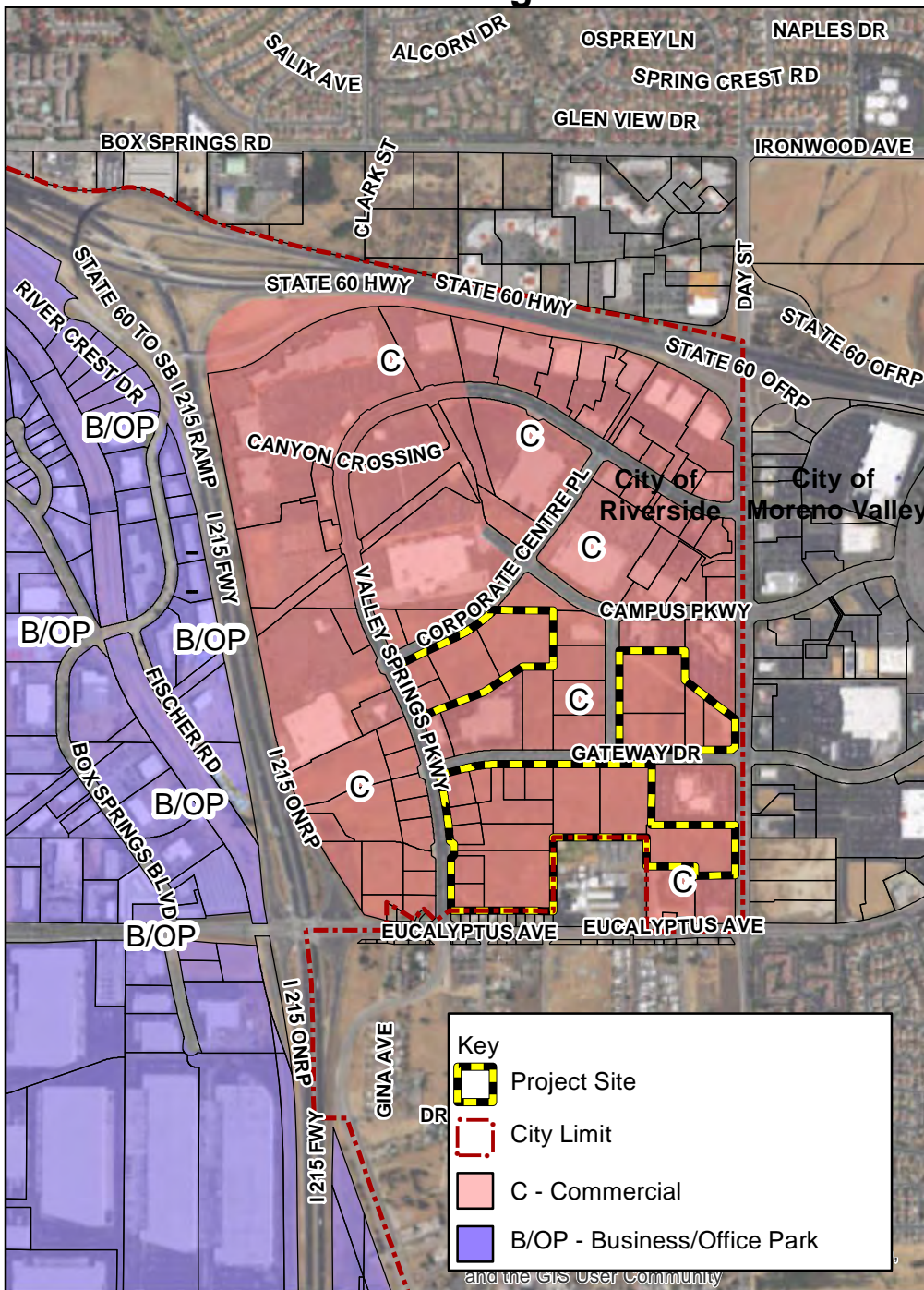




Exhibit 3 - Aerial Photo / Location

Existing



Proposed

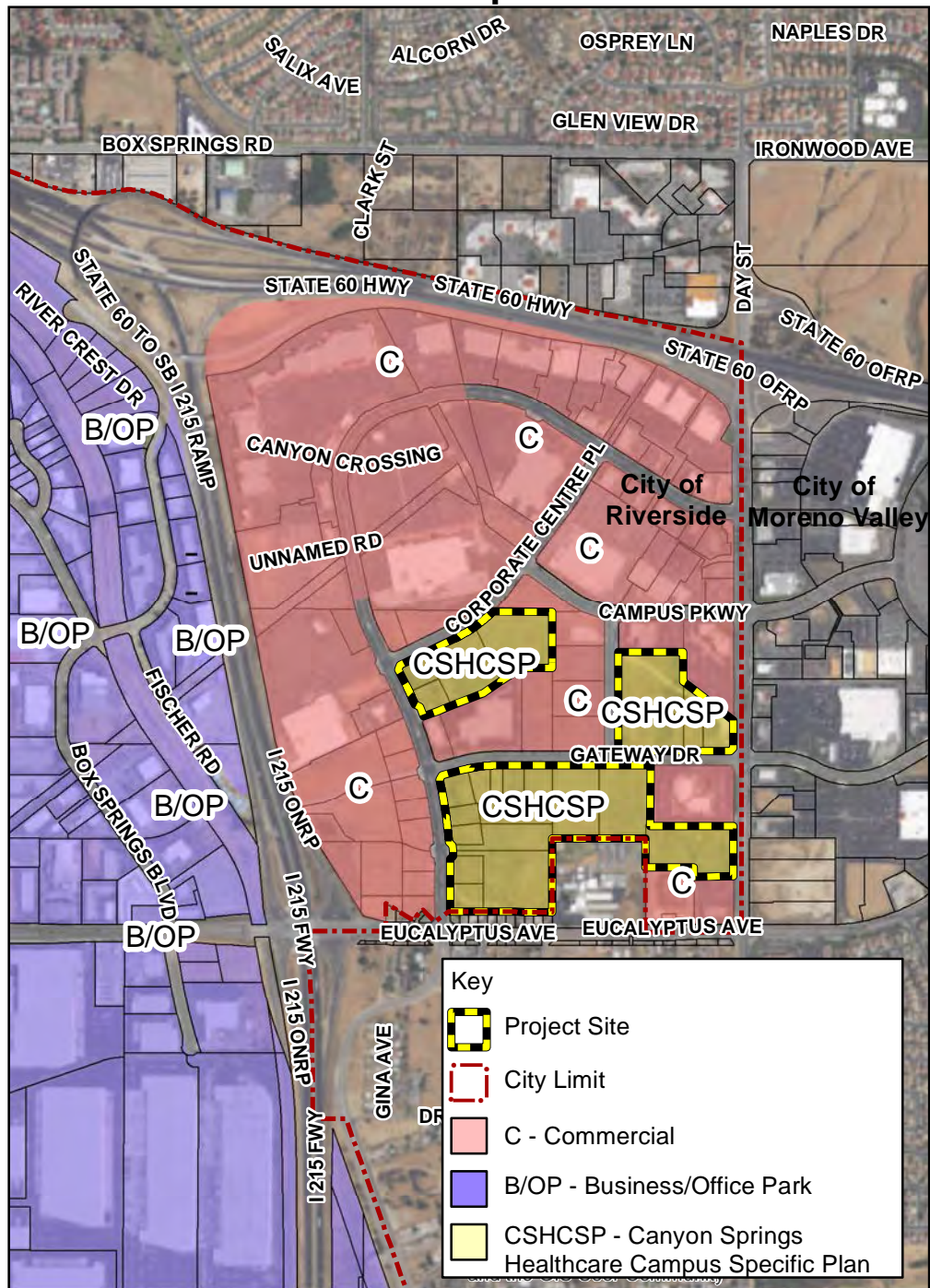
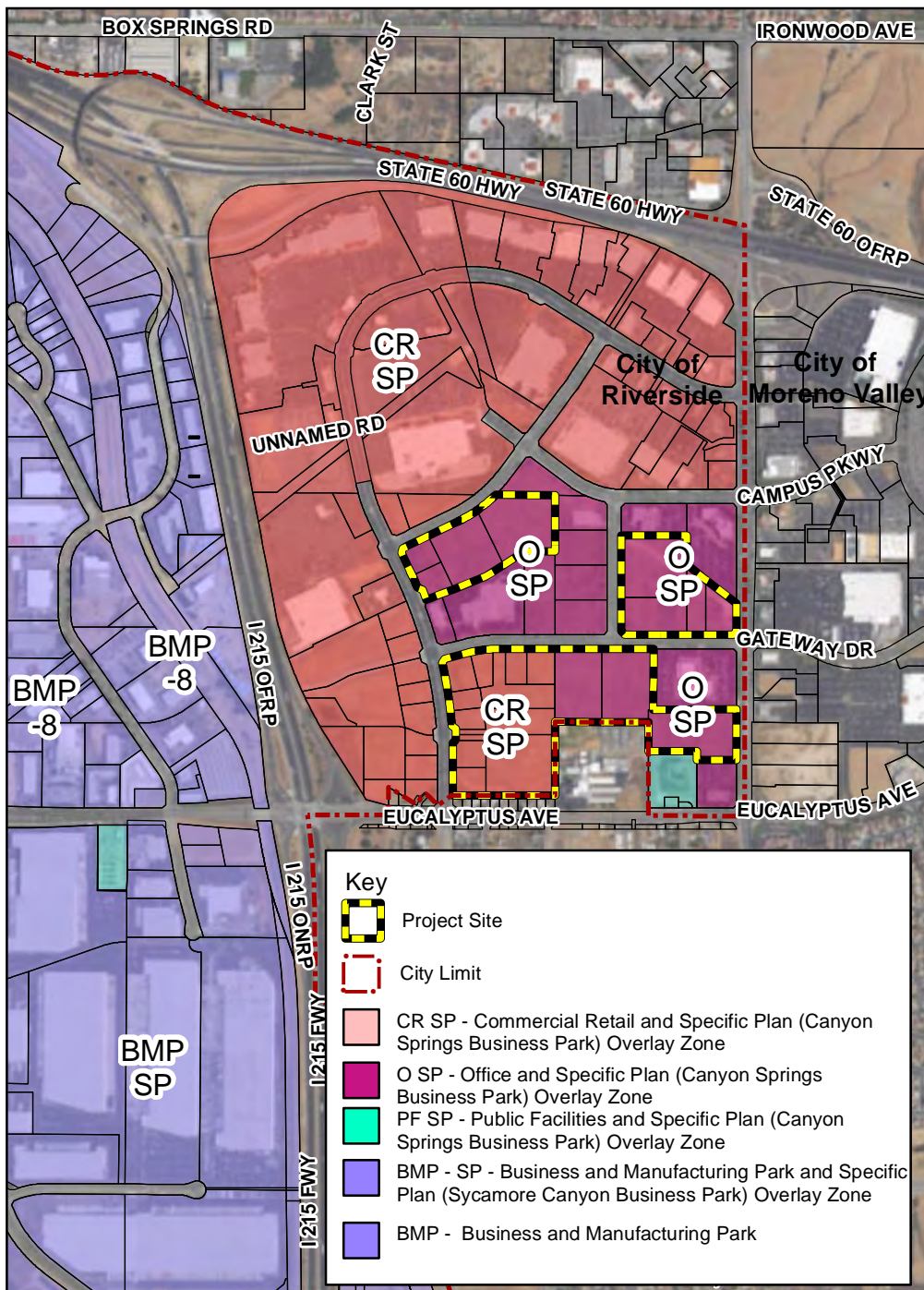


Exhibit 4 - Existing / Proposed General Plan Map



Existing



Proposed

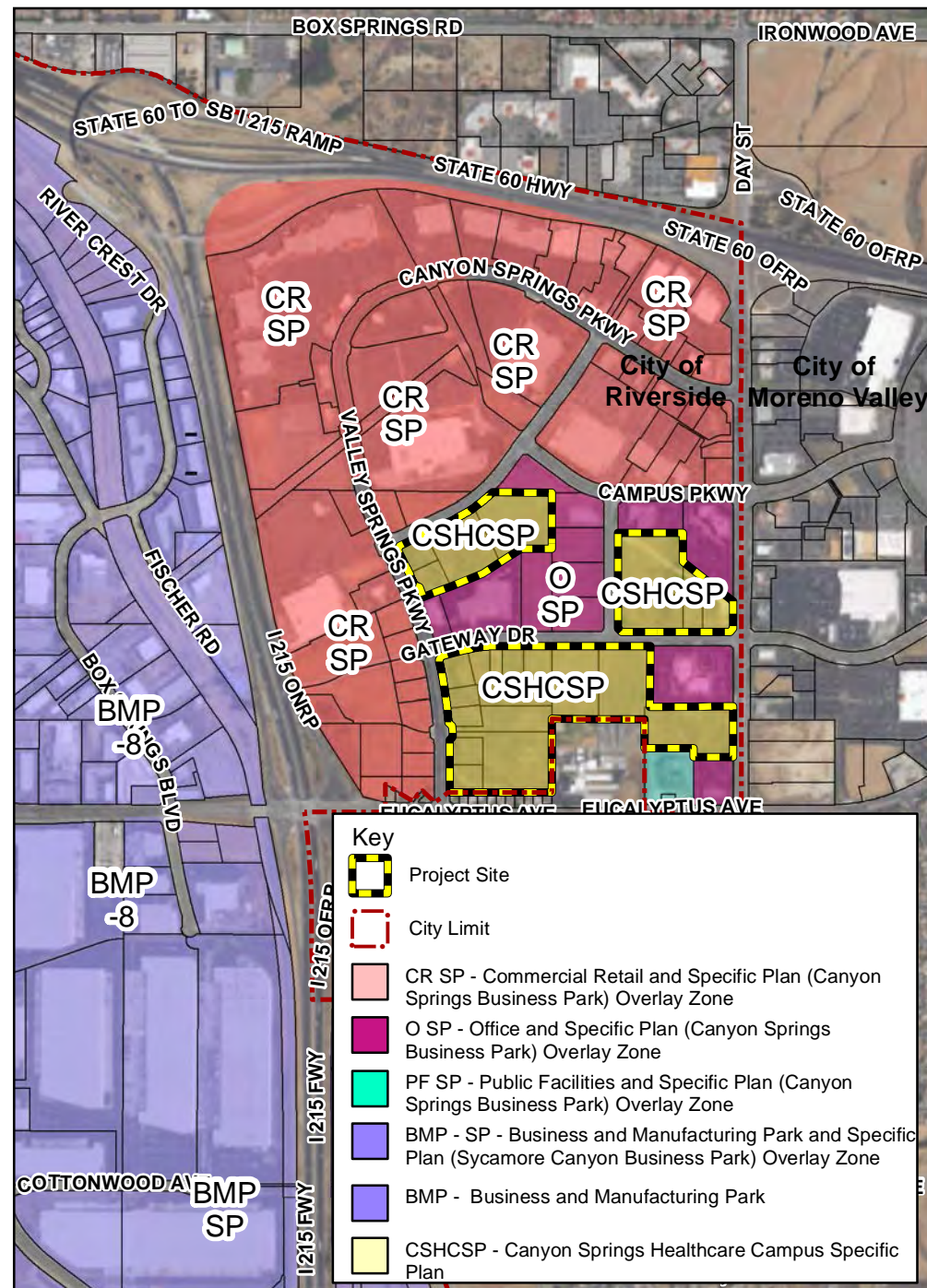


Exhibit 5 - Existing / Proposed Specific Plan / Zoning Map

0 500 1,000 2,000 Feet





LAND USE AND URBAN DESIGN ELEMENT

TABLE LU-2 ADOPTED SPECIFIC
PLANS

Specific Plan	Applicable Neighborhood(s)	Date of Specific Plan Adoption	Adoption Resolution Number
California Baptist University	Ramona	March 2013	22511
Canyon Springs Business Park	Sycamore Canyon/Canyon Springs	January 1984	15249
<u>Canyon Springs Healthcare Campus</u>	<u>Sycamore Canyon/Canyon Springs</u>		
Citrus Business Park	Arlington South	April 2010	22005
Downtown	Downtown	December 2002	20323
Hawarden Hills ⁵	Hawarden Hills & Canyon Crest	April 1977	13073
Hunter Business Park	Hunter Industrial Park	April 1988	16792
La Sierra University	La Sierra	March 1997	19057
Magnolia Avenue	Arlington, La Sierra, La Sierra South, Magnolia Center, Ramona, Wood Streets	November 2009	21931
Mission Grove	Mission Grove	June 1985	15772
Orangecrest	Orangecrest	August 1985	15886
Rancho La Sierra	La Sierra Acres	January 1996	18846
Riverside Auto Center	Presidential Park	October 1990	17614
Riverside Marketplace	Eastside	May 1991	17762
Riverwalk Vista	La Sierra South	September 2005	21023
Sycamore Canyon	Sycamore Canyon Park	October 1985	15914
Sycamore Canyon Business Park	Sycamore Canyon Business Park	April 1984	15328
Sycamore Highlands	Sycamore Canyon Business Park/Canyon Springs	November 1990	17625
University Avenue	Eastside, University	January 1993	18169
Victoria Avenue ⁶	Arlington Heights, Arlington South, Casa Blanca, Hawarden Hills, La Sierra South, Victoria	May 1972	11878

⁵ The Hawarden Hills Specific Plan is rescinded as part of this General Plan.

⁶ The Victoria Avenue Specific Plan is rescinded as part of this General Plan.

LAND USE AND URBAN DESIGN ELEMENT



Canyon Wilderness Park – Stephens' Kangaroo Rat Management Plan
and Updated Conceptual Development Plan.

SYCAMORE CANYON BUSINESS PARK– CANYON SPRINGS



Sycamore Canyon/Canyon Springs

Located at the merge of the I-215 and SR-60 freeways, as well as along a rail corridor, the Sycamore Canyon Business Park/Canyon Springs Neighborhood provides an excellent location for intensive commercial and industrial development. The Canyon Springs portion of the area is Riverside's easternmost neighborhood, nestled between the I-215 and SR-60 split and the City of Moreno Valley.

The area's surroundings, including the March Inland Port, make it rather suitable for high-quality industrial development.

Specific plans for Sycamore Canyon Business Park and Canyon Springs were adopted in 1984 to encourage and provide incentives for economic development, but relatively little development occurred in these areas for more than fifteen years. Canyon Springs saw major commercial and office development beginning in the mid 1990's through the turn of the twenty-first century; development during the same period in the Sycamore Canyon Business Park consisted primarily of large warehouse and distribution facilities. These warehousing distribution facilities were likely attracted by the area's





LAND USE AND URBAN DESIGN ELEMENT

Additional information about the University of California, Riverside, as well as on the City's other learning institutions, can be found within the Education Element.

and proximity to major regional freeways as well as by relatively low-cost land. However, such buildings produce jobs in relatively low numbers to their size, typically less than one job per one thousand square feet.

This Plan for Riverside's future recognizes that the City has a limited supply of industrial land. For Riverside to be able to significantly increase the number of highly-skilled, high-paying jobs within the City, careful use of industrial land is essential. Industrial land should be reserved primarily for clean businesses that produce significant numbers of high paying jobs that can employ Riversiders who currently commute west to Orange County and elsewhere for employment. As such, the overriding objective for this neighborhood, particularly the Sycamore Canyon Business Park portion, is to encourage the Park to evolve toward becoming a more significant employment center featuring clean industries, including high-technology and bio-technology, capitalizing upon the talent of the innovative researchers at UCR and Riverside's considerable pool of highly trained residents, many of whom must leave the City to find high-paying employment.

In 2017 the Canyon Springs Healthcare Campus Specific Plan was adopted by the City of Riverside. This new Specific Plan includes 50.85 acres that was formerly part of the Canyon Springs Business Park Specific Plan. This Canyon Springs Healthcare Specific Plan provides a framework that will guide the development of the Healthcare Campus.

The roles and goals of Sycamore Canyon Business Park, ~~and~~ Canyon Springs Business Park, and Canyon Springs Healthcare Campus are thus quite different: while new enterprises in Sycamore Canyon Business ~~P~~ark are likely to take the form of research and development flex space, ~~the~~ Canyon Springs Business Park will be more influenced by additional retail and office commercial uses, and the Canyon Springs Healthcare Campus be influenced by a hospital, medical offices, senior housing and an assisted living, independent living, and skilled nursing facility. Although the area has been classified as a single City neighborhood, the differing purposes of these areas call for more individualized treatment. As the areas continue to grow and evolve, splitting Canyon Springs and Sycamore Canyon Business Park into two separate neighborhoods will offer greater opportunities to tailor developments and development standards to highly specific needs. In particular, development within the western portions of Sycamore Canyon Business Park must be sensitive to the abutting Sycamore Canyon Wilderness Park.

The objectives and policies listed below are specific to the Sycamore Canyon Business Park/Canyon Springs Neighborhood. In addition, the Citywide objectives and policies in this Element are also applicable, as are all other City development Codes, Ordinances and standards.

Objective LU-80	Establish Sycamore Canyon Business Park and Canyon Springs as a center for economic growth.
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SPECIFIC PLAN - DEVELOPMENT STANDARDS*
CANYON SPRINGS BUSINESS PARK
(Originally adopted on January 17, 1984 by Resolution No. 15249)

Prepared by:

T&S Development, Inc. (in association with Consultants)
5225 Canyon Crest Drive Building 100, Suite 150
Riverside, California 92507

~~Edited to include Specific Plan Amendments as of 12/91 by T&S Development and the City of
Riverside Planning Department~~

- * This handout constitutes Section I of the original "Springs" Specific Plan. Other Sections of the document may be viewed at the Riverside Planning Department

AUGUST 2017

Canyon Springs Business Park Specific Plan

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Canyon Springs Business Park Specific Plan

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EXECUTIVE SUMMARY

The CANYON SPRINGS project is located at the far easterly corporate limits of the City of Riverside. The general plan has designated the project site for Commercial uses, and represents a logical infill of development into an area where urban services and utilities are either now available, or can be provided.

CANYON SPRINGS is a regionally oriented mixed use development that combines commercial, office, entertainment, and recreational uses within a total gross area of approximately 222 acres.

Planning Areas 1, 2, 3, 4, 5, 6 and 7 comprising approximately 202 acres consist of the C-2 zoned portions of the project. Planning Areas 8, 9, and 10 comprising 67 acres consist of the C-0 zoned portions of the project. Planning Areas 1, 2, 3, 4, 5, and 6 comprise approximately 188 acres and consist of the Commercial Retail zoned portions of the project. Planning Area 7 has been removed and is now part of the Canyon Springs Healthcare Campus Specific Plan. Planning Areas 8, 9, and 10 comprise approximately 34 acres and consist of the Office zoned portions of the project. A three-acre parcel in Planning Area 10 is a flood detention basin and zoned Public Facilities.

CANYON SPRINGS will enjoy the benefits of a master planned development. The infrastructure and other public facilities have been sufficiently sized to meet the needs of the entire community at full build-out. In addition, specific planning and design elements such as land use compatibility, site design, architecture, and landscaping will be consistently applied to assure a varied yet homogeneous project.

The project can be constructed without damage to the environment beyond that caused by the incremental increase in human activity. The project site is not in a natural biological state, with no identified archaeological or historical resources.

CANYON SPRINGS will fulfill a demonstrated need in this area for additional job and business opportunities that provide for a balance from the predominately residential land use pattern in Moreno Valley to the east. The project has been designed to meet identified market demands. In addition, the Fiscal Impact Analysis for the project indicates that the proposed mix of land uses will result in an annual surplus of \$6 million dollars to the City of Riverside upon full build-out.

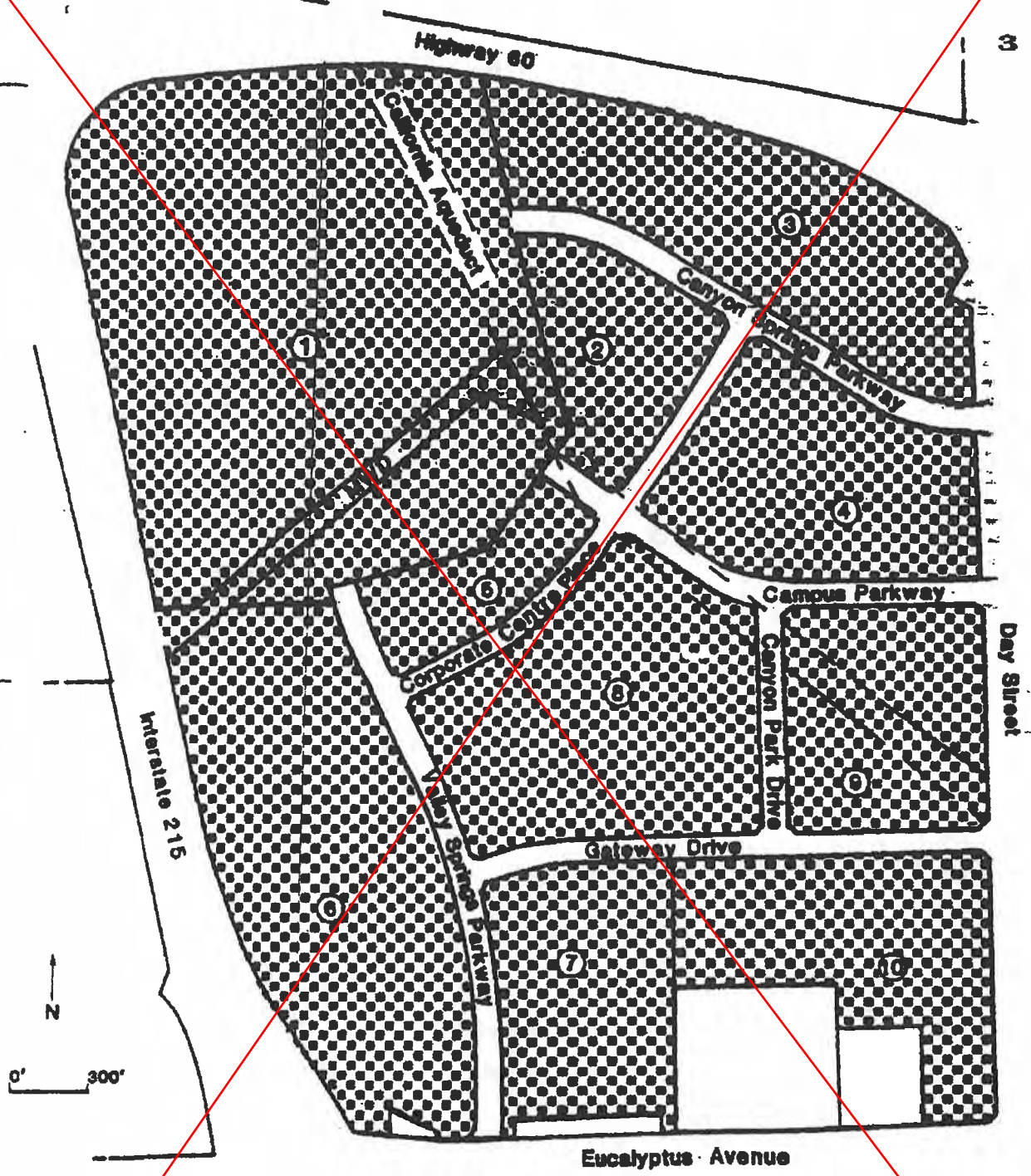
The following exhibits and table outline the General Plan and Zoning for each of the Site Planning Areas for CANYON SPRINGS and the total acreage for each Planning Area. ~~While certain street alignments may require adjustment due to refinement of final engineering and design plans (i.e. the final 1-215/Eucalyptus interchange design) the total site acreage and design concepts discussed in the body of this document will remain valid.~~

This amendment to the CANYON SPRINGS Business Park Specific Plan (CSBP) is for the purpose of rescinding all or portions of the Planning Areas that will become the Canyon Springs Healthcare Campus (CSHC) Specific Plan, pending adoption. Planning Area 7 has been rescinded in its entirety and the boundaries of Planning Areas 8, 9 and 10 have been modified to remove the portions that encompass the CSHC Specific Plan area. The exhibits herein have been revised to reflect the new Planning Area boundaries, as well as the updated General Plan and Zoning designations that have changed since the last amendment. Section 1 of the CSBP Specific Plan is amended to update each Planning Area with revised acreages and/or current zoning designations. All other Sections of the CSBP Specific Plan remain unchanged as they establish the setting and constraints, policy framework and development plan and program that direct growth in CANYON SPRINGS. The result is two specific plans that are independently implemented to avoid conflict between policies, standards, and regulations of both specific plans. Therefore, there will be no inconsistencies between the CSHC Specific Plan and the CSBP Specific Plan.

Table 1
Summary of Planning Areas

Planning Area	<u>Acreage</u>	<u>Zone</u>
1	<u>54.01</u>	<u>Commercial Retail</u>
2	<u>15.72</u>	<u>Commercial Retail</u>
3	<u>27.17</u>	<u>Commercial Retail</u>
4	<u>22.01</u>	<u>Commercial Retail</u>
5	<u>28.35</u>	<u>Commercial Retail</u>
6	<u>40.31</u>	<u>Commercial Retail</u>
8	<u>19.50</u>	<u>Office</u>
9	<u>6.93</u>	<u>Office</u>
10	<u>7.93</u>	<u>Office</u>
TOTAL	<u>221.93</u>	

Exhibit 1. General Plan Land Use



RBO : Retail Business Office entire site

CANYON SPRINGS



T&S DEVELOPMENT, INC.



Canyon Springs Business Park Specific Plan



Planning Areas

General Plan Land Use Description

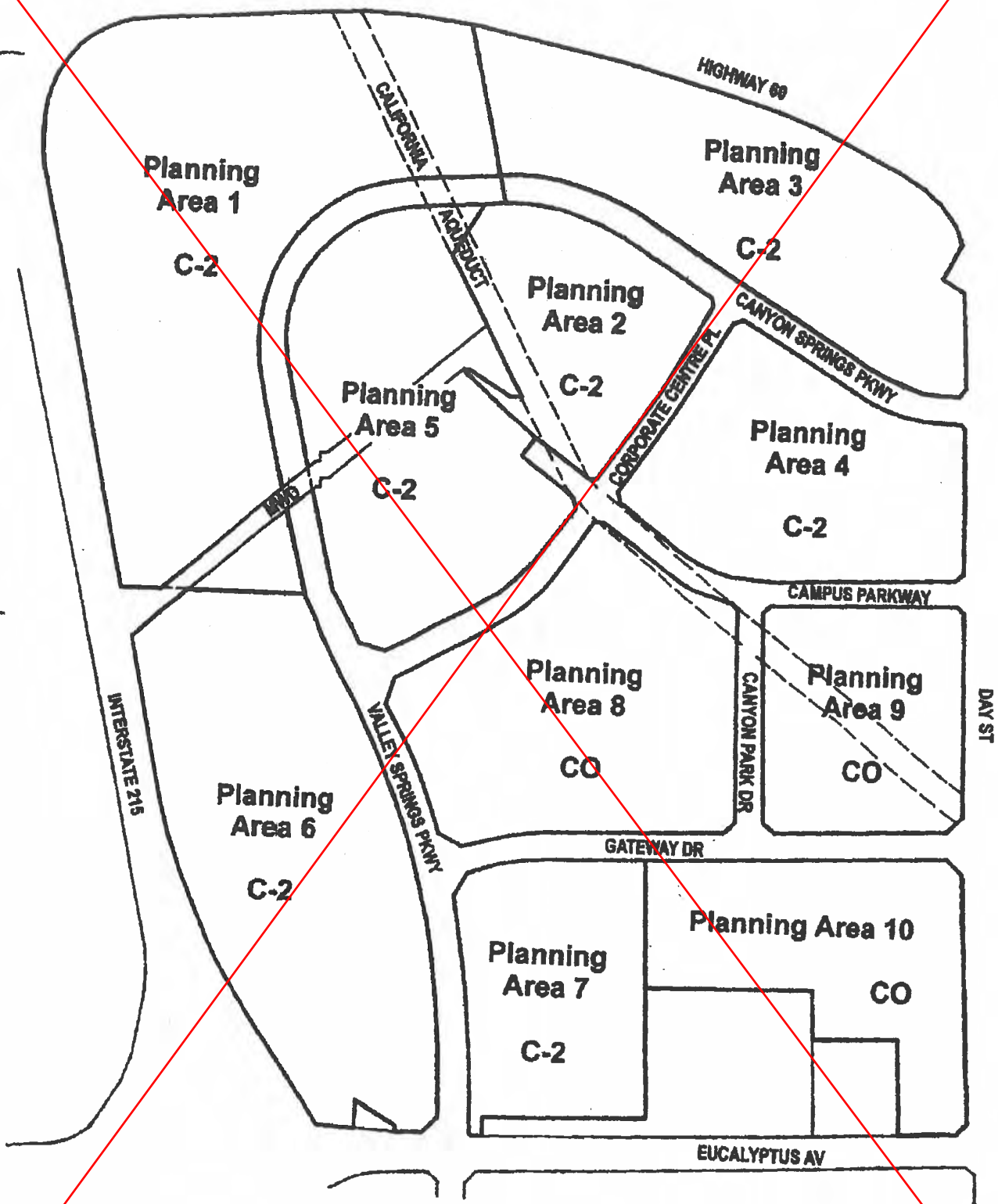
- Business/Office Park
- Commercial



Canyon Springs Healthcare Campus Specific Plan (CSHCSP)

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Exhibit 2. Zoning



C-2 : Restricted Commercial

CO : Commercial Office

EXHIBIT 2
Zoning



Canyon Springs Business Park Specific Plan

Planning Areas

Zoning Description



Business and Manufacturing Park Zone



Commercial Retail Zone



Office Zone



Public Facilities Zone



Canyon Springs Healthcare Campus Specific Plan (CSHCSP)

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SECTION 1

INTRODUCTION AND BACKGROUND

1.1 PROJECT DESCRIPTION

1.1.1 Type and Scale of Project

The purpose of this Specific Plan is to create a commerce center of retail commercial, office, and recreational uses together with appropriate public, quasi-public and private services and facilities necessary to accommodate the shopping, employment, service, and recreational needs of the clientele of the project. The Plan proposes the creation of ten planning areas, as more fully described in subsequent discussions. Each planning area provides a focus of development which differs from one another in use and intensity, however, integrated with one another in image and quality. A plan of architectural design and thematic landscape along with pedestrian, bicycle, and vehicular circulation systems, will serve to unify the planning areas and aid in promoting a "sense of place".

The Plan proposes to accommodate the most intensive use, the Regional Shopping Center within the northwest quadrant of the site, buffered from surrounding properties by the roadbeds of adjacent freeways Interstate 215 and State Route 60, as well as the remaining planning areas of CANYON SPRINGS. From this use, the planning areas form rings of development in complementary uses from support commercial to offices; a well defined planning use hierarchy. Traveler and community oriented retail uses are concentrated at the interchange nodes of the adjacent freeways at Day Street and Eucalyptus Avenue respectfully. The location of these uses accommodates the needs of the travelers and those seeking community-oriented retail goods and services, without requiring more lengthy vehicular trips either through the adjacent Edgemont Community, or within CANYON SPRINGS itself.

There are no well defined natural drainage areas, hillsides, existing water feature, rock outcroppings, tree stands, or historical or archeological features which might influence development patterns on the project site. The Plan proposes the full conversion of the site to urban uses, however, approximately 15 percent of the project site will be reserved for landscaping in the form of setbacks along roadway corridors, disbursement within paved parking areas and to complement structures within the project. Landscaping, while not effective in reducing noise, will be used to "mask" vehicular and mechanical noises through the rustling of leaves. The sound of moving water will serve a similar function in the water features to be used extensively within CANYON SPRINGS. Additionally, a flood control retention basin has been designed and constructed on the north side of Eucalyptus Avenue at the south end of the project. Flood control basin land and construction cost will be deducted from storm water improvements assessments cost attributable to the project at the time of building permit issuance.

Examples of ongoing methods of reinforcing the sense of place include the institution and enforcement of strict architectural, landscape and signage criteria and standards, the use of the

project name "CANYON SPRINGS", establishment of consistent logo, color and graphics, and the creation of community programs and facilities.

The various planning areas and the related circulation network has been established on the basis of the particular needs of each use area. For example, the Regional Shopping Center is located on the most visually prominent site in the project and the internal circulation system directs traffic from the freeway interchange nodes directly to the Center with the least impact on the surrounding community. Conversely, the professional office area does not require freeway visibility, but needs major street access to the transportation network which can be provided primarily by Day Street. An additional benefit to the office uses anticipated are the compatibility features which are designed into the plan to buffer the Edgemont Community to the south. They include the limiting of building height and provision of setbacks, walls, and landscaping to provide visual screening performance. Additionally, strict standards will eliminate glare, noise, odor, smoke, dust, vibration, and such environment disturbances which preclude such uses in proximity to an elementary school dwelling.

Conditions, Covenants, and Restrictions have been recorded over the entire project to assure the quality of development envisioned by The Plan and the continued quality maintenance of CANYON SPRINGS. The C.C. & R.'s provide for a maintenance and management plan for the entire specific plan area. The maintenance and management plan identifies the method by which ongoing responsibility for maintenance and management of private roads, parking, open space areas, signing, landscaping, irrigation, lake areas, common areas, and other responsibilities will be provided. The maintenance and management responsibilities will be met through the formation of a master commercial property owners association combined with subordinate associations.

While each of the [tennine](#) Planning Areas are individually named and described, it is intended that these Planning Areas are a part of the overall CANYON SPRINGS Project. As the project responds to the demands of the market place, there will be a need for density trade offs between planning areas. ~~It is proposed that the Planning Department approve these trade offs through a process described in the CANYON SPRINGS Development Agreement (DA-1-845).~~

All streets have been built to public street standards at capacities to serve CANYON SPRINGS at each stage of development including full buildout. The following street improvements have and will be implemented during the development of CANYON SPRINGS. The following road improvement standards will apply to the new streets providing access to this project (refer to the Exhibit 3 to identify street segments):

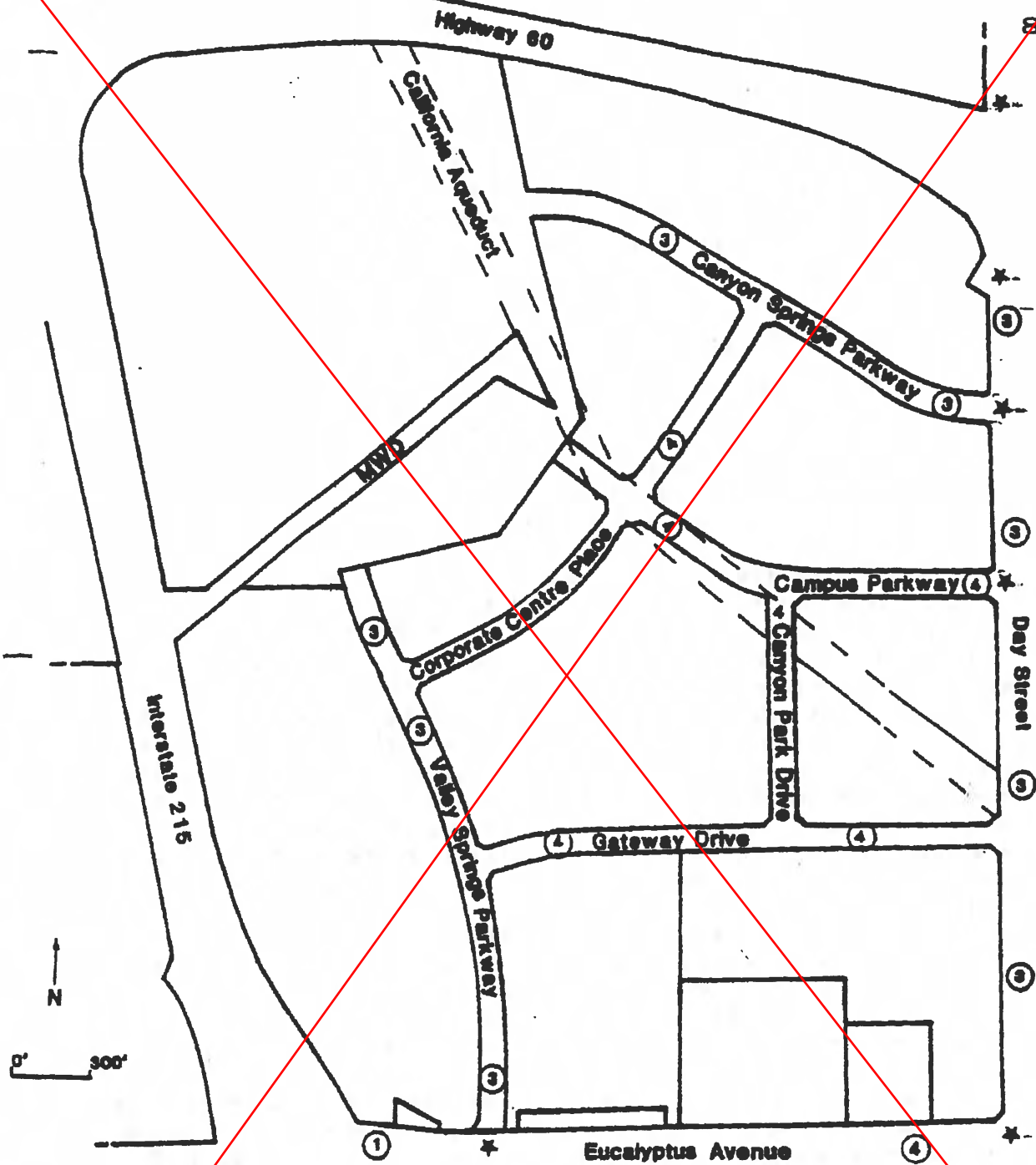
- Special Standard (110-foot-wide, 6 lane arterial highway) Canyon Springs Parkway and Valley Springs Parkway.

- Standard No. 101 (100-foot-wide major highway) Corporate Centre Place, Canyon Park Drive, and Gateway Drive.
- Day Street will be upgraded from a secondary highway to a 110-foot-wide arterial highway between the northern most access to the project site and Eucalyptus Avenue. From the northern most access to Highway 60, Day Street has been improved to 110-foot-wide, 10 lane to 6 lane arterial standards. The improvement of Day Street will be coordinated with the west side curb and gutter and match-up paving requirements previously attributed to the adjacent Towngate Project.
- Eucalyptus Avenue will be upgraded to a 110 foot arterial between Day Street and Valley Springs Parkway. The portion of Eucalyptus Avenue west of Valley Springs Parkway will be improved to 134-foot-wide, six lane arterial standards with the development by Cal Trans of the full interchange to be located at Eucalyptus and I-215.
- The following intersections shall be signalized:
 - I-215 at Eucalyptus Avenue (both legs of the interchange depending upon design).
 - Highway 60 at Day Street (Both Legs). •
 - Canyon Springs Parkway at Day Street
 - Campus Parkway at Day Street
 - Eucalyptus Avenue at Day Street •
 - Eucalyptus Avenue at Valley Springs Parkway

The cost of signalization will be deducted from the Traffic Signal Assessment costs attributable to the project at the time of building permit issuance.

Architectural quality will be emphasized throughout CANYON SPRINGS. Quality building materials will be required such as brick, masonry, concrete, glass, tile, wood and the like; metal buildings will not be permitted. C.C. & R.'s have been established within the management framework of CANYON SPRINGS. Approval by the Declarant of Architectural Plans shall be based, among other things, upon adequacy of site dimensions; adequacy of structural design; conformity and harmony of external design with neighboring structures; effect of locations and use of the proposed Improvements upon the Improvements on neighboring Sites and the operations and uses conducted on such Sites; relation of topography, grade and finished ground elevation of the Site being improved to that of neighboring Sites; proper facing of main elevation with respect to nearby streets; and conformity of the Architectural Plans to the purpose of general plan and intent of the provision of the Declaration.

No one style will be mandated for CANYON SPRINGS. The overall theme of the project will be one of timeless contemporary structures of substance and quality. The majority of the structures



STREET PLANS

* Signalized Intersections

1. 134' R.O.W.
2. 120' R.O.W.
3. 110' R.O.W.
4. 100' R.O.W.

CANYON SPRINGS



T&S DEVELOPMENT, INC.

EXHIBIT 4 - CANYON SPRINGS



Canyon Springs Business Park Specific Plan

Planning Areas

Canyon Springs Healthcare Campus Specific Plan (CSHCSP)



Signalized Intersection

DUDEK

SOURCE: Bing, 2017; County of Riverside, 2017

Canyon Springs Business Park Specific Plan

Exhibit 3: Circulation

will feature prominent roof lines and eaves, subtle use of texture and pattern and color. Windows will be oriented where possible or appropriate for cooling and aesthetic interest. Mechanical equipment and utility meters will be either enclosed or visually and acoustically screened.

Some structures will be featured as accents within the urbane design framework of CANYON SPRINGS. These buildings may feature more traditional building styles, materials, and colors and will be represented by free-standing independent uses, such as restaurants. These elements are intended to provide spice within the architectural recipe and will be carefully and thoughtfully integrated in CANYON SPRINGS.

CANYON SPRINGS landscape design will consist of formally landscaped areas planted with materials chosen for their resistance to drought and for ease of maintenance, as well as their appearance for their chosen location. The following page is a typical representation of plant material for CANYON SPRINGS.

Landscape will be used as a visual and physical amenity. Minimum 10-foot-deep landscaped setbacks will be provided between all public street rights-of-way and adjacent development. Mounded areas of turf or massing of shrubs will be provided in setback areas adjacent to parking areas in order to provide a visual barrier; softening the view. ~~Where office and commercial uses abut the Edgemont Elementary School and dwellings, a solid block wall and thickly landscaped tree row will be provided as a visual and acoustic barrier between these uses.~~

In plaza areas, textured paving will be interspersed with tree groupings, shrubs, ground covers and turf. Quality details including decorative street furniture, boulders, bollards, lighting, pavement in various textures, and water features will be integrated throughout CANYON SPRINGS. The landscaping plans will emphasize an attractive visual quality, as well as provide shade, color, aroma, texture, accent and softening of the view of structures.

All parking areas in CANYON SPRINGS will include a minimum of five (5) percent in landscaped areas. The majority of plant material in parking areas will consist of trees to reduce glare, provide shade and visually soften the appearance of the parking area.

A palette of plant material will be recommended by experienced landscape architects in keeping with the requirements of CANYON SPRINGS. Consistent landscape treatments and use of a defined palette of material will provide visual harmony in CANYON SPRINGS. Within the basic landscape framework, some variety will be permitted in landscape design between the various Planning Areas to add character and identity.

The landscaped areas will be irrigated by automatically controlled systems. Emphasis will be placed on water conservation measures such as drip emitters, and underground emitters where feasible.

Typical Landscape Material

Hedges, screens, backgrounds and barriers:

Deciduous

- *Elaeagnus Angustifolia*
- *Fouquieria Splendens*
- *Liquidambar Styraciflua*
- *Maclura Pomifera*
- *Viburnum Opulus*

Groundcovers

- *Abelia Grandiflora "Prostrata"*
- *Baccharis Pilularis*
- *Carissa Grandiflora*
- *Hebe Menziesii*
- *Hedera*
- *Juniperus*
- *Mahonia Repens*
- *Mazus Reptans*
- *Osteospermum*
- *Phyla Nodiflora*
- *Sagina Subulata*
- *Turf*
- *Zoysia Tenuifolia*

Trees

- *Cedrus Deodora*
- *Eucalyptus*
- *Fraxinus Modesto*
- *Jacaranda Mimosifolia*
- *Lagerstroemia Indica*
- *Liriodendron Tulipifera*
- *Pinus*
- *Platanus Acerfolia*

- *Platanus Racemosa*
- *Podocarpus*
- *Populus*

Evergreen

- *Abelia Grandiflora*
- *Callistemon Salignus*
- *Ceratonia Siliqua*
- *Cocculus Laurifolius*
- *Dodonaea Viscosa*
- *Eucalyptus*
- *Eugenia Uniflora*
- *Hebe Buxifolia*
- *Itea*
- *Juniperus*
- *Lagunaria Patersonii*
- *Lysiloma Thomberi*
- *Mahonia Aquifolium*
- *Nandina Domestica*
- *Nerium Oleander*
- *Photinia*
- *Pittosporum Tobira*
- *Pittosporum Undulatum*
- *Raphiolepis*
- *Sequoia Sempervirens*
- *Taxus*
- *Tecomaria Capensis*
- *Viburnum Suspensum*
- *Xylosma Congestum*

1.1.1.1 Planning Area 1: Regional Shopping Center

The major commercial element of Canyon Crossings at Canyon Springs consists of a Regional Shopping Center. The Regional Shopping Center consists of a ~~54.01~~^{51.89} acre site for an open center containing leased shops and anchored by several major stores and restaurants.

The buildings are orientated in an “L” shape along the two highways. This has been planned for four major reasons: topography, vista, site constraints and identity. Topographically, the site is relatively flat sloping gently from north to south. The major site constraints consist of underground lines of the California Aqueduct and the Metropolitan Water Districts, both of which bisect the project site. While each of the pipelines have restrictions against structures; parking, landscaping, and streets may cross over them. Therefore, Canyon Crossings is planned to avoid these pipelines.

The landscape design in Planning Area 1 will emphasize three points:

1. The softening of the view into the site from surrounding roadways through the use of low mounds, shrub masses, including use of shrubs and columnar-shaped trees;
2. The shading of the parking area through the use of canopy-shaped trees;
3. The landscape will soften and enhance the building structure with the use of accent groundcovers, shrubs and trees, along with hardscape elements. Water features near the mall would be formalized to complement the urban nature of the structure and landscape pattern.

Uses Permitted

The uses anticipated within Canyon Crossings will comply with the Uses Permitted section of the ~~C-2 Community Shopping Center Zone~~ Commercial Retail Zone as of the date of this Specific Plan Amendment.

Summary of Development Standards – Planning Area I

Setbacks:	Building setbacks will be per the standards of the C-2 Zone <u>Commercial Retail Zone</u> .
Landscape:	Landscape shall be per the standards of the C-2 Zone <u>Commercial Retail Zone</u> .
Parking Standards:	Parking standards shall be per the standards of the C-2 Zone <u>Table 19.580.060 “Required Spaces”</u> . The parking spaces may be shared parking between the different retail

uses with arrangement to satisfy the total parking space requirements for the project. This will be accomplished through the provision of reciprocal ingress, egress and parking agreements between all contiguous parcels by the Parcel Map.

Buildable Square
Footage:

~~This area will have a maximum of 499,999 SF of retail, including restaurants.~~

Special
Requirements:

The following items shall be screened from view:

- Trash Storage
- Mechanical Equipment
- Utility Meters
- Loading Areas

~~Basements used as stock areas are not to be cowited toward the allowable building square footage.~~

1.1.1.2 Planning Area 2: Support Commercial

The Regional Oriented Retail support commercial uses will be contained in a ~~15.72~~ 7.9-acre site. Uses within Planning Area 2 will be developed as freestanding uses such as restaurants, financial institutions, a theater complex, and furniture showrooms, as well as multiple-tenant retail uses as a support element to the Regional Shopping Center. These uses could include a wide range of primarily one-story buildings containing gift shops, boutiques, appliance and specialty retail and service establishments. ~~Per the Specific Plan Case# SPA 4-912 and Zoning Case# R-13-912 proposed by T & S Development to amend the General Plan and the Canyon Springs Specific Plan by removing approximately 2.5 acres generally located southwesterly of the terminus of Canyon Springs Parkway and northeasterly of the terminus of Campus Parkway, including a portion of the California Aqueduct, from Planning Area 1 (Regional Mall) and placing it in Planning Area 2 (Support Commercial) (SPA 4-912; and 2) amend the Municipal Code (Chapter 19.06) by rezoning the above-described 2.5 acres from the C-1-A-SP (Community Shopping Center) Zone to the C-2-SP (Restricted Commercial) Zone (Zoning Case R-13-912).~~

Occasional two-story structures may be included, as well as service facilities such as an automobile service station. Additionally, multiple story office and hotel uses may be included.

The full development of the Regional Oriented Retail support commercial uses will be constructed incrementally throughout the three phases of development of CANYON SPRINGS.

The architectural design of the support commercial uses will primarily feature masonry construction, stucco facades, and wood and tile trim. Heavy overhangs will serve to provide shaded walkways and to shade store-front showroom windows.

The landscape design in Planning Area 2 will emphasize three points:

1. The softening of the view into the site from surrounding roadways through the use of low mounds and shrub masses, and columnar-shaped trees;
2. Shading of the parking areas through the use of canopy-shaped trees;
3. The landscape will soften and enhance the building structures with the use of accent ground covers, shrubs, and trees, along with hardscape elements.

The intent of the landscape design of Planning Area 2 is to reflect and complement the landscape design of Planning Area 1.

Uses Permitted

The uses anticipated within the Regional Oriented Retail support commercial will comply with the Uses Permitted in the ~~C-2 Restricted Commercial Zone~~ Commercial Retail Zone, ~~as of the date of the CANYON SPRINGS Development Agreement.~~

SUMMARY OF DEVELOPMENT STANDARDS - Planning Area 2

Setbacks: Building setbacks will be a minimum of 25 feet from Canyon Springs Parkway and a minimum of 20 feet from Campus Parkway and Corporate Centre Place.

Landscape setbacks will be a minimum of 20 feet from Canyon Springs Parkway and a minimum of 10 feet from Campus Parkway and Corporate Centre Place.

Landscape: Landscape shall be provided per the standards of the ~~C-2 Zone~~ Riverside Municipal Code.

Building Heights: Building heights will be per the standards of the ~~C-2 Zone~~ Commercial Retail zone.

Parking Standards: Parking shall be provided at a ratio of 1 parking stall per 250 square feet of gross leasable area.

A maximum 30 percent of all parking stalls will be designed as compact car stalls. ~~1.5 percent of all parking stalls will be designed for use by the handicapped.~~

Special Requirements: The following items shall be screened from view:

- Trash Storage
- Mechanical Equipment
- Utility Meters
- Loading Areas

~~Buildable Square Footage:~~ ~~108,500 Sq. Ft.~~

1.1.1.3 Planning Area 3: Mixed Use Retail/Office

Planning Area 3 contains ~~28.7~~ 27.17 acres ~~and is subdivided into two sub-areas. Sub-area 3a contains, including~~ approximately 21 acres to the east ~~and includes consisting of~~ Highway Commercial uses ~~consisting of such as~~ restaurants, shops, hotels, and uses catering to the traveler. The structures will be mostly freestanding one (1) story structures; however, some taller structures will be planned such as a motor inn. ~~Sub-area 3b contains approximately 8 acres~~ The remaining area to the west includes multiple-story hotel and office buildings as well as support recreational, retail and restaurant facilities.

Construction in ~~both sub-areas~~ Planning Area 3 will occur during all three phases of development of CANYON SPRINGS.

The architectural design of the Highway Commercial/Hotel uses will focus on the Hotel, the largest and tallest structure anticipated for Planning Area 3. The Hotel will feature masonry, concrete, and glass as the major exterior expressed building materials. These materials will be repeated in the smaller freestanding restaurant, automobile service station and shop structures. Heavy overhangs will serve to provide shaded walkways and to shade store-front showroom windows.

The landscape design in Planning Area 3 will emphasize three points:

1. The softening of the view into the site from surrounding roadways through the use of low mounds and shrub masses, and columnar-shaped trees. This design applies to the view from State Route 60 as well.
2. Shading of the parking area through the use of canopy-shaped trees.
3. The landscape will soften and enhance the building structures with the use of accent ground covers, shrubs, and trees, along with hardscape elements including rock-salt finish concrete, bomanite, and river rock. Outdoor recreation facilities associated with the Hotel such as the swimming pool will be screened by dense shrub massing.

The intent of the landscape design in Planning Area 3 is to coordinate the appearance between ~~sub-area 3a and 3b~~ the east and west areas as well as provide a continuity of design with the larger commercial planning areas 1, 2 and 4 adjacent to the west and south.

Uses Permitted

The uses anticipated within the Highway Commercial/Hotel area will comply with the Uses Permitted in the Commercial Retail Zone of the C-2, Restricted Commercial Zone ~~as of the date of the CANYON SPRINGS Development Agreement.~~

SUMMARY OF DEVELOPMENT STANDARDS - Planning Area 3

Setbacks: Building setbacks will be a minimum of 23 feet from Day Street and 25 feet from Canyon Springs Parkway.

Building setbacks will be a minimum of 20 feet from adjacent freeway rights-of-way.

Landscape setbacks will be a minimum of 23 feet from Day Street, 20 feet from Canyon Springs Parkway and 15 feet from the adjacent freeway.

Landscape: Landscape shall be provided per the standards of the [Riverside Municipal Code C-2 zone](#).

Building Heights: Building heights shall be per the standards of the [Commercial Retail Zone C-2 zone](#) except that the major hotel may be permitted to a maximum of 11 stories.

Parking Standards: Office and retail parking in Planning Area 3 shall be provided to a ratio of 1 parking stall per 250 square feet of gross leasable area regulations standards with the exception of the hotel and motel which will provide 1 parking stall per two rooms and restaurant which shall provide 1 parking stall per 100 square feet of gross leasable area.

A maximum 30 percent of all parking stalls will be designed as compact car stalls. ~~1.5 percent of all parking stalls will be designed for use by the handicapped.~~

Special Requirements: The following items shall be screened from view:

- Trash Storage
- Mechanical Equipment
- Utility Meters
- Loading Areas

~~Buildable~~ Square Footage: ~~250,000 Sq. Ft.~~

1.1.1.4 Planning Area 4: Mixed Use Retail/Office

Planning Area 4 contains 22 acres. The Retail Commercial area will consist of major commercial tenants and freestanding and in line shops primarily of one ~~(1)~~ to two ~~(2)~~ stories. Construction within this planning area will be implemented incrementally throughout the three phases of development of CANYON SPRINGS, with an emphasis in the first and second phases. This planning area is intended to provide an environment oriented to retail commercial uses with ancillary and support uses such as restaurants, barber and beauty shops, health clubs, interior decorators showrooms, mimeographing and blueprint services and pharmacies.

The architectural design of the Retail Commercial area will depend heavily upon wood elements as well as masonry and stucco facades. Eclectic roof elements including overhangs, arches, and arcades will be emphasized. Masonry elements and river rock would serve as accent materials on the structures.

The landscape design in Planning Area 4 will emphasize four points:

1. The softening of the view into the site from surrounding roadways through the use of low mounds and shrub masses, and columnar-shaped trees;
2. Shading of the parking area through the use of canopy-shaped trees;
3. The landscape will soften and enhance the building structures with the use of accent ground covers, shrubs, and trees;
4. The landscape design will provide vistas from inside the structures and outdoor areas for human use, including pedestrian ways and plazas. Hardscape elements including rock-salt finish concrete, bomanite, and river rock will be incorporated. A major urban fountain feature will accent the project at Day Street and Canyon Springs Parkway.

Uses Permitted

The uses anticipated within the Retail Commercial area will comply with the Uses Permitted section of the [Commercial Retail C-2, Restricted Commercial Zone](#) ~~as of the date of the CANYON SPRINGS Development Agreement.~~

SUMMARY OF DEVELOPMENT STANDARDS - Planning Area 4

Setbacks: Building setbacks will be a minimum of 23 feet from Day Street, 25 feet from Canyon Springs Parkway and a minimum of 20 feet from Campus Parkway and Corporate Centre Place.

Landscape setbacks will be a minimum of 23 feet from Day Street and 20 feet from Canyon Springs Parkway and 10 feet from Campus

Parkway and Corporate Centre Place.

Landscape: Landscape shall be provided per the standards of the [Commercial Retail Zone C-2 Zone](#).

Building Heights: Building heights shall be provided per the standards of the [C-2 Zone Riverside Municipal Code](#).

Parking Standards: Parking shall be provided to a ratio of 1 parking stall per 250 square feet of gross leasable area.

A maximum 30 percent of all parking stalls will be designed as compact car stalls. ~~1.5 percent of all parking stalls will be designed for use by the handicapped.~~

Special Requirements The following items shall be screened from view:

- Trash Storage
- Mechanical Equipment
- Utility Meters
- Loading Areas

~~Basements used as stock areas are not to be counted toward the allowable building square footage.~~

~~Buildable~~—Square Footage 227,500 Sq. Ft.

1.1.1.5 Planning Area 5: Support Commercial

Planning Area 5 contains 28.35 acres. Planning Area 5 provides support uses, (including indoor retail, additional offices, and services uses), and serves as a transition from the predominantly single story, free-standing retail uses on neighboring parcels to the south.—

Uses Permitted

1. ~~Restricted Commercial (C-2) uses as listed in Chapter 19.34 of the Riverside Municipal Code, excluding drive-in restaurants~~
2. ~~Commercial Office (C-0) uses as listed in Chapter 19.26 of the Riverside Municipal Code~~

Commercial Retail and Office uses as listed in Table 19.150.020(A) of the Riverside Municipal Code, excluding drive-in restaurants.

SUMMARY OF DEVELOPMENT STANDARDS - Planning Area 5

Minimum Lot Size: One acre

Setbacks: Building setbacks will be a minimum of 25 feet from Valley Springs Parkway and a minimum of 20 feet from Campus Parkway and Corporate Centre Place.

Landscape setbacks will be a minimum of 20 feet from Valley Springs Parkway and a minimum of 10 feet from Campus Parkway and Corporate Centre Place.

Landscape: Landscape shall be provided per the standards of the Riverside Municipal Code~~Chapter 19.34 of the Riverside Municipal Code.~~

Building Heights: Building heights shall be provided per the standards of the Commercial Retail Zone~~Chapter 19.34 of the Riverside Municipal Code.~~

Parking Standards: Parking shall be provided in compliance with Table 19.580.060 “Required Spaces”~~per the standards of Chapter 19.74~~ of the Riverside Municipal Code. Shared parking shall be permitted per an approved plan and associated reciprocal easement agreement.

Special Requirements: The following items shall be screened from view:

- Trash Storage
- Mechanical Equipment
- Utility Meters
- Loading Areas

~~Buildable Square 406,230 s.f.~~

~~Footage~~

~~Basements used solely as stock areas are not to be counted toward the allowable building square footage~~

~~Minimum Lot Size: One acre~~

1.1.1.6 Planning Area 6: Highway/Community Retail

The Highway/Community Oriented Retail uses will be contained in a ~~40.31~~^{40.6} acre site. Uses within Planning Area 6 will be developed as one-story freestanding uses such as restaurants, financial institutions, showrooms, catalogue, Jr. department and discount stores, as well as multiple-tenant retail uses. Occasional two-story structures may be included, as well as service facilities such as an automobile service station. Additionally, multiple story office and hotel/motel uses are planned.

The full development of the Highway/Community Oriented Retail uses will be constructed incrementally throughout the three phases of development of CANYON SPRINGS. The majority of construction, however, will be in earlier phases.

The architectural design of the Highway/Community Oriented Retail uses will primarily feature masonry construction, stucco facades, and wood and tile trim. Covered walkways and other architectural features will be articulated on multiple-tenant structures.

The landscape design in Planning Area 6 will emphasize three points:

1. The softening of the view into the site from surrounding roadways through the use of low mounds and shrub masses and columnar-shaped trees. This design applies to the view from adjacent Interstate 215 as well;
2. Shading of parking areas through the use of canopy-shaped trees;
3. The landscape will soften and enhance the building structures with the use of accent ground covers, shrubs, and trees along with hardscape elements.

Uses Permitted

The uses anticipated in the Highway/Community Oriented Retail planning area will comply with the Uses Permitted section of the ~~Commercial Retail Zone, C-2, Restricted Commercial Zone as of the date of the CANYON SPRINGS Development Agreement.~~

SUMMARY OF DEVELOPMENT STANDARDS - Planning Area 6

Setbacks: Building setbacks will be a minimum of 25 feet from Valley Springs Parkway.

Building setbacks will be a minimum of 20 feet from Interstate 215.

Building setbacks will be a minimum of 20 feet from Eucalyptus Avenue.

Landscape setbacks will be a minimum of 20 feet from Valley Springs Parkway, a minimum of 15 feet from Interstate 215, and a minimum of 10 feet from Eucalyptus Avenue.

Landscape: Landscape shall be provided per the standards of the ~~C-2-zone~~ Riverside Municipal Code.

Building Heights: Building heights will be per the standards of the Commercial Retail zone~~C-2-zone~~.

Parking Standards: Parking shall be provided at a ratio of 1 parking stall per 250 square feet of gross leasable area.

A maximum 30 percent of all parking stalls will be designed as compact car stalls. ~~1.5 percent of all parking stalls will be designed for use by the handicapped.~~

Special Requirements: The following items shall be screened from view:

- Trash Storage
- Mechanical Equipment
- Utility Meters
- Loading Areas

~~Basements used as stock areas are not to be counted toward the allowable building square footage.~~

~~Buildable~~ ~~Square~~ ~~442,205 Sq. Ft.~~
~~Footage:~~

1.1.1.7 Planning Area 7

The Regional Oriented Retail support commercial uses will be contained in a 16.4 acre site. Uses within Planning Area 7 will be developed as one-story freestanding uses such as restaurants, financial institutions, a theater complex, and furniture showrooms, department or home improvement stores as well as multiple tenant retail uses as a support element to the Regional Shopping Center. These uses could include a wide range of primarily one-story buildings containing gift shops, boutiques, appliance, department and specialty retail and service establishments.

Occasional two-story structures may be included as well as service facilities such as an automobile service station.

The full development of the Regional Oriented Retail support commercial uses will be constructed incrementally throughout the three phases of development of CANYON SPRINGS.

The architectural design of the support commercial uses will primarily feature masonry construction, stucco facades, and wood and tile trim. Overhangs and other architectural articulation shall be provided.

The landscape design in Planning Area 7 will emphasize three points:

1. the softening of the view into the site from surrounding roadways through the use of low mounds and shrub masses, and columnar-shaped trees;
2. shading of parking areas through the use of canopy-shaped trees;
3. the landscape will soften and enhance the building structures with the use of accent ground covers, shrubs, and trees. A major urban fountain will accent the project at Eucalyptus Avenue and Valley Springs Parkway.

Uses Permitted

The uses anticipated within the Regional Oriented Retail support commercial area will comply with the Uses Permitted Section of the C-2, Restricted Commercial Zone as of the date of the CANYON SPRINGS Development Agreement.

SUMMARY OF DEVELOPMENT STANDARDS—Planning Area 7

Setbacks: Building setbacks will be a minimum of 25 feet from Valley Springs Parkway and a minimum of 20 feet from Gateway Drive. Building setbacks will be a minimum of 50 feet from existing school or

~~residential uses.~~

~~Landscape setbacks will be a minimum of 20 feet from Valley Springs Parkway and a minimum of 10 feet from Gateway Drive. Landscape setbacks will be 10 feet from existing school and residential uses and will include one evergreen tree per 200 square feet of planter.~~

~~Landscape:~~ Landscape shall be provided per the standards of the C-2 zone.

~~Building Heights:~~ Building heights shall be permitted per the standards of the C-2 zone except that maximum building heights, within 200 feet of existing school or residential uses will be limited to two (2) stories above grade.

~~Parking Standards:~~ Parking shall be provided to a ratio of 1 parking stall per 250 square feet of gross leasable area.

~~A maximum 30 percent of all parking stalls will be designed as compact car stalls. 1.5 percent of all parking stalls will be designed for use by the handicapped.~~

~~Special~~ The following items shall be screened from view:

~~Requirements:~~

- ~~• Trash Storage~~
- ~~• Mechanical Equipment~~
- ~~• Utility Meters~~
- ~~• Loading Areas~~

~~A six-foot high masonry wall shall be provided along property boundaries between planning area uses and adjacent existing residential uses.~~

~~Special performance standards shall be established and enforced to minimize light and glare on adjacent residential uses.~~

~~Trash storage areas will be located at least 50 feet from existing school and residential uses and trash pick-ups shall be limited to 7 a.m. to 7 p.m. only.~~

~~Basements used as stock areas are not to be counted toward the allowable building square footage.~~

~~Buildable Square 175,000 Sq. Ft.
Footage:~~

Planning Area 7 has been rescinded from the Canyon Springs Business Park Specific Plan and is now part of the Canyon Springs Healthcare Campus (CSHC) Specific Plan Area. Refer to the CSHC Specific Plan for permitted uses and development standards pertaining to this area.

1.1.1.8 Planning Area 8: Corporate Office

Corporate Office/Health Club uses will be in an area totaling 19.530.0 acres. Planning Area 8 will consist of freestanding, garden, and corporate offices, ~~primarily six (6) to fifteen (15) stories in height~~. A health club/spa is planned in the southern area of Planning Area 8 and will include such uses as racquet ball courts, gymnasium, tennis and basketball courts, a swimming pool, jogging track related retail uses such as eating establishments, sports clothing, sporting goods and vitamin sales. Several support uses such as restaurants, barber and beauty shops, interior decorator showrooms, blueprinting and pharmacies may be included in the office areas. The tallest structures in CANYON SPRINGS will be concentrated in this Planning Area, away from residential uses and the Edgemont Community to the South.

The architectural design of the Corporate Office uses will depend upon wood and stucco elements, and masonry, concrete, and glass. Sloping roof elements and overhangs will shade window areas on lower structures. Larger, taller structures will provide an architectural accent in the use of glass curtain wall structures. Masonry and stone elements may serve as accent materials on the larger structures. Major parking structures are anticipated to provide parking for the office buildings.

The landscape design in Planning Area 8 will emphasize four points:

1. The softening of the view into the site from surrounding roadways through the use of low mounds, shrub masses and columnar-shaped trees;
2. Shading of the parking areas through the use of canopy-shaped trees;
3. the landscape will soften and enhance the structures with the use of accent ground covers, shrubs and trees;
4. The landscape design will provide vistas from inside the structures and outdoor areas for human use, including courtyards and plazas. Hardscape elements including rock-salt concrete, bomanite, and river rock will be incorporated with water features. In garden office areas, the water features will typically focus upon smaller scale streams and ponds, while more formalized fountains will be associated with larger structures. A small lake-feature, planned to serve storm water retention may be incorporated near the health club. Shrub and tree massing will screen and enclose outdoor activities associated with the health club.

Uses Permitted

The uses anticipated in the Corporate Office Planning Area will comply with the Uses Permitted Section of the ~~C-O, Commercial~~ Office Zone ~~as of the date of the CANYON SPRINGS Development Agreement.~~

SUMMARY OF DEVELOPMENT STANDARDS – Planning Area 8

Setbacks: Building setbacks will be a minimum of 25 feet from Valley Springs Parkway and a minimum of 20 feet from Campus Parkway, Canyon Park Drive, Gateway Drive, and Corporate Centre Place.

Landscape setbacks will be a minimum of 20 feet from Valley Springs Parkway and Canyon Park Drive and a minimum of 10 feet from Campus Parkway, Gateway Drive, and Corporate Centre Place.

Landscape: Landscape shall be provided per the standards of the Riverside Municipal Code ~~C-O Zone~~.

Building Heights: Maximum building heights shall be per the standards of the Office Zone.

Parking Standards: Parking in Planning Area 8 shall be in compliance with Table 19.580.060 “Required Spaces” in the Riverside Municipal Code, provided to Riverside City Parking regulations standards. A maximum 30 percent of all parking stalls will be designed as compact car stalls. ~~1.5 percent of all parking stalls will be designed for use by the handicapped.~~

Special Requirements: The following items shall be screened from view:

- Trash Storage
- Mechanical Equipment
- Utility Meters
- Loading Areas

In this area zoned CO, parking areas will be exempted from the total buildable square footage.

Basements used as stock areas are not to be counted toward the allowable building square footage.

Buildable Square 1,240,000 Sq. Ft.
Footage

1.1.1.9 Planning Area 9: Professional Office

Planning Area 9 contains ~~6.93~~^{17.2} acres. The Professional Office area will consist of freestanding and garden office complexes. Construction within this planning area will be implemented incrementally throughout the three phases of development of CANYON SPRINGS, with an emphasis in the first and second phases. This planning area is intended to provide a campus-like environment of offices primarily oriented to service and professional pursuits with ancillary and support uses such as restaurants, barber and beauty shops, interior decorators showrooms, mimeographing and blueprint services and pharmacies.

The architectural design of the Professional Office uses will depend heavily upon wood elements as well as masonry and stucco facades. Sloping roof elements and overhangs will shade window areas. Larger, taller structures will provide an architectural accent in the use of glass curtain wall structures. Masonry and stone elements may serve as accent materials on the larger structures. Parking structures may be utilized.

The landscape design in Planning Area 9 will emphasize four points:

1. The softening of the view into the site from surrounding roadways through the use of low mounds, shrub masses, columnar-shaped trees, and canopy- shaped trees;
2. Shading of the surface parking areas through the use of canopy-shaped trees
3. The landscape will soften and enhance the structures with the use of accent ground covers, shrubs, and trees;
4. The landscape design will provide vistas from inside the structures and outdoor areas for human use, including atriums, courtyards, and plazas. Hardscape elements including rock-salt finish concrete, bomanite, and river rock will be incorporated.

Uses Permitted

The uses anticipated within the Professional Office area will comply with the Uses Permitted Section of the ~~C-0, Commercial~~ Office Zone ~~as of the date of the CANYON SPRINGS Development Agreement.~~

SUMMARY OF DEVELOPMENT STANDARDS - Planning Area 9 •

Setbacks: Building setbacks will be a minimum of 23 feet from Day Street and a minimum of 20 feet from Campus Parkway, Canyon Park Drive, and Gateway Drive.

Landscape setbacks will be a minimum of 23 feet from Day Street, a

minimum of 20 feet from Canyon Park Drive and 10 feet from Campus Parkway and Gateway Drive.

Landscape: Landscape shall be provided per the standards of the ~~C-0 zone~~ Riverside Municipal Code.

Building Heights: Maximum building heights shall be per the standards of the ~~C-0 zone~~ Office Zone.

Parking Standards: Parking in Planning Area 9 shall be in compliance with Table 15.580.060 “Required Spaces” of the Riverside Municipal Code, ~~provided to Riverside City Parking regulations standards~~. A maximum 30 percent of all parking stalls will be designed as compact car stalls. ~~1.5 percent of all parking stalls will be designed for use by the handicapped.~~

Special Requirements: The following items shall be screened from view:

- Trash Storage
- Mechanical Equipment
- Utility Meters
- Loading Areas

~~In this area, zoned CO, parking areas will be exempted from the total buildable square footage.~~

~~Basements used as stock areas are not to be counted toward the allowable building square footage.~~

~~Buildable Square Footage:~~ 250,000 Sq. Ft.

1.1.1.10 Planning Area 10: Medical Campus

Planning Area 10 contains ~~7.9323~~ 7 acres. The Medical Campus area will consist of freestanding and garden office complexes primarily of two (2) to four (4) stories in height. Construction within this planning area will be implemented incrementally throughout the three phases of development of CANYON SPRINGS, with an emphasis in the first and second phases. This planning area is intended to provide a campus-like environment of offices primarily oriented to service, medical and professional pursuits with ancillary and support uses such as restaurants, barber and beauty shops, interior decorators showrooms, mimeographing and blueprint services and pharmacies. Additionally, a 3 acres storm water detention basin is located in this planning area on the north side of Eucalyptus Avenue.

The architectural design of the Medical Campus uses will depend upon wood elements as well as masonry and stucco facades. Sloping roof elements and overhangs will shade window areas. Larger and taller structures will provide an architectural accent in the use of glass curtain wall structures. Masonry elements would serve as accent materials on the larger structures.

The landscape design in Planning Area 10 will emphasize four points:

1. The softening of the view into the site from surrounding roadways through the use of low mounds and shrub masses, and columnar-shaped trees, and canopy-shaped trees;
2. Shading of the surface parking areas through the use of canopy-shaped trees;
3. The landscape will soften and enhance the structures with the use of accent ground covers, shrubs, and trees;
4. The landscape design will provide vistas from inside the structures and outdoor areas for human use, including atriums, courtyards, and plazas. Hardscape elements including rock-salt finish concrete, bomanite, and river rock will be incorporated.

Uses Permitted

The uses anticipated within the Medical Campus area will comply with the Uses Permitted Section of the ~~CO, Commercial~~ Office Zone ~~as of the date of the CANYON SPRINGS Development Agreement.~~

SUMMARY OF DEVELOPMENT STANDARDS - Planning Area 10•

Setbacks: Building setbacks will be a minimum of 23 feet from Day and Eucalyptus Streets and a minimum of 20 feet from Gateway Drive.

Building setbacks will be a minimum of 50 feet from existing school uses.

Landscape: Landscape setbacks will be a minimum of 23 feet from Day and Eucalyptus Streets and a minimum of 10 feet from Gateway Drive.

Landscape setbacks will be 10 feet from existing school uses and will include one evergreen tree per 200 square feet of planter.

Additional landscape shall be provided per the standards of the ~~CO-zone~~ Riverside Municipal Code as appropriate.

Building Heights: Maximum building heights shall be per the standards of the ~~CO-zone~~ Commercial and Office Zone except that maximum building heights within 200 feet of existing school use will be limited to two (2) stories above grade.

Parking Standards: Parking in Planning Area 10 shall be in compliance with Table 19.580.060 “Required Spaces” of the Riverside Municipal Code. ~~provided to Riverside City Parking regulations standards.~~ A maximum 30 percent of all parking stalls will be designed as compact car stalls. ~~1.5 percent of all parking stalls will be designed for use by the handicapped.~~

Special Requirements: The following items shall be screened from view:

- Trash Storage
- Mechanical Equipment
- Utility Meters
- Loading Areas

A six-foot high masonry wall shall be provided along property boundaries between Planning Area 10 and adjacent existing school uses. Special performance standards shall be established and enforced to minimize light and glare on adjacent school ~~and residential uses.~~ ~~Trash storage areas will be located at least 50 feet from existing school uses and trash pick-ups shall be limited to 7 a.m. to 7 p.m. only.~~

~~In this area, zoned CO, parking areas will be exempted from the total buildable square footage.~~

~~Basements used as stock areas are not to be counted toward the allowable building square footage.~~

Buildable Square 260,000 Sq. Ft.
Footage:

1.1.2 Type of Ownership

Ownership will vary with air and/or ground leases, condominium or user ownership as possibilities. Detailed covenant, conditions and restrictions have been filed on the property to establish architectural landscape and signing criteria, maintenance requirements and allow common ingress and egress, and parking agreements where necessary. The above-described elements will be integrated as the entire CANYON SPRINGS project is developed to provide a highly landscaped balanced use business community where one can shop, work, and recreate within an integrated development and campus-like environment.

1.1.3 Supporting Documents/Cases

In addition and complementary to this Specific Plan document, an annexation to the City of Riverside has been accomplished (Annexation No. 51), a General Plan, rezoning and subsequent zoning cases (R-56-867, R-23-878, and R-24-878), have been approved to implement the commercial element and office uses anticipated for the project. Zoning Case R-80-845 also established the WC zoning to the detention basin. Additionally, a Development Agreement (Case DA-1-845) has been approved to guide the development rights for the project.

An Environmental Impact Report was filed concurrently with the application and approved by the City.

A Parcel Map (PM 19617) has been recorded to implement the project. Further land divisions will be necessary to implement specific development proposals.

1.2 PROJECT SETTING

1.2.1 General and Specific Location

The project site is located at the far easterly corporate limits of the City of Riverside at the southeast intersection of Interstate 215, which extends in a southeasterly direction to Mexico and northerly to Canada, and State Route 60, which extends in an east-west direction from Beaumont to Los Angeles. The Towngate Development is located to the east across Day Street. March Air Force Base, to the south of the Edgemont community, southerly of the project site, is a major military headquarters for flight training and military transport.

The project site is a portion of the Bums and Karr Tract per Map Book 15, page 97, and a portion of Tract Number Twelve per Map Book 10, pages 7 and 8, both records of Riverside County in Section 3 Township 3 South, Range 4 West, of the United States Geological Service Riverside East Topographic Quadrangle, San Bernardino Base and Meridian.

1.2.2 Community Setting Characteristics

A number of diverse uses comprise the community setting. To the north across State Route 60 there are a few scattered residences and business and the 42 acre Canyon Springs Plaza shopping center in the City of Moreno Valley. The rugged slopes of Box Springs Mountain Regional Park lie further to the north. The Towngate Project, located across Day Street is a commercial, office and residential development in the City of Moreno Valley. Further to the east lies the urbanizing Moreno Valley area presently characterized by single family and scattered multiple-family dwellings, and commercial uses located along major arterials. The Edgemont Elementary School and the established community of Edgemont are also located south of the project site. To the west, across Interstate 215, is the Sycamore Canyon Business Park which includes both developed and undeveloped industrial land. Additionally, a spur line of the Atchinson, Topeka and Santa Fe Railroad generally parallels the westerly side of Interstate 215. Further to the west is vacant land planned for development as the Sycamore Canyon Business Park Specific Plan and the Sycamore Canyon arroyo planned for preservation as a wilderness park. This arroyo is part of a system of arroyos generally heading in a northwesterly direction through the City of Riverside to the Santa Ana River.

[Three non-contiguous areas of the CSBP Specific Plan area have been rescinded as part of this amendment and will be re-zoned as the Canyon Springs Healthcare Campus Specific Plan. These areas are identified in Exhibit 1 \(General Plan land use\) and Exhibit 2 \(Zoning\) in the Executive Summary of this Specific Plan. The areas are currently vacant and rough-graded. The northwest 10.45-acre semi-rectangular shaped area will be a senior housing facility; the northeast 10.27-acre irregular-shaped area will be an independent living, assisted living, and skilled nursing facility; and the south 30.13-acre irregular-shaped area will be a hospital, medical office buildings \(MOBs\), and parking structure.](#)

1.2.3 Area Development Trends

The subject property is adjacent to the City of Moreno Valley, an area experiencing rapid urbanization. Moreno Valley has experienced growth primarily in the residential sector, with the major emphasis on single-family homes which appear to be more competitively priced than housing in surrounding communities and counties. Office, commercial, and industrial development has occurred recently, but to a very much lesser degree than housing.

The trend toward development of this region is influenced by availability of freeway access, flat topography, availability of sewer, water, and other utilities and comparable lower land costs and the availability of large-acreage property. The steadily declining productivity and profitability of farming operations historically located in the Moreno Valley area have also influenced the trend toward land development.

1.2.4 Expected Timeframe for Development

The construction of CANYON SPRINGS will be conducted on a phases basis that will require approximately ten years to achieve complete buildout. Each of these planning areas will experience some degree of simultaneous development. The initial street and utility systems were completed in 1986. The initial development will be concentrated near Day Street, however, until improvements can be made to the intersection of-215 and Eucalyptus Avenue.

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with the west side curb and gutter and match-up paving requirements previously attributed to the adjacent Towngate Project.

Eucalyptus Avenue will be upgraded to a 110 foot arterial between Day Street and Valley Springs Parkway. The portion of Eucalyptus Avenue west of Valley Springs Parkway will be improved to 134-foot-wide, six lane arterial standards with the development by Cal Trans of the full interchange to be located at Eucalyptus and I-215.

The following intersections shall be signalized:

- 1) I-215 at Eucalyptus Avenue (both legs of the interchange depending upon design).
- 2) Highway 60 at Day Street (Both Legs).
- 3) Canyon Springs Parkway at Day Street
- 4) Campus Parkway at Day Street
- 5) Eucalyptus Avenue at Day Street
- 6) Eucalyptus Avenue at Valley Springs Parkway

The cost of signalization will be deducted from the Traffic Signal Assessment costs attributable to the project at the time of building permit issuance.

Architectural quality will be emphasized throughout CANYON SPRINGS. Quality building materials will be required such as brick, masonry, concrete, glass, tile, wood and the like; metal buildings will not be permitted. C.C. & R.'s have been established within the management framework of CANYON SPRINGS. Approval by the Declarant of Architectural Plans shall be based, among other things, upon adequacy of site dimensions; adequacy of structural design; conformity and harmony of external design with neighboring structures; effect of locations and use of the proposed Improvements upon the Improvements on neighboring Sites and the operations and uses conducted on such Sites; relation of topography, grade and finished ground elevation of the Site being improved to that of neighboring Sites; proper facing of main elevation with respect to nearby streets; and conformity of the Architectural Plans to the purpose of general plan and intent of the provision of the Declaration.

No one style will be mandated for CANYON SPRINGS. The overall theme of the project will be one of timeless contemporary structures of substance and quality. The majority of the structures will feature prominent roof lines and eaves, subtle use of texture and pattern and color. Windows will be oriented where possible or appropriate for cooling and aesthetic interest. Mechanical equipment and utility meters will be either enclosed or visually and acoustically screened.

Some structures will be featured as accents within the urbane design framework of CANYON SPRINGS. These buildings may feature more traditional building styles, materials, and colors and will be represented by free-standing independent uses, such as restaurants. These elements are intended to provide spice within the architectural recipe and will be carefully and thoughtfully integrated in CANYON SPRINGS.

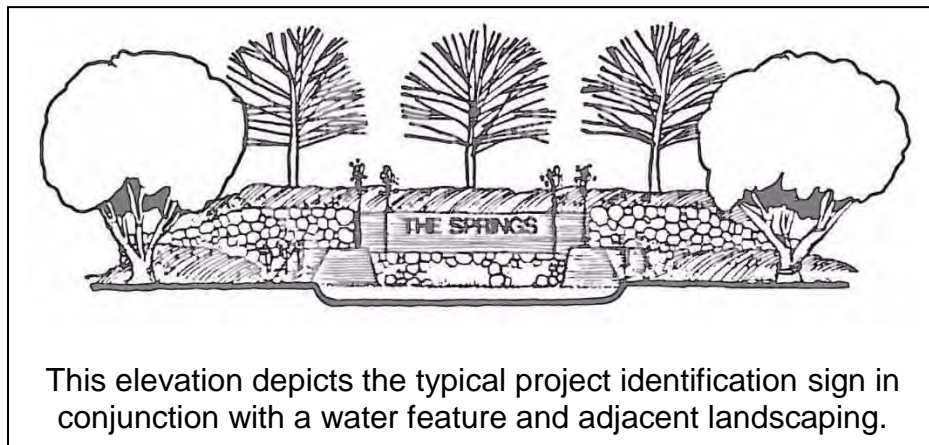
**Canyon Springs Business Park Specific Plan
Section IV(B)(3)(e) Master Signing Programs**

Section IV(B)(3) Master Signing Programs

E. MASTER SIGNING PROGRAMS

A master signing program will be established for the project and will conform to local sign regulations. In the spirit of high commercial aesthetics, and with sensitivity to Interstate 215 and State Route 60, pylon (pole) signs will be limited in number and will be of high quality.

The signing program for THE SPRINGS will consist of the project name routed into wood or depressed in cast concrete in conjunction with accent water elements and landscaped setbacks at major street intersections.



The Regional Shopping Center will be identified through the individual letter and/or script letter identification of department stores and major tenants having independent entrances. Shops having an orientation only to the interior pedestrian mall will not have outdoor identification other than on-site project directories.

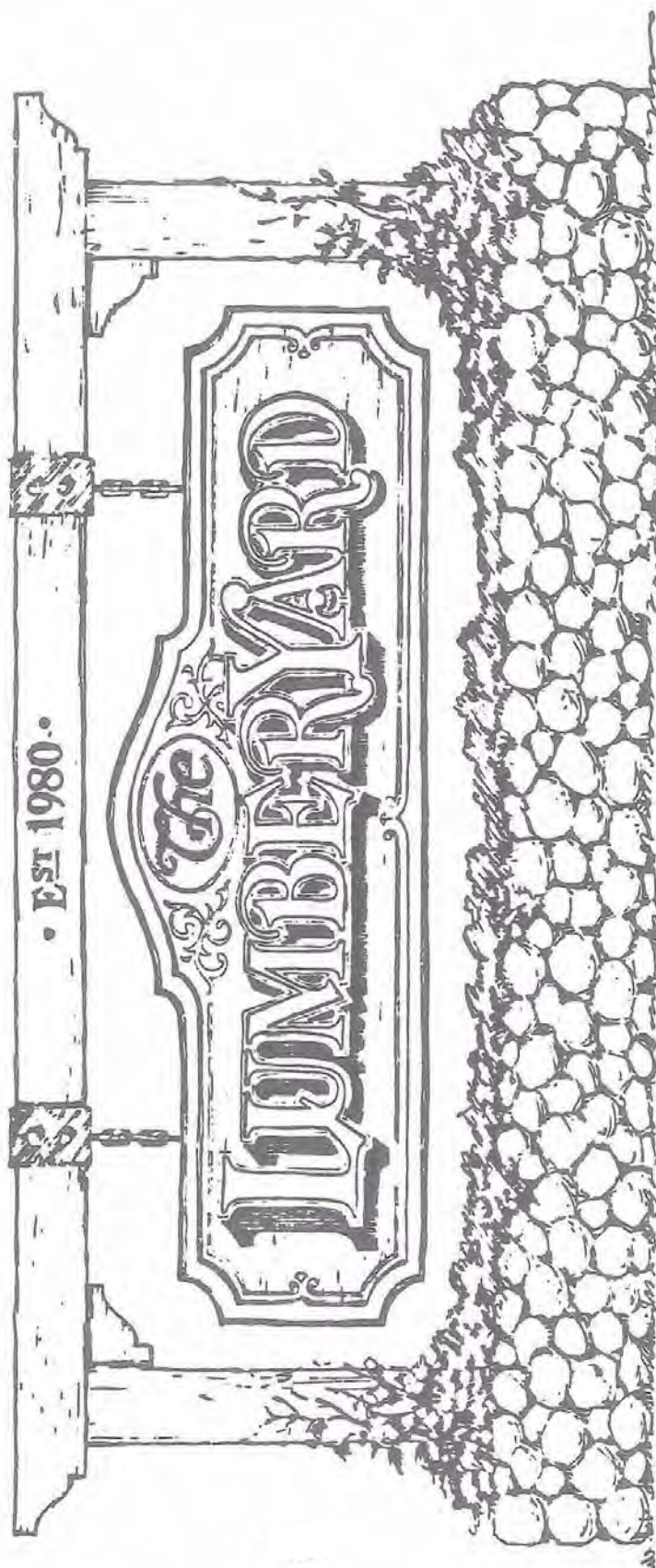
The support commercial uses will be independently signed, and multiple tenant structures will use sign identification consisting of wall signs and low level monument signs. No roof signs will be permitted. A theatre marquee will be permitted for the multiple screen theatre.

Signs will be controlled in terms of design, materials and colors to provide harmony while allowing individuality of identity. The following pages show the types of signs and criteria which will be required for establishments in THE SPRINGS.

Section IV(B)(3) Master Signing Programs



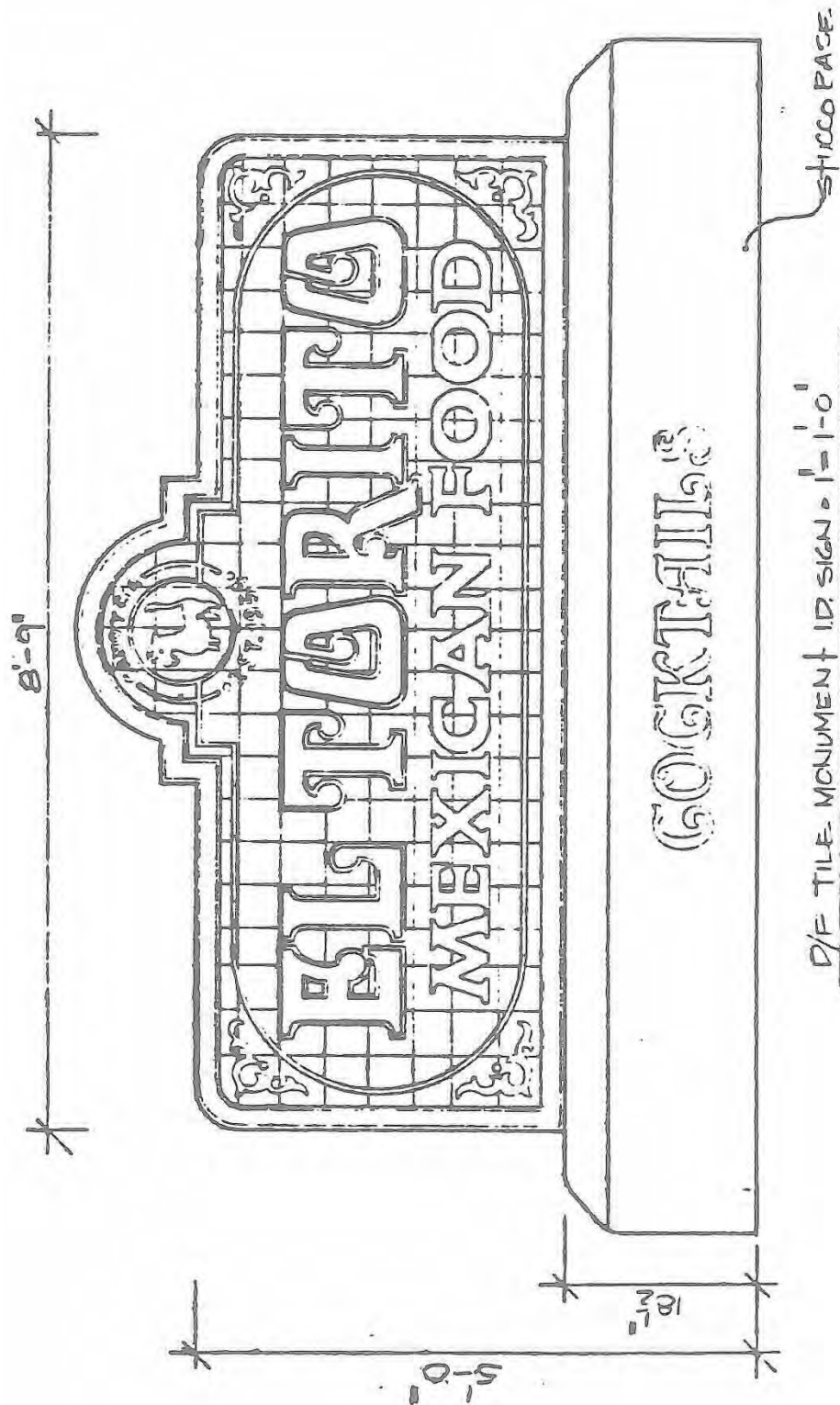
Section IV(B)(3) Master Signing Programs



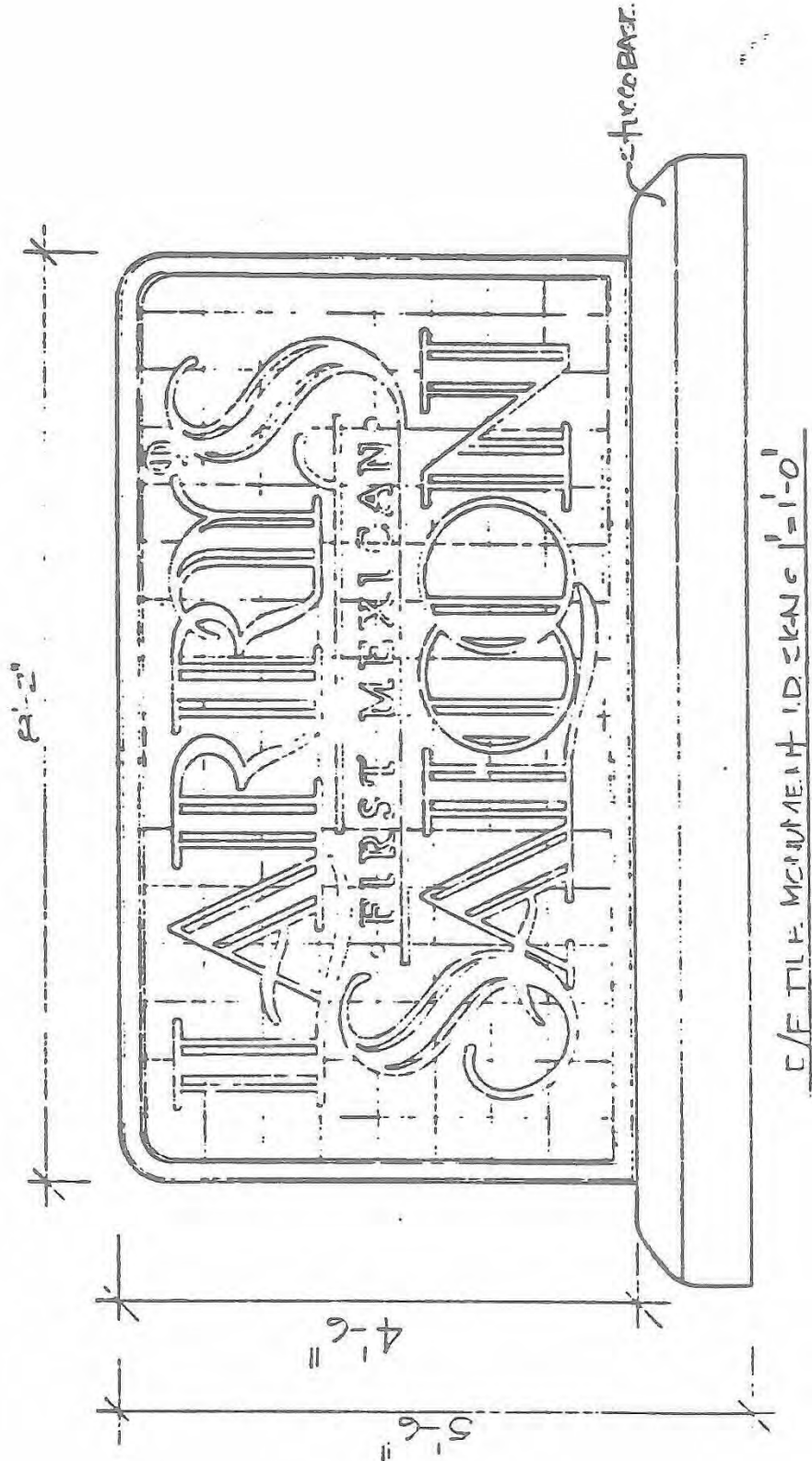
Section IV(B)(3) Master Signing Programs



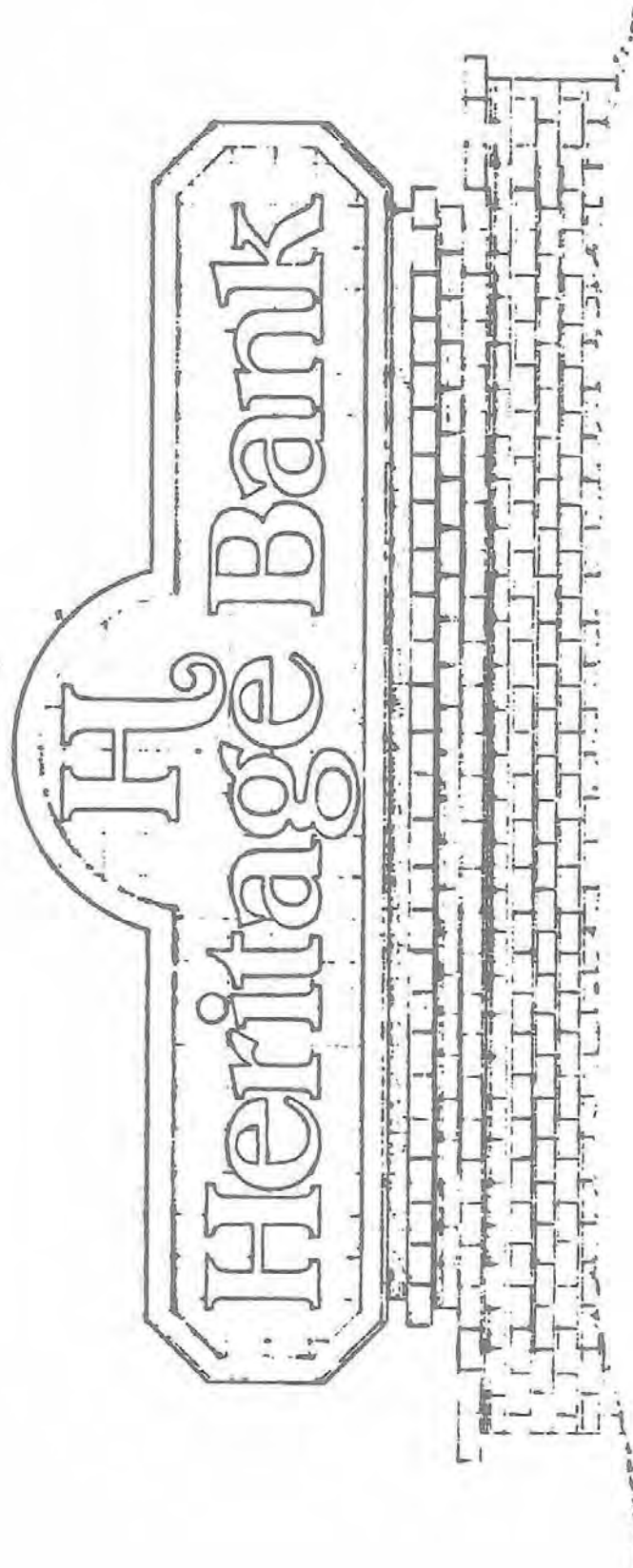
Section IV(B)(3) Master Signing Programs



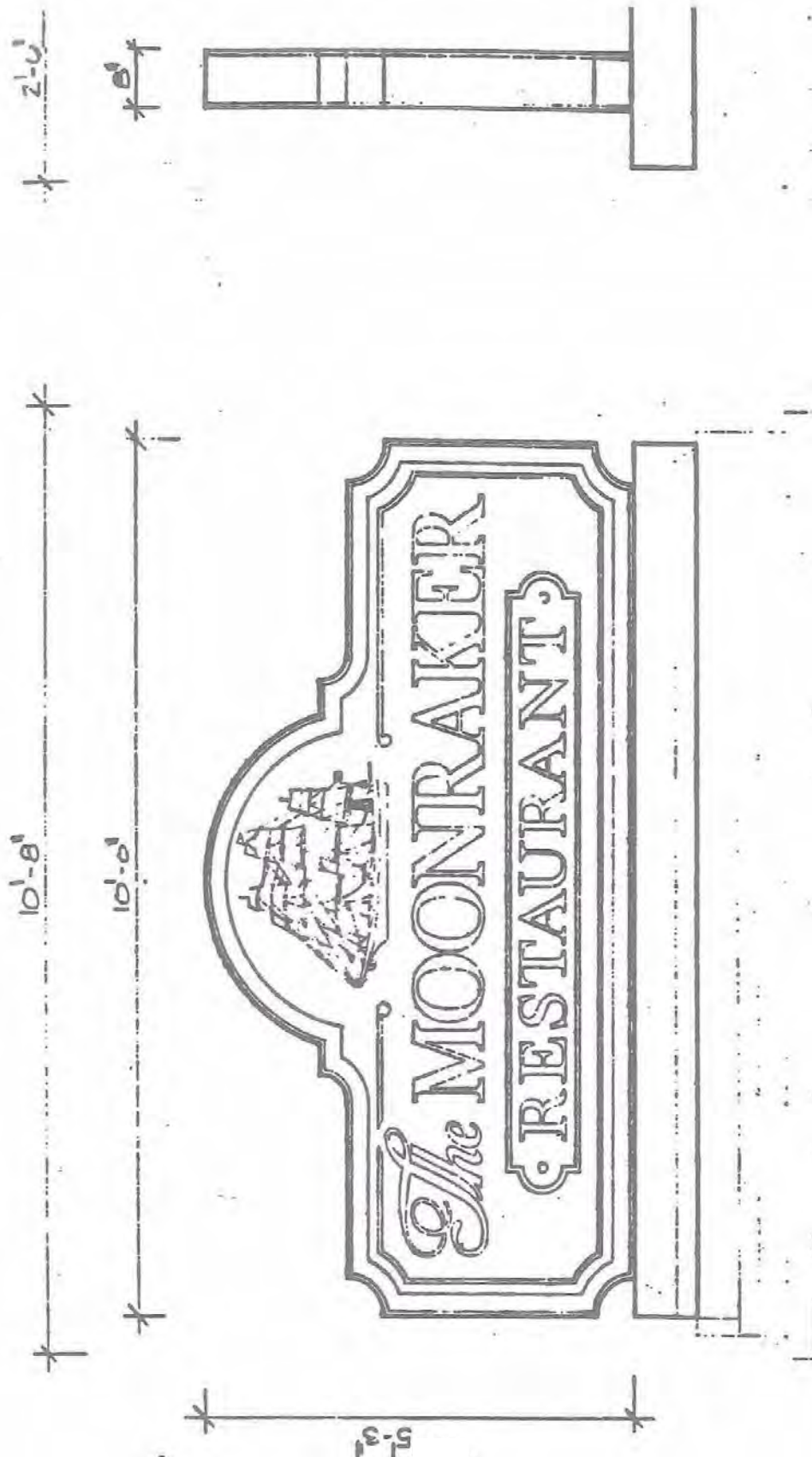
Section IV(B)(3) Master Signing Programs



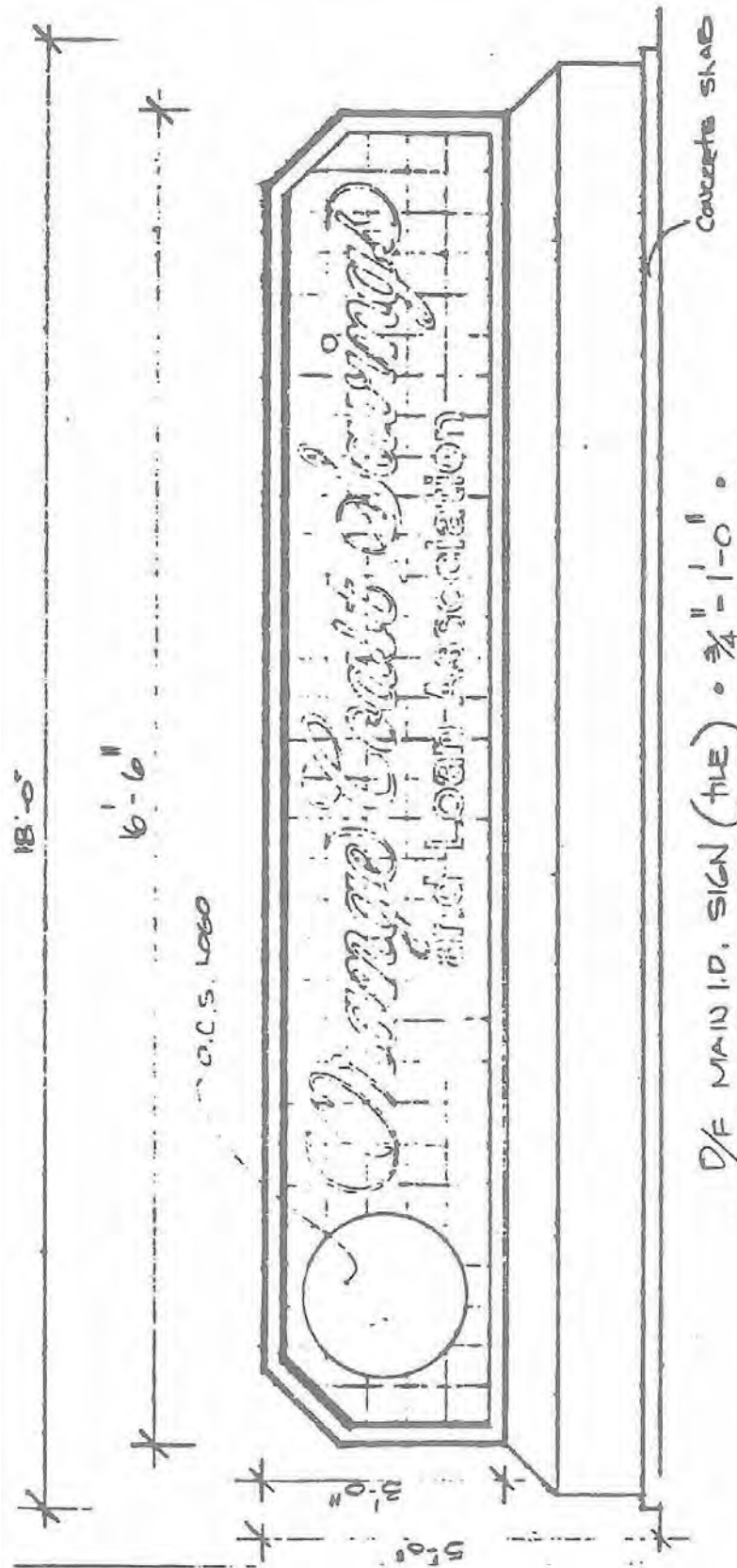
Section IV(B)(3) Master Signing Programs



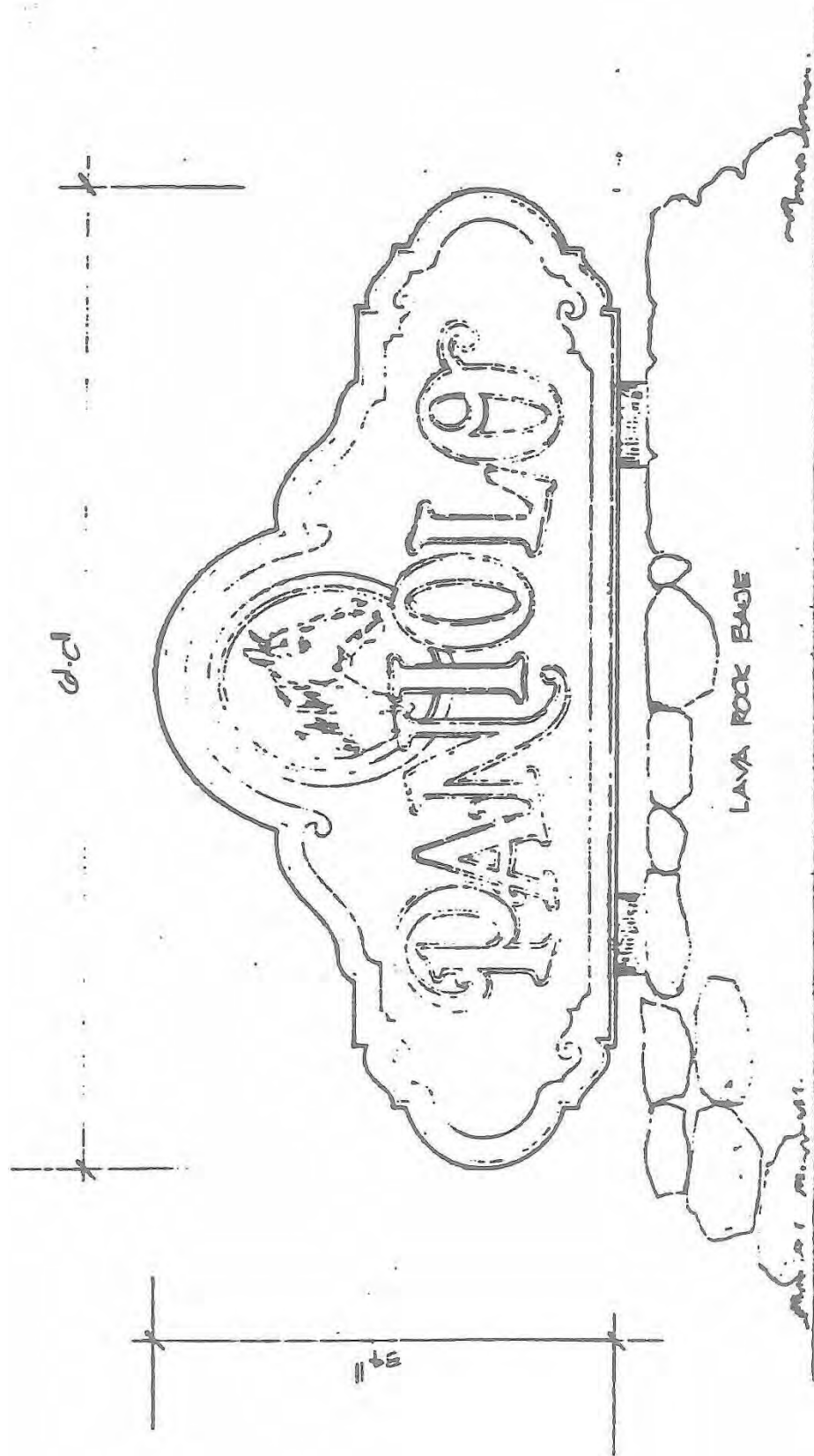
Section IV(B)(3) Master Signing Programs



Section IV(B)(3) Master Signing Programs



Section IV(B)(3) Master Signing Programs



Section IV(B)(3) Master Signing Programs

Permitted Freeway Pylon Signs Size, Design and Location

Pylon Sign A

A freeway oriented pylon sign shall be permitted along the SR 60 Freeway at the general location shown in Exhibit "1". The sign shall be a maximum of 75 feet high, with one 225 square foot sign panel at the top and four 90 square foot panels below, with a total sign area of 690 square feet. A 105 square foot sign, identifying the Canyon Springs Business Park will be located at the top of the sign above the business identification signs. The sign shall conform to the illustration in Exhibit "1" attached hereto and incorporated herein by this reference. ~~The sign shall generally conform to the illustration in Exhibit "1", except that specific design details are subject to Design Review administrative approval.~~

Pylon Sign B

Pylon Sign B is located along the State Route 60 Freeway at the general location shown in Exhibit "1" attached hereto and incorporated herein by this reference. The sign shall be a maximum of 75 feet high, with one 112.5 square foot sign identifying the name and/or logo of the center at the top, five 90 square foot major tenant identification panels below, with a total sign area of 705-square feet. The sign shall conform to the illustration in Exhibit "1" attached hereto and incorporated herein by this reference.

Pylon Sign C

Pylon Sign C is located along the State Route 60 at the general location show in Exhibit "1" attached to and incorporated herein by this reference. The sign shall be maximum of 75 feet high, with one 137 square foot center logo at the top, two 66 square foot anchor tenant identification panels below and four 60.75 square foot panels, with a total sign area of 691 square-feet. The sign shall conform to the illustration in Exhibit "1" attached to and incorporated herein by this reference. All signage within this freeway sign shall be limited to tenants within the 87-acre commercial center "Canyon Crossings". The copy "Riverside" or official City logo as appropriate shall be added on the sign, subject to Design Review approval. Minimal additional sign areas, as necessary for the "Riverside" copy of logo shall be administratively approved by Design Review staff.

Pylon Sign D

Pylon Sign D is located along Interstate 215 at the general location shown in Exhibit "1" attached to and incorporated herein by this reference. The sign shall be a maximum of 75 feet high, with one 137 square foot center log at the top, two 66 square foot anchor tenant identification panes below and four 60.75 square foot panels, with a total sign area of 691 square-feet. The sign shall

Section IV(B)(3) Master Signing Programs

conform to the illustration in Exhibit "1". The copy "Riverside" or official City logo as appropriate shall be added on the sign, subject to Design Review approval. Minimal additional sign areas, as necessary for the "Riverside" copy of logo shall be administratively approved by Design Review staff.

Pylon Sign E

Pylon Sign E is located along Interstate 215 at the general location of Planning Area 6 (Sam's Club Parcel) shown in Exhibit "1". The sign shall be a maximum of 75 feet high, with one 260 square foot sign panel at the top followed by one 200 square foot panel followed by one 100 square foot panel and concluding with two 50 square foot panels at the bottom, with a total sign area of 660 square feet. A 100 square foot sign, area identifying the "VALLEY GATEWAY PLAZA" will be located at the uppermost portion of the sign above the business identification signs. The sign shall generally conform to the illustration in Exhibit "1", except that specific design details are subject to Design Review administrative approval.

Pylon Sign F

A second freeway oriented pylon sign shall be permitted along the I 215 Freeway at the general location shown in Exhibit "1". The sign will be a maximum of 45 feet high, with one 225 square foot sign panel at the top and three 90 square foot panels below, with a total sign area of 600 square feet. A 105 square foot sign, identifying the Canyon Springs Business Park will be located at the top of the sign above the business identification signs. The sign shall generally conform to the illustration in Exhibit "1" except that specific design details are subject to Design Review administrative approval. The Planning Department shall have the administrative ability to increase the: height of the sign by up to 15 feet, dependent upon line of sight information submitted at the time construction is proposed. [Businesses within the Canyon Springs Healthcare Campus Specific Plan may be identified on Pylon Sign F.](#)

Assignment of Freeway Sign Rights by Planning Area

Pylon Sign A

The SR 60 freeway sign panels shall be granted to Planning Areas 1 and 5 combined (one sign), 2, 3 (two signs) and 4, with panels assigned to the majority property owners at the time of construction.

Pylon Sign B

Pylon Sign B shall be granted to Planning Area 3, with panels assigned to the majority property owners at the time of construction.

Section IV(B)(3) Master Signing Programs

Pylon Sign C

Pylon Sign C shall be granted to Planning Areas 1 and 5, with panels assigned to the majority property owners at the time of construction.

Pylon Sign D

Pylon Sign D shall be granted to Planning Areas 1 and 5, with panels assigned to the majority property owners at the time of construction.

Pylon Sign E

Pylon Sign E shall be granted to Planning Areas 2 and 6, with panels assigned to the majority property owners at the time of construction.

Pylon Sign F

The I 215 freeway sign shall identify Planning Areas 2, 6 (two signs), ~~and the commercial portion of Planning Area 1~~ and the Canyon Springs Healthcare Campus Specific Plan, with panels assigned to the majority property owners at the time of construction.

Specific details related to the assignment of individual sign panels, details of sign maintenance and other pertinent issues shall be the subject of a recorded agreement between the City and the property owner responsible for construction of the sign. The document is subject to approval of the Planning, Development and Legal Departments and shall be recorded prior to issuance of any building permits.

The sign rights assigned to each identified property would initially run with the land, with use of the sign panel determined by the property owner. The sign panel rights may be transferred to adjacent properties, either through a temporary rental/lease agreement or through permanent sale. Once the identification right to the freeway sign is established, the sign panel rights will be left to the property owners to do with as they see fit.

Along with the ability to transfer sign rights, property owners that obtain two or more sign rights would also be permitted to combine these rights to create larger sign panels. In this manner, two, three or four sign panels may be combined to create larger signs, though the overall sign area will remain the same, at 600 square feet.

Section IV(B)(3) Master Signing Programs

Permitted On-Site Pylon Signs for Planning Areas 1-7

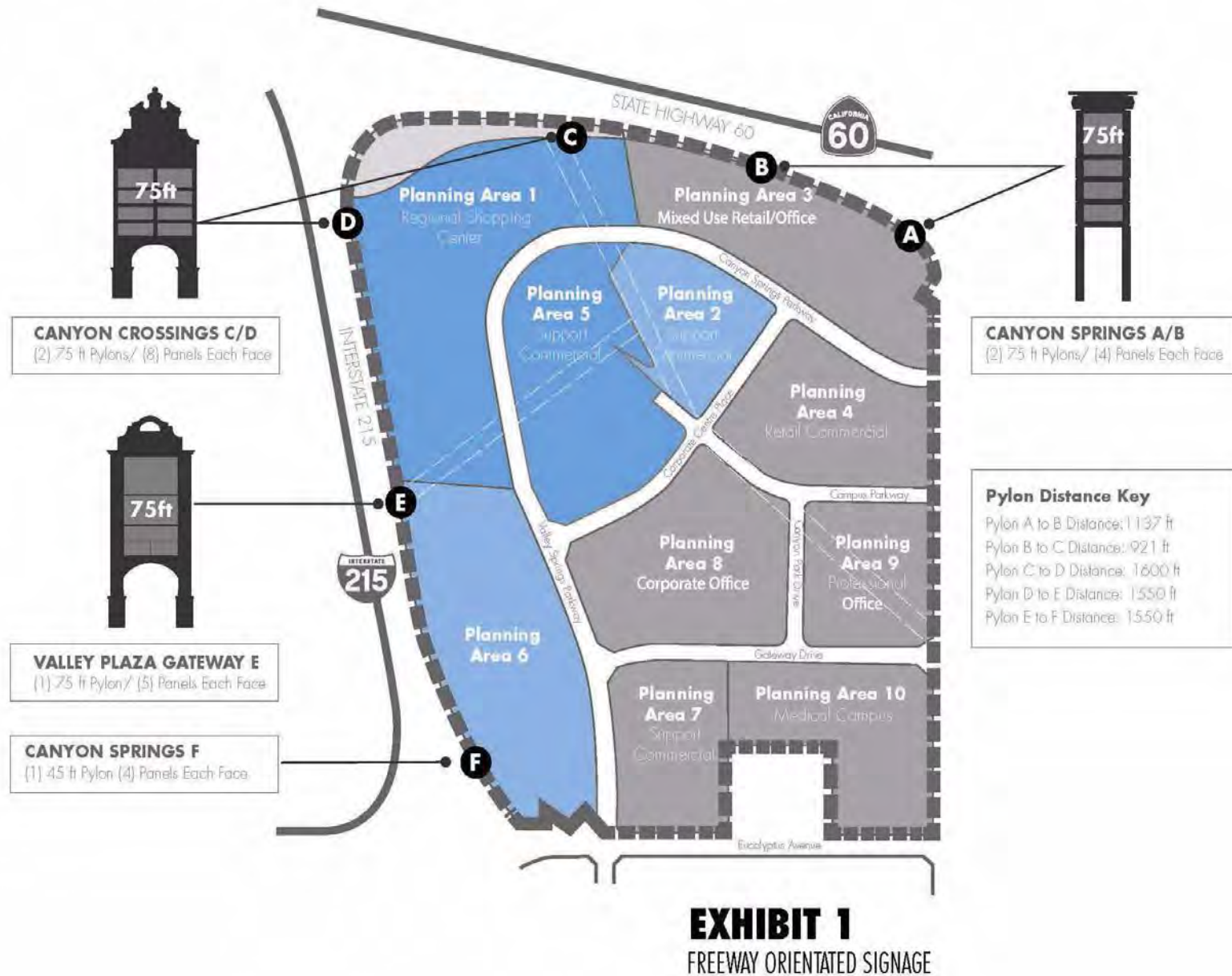
On-site pole signs for commercial centers ten acres or larger in Planning Areas 1-7 shall be entitled to one 15 foot high, 100 square foot pylon sign, consistent with the design depicted in the Specific Plan.

Permitted On-Site Pylon Signs for Planning Area 4

Planning Area 4 shall be entitled to two on-site pylon signs, each 15 feet high and each with a total of 100 square feet of sign area, consistent with the design depicted in the Specific Plan.

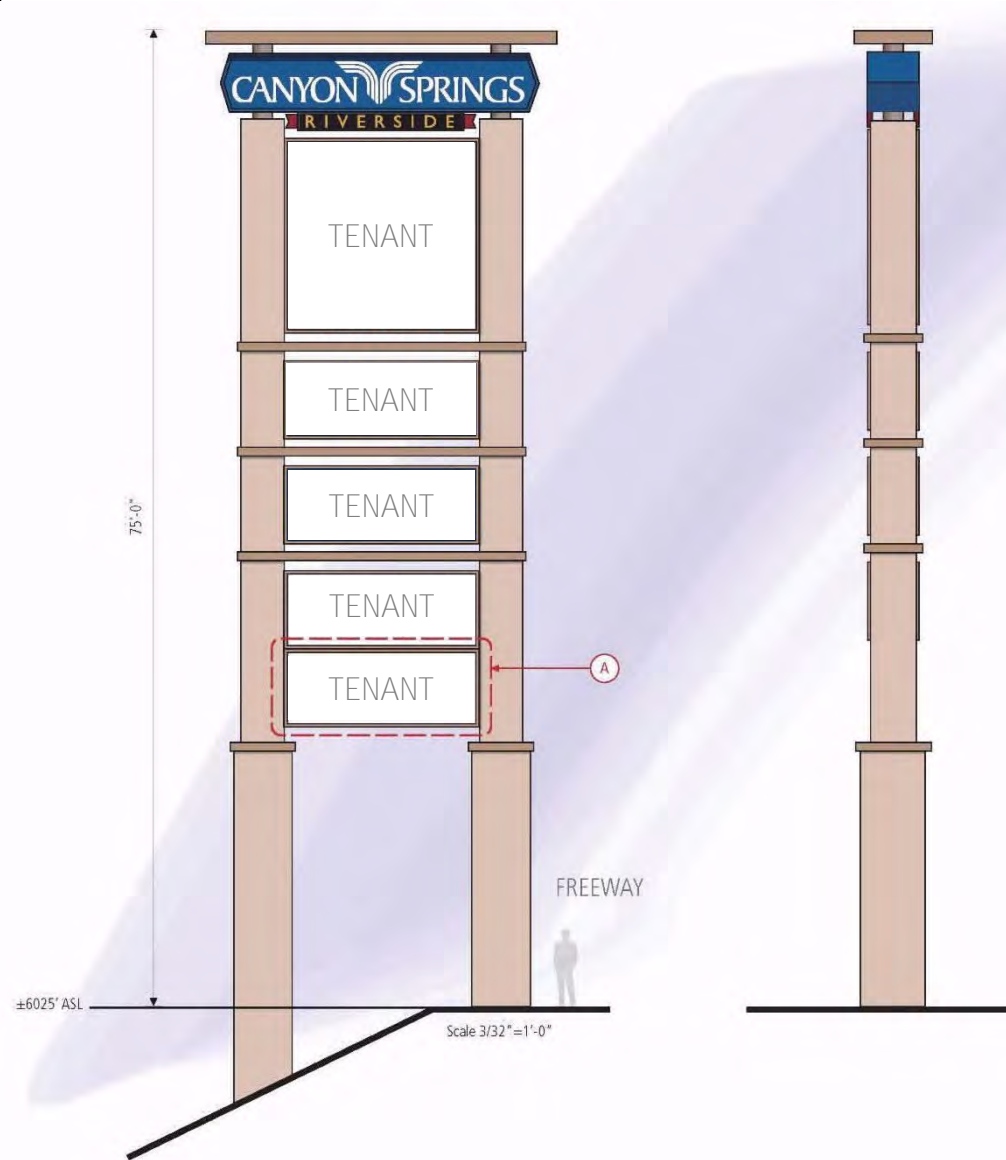
No additional monument signs will be allowed for this Planning Area.

Section IV(B)(3) Master Signing Programs



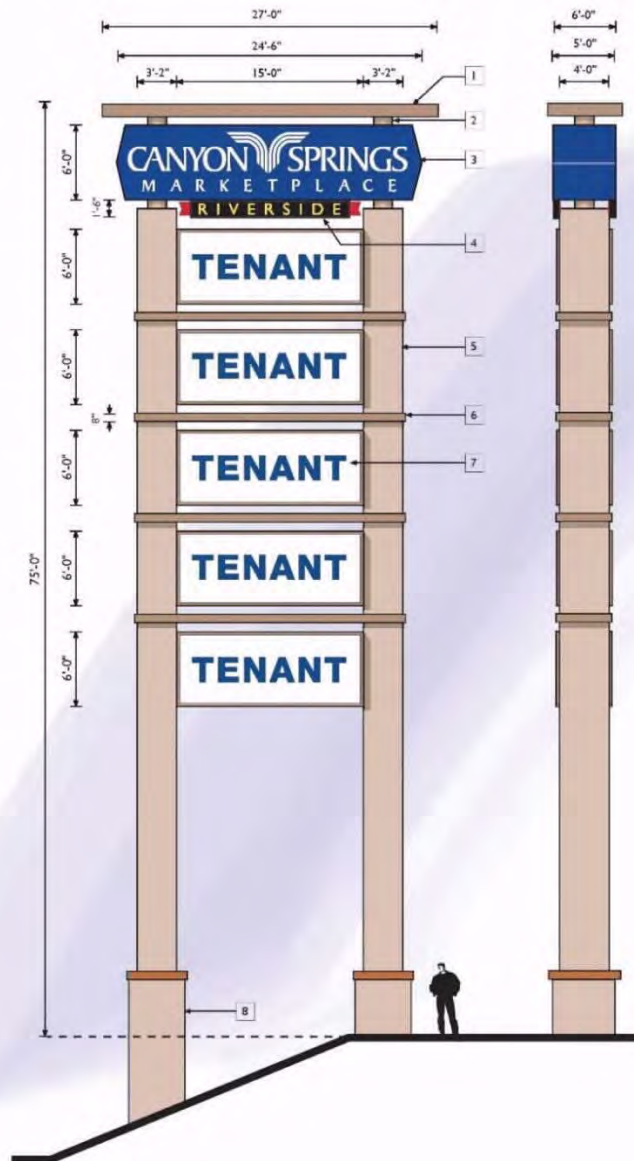
Section IV(B)(3) Master Signing Programs

PYLON SIGN A



Section IV(B)(3) Master Signing Programs

PYLON SIGN B



SCOPE OF WORK

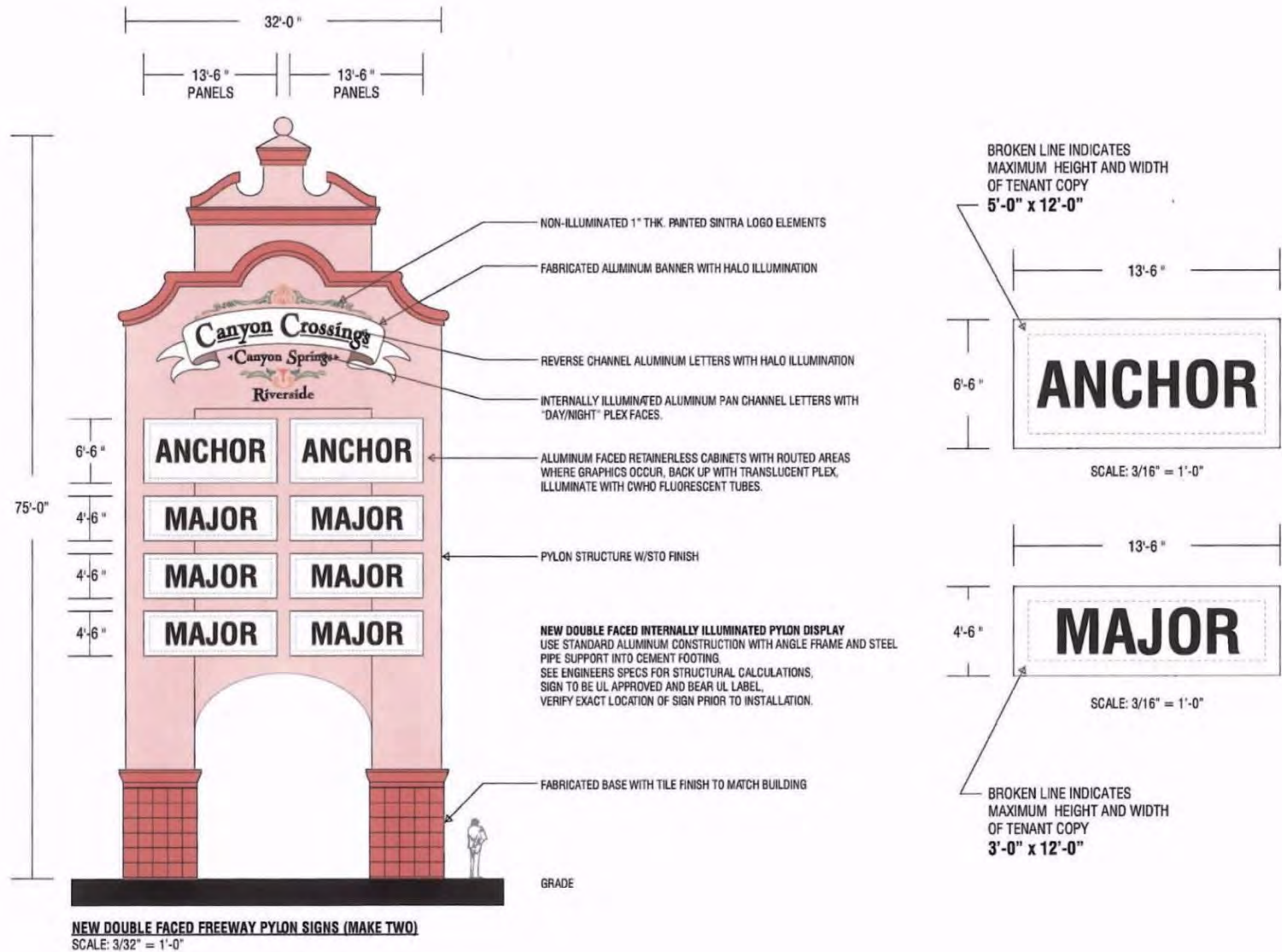
FABRICATE AND INSTALL (1) D/F ILLUMINATED, SHARED TENANT PYLON SIGN.

SPECIFICATIONS

- 1) Architectural cornice, aluminum construction painted to match FRAZEE 8241D Copper Springs, texcote finish.
- 2) 18" Steel pipe painted to match FRAZEE 8242W Northern Plains, satin finish.
- 3) Canyon springs cabinet: steel frame with aluminum cladding painted to match 3M 7725-17 Intense Blue. White flexible face with applied 3M 7725-47 Intense Blue overlayed on opaque vinyl film for background and reverse weeded copy. Illuminated with metal halide lamps.
- 4) Riverside cabinet: aluminum extrusion with acrylic face. Copy to 3M 3630-015 Yellow vinyl film with 3M 3630-22 Black vinyl film over opaque vinyl for background. Illuminated with fluorescent lamps. Ribbon detail to be non-illuminated aluminum painted to match PMS 485, satin finish.
- 5) 36" Steel pipe with aluminum pole covers painted to match FRAZEE 8242W Northern Plains, texcote finish.
- 6) Ledge detail: aluminum construction painted to match FRAZEE 8241D Copper Springs, texcote finish.
- 7) Tenant cabinets- fabricated aluminum cabinets with illuminated white flexible face and 3M vinyl graphics.
- 8) 54" or 48" steel pipe (to be verified with engineering calculations) with aluminum pole covers painted to match FRAZEE 8242W Northern Plains, texcote finish.

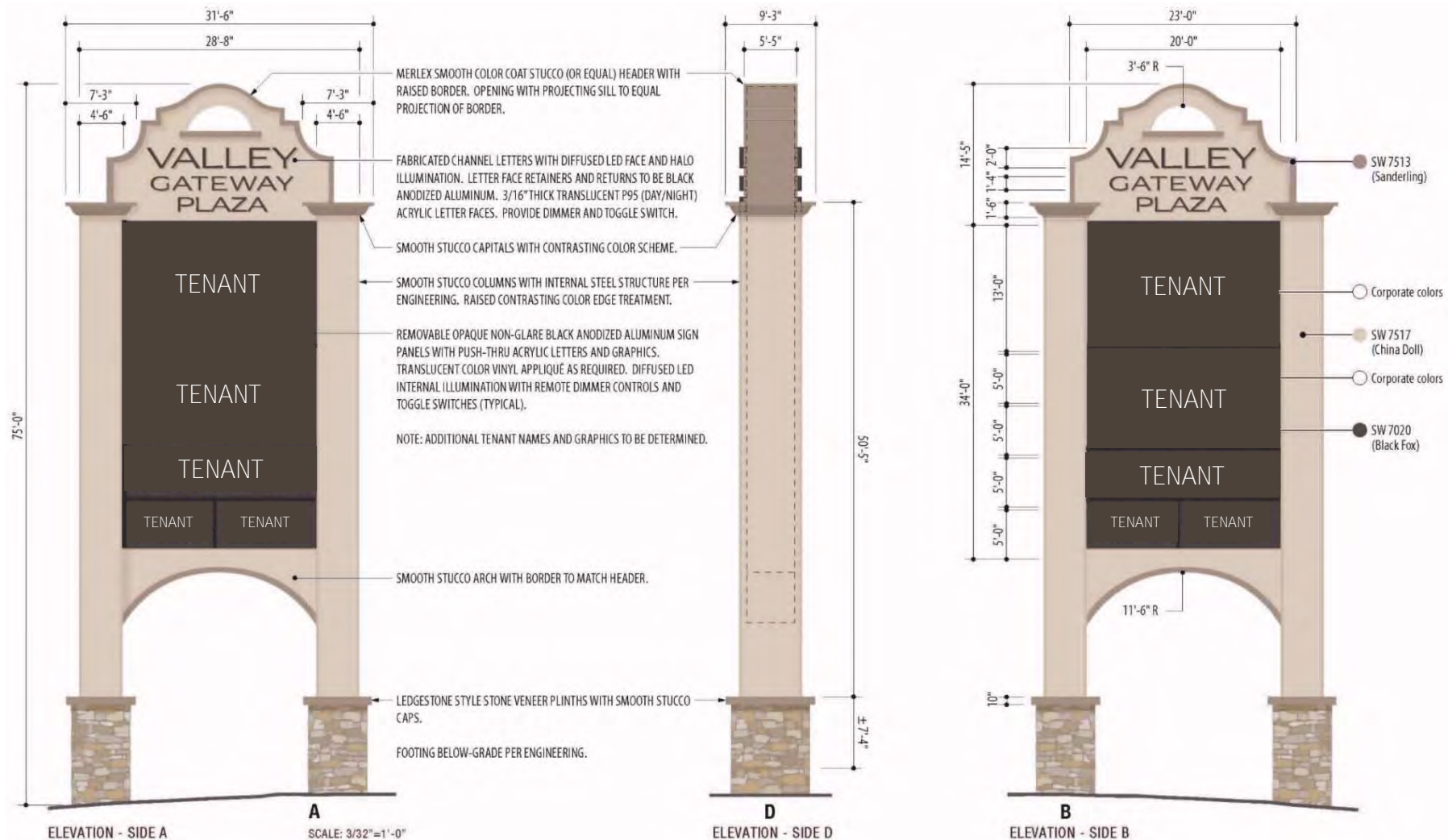
Section IV(B)(3) Master Signing Programs

PYLON SIGNS C & D



Section IV(B)(3) Master Signing Programs

PYLON SIGN E



Section IV(B)(3) Master Signing Programs

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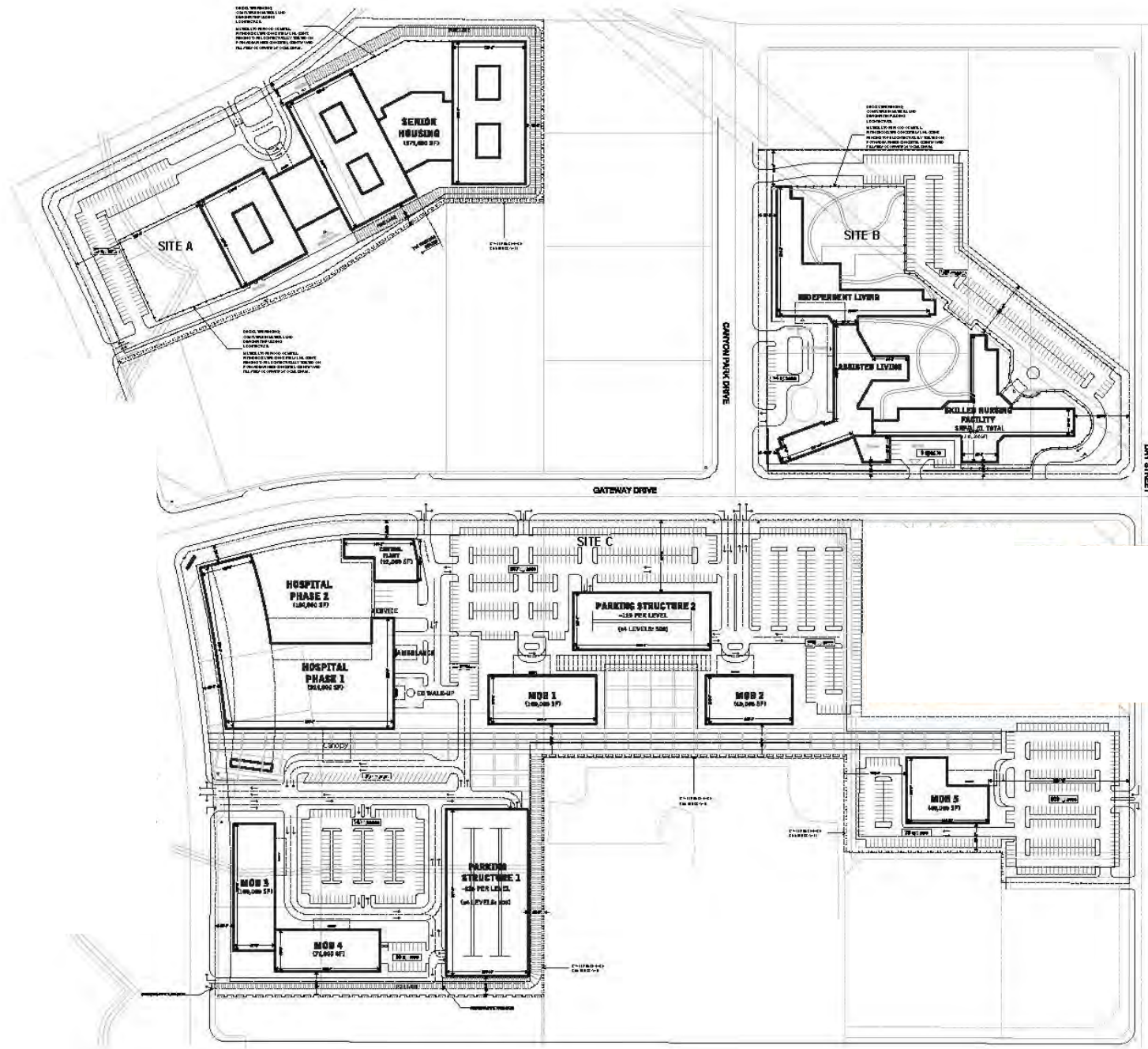


Exhibit 8 - Project Plans (Site Plan)



Exhibit 8 - Project Plans (Phasing Plan)



Exhibit 8 - Project Plans (Renderings)



Exhibit 8 - Project Plans (Renderings)



Exhibit 8 - Project Plans (Renderings)



Exhibit 8 - Project Plans (Conceptual Building Elevations)

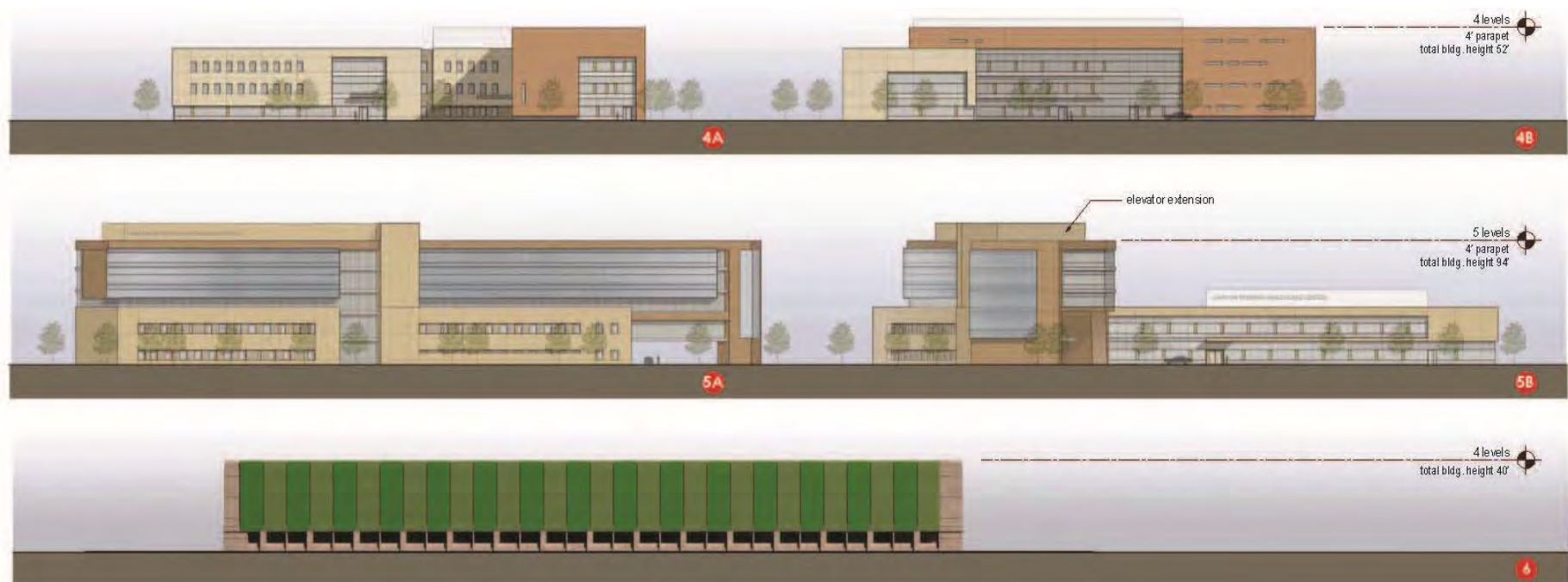


Exhibit 8 - Project Plans (Conceptual Building Elevations)



EXHIBIT 5-3
Acceptable Building Exterior Materials and Finishes:

- Stone
- Masonry
- Ceramic/ Terra Cotta Cladding
- Cement/ Lime Plaster (e.g. Swisspearl)
- Composite Metal Panel (e.g. Alucobond)
- High Pressure Laminate Panel (e.g. Trespa)
- Concrete
- Precast Concrete
- GFRC (Glass Fiber Reinforced Concrete)
- Storefront Glazing
- Curtain Wall Glazing
- Louvers/ Sun Shades/ Canopies

Exhibit 8 - Project Plans (Acceptable and Unacceptable Building Materials)



© Alan Karchmer



© MBM Solutions



© Prodec Group



© Toby Canham/Getty Images



© Jonathan Hillyer



© WZMH Architects



© Dri-Design

- EXHIBIT 5-4
Acceptable Building Exterior Materials and
Finishes
- Stone
 - Masonry
 - Ceramic/ Terra Cotta Cladding
 - Cement/ Lime Plaster (e.g. Swisspearl)
 - Composite Metal Panel (e.g. Alucobond)
 - High Pressure Laminate Panel (e.g. Trespa)
 - Concrete
 - Precast Concrete
 - GFRC (Glass Fiber Reinforced Concrete)
 - Storefront Glazing
 - Curtain Wall Glazing
 - Louvers/ Sun Shades/ Canopies



© Maintenance Free Siding // Siding Express



© 2014 Contractor's Siding



© 2014 Country Towne Builders Inc.



© Board & Batten Vertical Siding



© Liberty Home Solutions, LLC



© 2014 CertainTeed Corporation

EXHIBIT 5-5 Unacceptable Building Exterior Materials and Finishes:

Vinyl Siding
Masonite / Hardie Board Siding

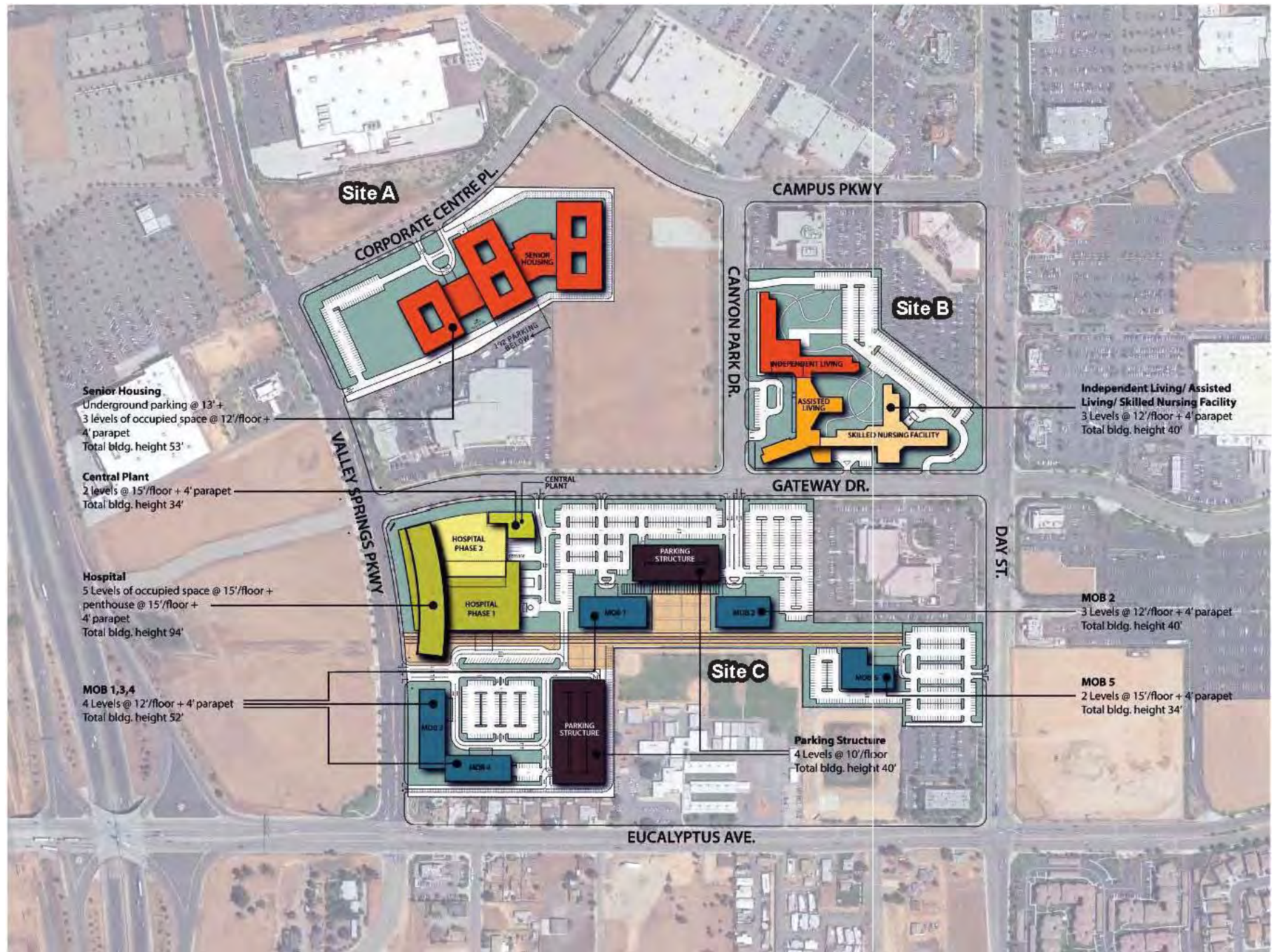
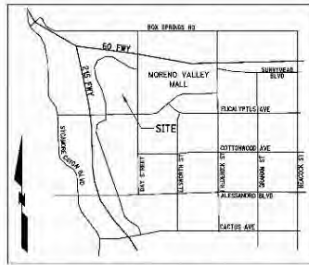


Exhibit 8 - Project Plans (Building Height Diagram)

IN THE CITY OF RIVERSIDE, CALIFORNIA
PRELIMINARY GRADING EXHIBIT
 CANYON SPRINGS HEALTHCARE CENTER



VICINITY MAP
 N.T.S.

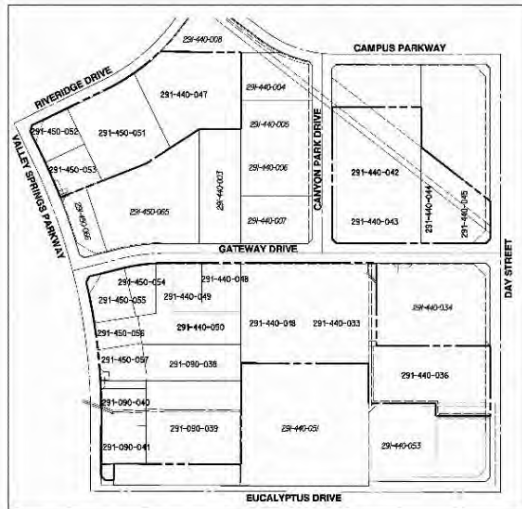
OWNER
 CANYON SPRINGS MARKETPLACE CORP.
 C/O TDA INVESTMENT GROUP
 2005 FOMER COURT
 SAN MATEO, CA 94403

ENGINEER
 RICK ENGINEERING COMPANY
 1770 JAW AVENUE, SUITE 100
 RIVERSIDE, CA 92507
 PHONE (951) 782-2707
 FAX (951) 782-0733
 MARY L. JACOBSON

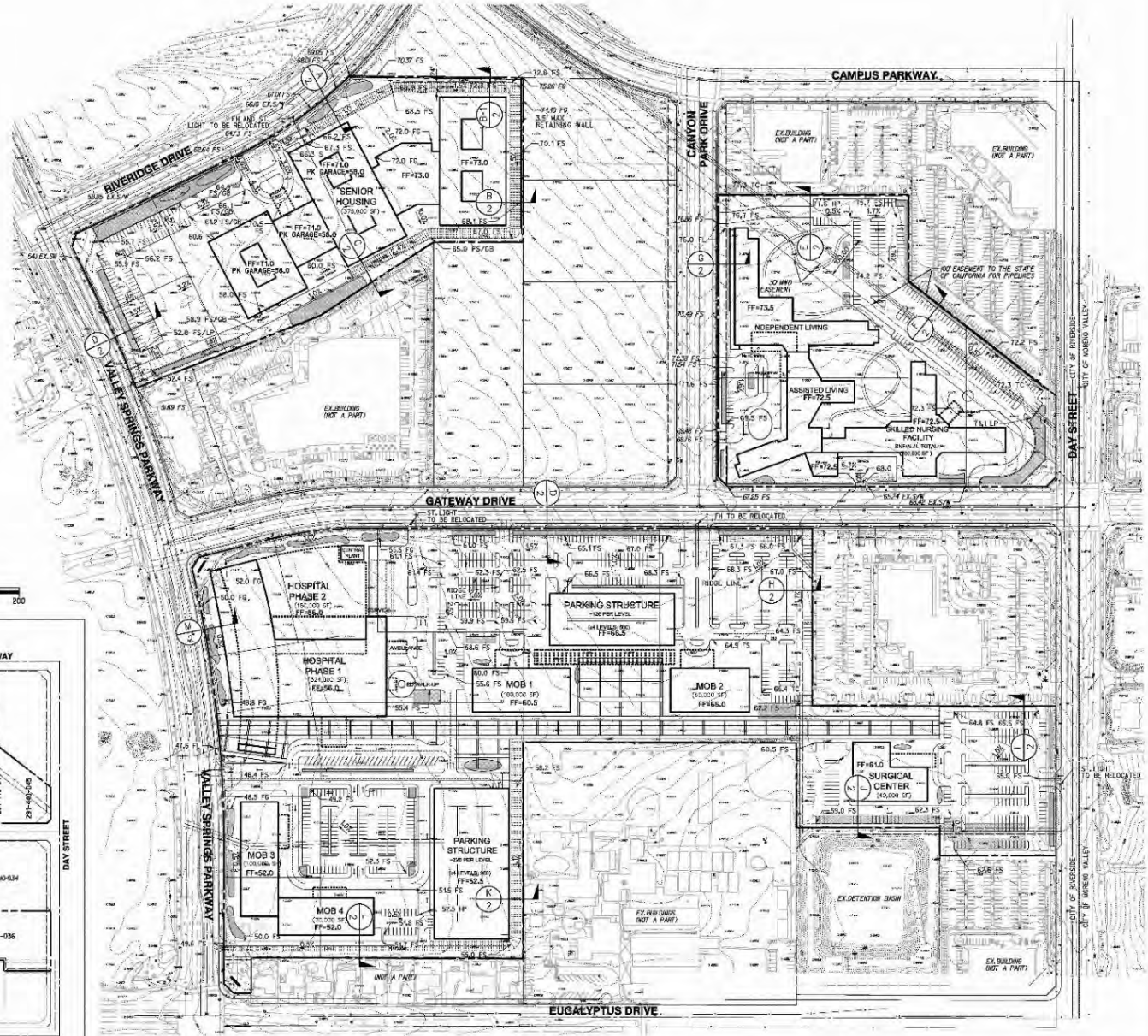
LEGEND

PROPERTY BOUNDARY	---
STREET CENTER LINE	---
CITY LIMITS	---
FINISHED FLOOR ELEVATION	FF+60.0
FINISHED SURFACE ELEVATION	60.0 FS
PROPOSED BIOTENTION AREA	---
PROPOSED PAVING	---
PROPOSED CURB	---
DIRECTION OF FLOW	---
EXIST. TREE	---
EXIST. STREET LIGHT	---
EXIST. FIRE HYDRANT	---
EXIST. EDGE OF PAVEMENT	---
EXISTING DOMESTIC WATER	---
EXISTING SANITARY SEWER	---
EXISTING STORM DRAIN	---
EXISTING GAS MAIN	---
EXISTING ELECTRIC LINE	---

SCALE: 1" = 100'
 100 0 100 200



APN INDEX
 N.T.S.



PRELIMINARY
 NOT FOR CONSTRUCTION

Exhibit 8 - Project Plans (Preliminary Grading Exhibit)

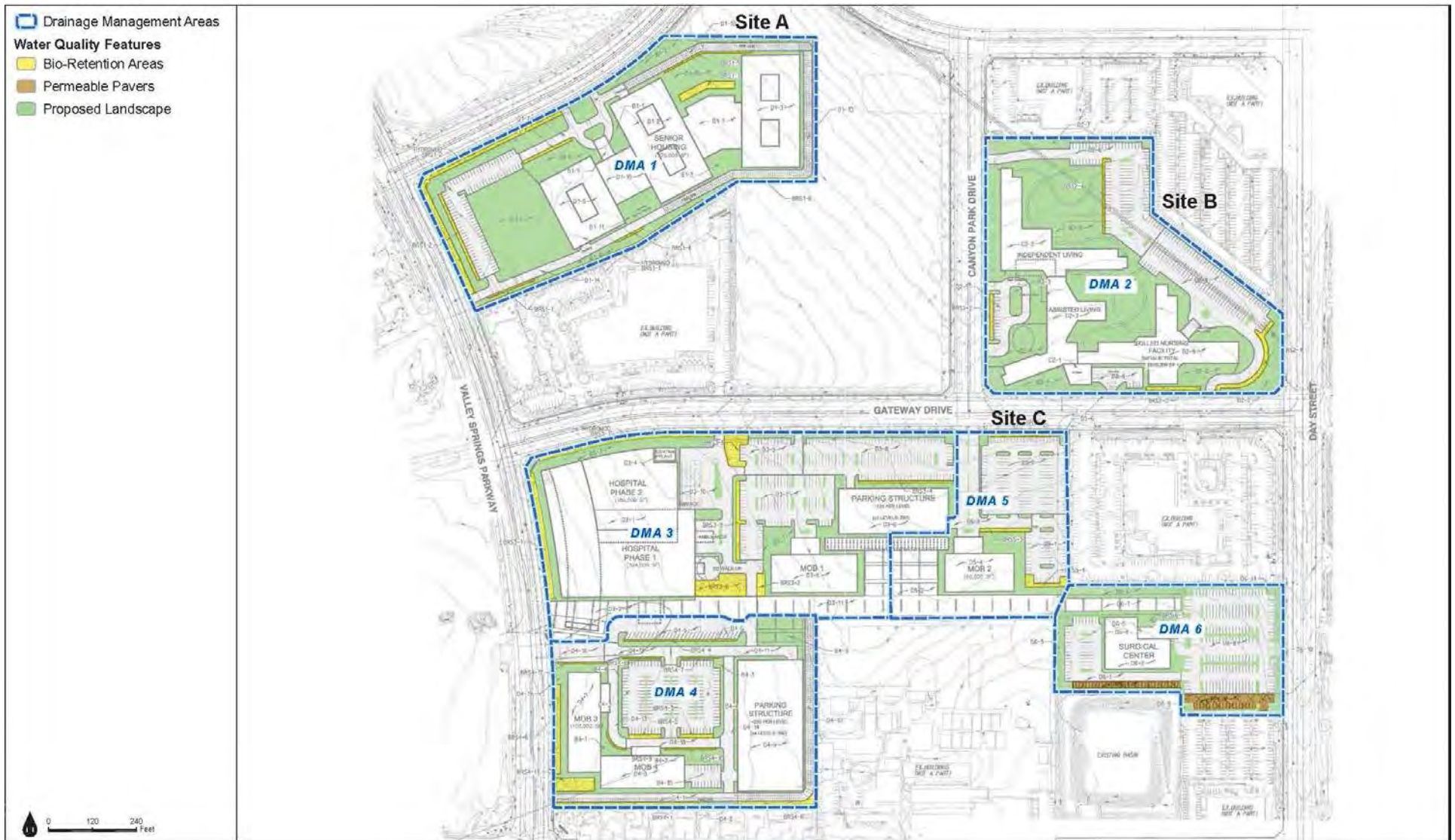


Exhibit 8 - Project Plans (Drainage Management Areas and Water Quality Features)



Exhibit 8 - Project Plans (Conceptual Landscape Plan)



Exhibit 8 - Project Plans (Site Lighting Plan)

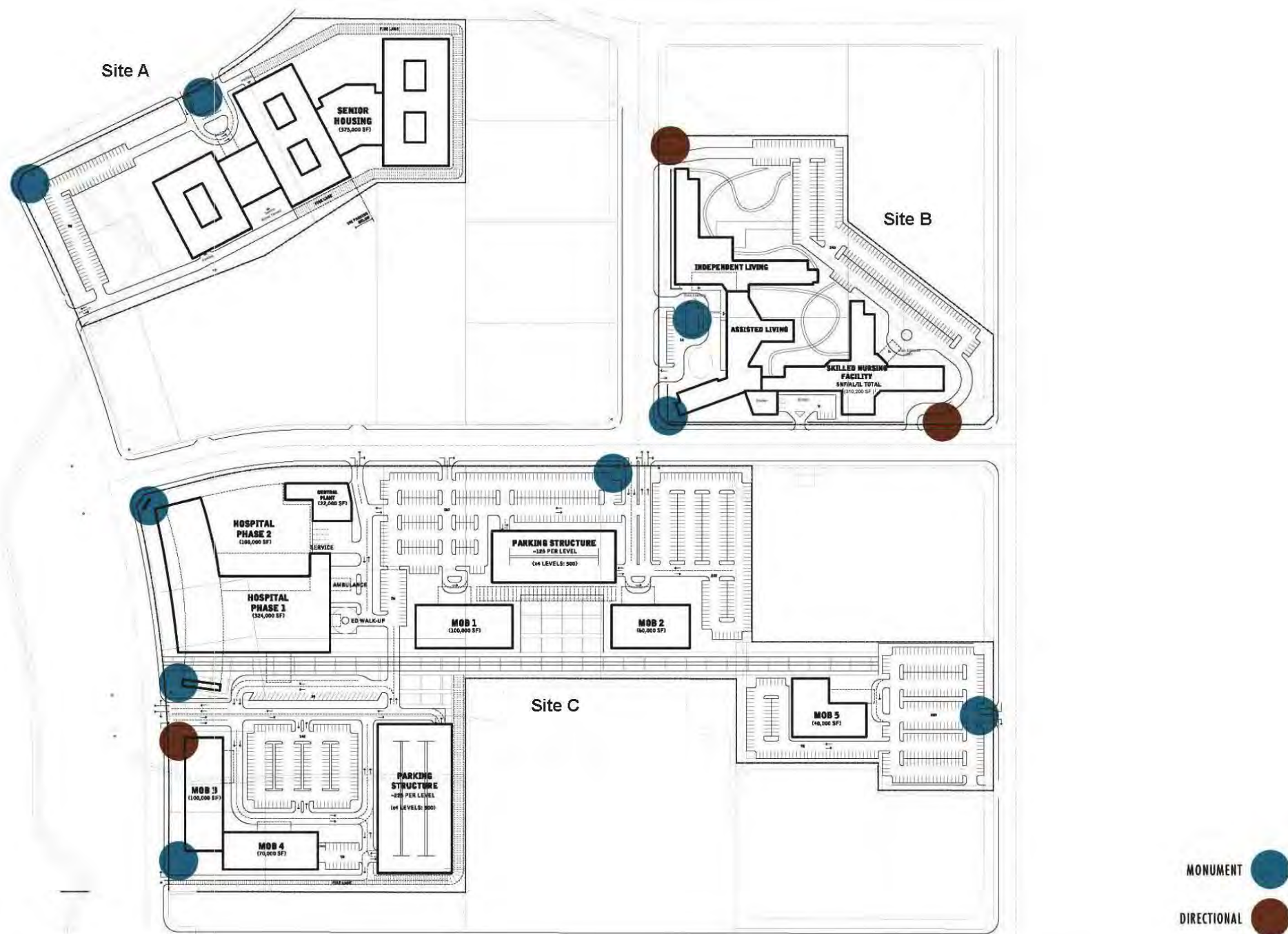


Exhibit 8 - Project Plans (Monument Signage Diagram)

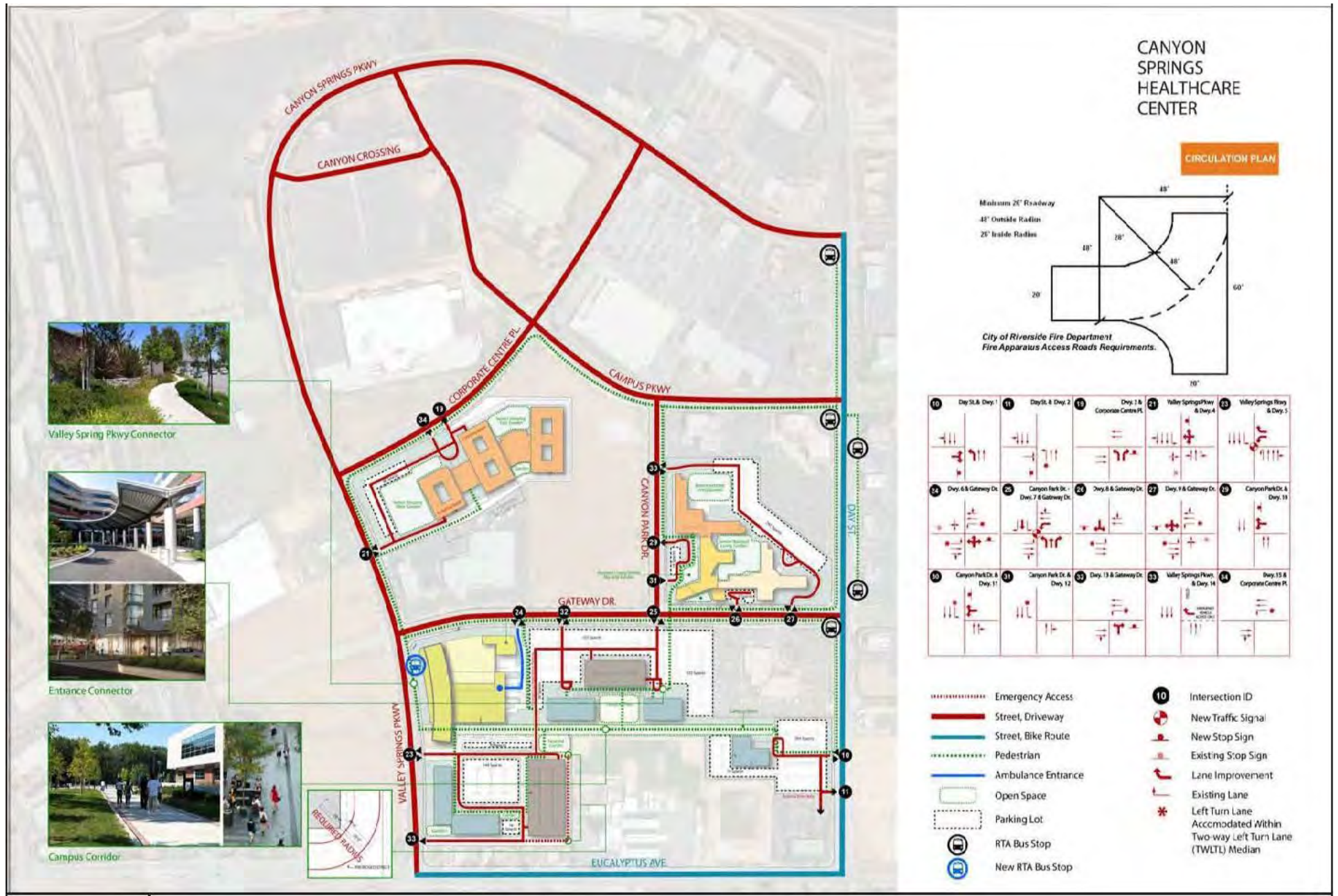
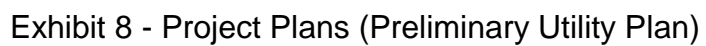
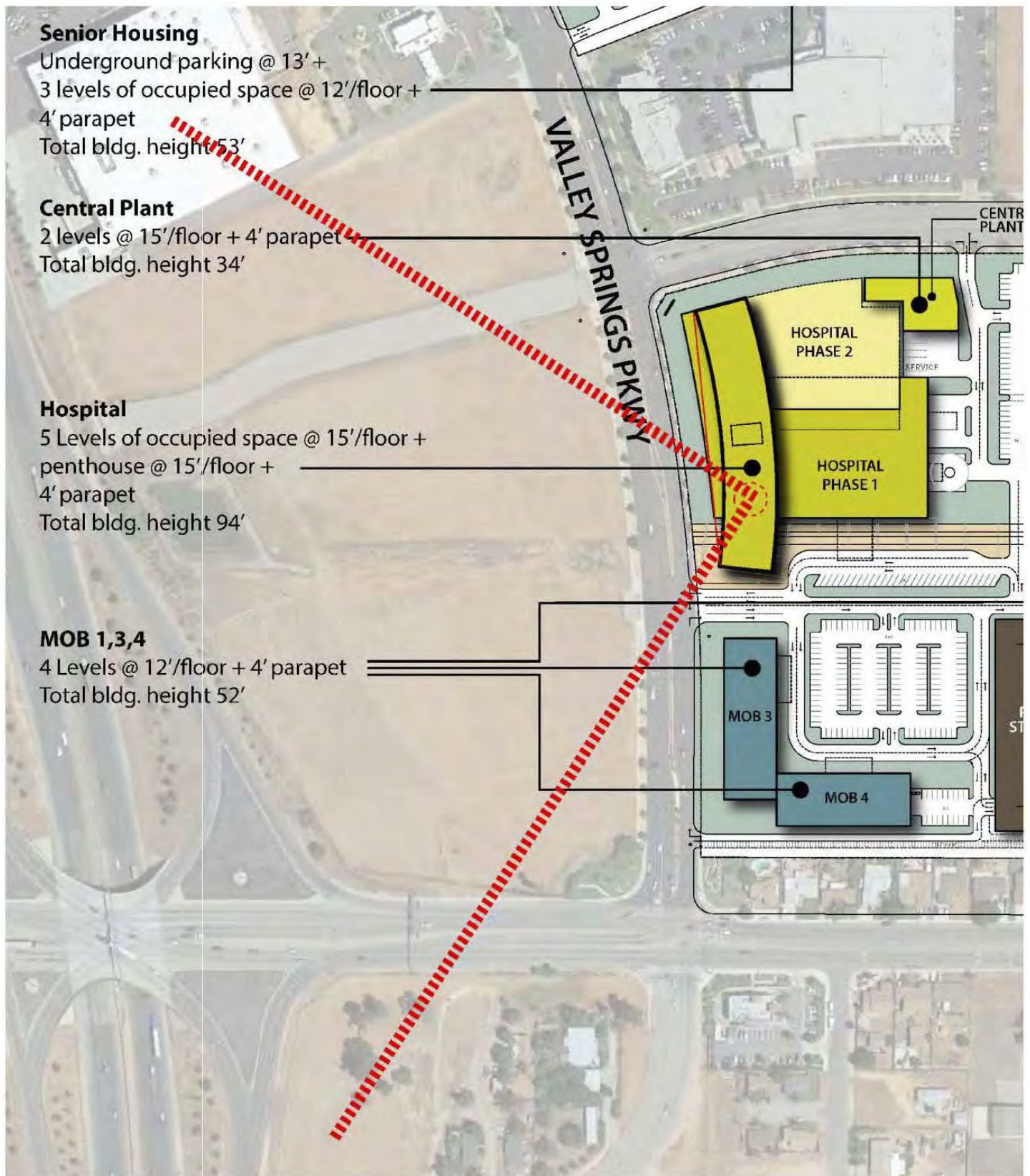


Exhibit 8 - Project Plans (Circulation Plan)





LEGEND:

- Conceptual Helicopter Approach
- Conceptual Helicopter Landing Location

Exhibit 8 - Project Plans (Conceptual Helipad and Approach Locations)



Site A

From the intersection of Valley Springs Parkway and Corporate Centre Place looking southeast.



Site A

From Valley Springs Parkway looking east.



Site A
From Corporate Centre Place looking southwest.



Site B
From Gateway Drive looking north.



Site B
From the intersection of Day Street and Gateway Drive looking northwest.



Site B
From Day Street looking west.



Site C

From the Intersection of Valley Springs Parkway and Gateway Drive looking southeast.



Site C

From Valley Springs Parkway looking southeast towards the ten existing single family residents and Edgemont Elementary School.



Site C
From Valley Springs Parkway looking northeast.



Site C
From Gateway Drive looking southwest.



Site C

From Gateway Drive looking south towards Edgemont Elementary School.



Site C

From Day Street looking west towards Edgemont Elementary School.

NATIVE AMERICAN HERITAGE COMMISSION

Environmental and Cultural Department
1550 Harbor Blvd., Suite 100
West Sacramento, CA 95691
Phone (916) 373-3710



July 17, 2017

Sean P. Kelleher
City of Riverside
3900 Main Street, Third Floor
Riverside, CA 92522

sent via e-mail: skelleher@riversideca.gov

Re: SCH# 2016031001, Canyon Springs Healthcare Campus Specific Plan and Amendment to the Canyon Springs Business Park SP Project, City of Riverside and City of Moreno Valley; Riverside County, California

Dear Mr. Kelleher:

The Native American Heritage Commission (NAHC) has reviewed the Draft Environmental Impact Report prepared for the project referenced above. The review included the Summary and Project Description, the Summary of Environmental Impacts and Mitigation Measures, the Environmental Impact Analysis section 4.4 Cultural Resources and Appendix I, Cultural Resources Report prepared by Dudek for the City of Riverside. We have the following concerns:

1. There is no Tribal Cultural Resources section or subsection in the Executive Summary or Environmental Checklist as per California Natural Resources Agency (2016) "Final Text for tribal cultural resources update to Appendix G: Environmental Checklist Form," <http://resources.ca.gov/ceqa/docs/ab52/Clean-final-AB-52-App-G-text-Submitted.pdf>
2. Although there is discussion of consultation and input from tribes under Archaeological Resources, there are no mitigation measures specifically addressing impacts to Tribal Cultural Resources separately from Archaeology. Mitigation language for archaeological resources is not always appropriate for or similar to measures specifically for handling Tribal Cultural Resources. For sample mitigation measures, please refer to the California Natural Resources Agency (2016) "Final Text for tribal cultural resources update to Appendix G: Environmental Checklist Form," <http://resources.ca.gov/ceqa/docs/ab52/Clean-final-AB-52-App-G-text-Submitted.pdf>

The California Environmental Quality Act (CEQA)¹, specifically Public Resources Code section 21084.1, states that a project that may cause a substantial adverse change in the significance of a historical resource is a project that may have a significant effect on the environment.² If there is substantial evidence, in light of the whole record before a lead agency, that a project may have a significant effect on the environment, an environmental impact report (EIR) shall be prepared.³ In order to determine whether a project will cause a substantial adverse change in the significance of a historical resource, a lead agency will need to determine whether there are historical resources with the area of project effect (APE).

CEQA was amended in 2014 by Assembly Bill 52. (AB 52).⁴ **AB 52 applies to any project for which a notice of preparation or a notice of negative declaration or mitigated negative declaration is filed on or after July 1, 2015.** AB 52 created a separate category for "tribal cultural resources"⁵, that now includes "a project with an effect that may cause a substantial adverse change in the significance of a tribal cultural resource is a project that may have a significant effect on the environment."⁶ Public agencies shall, when feasible, avoid damaging effects to any tribal cultural resource.⁷ Your project may also be subject to **Senate Bill 18 (SB 18)** (Burton, Chapter 905, Statutes of 2004), Government Code 65352.3, if it also involves the adoption of or amendment to a general plan or a specific plan, or the designation or proposed designation of open space. **Both SB 18 and AB 52 have tribal consultation requirements.** Additionally, if your project is also subject to the federal National Environmental Policy Act (42 U.S.C. § 4321 et seq.) (NEPA), the tribal consultation requirements of Section 106 of the National Historic Preservation Act of 1966⁸ may also apply.

Consult your legal counsel about compliance with AB 52 and SB 18 as well as compliance with any other applicable laws.

¹ Pub. Resources Code § 21000 et seq.

² Pub. Resources Code § 21084.1; Cal. Code Regs., tit. 14, § 15064.5 (b); CEQA Guidelines Section 15064.5 (b)

³ Pub. Resources Code § 21080 (d); Cal. Code Regs., tit. 14, § 15064 subd.(a)(1); CEQA Guidelines § 15064 (a)(1)

⁴ Government Code 65352.3

⁵ Pub. Resources Code § 21074

⁶ Pub. Resources Code § 21084.2

⁷ Pub. Resources Code § 21084.3 (a)

⁸ 154 U.S.C. 300101, 36 C.F.R. § 800 et seq.

Agencies should be aware that AB 52 does not preclude agencies from initiating tribal consultation with tribes that are traditionally and culturally affiliated with their jurisdictions before the timeframes provided in AB 52. For that reason, we urge you to continue to request Native American Tribal Consultation Lists and Sacred Lands File searches from the NAHC. The request forms can be found online at: <http://nahc.ca.gov/resources/forms/>. Additional information regarding AB 52 can be found online at http://nahc.ca.gov/wp-content/uploads/2015/10/AB52TribalConsultation_CalEPAPDF.pdf, entitled "Tribal Consultation Under AB 52: Requirements and Best Practices".

The NAHC recommends lead agencies consult with all California Native American tribes that are traditionally and culturally affiliated with the geographic area of your proposed project as early as possible in order to avoid inadvertent discoveries of Native American human remains and best protect tribal cultural resources.

A brief summary of portions of AB 52 and SB 18 as well as the NAHC's recommendations for conducting cultural resources assessments is also attached.

Please contact me at gayle.totton@nahc.ca.gov or call (916) 373-3710 if you have any questions.

Sincerely,

A handwritten signature in blue ink that reads "Gayle Totton". The signature is fluid and cursive, with the first name "Gayle" being more prominent than the last name "Totton".

Gayle Totton, B.S., M.A., Ph.D
Associate Governmental Project Analyst

Attachment

cc: State Clearinghouse

Pertinent Statutory Information:

Under AB 52:

AB 52 has added to CEQA the additional requirements listed below, along with many other requirements:

Within fourteen (14) days of determining that an application for a project is complete or of a decision by a public agency to undertake a project, a **lead agency** shall provide formal notification to a designated contact of, or tribal representative of, traditionally and culturally affiliated California Native American tribes that have requested notice.

A **lead agency** shall begin the consultation process within 30 days of receiving a request for consultation from a California Native American tribe that is traditionally and culturally affiliated with the geographic area of the proposed project.⁹ and **prior to the release of a negative declaration, mitigated negative declaration or environmental impact report.** For purposes of AB 52, "consultation shall have the same meaning as provided in Gov. Code § 65352.4 (SB 18)."¹⁰

The following topics of consultation, if a tribe requests to discuss them, are mandatory topics of consultation:

- a. Alternatives to the project.
- b. Recommended mitigation measures.
- c. Significant effects.¹¹

1. The following topics are discretionary topics of consultation:

- a. Type of environmental review necessary.
- b. Significance of the tribal cultural resources.
- c. Significance of the project's impacts on tribal cultural resources.

If necessary, project alternatives or appropriate measures for preservation or mitigation that the tribe may recommend to the lead agency.¹²

With some exceptions, any information, including but not limited to, the location, description, and use of tribal cultural resources submitted by a California Native American tribe during the environmental review process **shall not be included in the environmental document or otherwise disclosed by the lead agency or any other public agency to the public, consistent with Government Code sections 6254 (r) and 6254.10.** Any information submitted by a California Native American tribe during the consultation or environmental review process shall be published in a confidential appendix to the environmental document unless the tribe that provided the information consents, in writing, to the disclosure of some or all of the information to the public.¹³

If a project may have a significant impact on a tribal cultural resource, **the lead agency's environmental document shall discuss** both of the following:

- a. Whether the proposed project has a significant impact on an identified tribal cultural resource.
- b. Whether feasible alternatives or mitigation measures, including those measures that may be agreed to pursuant to Public Resources Code section 21082.3, subdivision (a), avoid or substantially lessen the impact on the identified tribal cultural resource.¹⁴

Consultation with a tribe shall be considered concluded when either of the following occurs:

- a. The parties agree to measures to mitigate or avoid a significant effect, if a significant effect exists, on a tribal cultural resource; or
- b. A party, acting in good faith and after reasonable effort, concludes that mutual agreement cannot be reached.¹⁵

Any mitigation measures agreed upon in the consultation conducted pursuant to Public Resources Code section 21080.3.2 **shall be recommended for inclusion in the environmental document and in an adopted mitigation monitoring and reporting program,** if determined to avoid or lessen the impact pursuant to Public Resources Code section 21082.3, subdivision (b), paragraph 2, and shall be fully enforceable.¹⁶

If mitigation measures recommended by the staff of the lead agency as a result of the consultation process are not included in the environmental document or if there are no agreed upon mitigation measures at the conclusion of consultation, or if consultation does not occur, and if substantial evidence demonstrates that a project will cause a significant effect to a tribal cultural resource, **the lead agency shall consider feasible mitigation** pursuant to Public Resources Code section 21084.3 (b).¹⁷

An environmental impact report **may not be certified**, nor may a mitigated negative declaration or a negative declaration be adopted unless one of the following occurs:

- a. The consultation process between the tribes and the lead agency has occurred as provided in Public Resources Code sections 21080.3.1 and 21080.3.2 and concluded pursuant to Public Resources Code section 21080.3.2.
- b. The tribe that requested consultation failed to provide comments to the lead agency or otherwise failed to engage in the consultation process.

⁹ Pub. Resources Code § 21080.3.1, subds. (d) and (e)

¹⁰ Pub. Resources Code § 21080.3.1 (b)

¹¹ Pub. Resources Code § 21080.3.2 (a)

¹² Pub. Resources Code § 21080.3.2 (a)

¹³ Pub. Resources Code § 21082.3 (c)(1)

¹⁴ Pub. Resources Code § 21082.3 (b)

¹⁵ Pub. Resources Code § 21080.3.2 (b)

¹⁶ Pub. Resources Code § 21082.3 (a)

¹⁷ Pub. Resources Code § 21082.3 (e)

- c. The lead agency provided notice of the project to the tribe in compliance with Public Resources Code section 21080.3.1 (d) and the tribe failed to request consultation within 30 days.¹⁸
This process should be documented in the Tribal Cultural Resources section of your environmental document.

Under SB 18:

Government Code § 65352.3 (a) (1) requires consultation with Native Americans on general plan proposals for the purposes of "preserving or mitigating impacts to places, features, and objects described § 5097.9 and § 5091.993 of the Public Resources Code that are located within the city or county's jurisdiction. Government Code § 65560 (a), (b), and (c) provides for consultation with Native American tribes on the open-space element of a county or city general plan for the purposes of protecting places, features, and objects described in Sections 5097.9 and 5097.993 of the Public Resources Code.

- SB 18 applies to **local governments** and requires them to contact, provide notice to, refer plans to, and consult with tribes prior to the adoption or amendment of a general plan or a specific plan, or the designation of open space. Local governments should consult the Governor's Office of Planning and Research's "Tribal Consultation Guidelines," which can be found online at: https://www.opr.ca.gov/docs/09_14_05_Updated_Guidelines_922.pdf
- **Tribal Consultation:** If a local government considers a proposal to adopt or amend a general plan or a specific plan, or to designate open space it is required to contact the appropriate tribes identified by the NAHC by requesting a "Tribal Consultation List." If a tribe, once contacted, requests consultation the local government must consult with the tribe on the plan proposal. **A tribe has 90 days from the date of receipt of notification to request consultation unless a shorter timeframe has been agreed to by the tribe.**¹⁹
- **There is no Statutory Time Limit on Tribal Consultation under the law.**
- **Confidentiality:** Consistent with the guidelines developed and adopted by the Office of Planning and Research,²⁰ the city or county shall protect the confidentiality of the information concerning the specific identity, location, character, and use of places, features and objects described in Public Resources Code sections 5097.9 and 5097.993 that are within the city's or county's jurisdiction.²¹
- **Conclusion Tribal Consultation:** Consultation should be concluded at the point in which:
 - The parties to the consultation come to a mutual agreement concerning the appropriate measures for preservation or mitigation; or
 - Either the local government or the tribe, acting in good faith and after reasonable effort, concludes that mutual agreement cannot be reached concerning the appropriate measures of preservation or mitigation.²²

NAHC Recommendations for Cultural Resources Assessments:

- Contact the NAHC for:
 - A Sacred Lands File search. Remember that tribes do not always record their sacred sites in the Sacred Lands File, nor are they required to do so. A Sacred Lands File search is not a substitute for consultation with tribes that are traditionally and culturally affiliated with the geographic area of the project's APE.
 - A Native American Tribal Contact List of appropriate tribes for consultation concerning the project site and to assist in planning for avoidance, preservation in place, or, failing both, mitigation measures.
 - The request form can be found at <http://nahc.ca.gov/resources/forms/>.
- Contact the appropriate regional California Historical Research Information System (CHRIS) Center (http://ohp.parks.ca.gov/?page_id=1068) for an archaeological records search. The records search will determine:
 - If part or the entire APE has been previously surveyed for cultural resources.
 - If any known cultural resources have been already been recorded on or adjacent to the APE.
 - If the probability is low, moderate, or high that cultural resources are located in the APE.
 - If a survey is required to determine whether previously unrecorded cultural resources are present.
- If an archaeological inventory survey is required, the final stage is the preparation of a professional report detailing the findings and recommendations of the records search and field survey.
 - The final report containing site forms, site significance, and mitigation measures should be submitted immediately to the planning department. All information regarding site locations, Native American human remains, and associated funerary objects should be in a separate confidential addendum and not be made available for public disclosure.
 - The final written report should be submitted within 3 months after work has been completed to the appropriate regional CHRIS center.

¹⁸ Pub. Resources Code § 21082.3 (d)

¹⁹ (Gov. Code § 65352.3 (a)(2)).

²⁰ pursuant to Gov. Code section 65040.2,

²¹ (Gov. Code § 65352.3 (b)).

²² (Tribal Consultation Guidelines, Governor's Office of Planning and Research (2005) at p. 18).

Examples of Mitigation Measures That May Be Considered to Avoid or Minimize Significant Adverse Impacts to Tribal Cultural Resources:

- Avoidance and preservation of the resources in place, including, but not limited to:
 - Planning and construction to avoid the resources and protect the cultural and natural context.
 - Planning greenspace, parks, or other open space, to incorporate the resources with culturally appropriate protection and management criteria.
- Treating the resource with culturally appropriate dignity, taking into account the tribal cultural values and meaning of the resource, including, but not limited to, the following:
 - Protecting the cultural character and integrity of the resource.
 - Protecting the traditional use of the resource.
 - Protecting the confidentiality of the resource.
- Permanent conservation easements or other interests in real property, with culturally appropriate management criteria for the purposes of preserving or utilizing the resources or places.
- Please note that a federally recognized California Native American tribe or a non-federally recognized California Native American tribe that is on the contact list maintained by the NAHC to protect a California prehistoric, archaeological, cultural, spiritual, or ceremonial place may acquire and hold conservation easements if the conservation easement is voluntarily conveyed.²³
- Please note that it is the policy of the state that Native American remains and associated grave artifacts shall be repatriated.²⁴

The lack of surface evidence of archaeological resources (including tribal cultural resources) does not preclude their subsurface existence.

- Lead agencies should include in their mitigation and monitoring reporting program plan provisions for the identification and evaluation of inadvertently discovered archaeological resources.²⁵ In areas of identified archaeological sensitivity, a certified archaeologist and a culturally affiliated Native American with knowledge of cultural resources should monitor all ground-disturbing activities.
- Lead agencies should include in their mitigation and monitoring reporting program plans provisions for the disposition of recovered cultural items that are not burial associated in consultation with culturally affiliated Native Americans.
- Lead agencies should include in their mitigation and monitoring reporting program plans provisions for the treatment and disposition of inadvertently discovered Native American human remains. Health and Safety Code section 7050.5, Public Resources Code section 5097.98, and Cal. Code Regs., tit. 14, section 15064.5, subdivisions (d) and (e) (CEQA Guidelines section 15064.5, subds. (d) and (e)) address the processes to be followed in the event of an inadvertent discovery of any Native American human remains and associated grave goods in a location other than a dedicated cemetery.

²³ (Civ. Code § 815.3 (c)).

²⁴ (Pub. Resources Code § 5097.991).

²⁵ per Cal. Code Regs., tit. 14, section 15064.5(f) (CEQA Guidelines section 15064.5(f)).



RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT

July 20, 2017

City of Riverside
Community Development Department
Planning Division
3900 Main Street, 3rd Floor
Riverside, CA 92522

Attention: Sean Kelleher, Associate Planner

Re: Canyon Springs Healthcare Campus Specific Plan

The District does not normally recommend conditions for land divisions or other land use cases in incorporated cities. The District also does not plan check City land use cases, or provide State Division of Real Estate letters or other flood hazard reports for such cases. District comments/recommendations for such cases are normally limited to items of specific interest to the District including District Master Drainage Plan facilities, other regional flood control and drainage facilities which could be considered a logical component or extension of a master plan system, and District Area Drainage Plan fees (development mitigation fees). In addition, information of a general nature is provided.

The District has not reviewed the proposed project in detail and the following comments do not in any way constitute or imply District approval or endorsement of the proposed project with respect to flood hazard, public health and safety or any other such issue:

1. This project is located within the limits of the District's West End (Moreno Valley) Area Drainage Plan for which drainage fees have been adopted; applicable fees should be paid for by cashier's check or money order written out only to the Flood Control District or City prior to issuance of building or grading permits. Fees to be paid should be at the rate in effect at the time of issuance of the actual permit.
2. An encroachment permit shall be obtained for any construction related activities occurring within District right of way or facilities, specifically the Canyon Springs Retention Basin "A" located near the intersection of Day Street and Eucalyptus Avenue. For further information, contact the District's Encroachment Permit Section at 951.955.1266.

GENERAL INFORMATION

This project may require a National Pollutant Discharge Elimination System (NPDES) permit from the State Water Resources Control Board. Clearance for grading, recordation or other final approval should not be given until the City has determined that the project has been granted a permit or is shown to be exempt.

If this project involves a Federal Emergency Management Agency (FEMA) mapped floodplain, then the City should require the applicant to provide all studies, calculations, plans and other information required to meet FEMA requirements, and should further require that the applicant obtain a Conditional Letter of Map Revision (CLOMR) prior to grading, recordation or other final approval of the project, and a Letter of Map Revision (LOMR) prior to occupancy.

If a natural watercourse or mapped floodplain is impacted by this project, the City should require the applicant to obtain a Section 1602 Agreement from the California Department of Fish and Wildlife and a Clean Water Act Section 404 Permit from the U.S. Army Corps of Engineers, or written correspondence from these agencies indicating the project is exempt from these requirements. A Clean Water Act Section 401 Water Quality Certification may be required from the local California Regional Water Quality Control Board prior to issuance of the Corps 404 permit.

Very truly yours,


MIKE WONG
Engineering Project Manager

c: Riverside County Planning Department
Attn: Kristy Lovelady
NO:blm

DEPARTMENT OF TRANSPORTATION

DIVISION OF AERONAUTICS – M.S. #40

1120 N STREET

P. O. BOX 942874

SACRAMENTO, CA 94274-0001

PHONE (916) 654-4959

FAX (916) 653-9531

TTY 711

www.dot.ca.gov

*Making Conservation
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August 7, 2017

Mr. Sean Kelleher
City of Riverside
Community Development Department
3900 Main Street, 3rd Floor
Riverside, CA 92522

Dear Mr. Kelleher:

Re: Draft Environmental Impact Report for the Canyon Springs Healthcare Campus;
SCH# 2016031001

The California Department of Transportation, Division of Aeronautics (Division), reviewed the above-referenced document with respect to airport-related noise and safety impacts and regional aviation land use planning issues pursuant to the California Environmental Quality Act (CEQA). The Division has technical expertise in the areas of airport operations safety and airport land use compatibility. We are a funding agency for airport projects and we have permit authority for public-use and special-use airports and heliports.

We offer the following comments after reviewing the project in our role as a state heliport permitting authority which designates the Division a responsible agency under CEQA, and as a state reviewing agency with technical expertise in aircraft noise and safety issues for projects near airports. The project site is in the airport influence area of the March Air Reserve Base (MRB).

The proposed project is a new healthcare campus development that will include new buildings for senior housing, assisted living/skilled nursing, medical treatment and administration, and multi-level vehicle parking. The campus will be spread out over three separate areas within the 50.85 acre project site in the City of Riverside. The project will require an amended specific plan, a new specific plan and amend the city's general plan. A heliport will be built on top of the new hospital building during the final phase of the campus development. The healthcare campus is approximately 2.60 miles northwest from the end of Runway 14/32 at MRB.

The new hospital heliport will require the issuance of a State heliport permit by the Division. One of the required permit checklist items is approval of the heliport plan of construction by the City of Riverside as appropriate, in accordance with California Public Utilities Code (PUC) section 21661.5. The applicant should also be advised to contact the Division's Aviation Safety Officer for Riverside County, Mike Smith, at (916) 654-4380, for assistance with the State permit requirements. Information regarding the State heliport permit process is available on-line at <http://www.dot.ca.gov/hq/planning/aeronaut/heliportpermit.html>.

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Prior to issuing a State heliport permit, the Division, as a responsible agency, must be assured that the proposal is in full compliance with CEQA. The issues of primary concern to us include heliport-related noise and safety impacts on the surrounding community. To ensure that the community will not be adversely impacted by helicopter operations, flight paths should avoid noise-sensitive and people intensive uses. Environmental documentation should include the anticipated number of operations, daytime and/or nighttime use, a noise study with heliport Community Noise Equivalent Level (CNEL) noise contours, diagrams showing the proposed landing site and the approach/departure flight paths. The helicopter noise contours should at least show 60 dB, and 65 dB CNEL. The diagrams should also depict the proximity of the proposed flight paths to any existing or proposed noise sensitive or people intensive land uses. The notice of determination must also be filed with the Office of Planning and Research. Consideration given to the issue of compatible land uses in the vicinity of a heliport should help to relieve future conflicts between the heliport and the surrounding neighborhood.

It is also necessary to consider the whole project in regard to its proximity to MRB. In accordance with CEQA, Public Resources Code Section 21096, the California Airport Land Use Planning Handbook (Handbook) must be utilized as a resource in the preparation of environmental documents for projects within airport land use compatibility plan boundaries or if such a plan has not been adopted, within two miles of an airport. The project site appears to be in Safety Zone D of the MRB airport land use compatibility plan. The Handbook is available on-line at:

<http://dot.ca.gov/hq/planning/aeronaut/documents/alucp/AirportLandUsePlanningHandbook.pdf>

Although the project site appears to be located outside the 60 dB CNEL contour for MRB (as shown in the land use compatibility plan), this does not take into account cumulative noise impacts associated with the site's proximity to the airport along with roadways and railway lines or the "single-event" impacts associated with individual aircraft overflights. It is likely that some future residents will be annoyed by aircraft noise in this area. We advise requiring an aviation easement as shown in Appendix H of the Handbook.

In accordance with PUC section 21676 *et seq.*, prior to the amendment of a general plan or specific plan, or the adoption or approval of a zoning ordinance or building regulation within the planning boundary established by an Airport Land Use Commission (ALUC), the local agency shall first refer the proposed action to the ALUC.

If the ALUC determines that the proposed action is inconsistent with the airport land use compatibility plan, the referring agency shall be notified. The local agency may, after a public hearing, propose to overrule the ALUC by a two-thirds vote of its governing body after it makes specific findings. At least 45 days prior to the decision to overrule the ALUC, the local agency's governing body shall provide to the ALUC and the Division a copy of the proposed decision and findings. The Division reviews and comments on the specific findings a local government intends to use when proposing to overrule an ALUC. The Division specifically looks at the proposed findings to gauge their relationship to the overrule. Also, pursuant to the PUC 21670 *et seq.*, findings should show evidence that the local agency is minimizing "...the public's exposure to excessive noise and safety hazards within areas around public airports to

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to enhance California's economy and livability"*

the extent that these areas are not already devoted to incompatible uses.”

In addition to submitting the proposal to the ALUC, it should also be coordinated with MRB staff to ensure that the proposal will be compatible with future as well as existing airport operations.

Section 21659 of the PUC prohibits structural hazards near airports and heliports. Structures should not be at a height that will result in penetration of the approach imaginary surfaces. If the heliport is planned for operation prior to completion of the later phases of construction activities, impacts to the heliport imaginary surfaces from temporary construction-related impacts (e.g. construction cranes, etc.) should be identified. Federal Aviation Administration (FAA) Advisory Circular 150/5370-2E “Operational Safety on Airports During Construction,” available at <http://faa.gov>, can be incorporated into the project design in order to identify any permanent or temporary construction-related impacts to the heliport imaginary surfaces. The FAA may also require the filing of a Notice of Proposed Construction or Alteration (Form 7460-1) for certain project-specific activities in accordance with Federal Aviation Regulations Part 77 “Objects Affecting Navigable Airspace.” Form 7460-1 is available at <https://oeaaa.faa.gov/oeaaa/external/portal.jsp> and should be submitted electronically.

The FAA will require the filing of a Notice of Landing Area Proposal (Form 7480-1). A copy of the form is available on the FAA website at:
<http://www.faa.gov/forms/index.cfm/go/document.information/documentID/185334>

Thank you for the opportunity to review and comment on this proposal. If you have any questions, please contact me at (916) 654-6223, or by email at philip.crimmins@dot.ca.gov.

Sincerely,



PHILIP CRIMMINS
Aviation Environmental Specialist

c: State Clearinghouse, Riverside County ALUC, March Air Reserve Base

DEPARTMENT OF TRANSPORTATION**DISTRICT 8****PLANNING (MS 722)**

464 WEST 4th STREET, 6th Floor
SAN BERNARDINO, CA 92401-1400
PHONE (909) 383-4557
FAX (909) 383-5936
TTY (909) 383-6300
www.dot.ca.gov/dist8



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August 17, 2017

City of Riverside
Community & Economic Development
Planning Department
Sean Kelleher
3900 Main Street, 3rd Floor
Riverside, CA 92522

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AUG 21 2017

**Community & Economic
Development Department**

Canyon Springs Healthcare Campus SCH#2016031001 (Riv 215 PM R37.43)

Mr. Kelleher,

We have completed our initial review for the above mentioned proposal to construct a Hospital with 300 beds, 375,000 square foot Medical Office Buildings and Surgical Center, a 234 Dwelling Unit Senior Housing and Assisted Living Facility with 250 beds. Located south of Canyon Springs Parkway, north of Eucalyptus Avenue and west of Day Street.

As the owner and operator of the State Highway System (SHS), it is our responsibility to coordinate and consult with local jurisdictions when proposed development may impact our facilities. As the responsible agency under the California Environmental Quality Act (CEQA), it is also our responsibility to make recommendations to offset associated impacts with the proposed project. Although the project is under the jurisdiction of the City of Riverside due to the Project's potential impact to State facilities it is also subject to the policies and regulations that govern the SHS.

We recommend the following to be provided:


- Please include the Synchro analysis output for review.
- Section 1.2.3 Cumulative (Opening Year) Conditions – The proposed project is anticipated to be completed in 2016. This opening year has passed, please update all traffic data for the opening year and include: project traffic volumes, cumulative traffic volumes, existing plus ambient plus project traffic volumes, existing plus ambient plus project plus cumulative traffic volumes, and all the Level of Service (LOS) tables accordingly.
- Please resubmit Hydrology Maps with larger Fonts current size is too small to read.

We appreciate the opportunity to offer comments concerning this project. If you have any questions regarding this letter, please contact Talvin Dennis at (909) 806-3957 or myself at (909) 383-4557 for assistance.

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Mr. Kelleher
August 17, 2017
Page 2

Sincerely,

A handwritten signature in black ink, appearing to read "Mark Roberts", with a long horizontal flourish extending to the right.

MARK ROBERTS

Office Chief

Intergovernmental Review, Community and Regional Planning

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to enhance California's economy and livability"*



Board of Education
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Gary E. Baugh, Ed.S., Vice President
Susan Smith, Clerk
Jesus M. Holguin
Evan Morgan

Superintendent of Schools
Martinrex Kedziora, Ed.D.

Moreno Valley Unified School District

25634 Alessandro Boulevard
Moreno Valley, California 92553
951-571-7500
www.mvusd.net

The mission of Moreno Valley Unified School District is to ensure all students graduate high school prepared to successfully enter into higher education and/or pursue a viable career path.

August 17, 2017

Sean Kelleher, Associate Planner
City of Riverside
Community & Economic Development Department
Planning Division
3900 Main Street, 3rd Floor
Riverside, CA 92522

RECEIVED

AUG 21 2017

**Community & Economic
Development Department**

SUBJECT: Response to DRAFT EIR for the Canyon Springs Healthcare Center

Thank you for the opportunity to review and comment on the Draft Environmental Impact Report for the Canyon Springs Health Care Center.

The Moreno Valley Unified School District, Facilities and Planning Department has reviewed the documents and maps provided to us.

As previously stated in our letter dated October 4, 2016 to Paula Purcell with TDA, Inc. (letter attached), this project is directly next to one of our existing elementary schools: Edgemont Elementary at 21790 Eucalyptus Avenue in Moreno Valley, just southeast of the subject project.

We have the following exceptions/comments to this DEIR for the Canyon Springs Healthcare Center:

- (1) Ambulance noise would be a disruption and distraction to the educational process for our students attending Edgemont Elementary. To help alleviate the noise interruptions, a concrete eight foot (8') wall needs to be constructed (similar to the one at Sunnymead Middle School that butts up against the Kaiser Medical Complex on Heacock.). This wall would run along the West and North sides of Edgemont Elementary.
- (2) An emergency exit/access gate to be located at the Northwest end of the concrete wall.
- (3) Developer Fees: This project will be subject to Level I Developer Fees.

Thank you and best regards,

A handwritten signature in blue ink, appearing to read 'S. Alzubaidi'.

Samer Alzubaidi
Director
Facilities Planning & Development
MORENO VALLEY UNIFIED SCHOOL DISTRICT
13911 Perris Blvd., Building A
Moreno Valley, CA 92553
salzubaidi@mvusd.net

/cla



Board of Education
Jesus M. Holguin, President
Denise Fleming, Ed.D., Vice President
Cleveland Johnson, Clerk
Gary E. Baugh, Ed.S.
Patrick W. Kelleher

Superintendent of Schools
Judy D. White, Ed.D.

Moreno Valley Unified School District

25634 Alessandro Boulevard
Moreno Valley, California 92553
951-571-7500
www.mvusd.net

The mission of Moreno Valley Unified School District is to ensure all students graduate high school prepared to successfully enter into higher education and/or pursue a viable career path.

October 4, 2016

Paula Purcell
TDA, Inc.
2025 Pioneer Court
San Mateo, CA 94403

COPY

SUBJECT: Response to Pre-DEIR for the Canyon Springs Healthcare Center

Thank you for the opportunity to review and comment on the Pre-Draft Environmental Impact Report for the Canyon Springs Health Care Center.

The Moreno Valley Unified School District, Facilities and Planning Department has reviewed the documents and maps provided to us.

This project is directly next to one of our existing elementary schools: Edgemont Elementary at 21790 Eucalyptus Avenue in Moreno Valley, just southeast of the subject project.

We have the following exceptions/comments to this Pre-DEIR for the Canyon Springs Healthcare Center:

- (1) Ambulance noise would be a disruption and distraction to the educational process for our students attending Edgemont Elementary. To help alleviate the noise interruptions, a concrete eight foot (8') wall needs to be constructed (similar to the one at Sunnymead Middle School that butts up against the Kaiser Medical Complex on Heacock.). This wall would run along the West and North sides of Edgemont Elementary.
- (2) An emergency exit/access gate to be located at the Northwest end of the concrete wall.
- (3) Developer Fees: This project will be subject to Level I Developer Fees.

Looking forward to receiving the DEIR in the near future.

Thank you and best regards,

Alice Grundman
Interim Director
Facilities Planning & Development
MORENO VALLEY UNIFIED SCHOOL DISTRICT
23301 Dracaea Avenue
Moreno Valley, CA 92553
agrundman@mvusd.net

/cla

DEPARTMENT OF WATER RESOURCES

1416 NINTH STREET, P.O. BOX 942836
SACRAMENTO, CA 94236-0001
(916) 653-5791



August 16, 2017

RECEIVED

AUG 17 2017

Mr. Sean Kelleher
City of Riverside
Community Development Department
Planning Division
3900 Main Street, 3rd Floor
Riverside, CA 92522

**Community & Economic
Development Department**

Draft Environmental Impact Report (DEIR), Canyon Springs Healthcare Campus Specific Plan in Riverside County, Approximate Milepost 433.59, Santa Ana Pipeline (SAPL), Southern Field Division, SCH2016031001

Dear Mr. Kelleher:

Thank you for the opportunity to review and comment on the DEIR for the Canyon Springs Healthcare Campus Specific Plan and Amendment (SPA), to replace Canyon Springs Business Park Specific Plan (SP). The notice describes a site masterplan to be developed which includes both short-term and long-range planning goals that cover an anticipated construction period of approximately 10 years. The SPA would include future development over five phases. The approximately 50.85-acre project site consists of three separate, non-contiguous, previously graded areas located within the SP area in Riverside, California. Future Project phasing could overlap, be out of sequence, or be concurrent, depending on market conditions.

The Department of Water Resources (DWR) has reviewed the submitted materials, and has the following comments:

1. It is anticipated there will be impact for DWR access to the SAPL and related appurtenances, which are part of the State Water Project (SWP). It is our objective to maintain a clear and accessible right-of-way when approving new encroachments, i.e. parking lots, fences, etc. within DWR right-of-way.
2. This development will require an encroachment permit, or agreement from DWR. All encroachment elements of the project must conform to specifications as outlined in California Code of Regulations, Title 23, Sections 600 to 635. More information about encroachments within DWR right-of-way can be found at: http://www.water.ca.gov/engineering/Services/Real_Estate/Encroach_Rel/
3. Please provide DWR with a copy of any subsequent documentation when it becomes available for review. Any future correspondence relating to this project should be sent to:

Department of Water Resources

Mr. Sean Kelleher
August 16, 2017
Page 2

Department of Water Resources
Division of Operations and Maintenance
Attn: Leroy Ellinghouse, Chief,
SWP Right-Of-Way Management Section
1416 9th Street, Room 641-1
Sacramento, California 95814

If you have any questions, please contact Leroy Ellinghouse, Chief of the SWP Right of Way Management Section, at (916) 659-7168 or Robert Martinez at (916) 654-8982.

Sincerely,

A handwritten signature in black ink that reads "David M. Samson". The signature is fluid and cursive, with the first name "David" being larger and more prominent than the last name "Samson".

David M. Samson, Chief
State Water Project Operations Support Office
Division of Operations and Maintenance

cc: State Clearinghouse
Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, California 95814

TDA Investment Group
2025 Pioneer Court
San Mateo, CA 94403
Attn: Paula Purcell

From: Jessica Valdez <JValdez@soboba-nsn.gov>
Sent: Tuesday, August 22, 2017 4:37 PM
To: Kelleher, Sean
Cc: Joseph Ontiveros
Subject: [External] Canyon Springs Healthcare Campus Specific Plan & Amendment to the Canyon Springs Business Park Specific Plan

Sean,

Our office is in receipt of your Notice of Availability of a Draft Environmental Impact Report for the **Canyon Springs Healthcare Campus Specific Plan and Amendment to the Canyon Springs Business Park Specific Plan (State Clearinghouse No. 2016031001)**. The information provided has been reviewed. The tribe is in agreeance with the cultural resource mitigation measures that are being proposed. The Soboba Band of Luiseño Indians appreciates your observance of Tribal Cultural Resources and their preservation in your project.

Jessica Valdez, Cultural Resource Specialist
Soboba Band of Luiseño Indians
Cultural Resources Department
Office: (951)-654-5544 Ext: 4139
JValdez@soboba-nsn.gov



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Community Development Department
Planning Division
14177 Frederick Street
P. O. Box 88005
Moreno Valley CA 92552-0805
Telephone: 951.413-3206
FAX: 951.413-3210

August 22, 2017

Mr. Sean P. Kelleher
Associate Planner
City of Riverside
Planning Division
3900 Main Street, Third Floor
Riverside, CA 92522

Re: Comments on the Draft Environmental Impact Report (DEIR) for the Proposed Canyon Springs Healthcare Campus - State Clearinghouse No. 2016031001

Dear Mr. Kelleher:

The City of Moreno Valley appreciates the opportunity to comment on the proposed Draft Environmental Impact Report (DEIR) for the Proposed Canyon Springs Healthcare Campus Project. The project proposes a phased healthcare campus to include a hospital, medical buildings, assisted living, skilled nursing, and age restricted housing on a 50.85 acre parcel of land in the Canyon Springs Business Park. The project site is located in the City of Riverside, east of Interstate 215, west of Day Street, north of Eucalyptus Avenue, and immediately adjacent to and south of the City of Moreno Valley.

The proposed Project is located at key entries/gateways to the City of Moreno Valley including Day Street and Eucalyptus Avenue directly from State Route 60 and Interstate 215. Given the proximity of the project to these gateways, the potential for impacts to established and emerging developments in Moreno Valley are of concern. Further, given the proposed project envisions a substantial land use change in an area that has not been previously considered the concern for Urban Decay expressed in our March 31, 2016 comment letter on the Notice of Preparation (NOP) remains.

The City of Moreno Valley is providing comments on the DEIR as follows, including NOP comments not addressed from our original letter:

- 1 General DEIR Comment:** On Page ES-51, the DEIR states, "it is anticipated that as the City's residents age, they may move from one area of the City to locate in the proposed project's senior housing facility, independent living/memory care, assisted living, or skilled nursing facility, as needed, depending on medical needs."

The DEIR statement above is misleading. A majority of the population utilizing the facility would likely be drawn from the City of Moreno Valley and not from the City of Riverside. Please make that clarification in the document and all related technical studies.

2 Aesthetics

NOP Comments - The Initial Study noted that Aesthetics are not considered a potential significant impact. Section 4.2.1(b) in particular is checked "No Impact" but must be corrected to "Potentially Significant Unless Mitigation Incorporated." Section 4.2.1(d) of the Initial Study is insufficient in addressing the potential impact to the existing eleven single family residences along Eucalyptus Avenue that back up to the project site. The City requests early consultation on aesthetic aspects of the project and analysis on the proposed project's architectural and landscape style/theme.

DEIR Comments - The finding in the DEIR (Sections 4.1.6 and 4.1.7) with regard to Aesthetics needs to be changed from "No Impact" to "Significant impact." The document has not yet clearly described and discussed the impacts the project will have on the adjoining Moreno Valley residential community directly along the southern edge of the project. A parking structure, two separate three to four story medical office buildings up to 50 feet in height, and an internal circulation connection are all proposed for the southwest portion of Planning Area 7 (Site C-2). The placement of three story medical buildings 75 feet from existing residential structures is a significant concern that must be addressed in the EIR. Consideration, at a minimum, of the loss of the scenic vista to Box Springs mountain from the homes, and consideration of the new light, glare and shade impacts that could be created on the homes as a result of the proposed new structures must be addressed. Mitigation measures to minimize those impacts must be added. In our March 31, 2016 NOP comment letter, The conceptual elevations and landscape images provided in the DEIR show that the residences will be directly adjacent to the back side of medical office buildings and a parking structure, which are not typically the structural facades that receive enhanced architectural treatments. In addition, you are showing a local driveway (Driveway #14) would be located directly behind the homes, which present significant concerns. The requirement for enhanced architecture, and appropriate attention to elements such as generators, trash enclosures, loading docks, delivery doors, etc. must be addressed. The landscape concepts suggest significant growth of plants and color over a five year period; however, what mitigation will be put in place to ensure the landscape is achieved? As the plans are conceptual only, we have concern that such robust landscape can actually be achieved and maintained if Driveway #14 is actually implemented behind the homes. Detail must be put into the Specific Plan to address this edge condition.

3 Air Quality

DEIR Comment- Mitigation Measure MM-AQ-1 states, "During construction activity, all construction equipment (≥ 150 horsepower) shall be California Air Resources Board (CARB) Tier 3 Certified or better."

MM AQ-1 (Section 4.26 on Page 4.2-37) must be revised to require, at minimum, Tier 4 construction equipment during project construction. The EPA Tier 4 emissions standards are available for use as a mitigation measure. Incorporation of equipment meeting Tier 4 emission standards would further reduce the project's expected significant and unavoidable air quality impacts by using the best available mitigation. The best and most effective mitigation must be applied to the project prior to the City of Riverside giving consideration to adoption of a Statement of Overriding Considerations related to air quality impacts.

4. Land Use Planning

NOP Comment - The NOP letter requested an Urban Decay Analysis be prepared with the DEIR and that Land Use/Planning be included as a significant impact due to urban decay possibilities and other impacts from changes to land use that affects existing and surrounding uses.

DEIR Comments - An urban decay analysis (Appendix G - Referenced in DEIR Section 3.3, Pages 3-10 through 3-15) was completed by the City of Riverside; however there are remaining concerns regarding the analysis. The analysis did not, and must provide a fair and thorough assessment of how the regional demand for hospital care, assisted living, medical office buildings and hospital beds would be met with full consideration of all planned projects coming to fruition in Moreno Valley (e.g., Riverside University Medical Center (RUMC), Kaiser Hospital, March Life Care) prior to assuming need for the proposed Riverside Healthcare Campus.

The Land Use Planning section did not include mitigation measures to minimize impacts on nearby sensitive receptors, particularly the residential units along the southern project edge. The document discloses that an eight foot tall wall and trees shall be located along the southern perimeter of Planning Area 7. At minimum, the DEIR should have addressed the impact as "significant with mitigation imposed" and included additional mitigation measures to further minimize light, glare and noise. As noted above, the proposal to have a driveway (Driveway #14) directly behind these homes presents concerns for noise, and security and crime prevention must also be considered in this area of the project.

5, Transportation and Traffic

NOP/TIA Comments - The following items related to the February 2017 Traffic Impact Analysis (TIA) have not been addressed in the DEIR:

Cumulative Development - The City of Moreno Valley project PA15-0047 to 0051 and PA16-0012 (Master Plot Plan to develop a 112-room hotel, a 104-room hotel, a service station with convenience store, retail buildings, and a fast-food restaurant with drive-through on six parcels located at the northwest corner of Day Street/Eucalyptus Avenue) must be included in the Cumulative Developments list for this study. Future vehicle trips generated from all pertinent intersections included for the Level of Service analysis must be included in the TIA and DEIR.

Mitigation Measures - Any proposed mitigation measures for Project Opening Year (2016) that involve lane addition/street widening at the following intersections in the City of Moreno Valley must be re-evaluated and mitigation measures must be identified as warranted:

- Day Street/Cottonwood Avenue (Exhibit 9-3);
- Day Street/Bay Avenue (Exhibit 9-4);
- Day Street/Alessandro Boulevard (Exhibit 9-5);
- Memorial Way/Towngate Boulevard (Exhibit 9-6).

The proposed mitigation measures for the three intersections on Day Street cannot be achieved by Project Opening Year without significant and challenging right-of-way acquisitions. Detailed preliminary cost estimates, including consideration of all potentially significant right-of-way acquisitions, are needed for each location to ensure that the full potential costs are understood, as well as to evaluate the potential additional environmental impacts that may be incurred to carry out each improvement. The striping recommendation for the intersection of Memorial Way/Towngate Boulevard is not practical due to the fact that deleting a through lane at the intersection will significantly impact southbound traffic operation on Memorial Way and will also require modification to the existing lane striping of the entire segment of Memorial Way, north of Towngate Boulevard.

Fair Share Cost Estimate - List sources for the estimated costs of the recommended improvements in Table 9-4 and 9-5. Were costs based on a recent TUMF nexus study or a study of program costs for capital improvements in Riverside County?

DEIR Comments - The following are additional comments on the DEIR:

Site Access - Driveway 1 is not a full access driveway. Traffic movements at Driveway 1/Day Street intersection will be restricted to right-in/right-out/left-in only by a raised concrete median currently under construction on Day Street. The analysis must be cleaned up to exclude the movement of full left turns out of the site.

Site Access – Driveway #14 (intersection 33) shown on Figure 5-1 of the Specific Plan, needs to be relocated to the north or eliminated. In its current location it presents a potential unsafe traffic operational condition due to the short distance from the driveway to Eucalyptus. Furthermore, the proximity of the driveway to the existing residences is not acceptable because of the adverse impacts the driveway will have on the homes. It is unclear why the driveway may only be designed for right-out movements.

Table 9-3 - An explanation is required on why the project impact at the intersection of Bay Ave/Day Street is identified as "NOT A SIGNIFICANT IMPACT"

Table 9-4: The cost estimate for the recommended improvements for the following intersections must be revised to include the cost of right-of-way acquisition at current market value:

- Day Street/Cottonwood Avenue (Exhibit 9-3);
- Day Street/Bay Avenue (Exhibit 9-4);
- Day Street/Alessandro Boulevard (Exhibit 9-5).

The cost estimate for the recommended improvements for Memorial Way/Towngate Boulevard (Exhibit 9-6) must be revised to include the cost of modification to the existing lane striping of the entire segment of Memorial Way, north of Towngate Boulevard.

Fair Share Cost Estimate: With the revised cost estimates for the recommended improvements, the amounts of Fair Share Cost must also be revised:

- Day Street/Cottonwood Avenue (Exhibit 9-3);
- Day Street/Bay Avenue (Exhibit 9-4);
- Day Street/Alessandro Boulevard (Exhibit 9-5);
- Memorial Way/Towngate Boulevard (Exhibit 9-6).

Queuing analysis: In addition to the queuing analysis for the left-turn lanes of northbound and southbound traffic as shown in Table 8-1, the traffic study also must include queuing analysis for east bound and westbound left-turn lanes at all impacted intersections along Day Street.

Pedestrian/Bicycle Connectivity: The traffic study must evaluate pedestrian and bicyclist connectivity from the project buildings to the adjacent streets and transit service routes within the study area.

Based upon the above transportation review comments, the Traffic Impact Analysis for the project must be revised and resubmitted to the City of Moreno Valley's Transportation Engineering Division for further review.

6. Mandatory CEQA Topics

NOP Comment - The Initial Study did not address what land uses are being contemplated in Planning Area 6 on the west side of Valley Springs Road. The City is aware of prior site planning documents that show potential for hotels on this site. In addition, the City of Moreno Valley has been contacted on several occasions over the past couple of years to inquire about development projects at the northwest corner of Valley Springs and Eucalyptus.

DEIR Comment – All known or reasonably known future development of Project Area 6 must be included and evaluated in Section 5.2 “Cumulative Impacts Analysis” of the DEIR. Potential segmentation of the project is a concern as it does not allow for full consideration of the potential and probable impacts.

7 Evaluation of Alternatives

NOP Comments - The Initial Study did not discuss whether or not the DEIR document would include an evaluation of alternative sites for the proposed Healthcare Campus. The DEIR must evaluate alternative site(s) for the proposed project, and could include site(s) within the City of Moreno Valley. The City respectfully requests to be consulted early on the selection of alternate sites.

DEIR Comments – It is recognized that alternatives, including alternative project sites, were considered; however, the City of Moreno Valley was not consulted on the alternative sites considered in Moreno Valley which would have been appropriate. The determinations to eliminate alternate sites 15, 16, 17, and 18 warrant further discussion in the EIR. For example, it is not clear why Site No. 15 - Festival Shopping Center in DEIR Section 6.5 (Table 6, Pages 6-4 through 6-6) was rejected as an alternative site for the proposed medical complex. One observation is that the area shown for Site 15 on Figure 6-1 of the DEIR does not encompass the full Festival Center properties. The reason given for dropping this site from consideration was the site included, “too many ownerships.” The concern is that multiple ownerships would not be a basis for rejection as an alternative site. One property owner owns 42.15 acres or over half of the 81.29 acres included in the existing Festival Specific Plan. The site, which includes comparable acreage, is located outside the Airport Influence Area Boundary and is close to the project site (2.5 miles away). Other potential sites evaluated in table 6-1 were not rejected due to multiple project owners. Proposed uses included in the Canyon Springs project would be conditionally permitted in the Festival Specific Plan (zoned Community Commercial) and would not require a change of zone or general plan amendment as the Riverside site requires.

The City of Moreno Valley appreciates the opportunity to provide comments on the DEIR, and looks forward to working with the City of Riverside as the document is finalized. We respectfully request that the City of Moreno Valley receive copies of the Final EIR and associated responses to comments when available. Please include the City on any final EIR mailing lists and provide future notification of meetings/public hearings associated with the project.

Should you have any questions or concerns, please contact Mark Gross, Senior Planner at (951) 413-3215.

Sincerely,



Richard J. Sandzimier
Planning Official

- c City Council
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