0"



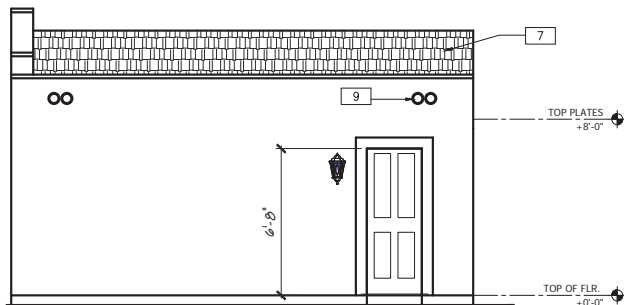
RIGHT ELEVATION - WEST

SCALE: 1/4" = 1'-0"



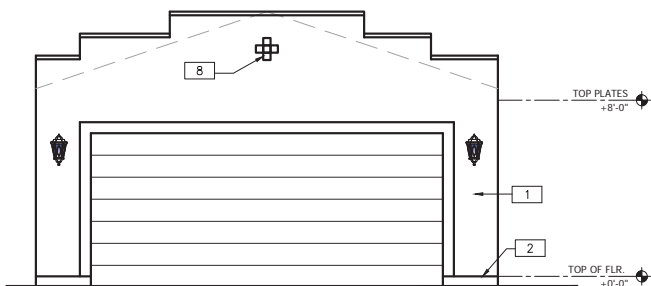
GARAGE REAR ELEVATION-SOUTH

SCALE: 1/4" = 1'-0"



GARAGE SIDE ELEVATION-WEST

SCALE: 1/4" = 1'-0"



GARAGE FRONT ELEVATION-NORTH

SCALE: 1/4" = 1'-0"

WINDOW FLASHING



REAR ELEVATION - SOUTH

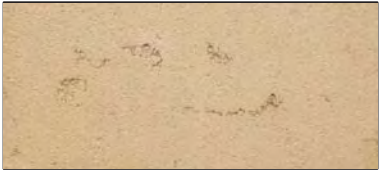
SCALE: 1/4" = 1'-0"



FRONT ELEVATION - NORTH

SCALE: 1/4" = 1'-0"

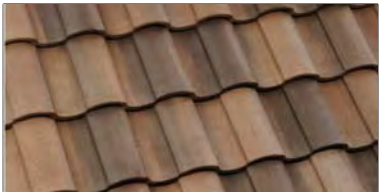
COLOR LEGEND



A STUCCO BY LA HABRA
COLOR :HACIENDA 82 (59) BASE 200



B WINDOWS AND DOOR TRIMS, POST AND BEAMS
COLOR :NATURAL WOOD COLOR SEALED



C S TILE ROOF BY EAGLE ROOFING-CAPISTRANO
SMC SAN MIGUEL BLEND



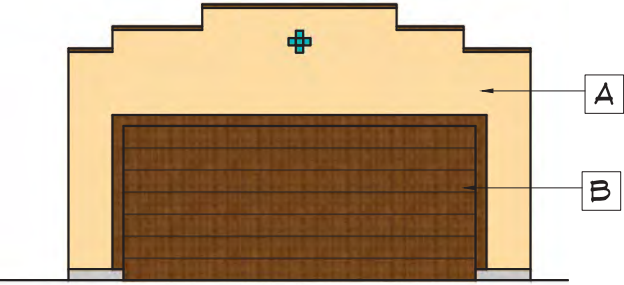
D GARAGE ROOF SHINGLES
BY GAF, TIMBERLINE-PEWTER GRAY

XAVIER
DESIGN
GROUP

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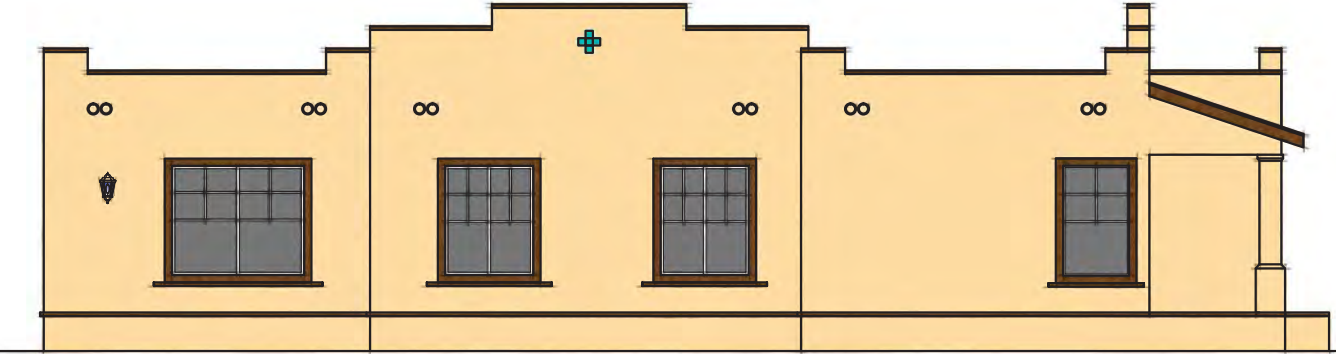
Xavier Hernandez

Xavier Hernandez
Principal Designer



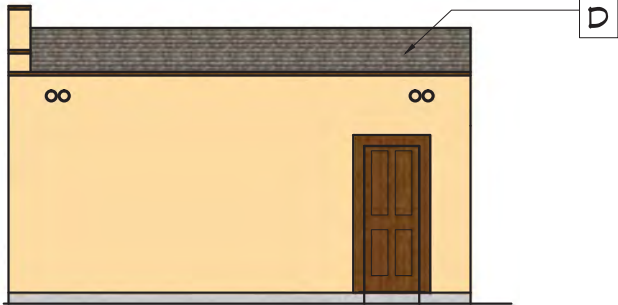
GARAGE FRONT ELEVATION

SCALE: 1/4" = 1'-0"



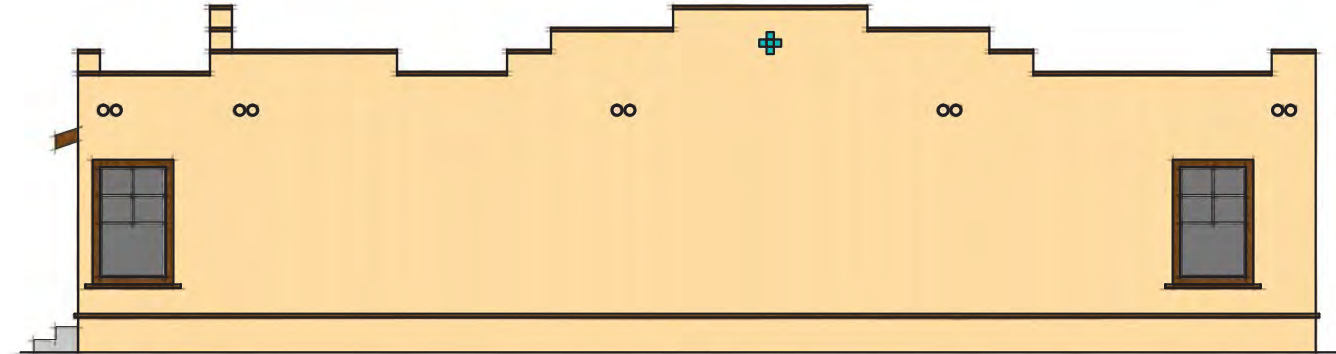
LEFT ELEVATION - EAST

SCALE: 1/4" = 1'-0"



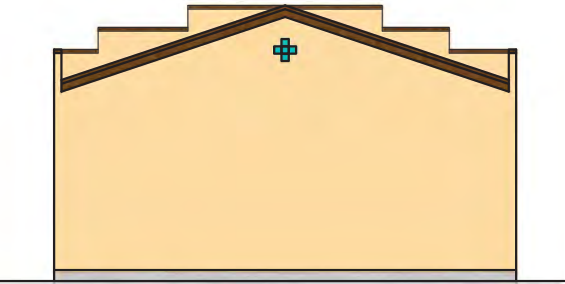
GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION - WEST

SCALE: 1/4" = 1'-0"



GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"

Exhibit 4 - P17-0015, Plans

PROJECT:
New Addition
4258 Larchwood Pl.
Riverside, CA 92506

Revision Date

Building Elevations
Color Board

A2.1

From: Donna Estrada [<mailto:donna.estrada@iapmortl.org>]
Sent: Tuesday, June 27, 2017 8:05 AM
To: Watson, Scott
Subject: [External] 4258 Larchwood Place, Riverside, CA 92506

My name is Donna Estrada and I am the property owner of the home adjacent to the subject property on the west side.

I have no objections to the proposed updating of the subject property provided that some type of landscaping and fencing maintenance is also involved.

Currently I place the wooden fence that adjoins the property and I have not been allowed to maintain it by the current and former owners. In addition there is a tree adjoin the property in the from which is breaking down the chain link fence as well as my driveway. I was told this is a "historic" tree and it could not be removed. That tree was planted about 10 years ago.

I am hoping that the proposal will include addressing not only the house but the landscaping as well.

If you have any questions you may reach me at the telephone number or e-mail below.

Regards,
Donna Estrada
Senior Vice President, Lab Services and Administrative
Direct Line (909) 472-4134
E-mail: donna.estrada@iapmortl.org