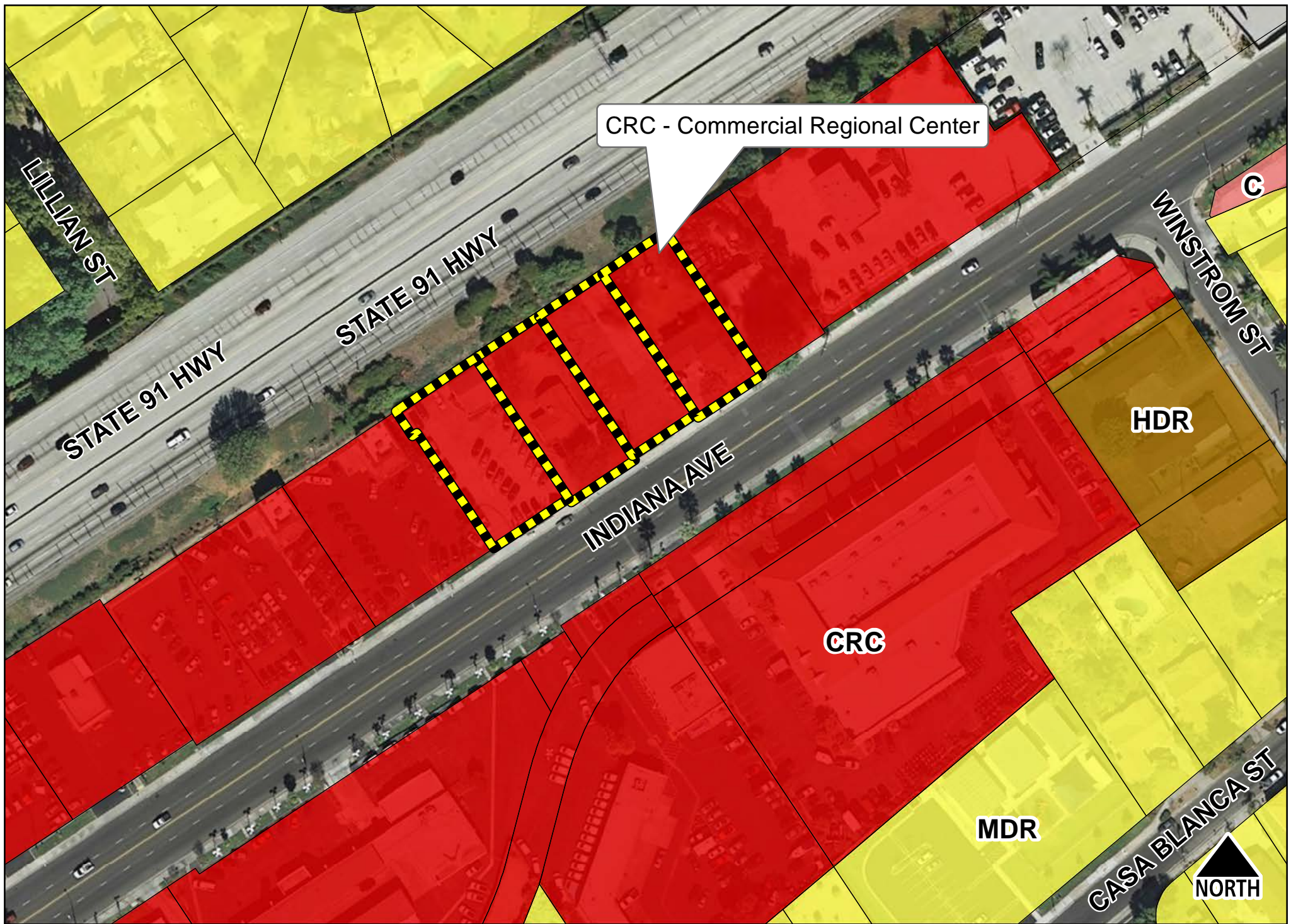
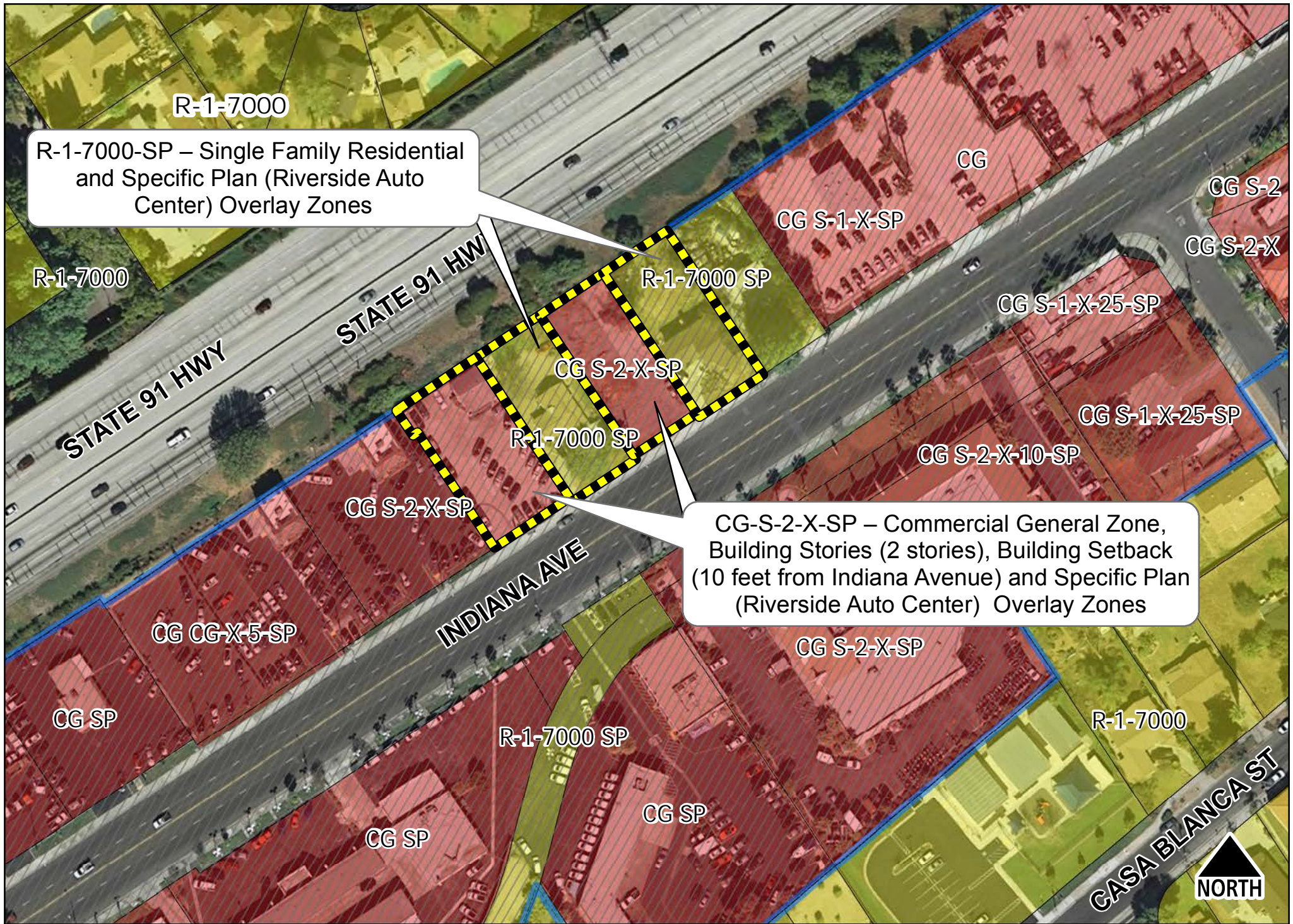


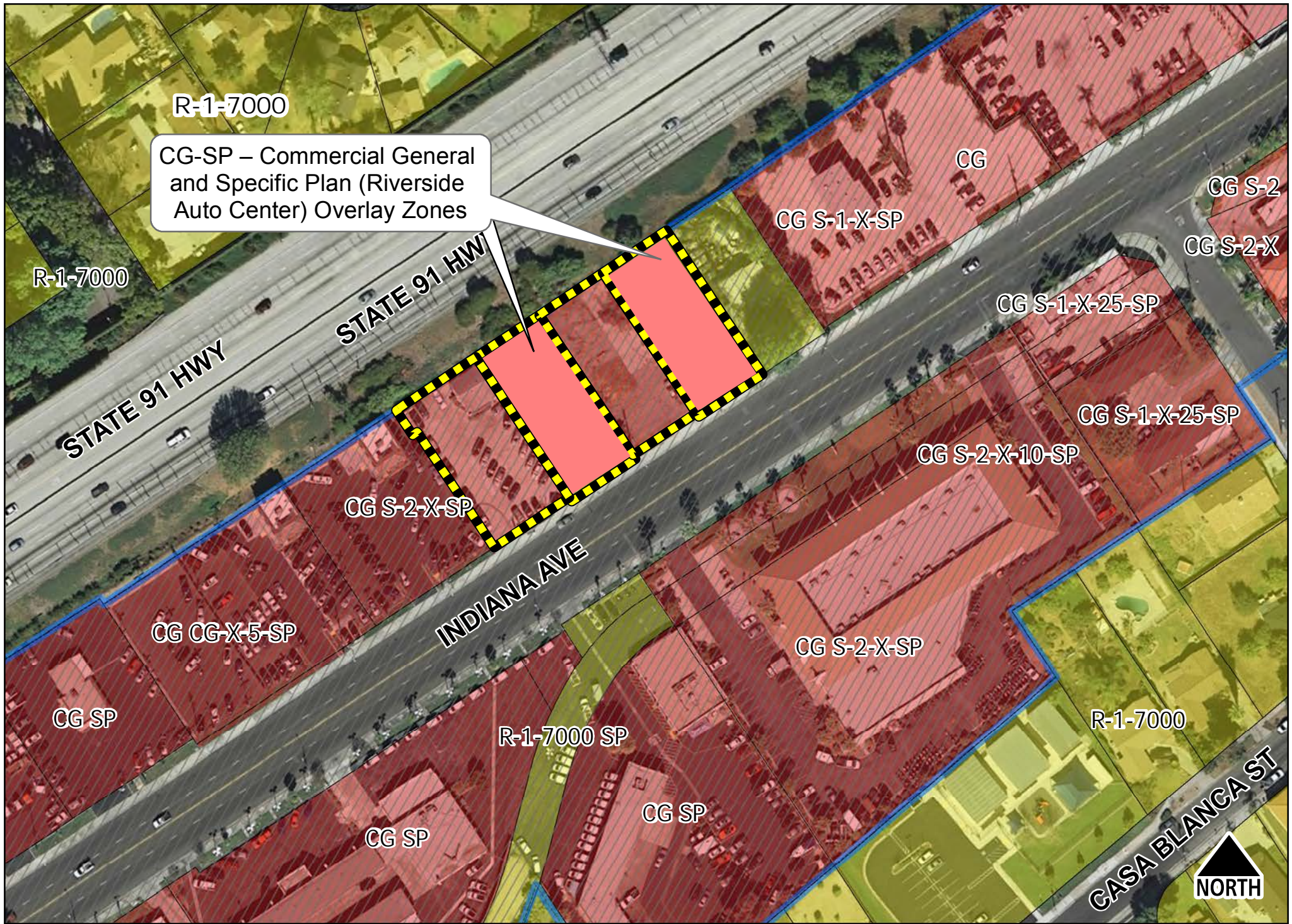


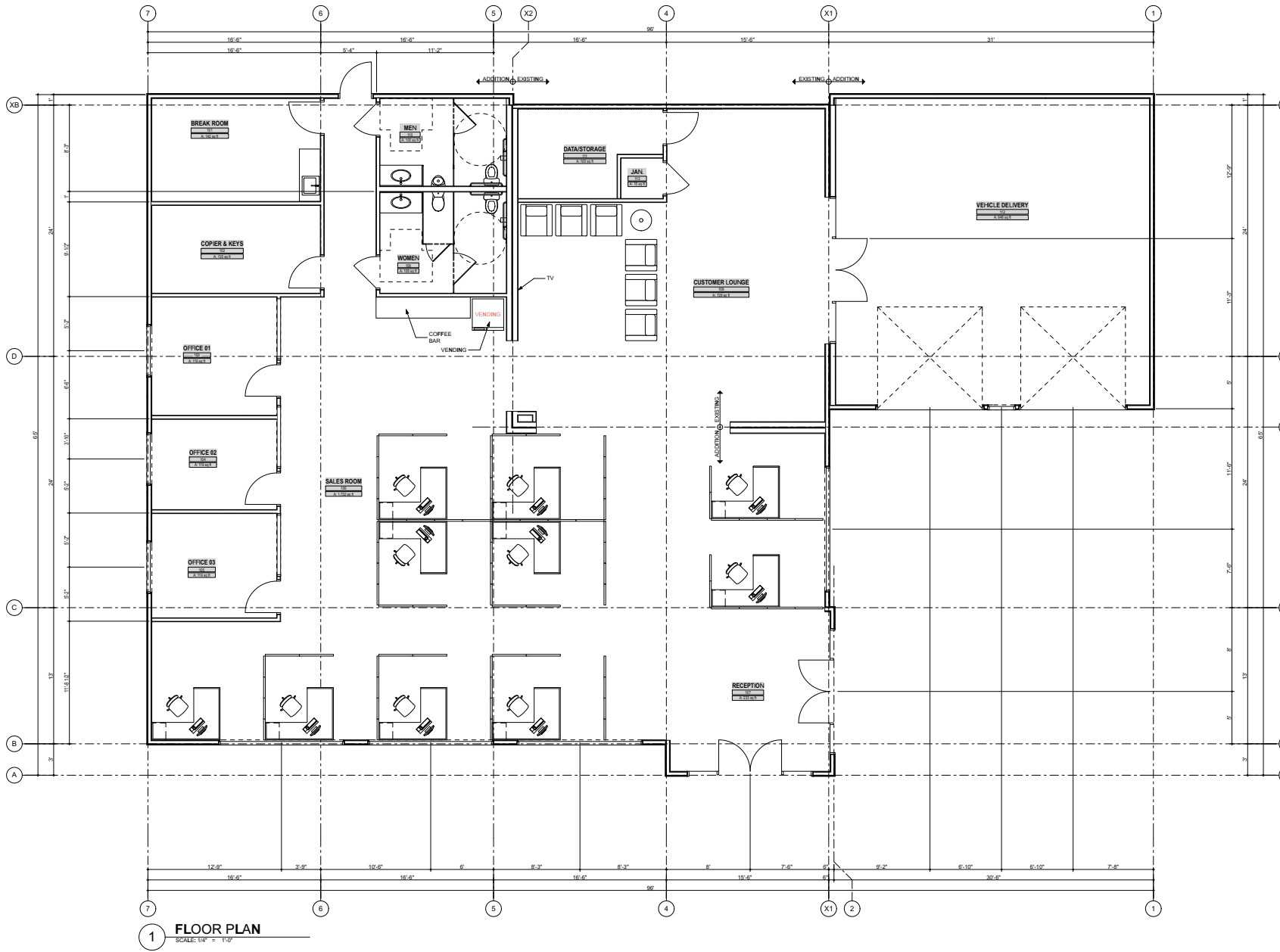
P16-0617, P16-0618 & P17-0609, Exhibit 3 - Aerial/Location Map

0 30 60 120 180 240 Feet









FLOOR PLANS

SHEET No. **A.03**

AS NOTED	SCALE	DATE
1502	1/4" = 1'-0"	8/29/17
Timothy Franklin White	DRWN	
Enterprise	FILE NAME	
TIMOTHY FRANKLIN WHITE ©	CHECKED	
Tuesday, August 29, 2017	© COPY RIGHT	

DATE	REVISION
1	1
2	2
3	3
4	4
5	5
6	6
7	7

DATE	REVISION
1	1
2	2
3	3
4	4
5	5
6	6
7	7

TIMOTHY FRANKLIN WHITE ©
655 Main St., PO Box 335
Carbondale, Colorado 81623
970 . 319 . 6588 Tele.
©

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Wolf Nejedly V, LLC

Enterprise Car Sales

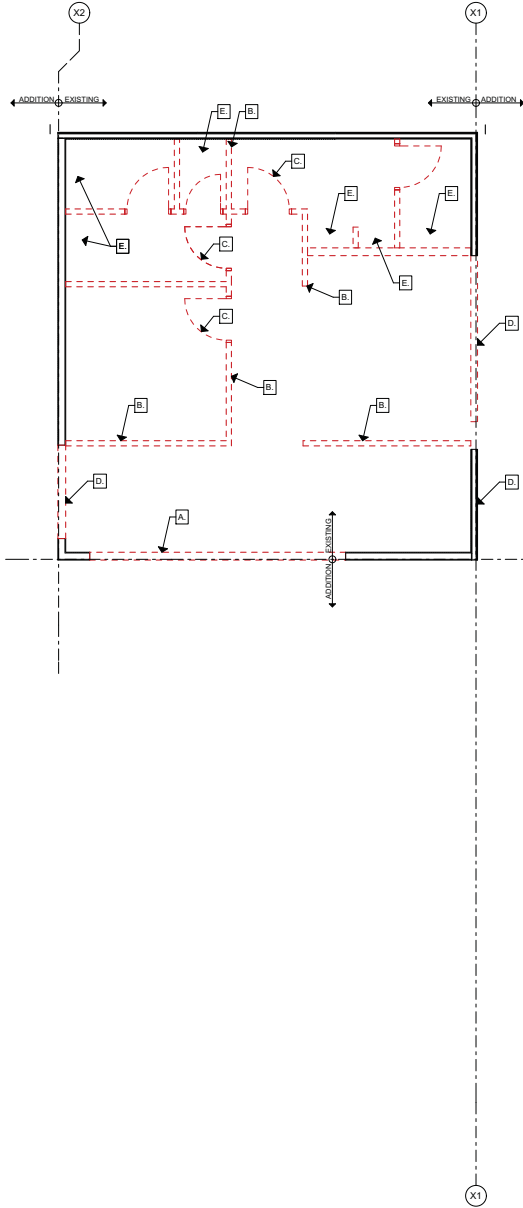
PROJECT ADDRESS 7745 Indiana Avenue, Riverside, CA

PROJECT NAME

7
1

DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



- DEMOLITION KEYNOTES:**
- A. REMOVE EXISTING DOOR AND WINDOWS
 - B. REMOVE EXISTING WALL AND FRAMING
 - C. REMOVE EXISTING DOOR
 - D. REMOVING EXISTING FRAMING AND PROVIDE NEW HEADER AND OPEING
 - E. REMOVE EXISTING PLUMBING FIXTURES

DEMOLITION PLAN

SHEET No. **A.04**

AS NOTED	SCALE	DATE	PROJECT NAME
1/20	1/20	8/29/17	Enterprise Car Sales
Timothy Franklin White	DRAWN		
Enterprise	FILE NAME		
TIMOTHY FRANKLIN WHITE ©	CHECKED		
Tuesday, August 29, 2017	© COPY RIGHT		

No.	REVISION	DATE	PROJECT ADDRESS
1			7745 Indiana Avenue, Riverside, CA
2			
3			
4			
5			
6			
7			

THE ARCHITECT'S OFFICE
TIMOTHY FRANKLIN WHITE ©
7745 INDIANA AVENUE, RIVERSIDE, CA 92504
TEL: 951-509-1111 FAX: 951-509-1112
WWW.TFWHITELLC.COM

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970 . 319 . 6588 tele.
www.tfwwhite.com

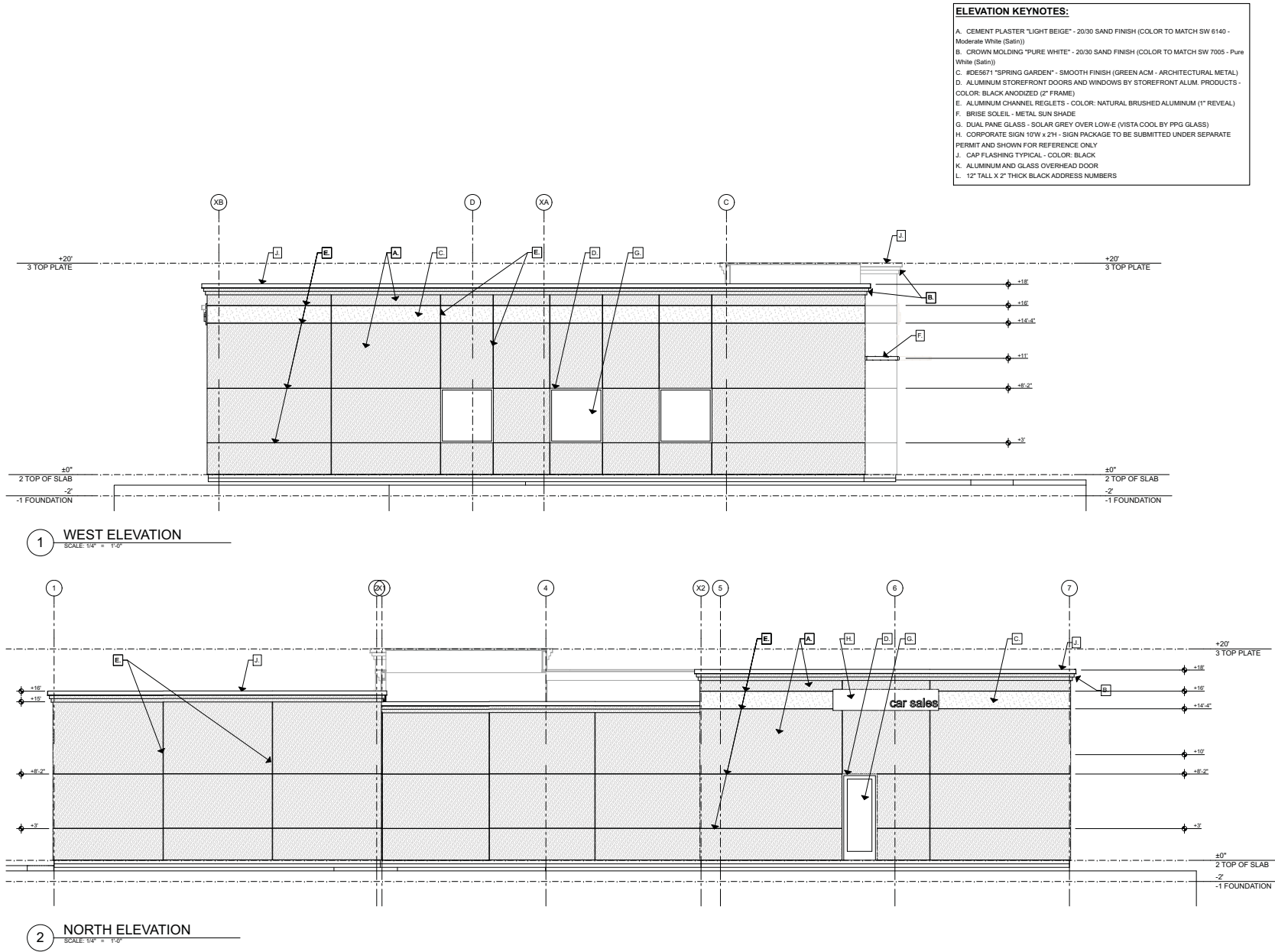



Wolf Nejedly V, LLC

Enterprise Car Sales

CLIENT

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AS NOTED	SCALE	DATE	PROJECT ADDRESS	PROJECT NAME
1702	1/4" = 1'-0"	8 / 29 / 17	7745 Indiana Avenue, Riverside, CA	Enterprise Car Sales
TIMOTHY FRANKLIN WHITE	DRAWN			
ENTERPRISE CAR SALES	FILE NAME			
TIMOTHY FRANKLIN WHITE ©	CHECKED			
TUESDAY, AUGUST 29, 2017	© COPYRIGHT			

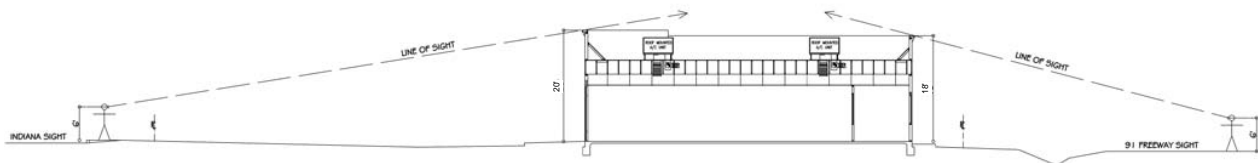
BUILDING ELEVATIONS

SHEET No. **A.05**

Wolf Nejedly V, LLC

CLIENT

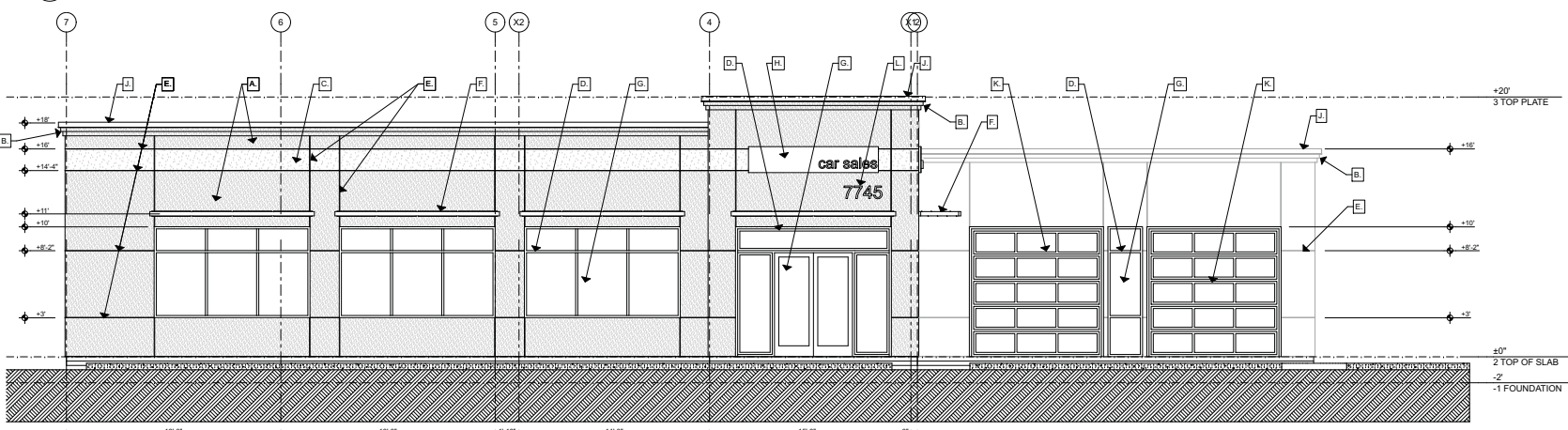
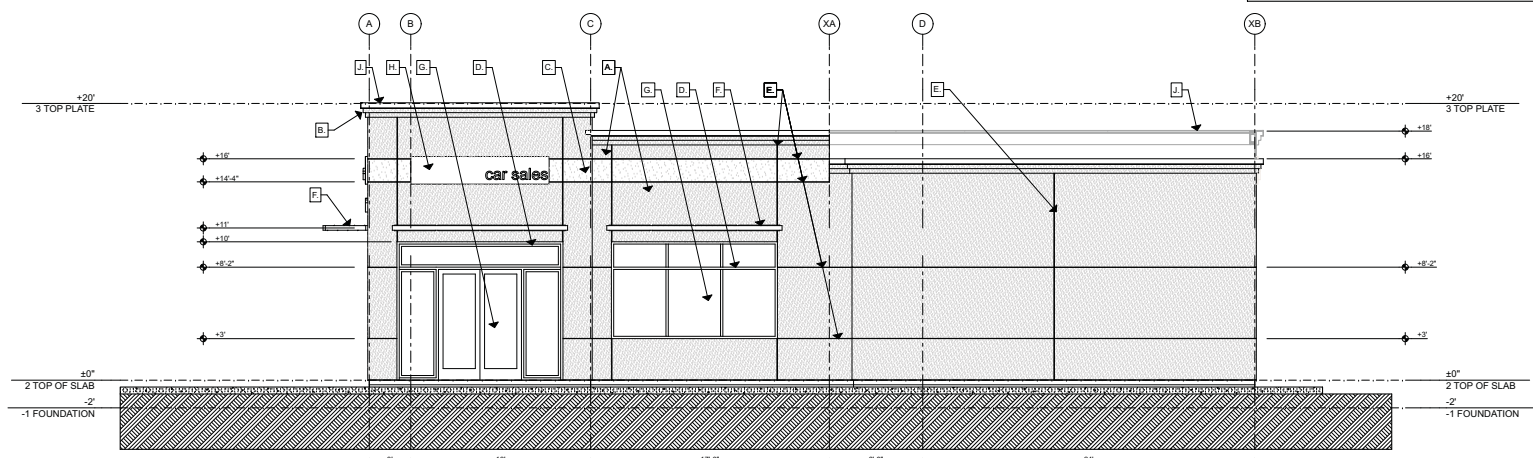
C:\Users\TFW\Documents\160617_P16_0618_P17_0609\160617_P16_0618_P17_0609\160617_P16_0618_P17_0609.dwg



- ELEVATION KEYNOTES:**
- A. CEMENT PLASTER "LIGHT BEIGE" - 20/30 SAND FINISH (COLOR TO MATCH SW 6140 - Moderate White (Satin))
 - B. CROWN MOLDING "PURE WHITE" - 20/30 SAND FINISH (COLOR TO MATCH SW 7005 - Pure White (Satin))
 - C. IDE5671 "SPRING GARDEN" - SMOOTH FINISH (GREEN ACM - ARCHITECTURAL METAL)
 - D. ALUMINUM STOREFRONT DOORS AND WINDOWS BY STOREFRONT ALUM. PRODUCTS - COLOR: BLACK ANODIZED (2" FRAME)
 - E. ALUMINUM CHANNEL REGLETS - COLOR: NATURAL BRUSHED ALUMINUM (1" REVEAL)
 - F. BRISE SOLEIL - METAL SUN SHADE
 - G. DUAL PANE GLASS - SOLAR GREY OVER LOW-E (VISTA COOL BY PPG GLASS)
 - H. CORPORATE SIGN 10'W x 2'H - SIGN PACKAGE TO BE SUBMITTED UNDER SEPARATE PERMIT AND SHOWN FOR REFERENCE ONLY
 - J. CAP FLASHING TYPICAL - COLOR: BLACK
 - K. ALUMINUM AND GLASS OVERHEAD DOOR
 - L. 12" TALL X 2" THICK BLACK ADDRESS NUMBERS

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655 Main St., PO Box 335
Carbondale, Colorado 81623
970 . 319 . 6588 tele.

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NO.	REVISION
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DATE	BY	CHKD

AS NOTED	SCALE	DATE	PROJECT NAME
1/10	1/10	8/29/17	Enterprise Car Sales

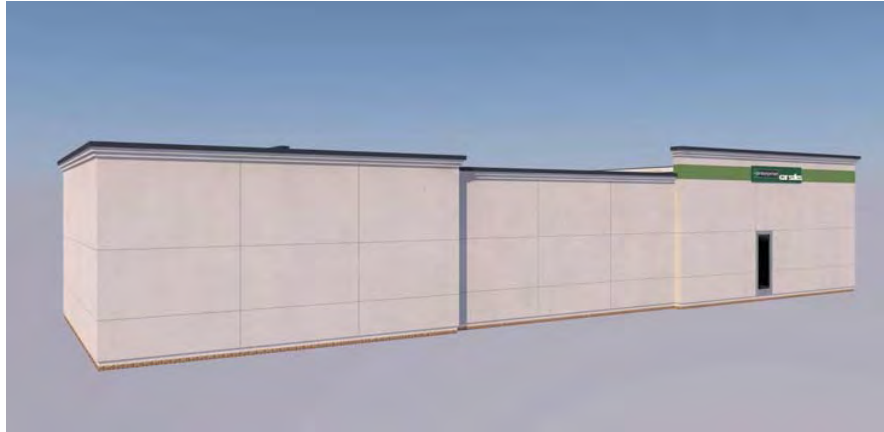
FILE NAME	DATE	PROJECT ADDRESS
Enterprise Car Sales	8/29/17	7745 Indiana Avenue, Riverside, CA

DATE	PROJECT NAME
8/29/17	Enterprise Car Sales

BUILDING ELEVATIONS (CONT.)
SHEET No. **A.06**

Wolf Nejedly V, LLC
CLIENT

Enterprise Car Sales



④ REAR VIEW
SCALE: 1/8"



② RIGHT VIEW
SCALE: 1/8"



③ LEFT VIEW
SCALE: 1/8"



① FRONT VIEW
SCALE: 1/8"



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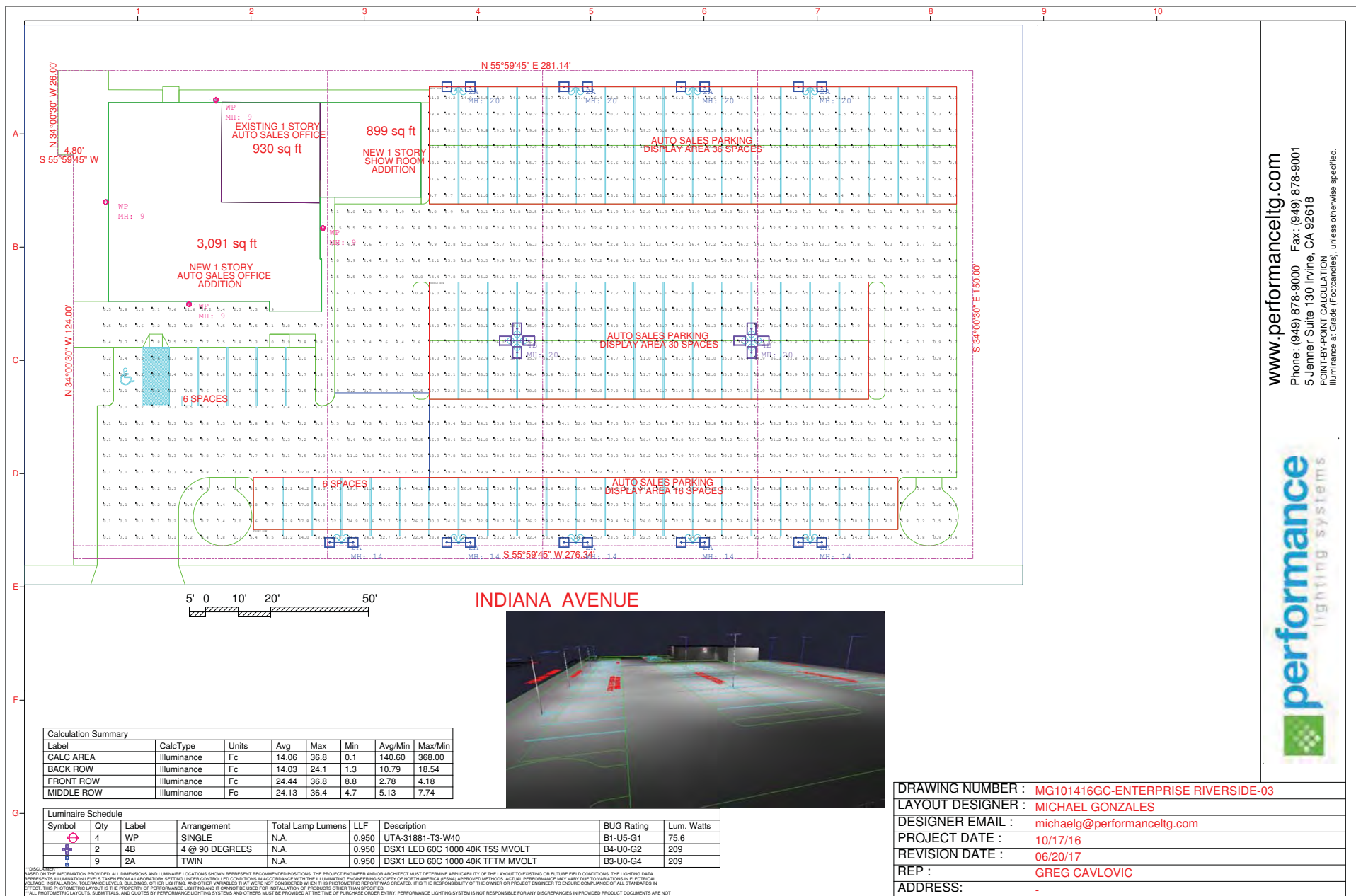
AS NOTED	SCALE	DATE	PROJECT ADDRESS
1/8"	1/8"		7745 Indiana Avenue, Riverside, CA

FILE NAME	DATE	PROJECT NAME
Enterprise Car Sales	8 / 29 / 17	Enterprise Car Sales
TIMOTHY FRANKLIN WHITE ©		
Tuesday, August 29, 2017		
© TFW		

COLOR BUILDING ELEVATIONS	SHEET No.
A.07	

Wolf Nejedly V, LLC

Enterprise Car Sales



www.performancecltg.com
 Phone: (949) 878-9000 Fax: (949) 878-9001
 5 Jenner Suite 130 Irvine, CA 92618
 POINT-BY-POINT CALCULATION
 Illuminance at Grade (Footcandles), unless otherwise specified.



DRAWING NUMBER : MG101416GC-ENTERPRISE RIVERSIDE-03
 LAYOUT DESIGNER : MICHAEL GONZALES
 DESIGNER EMAIL : michaelg@performancecltg.com
 PROJECT DATE : 10/17/16
 REVISION DATE : 06/20/17
 REP : GREG CAVLOVIC
 ADDRESS : -

[illegible]

A, ALL MANUFACTURED SLOPES IN EXCESS OF 5 FEET IN VERTICAL HEIGHT ARE TO BE PROTECTED FROM EROSION DURING ROUGH GRADING OPERATIONS AND, THEREAFTER, UNTIL INSTALLATION OF FINAL GROUND COVER (SEE LANDSCAPE PLANS FOR FINAL GROUND COVER)

C.) THE DEVELOPER AND HIS CONTRACTOR ARE RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN AND SWPPP AND ALSO TO PROVIDE ANY ADDITIONAL EROSION CONTROL MEASURES (E.G., HYDROSEEDING, MULCHING OF STRAW, SAND BAGGING, DIVERSION DITCHES, RETENTION BASINS, ETC.) DICTATED BY FIELD CONDITIONS TO PREVENT EROSION AND OR THE INTRODUCTION OF DIRT, MUD OR DEBRIS INTO

D. AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS AND CHECK DAMS. SILT AND DEBRIS SHALL BE REMOVED FROM CITY OF RIVERSIDE STREETS THIS REQUIREMENT SHALL REMAIN IN EFFECT UNTIL CITY ACCEPTANCE OF THE SUBDIVISION THAT DRAINS ONTO CITY STREETS.

6. ANY IMPROVEMENTS CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE A SEPARATE CONSTRUCTION PERMIT AND INSPECTION FROM THE PUBLIC WORKS DEPARTMENT.

7. ANY WALLS, FENCES, STRUCTURES AND/OR APPURTENANCES ADJACENT TO THIS PROJECT ARE TO BE PROTECTED IN PLACE. IF GRADING OPERATIONS DAMAGE OR ADVERSELY AFFECT SAID ITEMS IN ANY WAY, THE CONTRACTOR AND/OR DEVELOPER IS RESPONSIBLE FOR WORKING OUT AN ACCEPTABLE SOLUTION TO THE SATISFACTION OF THE AFFECTED PROPERTY OWNER(S).

8. IT IS THE GRADING CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ADEQUATE COMPACTION HAS BEEN ATTAINED ON THE ENTIRE GRADING SITE, INCLUDING FILL AREAS OUTSIDE THE BUILDING PAD AND ON ALL FILL SLOPES.

9. IT IS THE SOIL ENGINEER'S RESPONSIBILITY TO OBSERVE AND PERFORM COMPACTION TESTS DURING THE GRADING TO EVALUATE THE PREPARATION OF THE NATURAL GROUND SURFACE TO RECEIVE THE FILL AND THE COMPACTION ATTAINED IN THE FILL, INCLUDING FILL AREAS OUTSIDE THE BUILDING PADS AND TON ALL FILL SLOPES.

10. EARTHWORK QUANTITIES ARE SHOWN FOR GRADING PERMIT PURPOSES ONLY, AND THE CITY OF RIVERSIDE IS NOT RESPONSIBLE FOR THEIR ACCURACY.

11. FOR GRADING OF AREAS OF 1 ACRE OR MORE, A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE KEPT ON-SITE AND MADE AVAILABLE UPON REQUEST OF A REPRESENTATIVE OF THE REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) - SANTA ANA REGION, AND/OR THE CITY OF RIVERSIDE.

12. GRADING OPERATIONS SHALL BE LIMITED TO BETWEEN THE HOURS OF 7 A.M. AND 7 P.M. ON WEEKDAYS AND BETWEEN 8 A.M. AND 5 P.M. ON SATURDAYS. NO GRADING WILL BE PERMITTED ON SUNDAY OR FEDERAL HOLIDAYS. (RIVERSIDE MUNICIPAL CODE, 7.35.010, ORDINANCE NO 6273)

SUNDAY OR FEDERAL HOLIDAYS. (RIVERSIDE MUNICIPAL CODE, 7.33.010, ORDINANCE NO 0275)

[illegible]

1. THE EXISTENCE AND LOOIN OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS
WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THESE LOCATIONS ARE APPROXIMATE AND SHALL BE CONFIRMED
BY THE CONTRACTOR PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION
OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT
AND PRESERVE ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE
2. CARE SHALL BE TAKEN TO PREVENT GRAD DITCHES AND SWALES FROM UNDERMINING STREET IMPROVEMENTS.
UNOCCUPIED OF THE SITES, THE CITY ENGINEER MAY REQUIRE TEMPORARY GUATE, SHELTERS, EXTERIOR OR
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
4. QUANTITIES SHOWN HERE ARE FOR PLAN CHECKING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE TO PERFORM
HIS OWN QUANTITIES TAKEOFF.

5. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS,
DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY;
THE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THE CONTRACTOR
SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR
REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY AND

Legend:

- — — — — FLOW LINE
- — — — — PROPERTY LINE
- — — — — CENTER LINE
- — — — — EXISTING WATER LINE
- — — — — EXISTING SANITARY SE
- — — — — EXISTING SLOPE
- — — — — PROPOSED SLOPE
- — — — — EXISTING CONTOUR
- — — — — PROPOSED CONTOUR
- — — — — LANDSCAPING AREA

G.B. = GRADE BREAK
H.P. = HIGH POINT
E.P. = EDGE OF PAVEMENT
D.L. = DAYLIGHT
G.S. = GROUND SHOT
W.V. = WATER VALVE
W. = WATER MAIN
W.M. = WATER METER
FL. = FLOW LINE
F.G. = FINISHED GRADE
BM. = BENCH MARK
LS. = LANDSCAPING
T.G. = TOP OF GRATE
INV. = INVERT ELEVATION
A.C. = ASPHALT CONCRETE
A.D. = AREA DRAIN

TW = TOP OF WALL
R = RADIUS
TF = TOP OF FOOTING
(600) = EXIST. ELEVATION
600 = PROPOSED ELEVATION
FG = FINISHED GRADE
FS = FINISHED SURFACE
CJ = CONTROL JOINT
TOS = TOP OF SLOPE
TOP = TOP OF SLOPE
TOP/D.L. = TOP OF SLOPE/DAYLIGHT
TOS = TOP OF CURB
FF = FINISHED FLOOR
D.S. = DOWNSPOUT
L.S. = LANDSCAPE
D.D.C. = DOUBLE DETECTOR CHECK

WOLF NEJEDLY V LLC
7095 INDIANA AVE #100
RIVERSIDE, CA 92506
(951) 686-7151 PH.

230-100-007, 230-100-009,
230-100-016 & 230-100-025

TOTAL ACREAGE (GROSS) _____ 0.93 AC.
DISTRIBUTED AREA _____ 0.93 AC.
IMPERVIOUS AREA _____ 0.85 AC. (36,951 S.F.)
PERVIOUS AREA _____ 0.08 AC. (3,519 S.F.)

SAKE ENGINEERS INC.
400 S. RAMONA AVE. STE. 202
CORONA, CA 92879
(951) 279-4041 PH.
(951) 279-2830 FAX

ELECTRIC _____ CITY OF RIVERSIDE
GAS _____ SO. CAL. GAS COMPANY
WATER _____ CITY OF RIVERSIDE
SEWER _____ CITY OF RIVERSIDE
TELEPHONE _____ VERIZON
CABLE TV _____ AT&T
SCHOOL DISTRICT _____ RIVERSIDE SCHOOL DISTRICT

LANDMARK SURVEYING
14586 CHOKE CHERRY DRIVE
VICTORVILLE, CA 92392
(760) 955-4141 PH.

EXIST. ZONING _____ CG-S-2-X-SP
PROP. ZONING _____ CG-S-2-X-SP
EXIST. LAND USE _____ COMMERCIAL RE
PROP. LAND USE _____ COMMERCIAL RE

P.K. NAIL AND CITY ENGINEER TAG IN THE NOSE OF THE CENTER MEDIAN ISLAND ALONG ADAMS STREET AT INDIANA AVENUE.
CITY OF RIVERSIDE BM# F5-K3, NAVD 88
ELEV = 838.853'.

APPROVED BY _____

DATE _____

CITY OF RIVERSIDE BUSINESS TAX ACCOUNT # BL74172 EXP. 7-31-18



R.G.E. No.	DATE	MARK	REVISIONS
------------	------	------	-----------

<u>SHEET No.</u>	<u>DESCRIPTION</u>
1	TITLE SHEET
2	PRECISE GRADING PLAN
3	EROSION CONTROL PLAN

OF LOTS 32 THROUGH 35 AS SHOWN ON M.B. 26/29
AND A PORTION OF PARCEL 4 OF R.S. 22/93 ALL OF
RECORDS OF RIVERSIDE COUNTY.

CUT _____	0± C.Y.
FILL _____	150± C.Y.
IMPORT _____	150± C.Y.

EARTH QUALITY SHOWN HERE ARE FOR ESTIMATING PLAN CHECK FEES ONLY. GRADING CONTRACTOR IS RESPONSIBLE TO PERFORM THEIR OWN CALCULATIONS FOR EARTH VOLUME WITH THE SOILS ENGINEER'S RECOMMENDATION.

SOILS ENGINEER:
SOIL EXPLORATION COMPANY, INC.
7535 JURUPA AVE. UNIT C
RIVERSIDE, CA 92504
(951) 688-7200 PH.
(951) 688-7100 FAX

CITY OF RIVERSIDE

FIRE DEPARTMENT (951) 826-5321
RIVERSIDE POLICE DEPARTMENT (951) 826-5700
RIVERSIDE UNIFIED SCHOOL DISTRICT (951) 788-7135
GOODHEW AMBULANCE (951) 684-4357
AT&T TELEPHONE (800) 288-2020
CITY OF RIVERSIDE PUBLIC UTILITIES DEPARTMENT (951) 782-0330
SOUTHERN CALIFORNIA GAS COMPANY (877) 238-0092
UNDERGROUND SERVICE ALERT (800) 227-2600

THE CENTERLINE OF INDIANA AVENUE BEING
NORTH 55°59'45" EAST AS SHOWN ON
M.B.26/29.

FLOOD ZONE = X
COMMUNITY PANEL NO. 06065C-0720G
08/28/2008

PAGE 715, GRID D-4, 2004 EDITION

N.T.S.

A map showing the location of the site. The site is marked with a grey square at the intersection of 2nd St, Madison St, and Jefferson St. A north arrow is located in the upper left corner. The streets are labeled: 2ND ST, MADISON ST, JEFFERSON ST, and MONROE AVE.

DRAWN: JAC	CITY OF RIVERSIDE PUBLIC WORKS DEPARTMENT
DESIGNED: SA	

		SCALE: 1"=30'	DRAWN: JAC	CITY OF RIVERSIDE PUBLIC WORKS DEPARTMENT
		DATE:	DESIGNED: SA	
		JOB NO.: Jn 3015	CHECKED: SA	
ED	DATE	CHARGE PG. XX-X	M.P. XXX	520-769200-470701

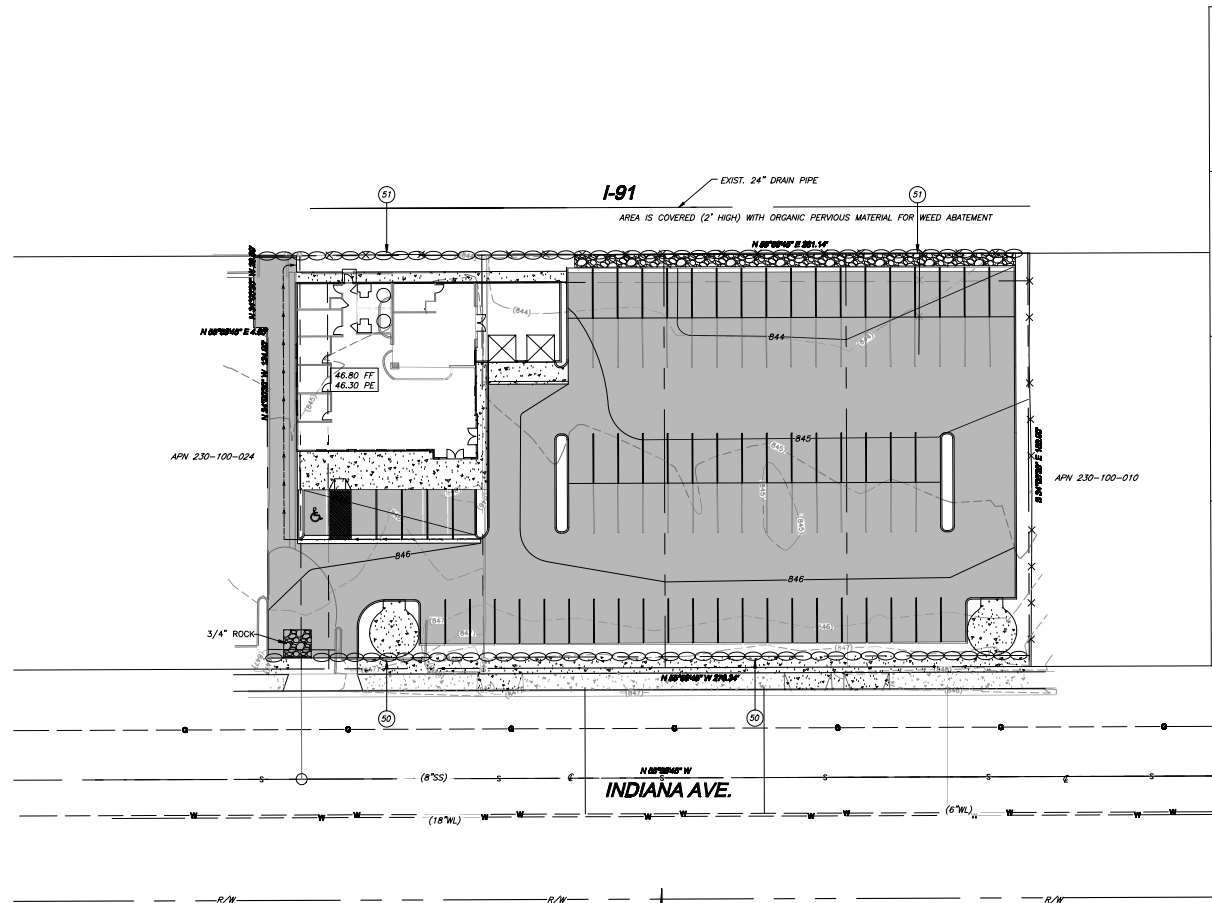
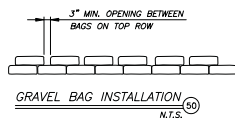
SHT. 1 of 3

EROSION CONTROL NOTES

1. IN CASE OF EMERGENCY CALL WOLF NEJEEDY V LLC @ (951) 686-7151.
2. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
3. EROSION CONTROL DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
4. ALL REMOVABLE PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY OR ON WEEKENDS WHEN THE FIVE (5) DAY RAIN PROBABILITY FORECAST EXCEEDS 40 PERCENT.
5. AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM STREETS, CHECK BERMS AND BASINS.
6. GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE END OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.
7. THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
8. THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLAN.

SITE PREPARATION:

1. THE EMBANKMENT FOUNDATION AREA SHALL BE CLEARED OF ALL TREES, ROOTS, BRUSH, BOULDER, SOIL, AND DEBRIS.
2. ALL TOPSOIL CONTAINING EXCESSIVE AMOUNTS OF ORGANIC MATTER SHALL BE REMOVED.
3. ALL STORM DRAIN INLETS SHALL BE CAPPED AND/OR CATCH BASINS SHALL BE PROTECTED W/FILTER FABRIC HELD DOWN BY GRAVEL BAGS AROUND BASINS.



CITY OF RIVERSIDE, CALIFORNIA
PLANNING DIVISION
APPROVED BY _____

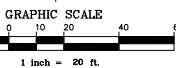
DATE _____

CITY OF RIVERSIDE BUSINESS TAX ACCOUNT # BL74172 EXP. 7-31-18

SAKE ENGINEERS, INC.
ENGINEERING & SURVEYING & LAND DEVELOPMENT
400 S. INDIANA AVE., STE. 202
CORONA, CALIFORNIA 92709
(951) 278-6541 FAX: (951) 278-2830



REC. NO. _____



BENCH MARK: F5-K3

P.L.E. NAIL AND CITY ENGINEER TAG IN THE
NOSE OF THE CENTER MEDIAN ISLAND ALONG
ADAMS STREET AT INDIANA AVENUE.
CITY OF RIVERSIDE BM# F5-K3, NAVD 88
ELEV = 838.853'

PW 16-0726

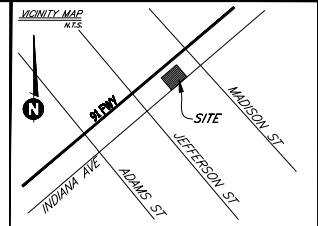
EROSION CONTROL PLAN 7748 INDIANA AVENUE

SCALE: 1"=20'	DRAWN: JMC	CITY OF RIVERSIDE
DATE: JAN 2015	CHECKED: SA	PUBLIC WORKS DEPARTMENT
APP. NO. 520-769200-670701	DATE: JAN 2015	SHEET 3 OF 3

WATER QUALITY MANAGEMENT PLAN PLOT PLAN

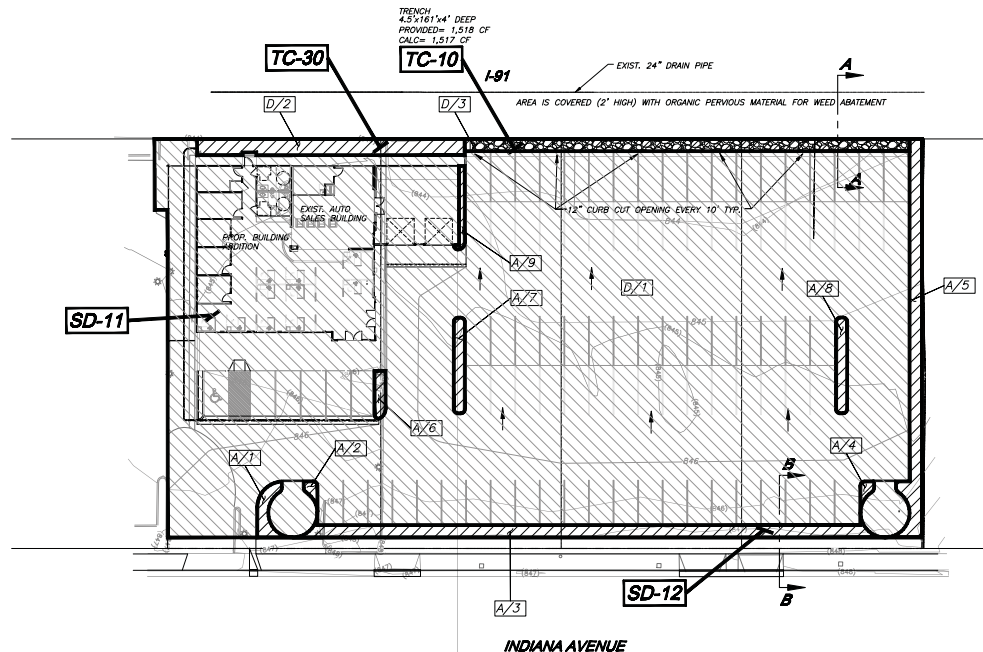
LEGEND:

-  D DMA AREA/ ROOF OR A.C.
-  D DMA AREA/ PLANTER



THOMAS BROTHERS MAP PAGE/GRID:

PAGE 715, GRID D-4 2004 EDITION



DMA NAME	SURFACE TYPE	AREA (S.F.)	TRENCH
A/1	LANDSCAPE	109 S.F.	
A/2	LANDSCAPE	28 S.F.	
A/3	LANDSCAPE	932 S.F.	
A/4	LANDSCAPE	28 S.F.	
A/5	LANDSCAPE	704 S.F.	
A/6	LANDSCAPE	67 S.F.	
A/7	LANDSCAPE	138 S.F.	
A/8	LANDSCAPE	138 S.F.	
A/9	LANDSCAPE	64 S.F.	
D/1	ROOF/CONC.	36,951 S.F.	1
D/2	LANDSCAPE	577 S.F.	1
D/3	TRENCH	734 S.F.	1

LEGEND: APPLICATION:
SD-11 ROOF RUNOFF CONTROLS
SD-12 LANDSCAPE AREA
TC-30 VEGETATED SWALE
TC-10 INFILTRATION TRENCH

OWNER/DEVELOPER:

WOLF NEJEDLY V LLC
7095 INDIANA AVE. #100
RIVERSIDE, CA 92506
(951) 686-7151 PH.

ENGINEER:

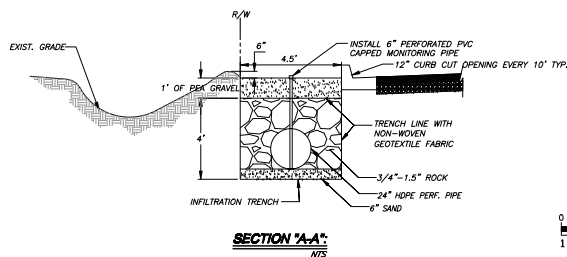
SAKE ENGINEERS, INC.
400 S. RAMONA AVE. STE. 202
CORONA, CA 92789
(951) 279-4041 PH.

ASSESSORS PARCEL NO.:

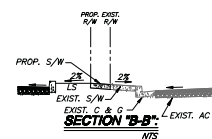
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230-100-009
230-100-016
230-100-025

TOTAL ACREAGE:

0.93 AC



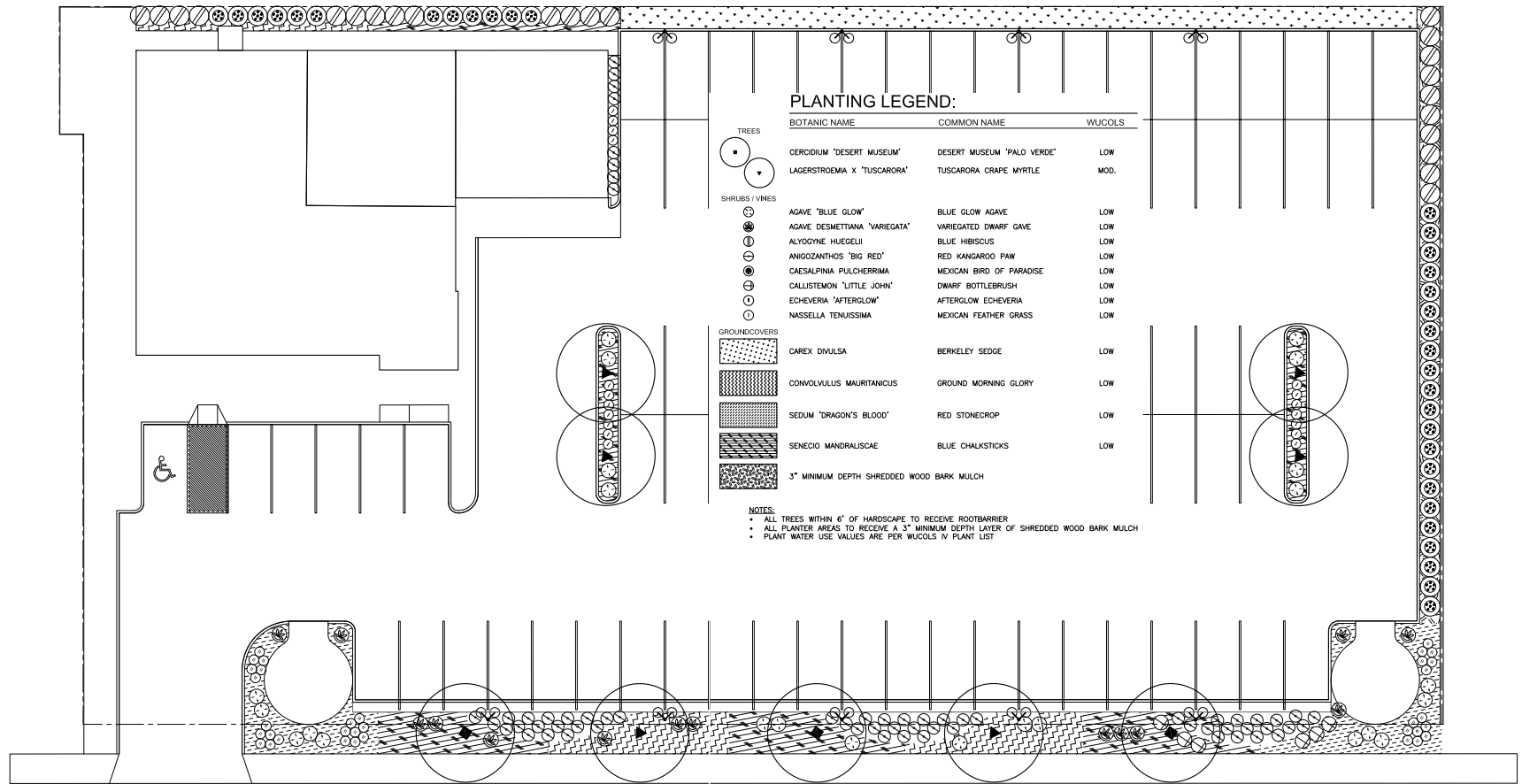
0 20 40
1 inch = 20 ft.



CITY OF RIVERSIDE
WATER QUALITY MANAGEMENT PLAN
FOR
PLOT PLAN
SITE PLAN

SHEET NO.
1
OF 1 SHEETS
FILE NO.

SCALE: AS SHOWN ON PLAN

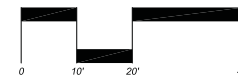


INDIANA AVENUE

PRELIMINARY MASTER PLAN

ENTERPRISE CAR SALE

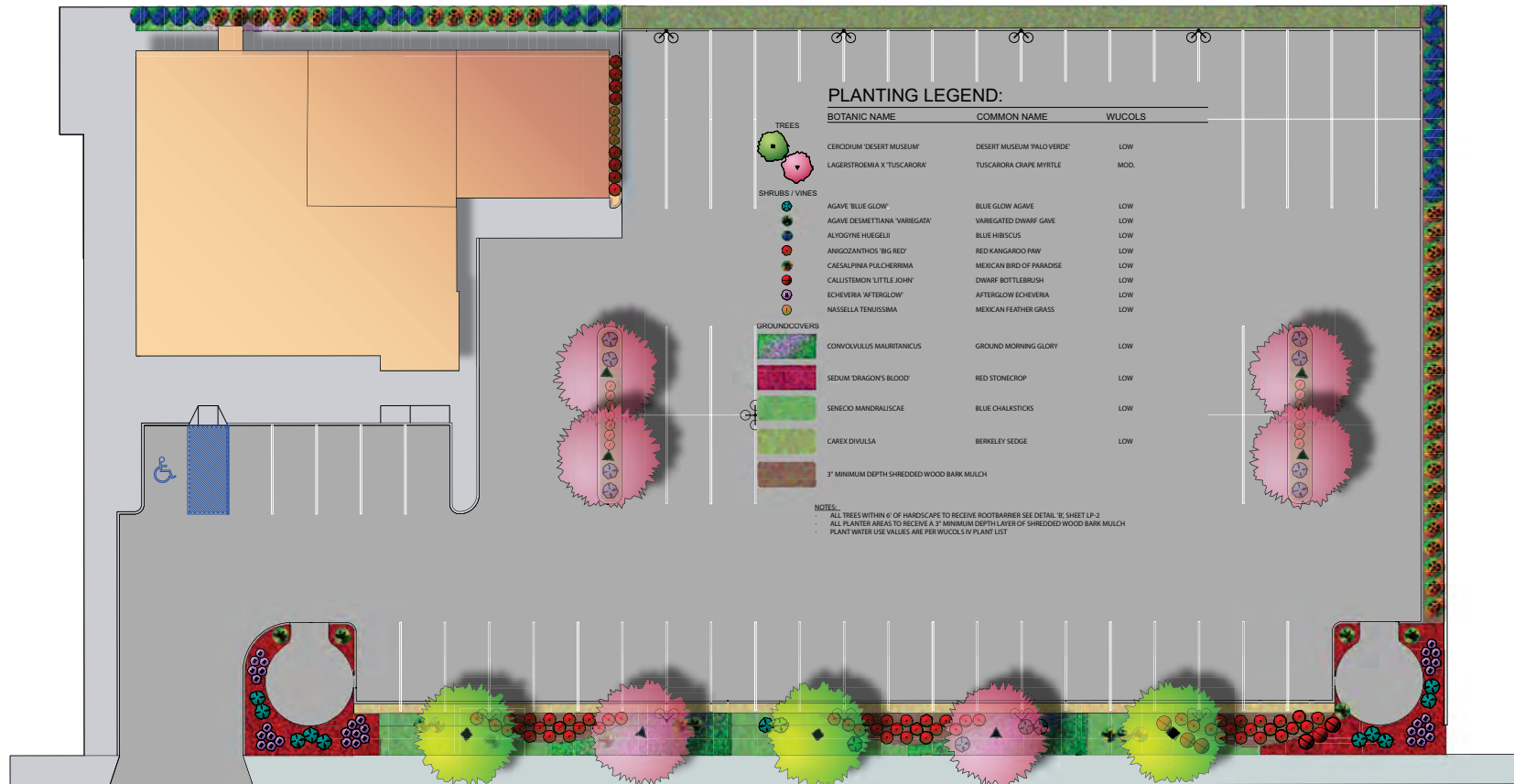
CITY OF RIVERSIDE



DATE: JULY 26, 2017
PROJECT #: 160840

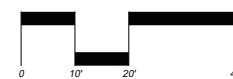


4648 Brocton Ave.
Riverside, CA 92506
(951) 369-0700
Fax (951) 369-4039
<http://www.worksgroup.com>



INDIANA AVENUE

PRELIMINARY MASTER PLAN
ENTERPRISE CAR SALE
 CITY OF RIVERSIDE



DATE: JULY 26, 2017
 PROJECT #: 160840



4640 Brockton Ave.
 Riverside, CA 92506
 (951) 509-0700
 Fax (951) 509-4030
<http://www.communityworksdesign.com>

ENTERPRISE CAR SALES

7745 INDIANA AVE.
RIVERSIDE, CA 92506

FOR:
WOLF NEJEDLY V, LLC
7095 INDIANA AVE, SUITE 100
RIVERSIDE, CA 92506



LANDSCAPE ARCHITECTURE

4649 Brockton Avenue

Riverside, CA 92506

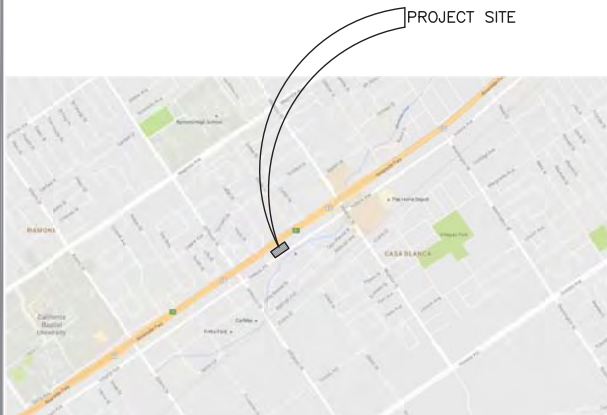
Phone: (951) 369-0700

Fax: (951) 369-4039

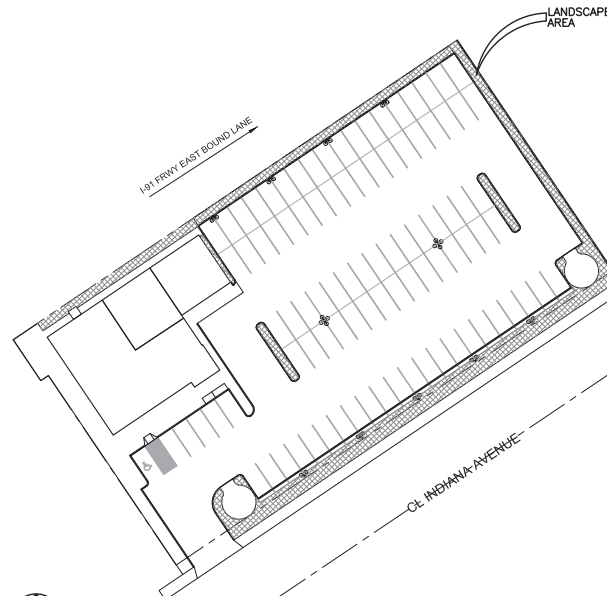
www.comworksdg.com

Contact: Kay Kate

VICINITY MAP:



SITE PLAN:



TOTAL LANDSCAPE AREA: 4,225 S.F.

CONSULTANTS:

ARCHITECT:
WISHARD ARCHITECTS
231 E. ALESSANDRO, STE. A-216
RIVERSIDE, CA 92508
951-776-9680



SHEET INDEX:

T-1 TITLE SHEET
LI-1 IRRIGATION PLAN
LI-2 IRRIGATION DETAILS
LI-3 IRRIGATION DETAILS
LI-4 IRRIGATION DETAILS
LP-1 PLANTING PLAN
LP-2 PLANTING DETAILS

ENTERPRISE
CAR SALES

7745 INDIANA AVENUE
RIVERSIDE, CA 92506

CONTACT: A. C. NEJEDLY
951-686-7151

JOB NUMBER: 160840
DRAWN BY: DAL
CHECKED BY: KCK
DATE: 8/23/17

REVISIONS:



TITLE
SHEET

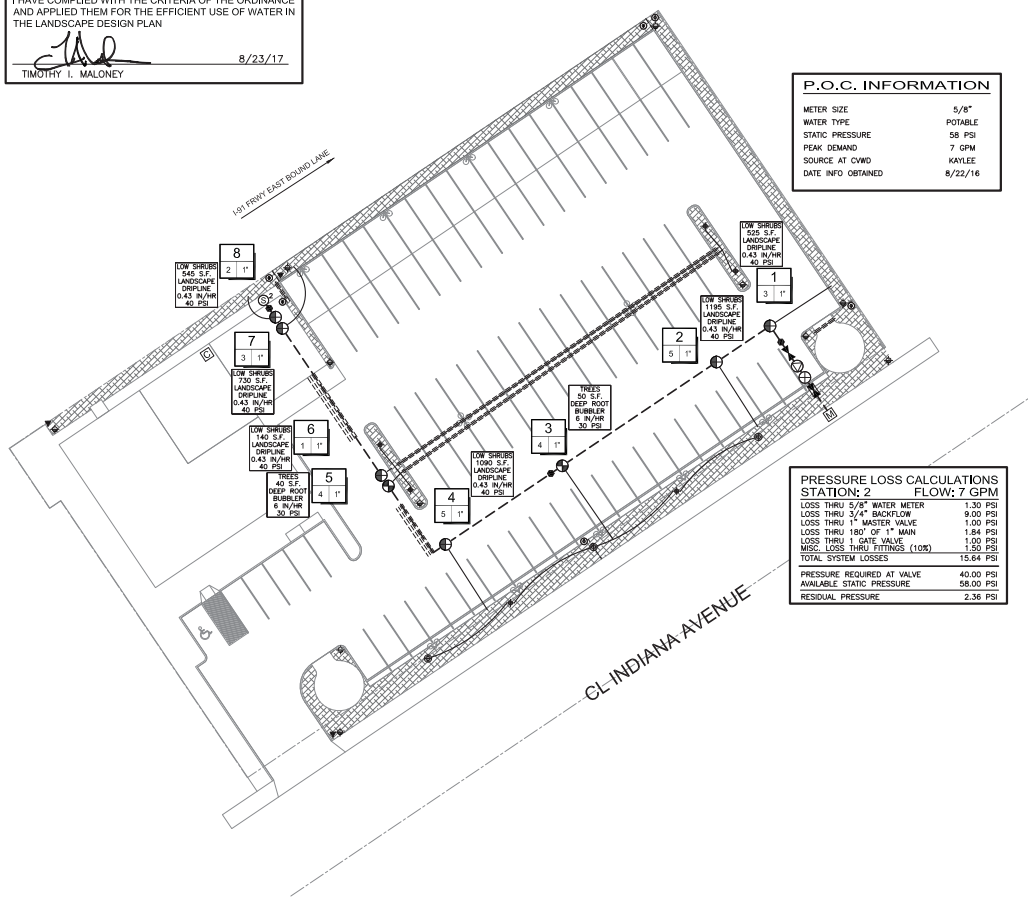
T-1
SHEET 1 OF 7

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN

Timothy L. Maloney

8/23/17

TIMOTHY L. MALONEY



P.O.C. INFORMATION	
METER SIZE	5/8"
WATER TYPE	POTABLE
STATIC PRESSURE	58 PSI
PEAK DEMAND	7 GPM
SOURCE AT CWWD	KAYLEE
DATE INFO OBTAINED	8/22/16

PRESSURE LOSS CALCULATIONS	
STATION: 2	FLOW: 7 GPM
LOSS THRU 5/8" WATER METER	1.30 PSI
LOSS THRU 3/4" BACKFLOW	9.00 PSI
LOSS THRU 1" MASTER VALVE	1.00 PSI
LOSS THRU 180° OF 1" MAIN	1.84 PSI
LOSS THRU 1 GATE VALVE	1.00 PSI
ESIC LOSS THRU FITTINGS (10%)	1.50 PSI
TOTAL SYSTEM LOSSES	15.64 PSI
PRESSURE REQUIRED AT VALVE	40.00 PSI
AVAILABLE STATIC PRESSURE	58.00 PSI
RESIDUAL PRESSURE	2.36 PSI

IRRIGATION PLANS ARE DIAGRAMMATIC IN NATURE. IRRIGATION MAINLINE AND ALL VALVES TO BE LOCATED ON PROJECT PROPERTY, IN PLANTER AREAS WHERE POSSIBLE. NO IRRIGATION EQUIPMENT IS TO BE INSTALLED IN STREETS, DRIVE AISLES OR BUILDINGS.

EQUIPMENT LEGEND				
SYMBOL	MANUFACTURER/MODEL #	SIZE	DETAIL	NOTES
	EXISTING WATER METER	5/8"	N/A	-
	WEATHERMATIC SL1600 SERIES CONTROLLER WITH ONE SLM4 MODULE, SLW1 WIRELESS WEATHER STATION, AIRCARD AND SLUPED PEDESTAL ENCLOSURE	8 STA	"A", U-2	(1)
	FIBCO EASY REDUCED PRESSURE BACKFLOW PREVENTER LOCATED IN A STRONG BOX SBBC-30SS VANDAL RESISTANT ENCLOSURE	3/4"	"B", U-2	(3)
	GRSWOLD 2260 NORMALLY OPEN PRESSURE REDUCING MASTER VALVE	1"	"C", U-2	(2)
	WEATHERMATIC SLFSI-T10 FLOW SENSOR	1"	"D", U-2	(2)
	NIBCO T-585 BRONZE BALL VALVE	1"	"E", U-2	(2)
	RAINBIRD #330LRC SERIES QUICK COUPLING VALVE	3/4"	"F", U-2	(2)
	RAINBIRD PER SERIES ELECTRIC CONTROL VALVE	1"	"G", U-2	(2)
	RAINBIRD KZZ-100-PRB-COM DRIP CONTROL ZONE ASSEMBLY	1"	"H", U-2	(2)
	RAINBIRD AR-VALVE AIR RELEASE VALVE - LOCATE AT HIGHEST POINT IN DRIP SYSTEM	1/2"	"A", U-3	(2)
	DRIPLINE FLUSH VALVE - LOCATE PER DRIPLINE DETAILS	LINE SIZE	"B", U-3	(2)
	SCH. 40 PVC IRRIGATION MAINLINE - 18" MIN. COVER	1"	"I", U-2	(2)
	CLASS 200 PVC NON-PRESSURE LATERAL LINE - 12" MIN. COVER	3/4"	"J", U-2	(2)
	SCH 40 PVC IRRIGATION PIPE / WIRE SLEEVE - 24" MIN. COVER	SEE CHART	"J", U-2	(2)
	UF RATED CONTROL WIRE, 12 GA COMMON, 14 GA PILOT	12/14 GA	"K", U-2	-
	RAINBIRD OPERING DRIP OPERATION INDICATOR	-	"C", U-3	-
	RAINBIRD XFD-06-18 LANDSCAPE DRIPLINE AT 18" O.C.	-	"D", "H", U-3	-

(1) LANDSCAPE CONTRACTOR TO COORDINATE ELECTRICAL POWER W/ ELECTRICAL CONTRACTOR
 (2) PIPING AND VALVES ARE SHOWN IN HARDSCAPE FOR CLARITY ONLY.
 (3) CONTRACTOR TO LOCATE BACKFLOW PREVENTER IN SHUBS AREA AND SCREEN WHENEVER POSSIBLE.

BUBBLER LEGEND											
SYMBOL	MANUFACTURER/MODEL #	NOZZLE	RAD. PSI	FLOW (GPM)					PRECIP RATE	DETAIL	NOTES
				Q	T	H	T	F			
	RAINBIRD RWS-B-C-1401	F	30					0.25	3	"I", U-2	(2)
	RAINBIRD RWS-B-C-1402	F	30					0.50	6	"I", U-2	(1)

(1) EACH TREE AND PALM TO RECEIVE TWO BUBBLERS FOR A TOTAL OF 1.0 GPM PER SYMBOL
 (2) EACH TREE TO RECEIVE TWO BUBBLERS FOR A TOTAL OF 0.50 GPM PER SYMBOL

STATION # / CONTROLLER	HYDROZONE AREA IRRIGATION TYPE PRECIP RATE PRESSURE	SCH 40 PVC SLEEVING CHART
FLOW (GPM) VALVE SIZE		
		1 1/4" SLEEVE 1-4 WIRES 1/2" PIPE
		1 1/2" SLEEVE 5-10 WIRES 3/4" PIPE
		2" SLEEVE 11-20 WIRES 1" PIPE
		2 1/2" SLEEVE 21-30 WIRES 1 1/4" PIPE
		3" SLEEVE 31-40 WIRES 1 1/2" PIPE
		4" SLEEVE 41-60 WIRES 2" PIPE
		4" SLEEVE 61-99 WIRES 2 1/2"-3" PIPE
		6" SLEEVE 100+ WIRES 4" PIPE
		10" SLEEVE N/A 6" PIPE

LANDSCAPE ARCHITECTURE

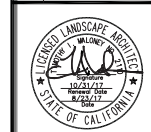
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 www.csmworksdg.com

ENTERPRISE CAR SALES

7745 INDIANA AVENUE
 RIVERSIDE, CA 92506

JOB NUMBER: 160840
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 DATE: 8/23/17

REVISIONS:

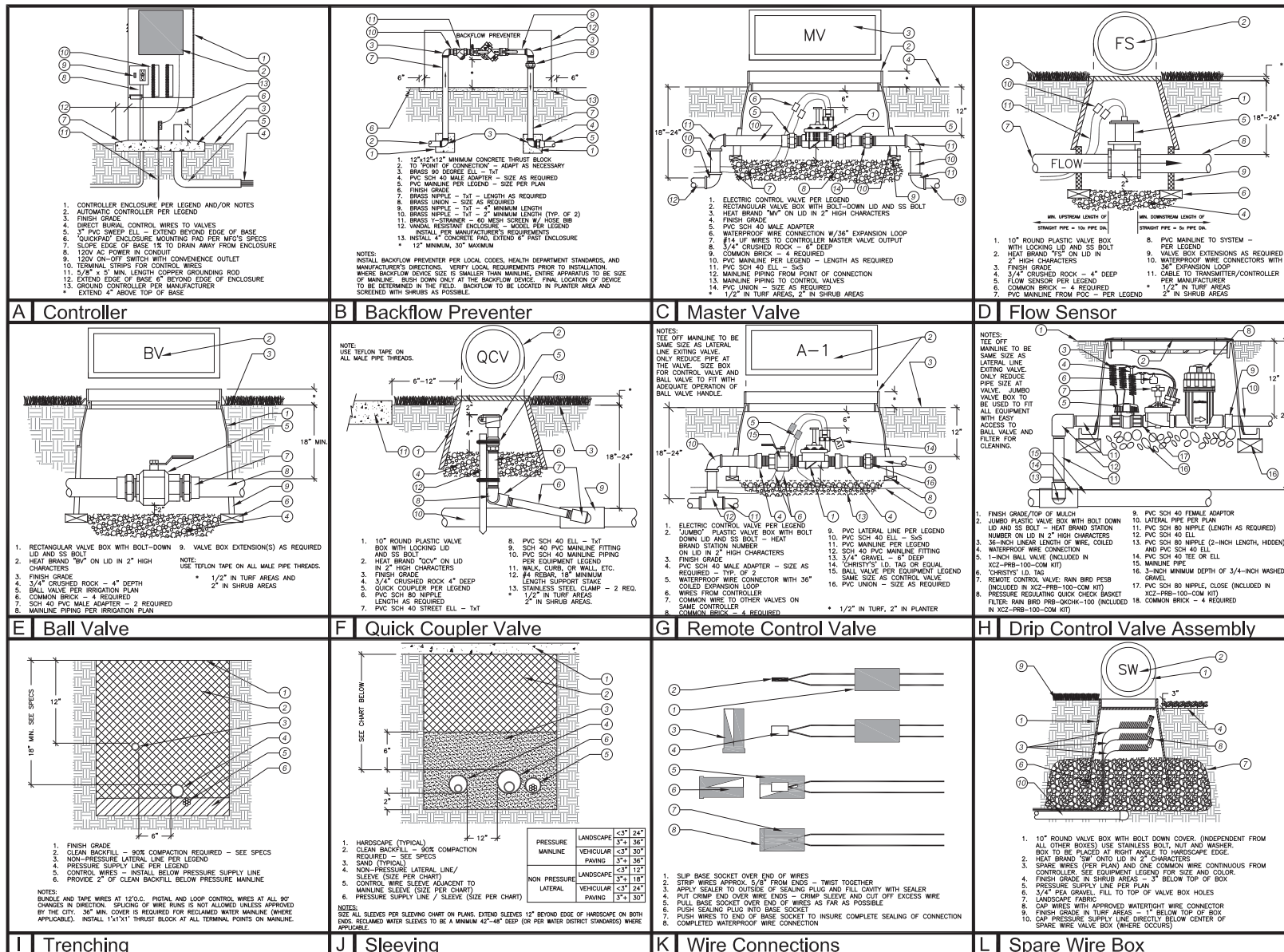


IRRIGATION PLAN

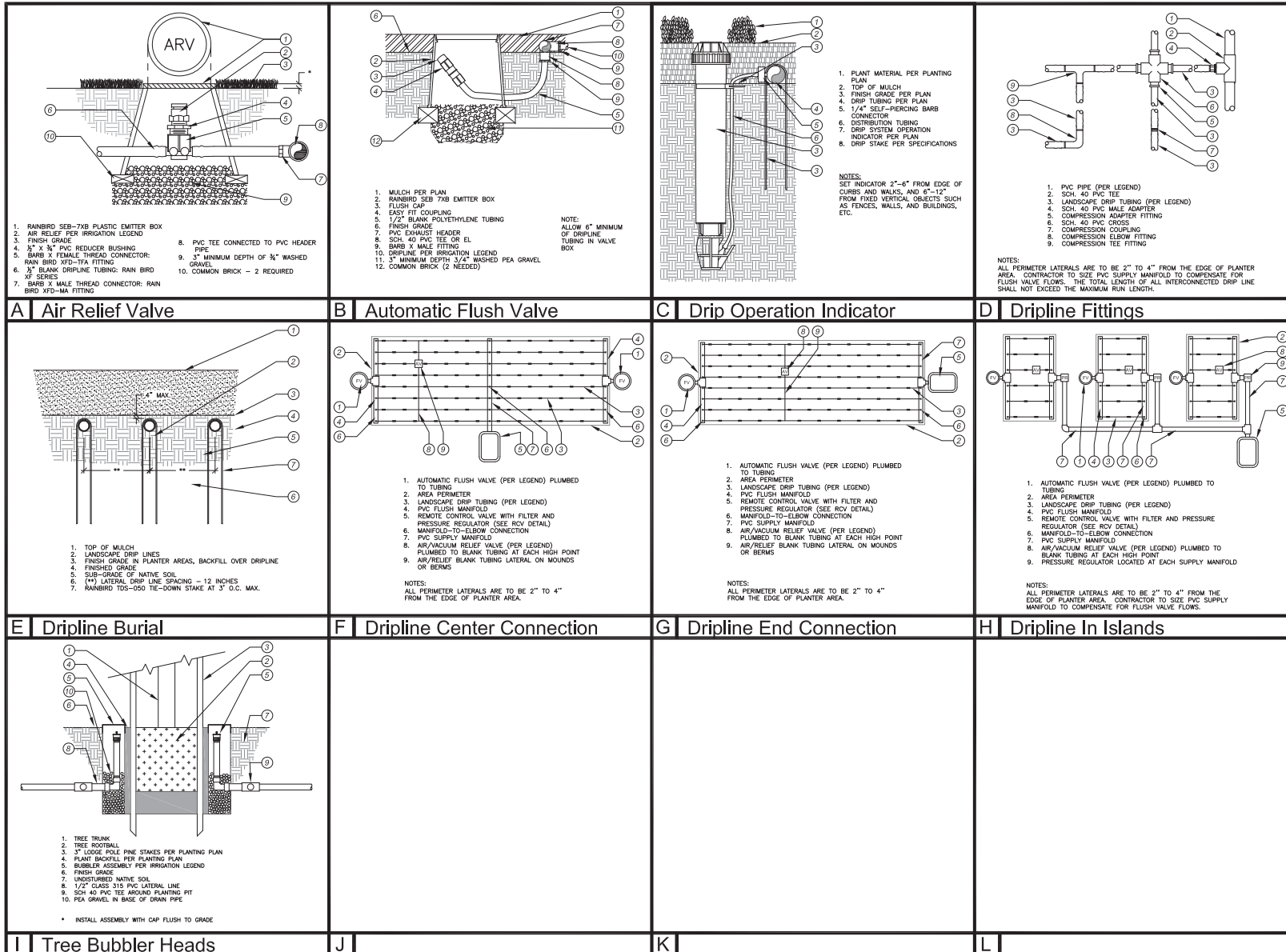
SCALE: 1"=20'-0"

811

Know what's below.
 Call before you dig.



Aug 23, 2017 - 12:48pm
 P:\Enterprise Car Sales\CO's\Irrigation_rev.dwg
 Diego Lopez



LANDSCAPE ARCHITECTURE

4649 Brodton Ave.
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 Phone: (951) 369-0700
 Fax: (951) 369-4039
 www.commworksdg.com

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7745 INDIANA AVENUE
 RIVERSIDE, CA 92506

JOB NUMBER: 160840
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 CHECKED BY: KCK
 DATE: 8/23/17

REVISIONS:

IRRIGATION
 DETAILS

SCALE: N.T.S.

811
 Know what's below.
 Call before you dig.

LI-3

SHEET 4 OF 7

	<p>IRRIGATION NOTES:</p> <ol style="list-style-type: none"> GENERAL - ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CODES AND THESE PLANS. THE CONTRACTOR SHALL APPLY FOR ALL PERMITS AND PAY FOR SAME. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS AT THE SITE PRIOR TO COMMENCEMENT OF ANY WORK UNDER THIS CONTRACT. THE CONTRACTOR SHALL CARRY ALL WORKERS COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE INSURANCE, AS REQUIRED BY THE CITY / OWNER. SCOPE OF WORK - UNLESS OTHERWISE SPECIFIED, THE CONSTRUCTION OF IRRIGATION SYSTEMS SHALL INCLUDE THE FURNISHING, INSTALLATION AND TESTING OF ALL MAINLINE, POINT OF CONNECTION, LATERAL LINES, RISERS, AND FITTINGS, AND THE FURNISHING AND INSTALLATION OF SPRINKLER HEADS, CONTROLLERS, ELECTRIC CONTROL VALVES, EXCAVATION AND BACKFILL, AND ALL OTHER WORK IN ACCORDANCE WITH THESE PLANS, DETAILS, AND NOTES. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, PROPERTY, TRANSPORTATION, AND PERFORM ALL OPERATIONS REQUIRED FOR A COMPLETE AND OPERABLE IRRIGATION SYSTEM AS INDICATED ON, OR REASONABLY IMPLIED, BY THE DRAWINGS, DETAILS, AND NOTES. INCLUDED AS A PART OF THE IRRIGATION WORK, BUT NOT LIMITED BY IT, ARE THE FOLLOWING: <ol style="list-style-type: none"> INSTALL COMPLETE OPERABLE INDEPENDENT IRRIGATION SYSTEMS PER THE PLANS, DETAILS, NOTES, AND LEGENDS. ALL IRRIGATION WORK SHALL BE GUARANTEED BY THE CONTRACTOR AS TO MATERIAL AND WORKMANSHIP, INCLUDING SETTling OF BACKFILLED TRENCHES BELOW GRADE, FOR A PERIOD OF ONE (1) YEAR FOLLOWING THE DATE OF FINAL ACCEPTANCE OF THE WORK. THE LANDSCAPE ARCHITECT SHALL DECIDE ALL QUESTIONS RELATING TO THE INTERPRETATION OF THE DRAWINGS AND THE ACCEPTABLE FULFILLMENT OF THE CONTRACT. PIPING AND VALVES SHOWN ON THE PLANS ARE DIAGRAMMATIC. CONTRACTOR SHALL ROUTE PIPING TO AVOID CONFLICT WITH STATIONARY ELEMENTS AND IN SUCH A MANNER AS TO CONFORM WITH THE VARIOUS DETAILS AND DESIGN INTENT OF THESE PLANS. THE CONTRACTOR SHALL AT ALL TIMES PROTECT HIS WORK FROM DAMAGE AND THEFT AND REPLACE ALL DAMAGED OR STOLEN PARTS AT HIS EXPENSE UNTIL THE WORK IS ACCEPTED IN WRITING BY THE OWNER / CITY. EXTREME CARE SHALL BE EXERCISED IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES. CONTRACTOR SHALL VERIFY THE LOCATION AND CONDITION OF ALL UTILITIES AND BE RESPONSIBLE FOR ANY DAMAGE. THE CONTRACTOR SHALL KEEP THE PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS, AND RUBBISH INCIDENT TO HIS WORK. IRRIGATION DESIGN IS BASED ON 58 PSI AVAILABLE WATER PRESSURE AT 11 GPM. CONTRACTOR SHALL VERIFY PRESSURE PRIOR TO CONSTRUCTION; SHOULD A DISCREPANCY EXIST, NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO START OF WORK. CONTRACTOR SHALL MAKE POINT(S) OF CONNECTION AS NOTED ON THE PLANS. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTION 120 VOLT SERVICE TO THE CONTROLLER; ELECTRICAL POWER WILL BE PROVIDED BY OWNER AT THE CONTROLLER LOCATION SHOWN ON THE PLANS. ALL WIRES SHALL BE SOLID COPPER, PLASTIC INSULATED, U.F. DIRECT BURIAL WIRE. ALL COMMON WIRE SHALL BE AWG #12 WHITE; ALL CONTROL WIRE SHALL BE AWG #14 RED OR BLACK. CONTROLLERS SHALL HAVE SEPARATE COLOR CODED COMMON WIRES WHEN TWO OR MORE CONTROLLERS ARE ON PROJECT. ALL CONTROL WIRES AND IRRIGATION PIPE LINES THAT RUN UNDER PAVING SHALL BE ENCASED IN SCH 40 PVC PIPE SLEEVES. SLEEVES SHALL BE SIZED ACCORDING TO THE CHART ON THE PLANS. FINAL LOCATION OF CONTROL VALVES SHALL BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT OR THE OWNER'S AUTHORIZED REPRESENTATIVE. ALL BRASS OR GALVANIZED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE OR LED-LUBE JOINT COMPOUND (OF APPROVED EQUAL). ALL PVC THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE. ALL PVC SOLVENT-WELD CONNECTIONS SHALL BE MADE WITH SOLVENT-WELD MATERIALS AS RECOMMENDED BY THE PIPE MANUFACTURER. SOLVENT-WELD PRIMER SHALL BE APPLIED AT ALL CONNECTIONS. LOW HEAD DRAINAGE WILL NOT BE ALLOWED. CONTRACTOR TO DETERMINE IN THE FIELD WHICH HEADS DRAIN AFTER THE VALVE IS SHUT OFF. CONTRACTOR SHALL PROVIDE AND INSTALL ADDITIONAL IN LINE CHECK VALVES AS NEEDED AT NO ADDITIONAL COST TO THE OWNER. ALL PRESSURE SUPPLY LINES AND CONTROL WIRES TO HAVE 18"-24" MINIMUM COVER (PER DETAIL). LATERAL LINES TO HAVE 12" MINIMUM COVER. THE RADIUS OF EACH HEAD IS TO BE ADJUSTED TO THAT HEAD-TO-HEAD COVERAGE IS MAINTAINED, BUT OVERSPRAY ON BUILDINGS, WALKS, AND WALLS, ETC. IS MINIMIZED. 																																																																																																																																																																																																																		
	<p>A General Irrigation Notes</p> <div style="display: flex; justify-content: space-between;"> <table border="1" style="width: 48%;"> <caption>Enterprise Car Sales</caption> <thead> <tr> <th>Yearly ETO</th> <th>Jan</th> <th>Feb</th> <th>Mar</th> <th>Apr</th> <th>May</th> <th>Jun</th> <th>Jul</th> <th>Aug</th> <th>Sep</th> <th>Oct</th> <th>Nov</th> <th>Dec</th> <th>ETO</th> </tr> </thead> <tbody> <tr> <td>2.54</td> <td>2.54</td> <td>4.35</td> <td>6.43</td> <td>8.19</td> <td>6.75</td> <td>1.08</td> <td>7.1</td> <td>5.52</td> <td>3.95</td> <td>2.38</td> <td>2.38</td> <td>0.32</td> <td>\$7.41</td> </tr> <tr> <td>0.35</td> <td>0.39</td> <td>0.59</td> <td>0.75</td> <td>0.84</td> <td>0.82</td> <td>1.00</td> <td>0.96</td> <td>0.75</td> <td>0.54</td> <td>0.39</td> <td>0.32</td> <td></td> <td></td> </tr> </tbody> </table> <table border="1" style="width: 48%;"> <caption>Enterprise Car Sales</caption> <thead> <tr> <th>Yearly ETO</th> <th>Jan</th> <th>Feb</th> <th>Mar</th> <th>Apr</th> <th>May</th> <th>Jun</th> <th>Jul</th> <th>Aug</th> <th>Sep</th> <th>Oct</th> <th>Nov</th> <th>Dec</th> <th>ETO</th> </tr> </thead> <tbody> <tr> <td>2.54</td> <td>2.54</td> <td>4.35</td> <td>6.43</td> <td>8.19</td> <td>6.75</td> <td>1.08</td> <td>7.1</td> <td>5.52</td> <td>3.95</td> <td>2.38</td> <td>2.38</td> <td>0.32</td> <td>\$7.41</td> </tr> <tr> <td>0.31</td> <td>0.36</td> <td>0.59</td> <td>0.74</td> <td>0.84</td> <td>0.82</td> <td>1.00</td> <td>0.96</td> <td>0.75</td> <td>0.54</td> <td>0.39</td> <td>0.32</td> <td></td> <td></td> </tr> </tbody> </table> </div> <p>IRRIGATION CONTROLLER SCHEDULE FOR FIRST SIX MONTHS AFTER PLANTING <small>(Initial Watering Schedule for July 1.50 inches. Adjust Monthly by Percent)</small></p> <table border="1"> <thead> <tr> <th>Station</th> <th>Time</th> <th>Sprinkler</th> <th>Part</th> <th>App. Rate</th> <th>Water</th> <th>Daily Run</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>3</td> <td>Drip</td> <td>L.580</td> <td>0.43</td> <td>4</td> <td>23</td> </tr> <tr> <td>2</td> <td>9</td> <td>Drip</td> <td>L.580</td> <td>0.43</td> <td>4</td> <td>23</td> </tr> <tr> <td>3</td> <td>4</td> <td>Bubbler</td> <td>L.700</td> <td>6</td> <td>4</td> <td>21</td> </tr> <tr> <td>4</td> <td>5</td> <td>Drip</td> <td>L.580</td> <td>0.43</td> <td>4</td> <td>23</td> </tr> <tr> <td>5</td> <td>4</td> <td>Bubbler</td> <td>L.700</td> <td>6</td> <td>4</td> <td>21</td> </tr> <tr> <td>6</td> <td>1</td> <td>Drip</td> <td>L.580</td> <td>0.43</td> <td>4</td> <td>23</td> </tr> <tr> <td>7</td> <td>3</td> <td>Drip</td> <td>L.580</td> <td>0.43</td> <td>4</td> <td>23</td> </tr> <tr> <td>8</td> <td>3</td> <td>Drip</td> <td>L.580</td> <td>0.43</td> <td>4</td> <td>23</td> </tr> </tbody> </table> <p>IRRIGATION CONTROLLER SCHEDULE AFTER SIX MONTH PLANT ESTABLISHMENT PERIOD <small>(Established Watering Schedule for July 7.50 inches. Adjust Monthly by Percent)</small></p> <table border="1"> <thead> <tr> <th>Station</th> <th>Time</th> <th>Sprinkler</th> <th>Part</th> <th>App. Rate</th> <th>Water</th> <th>Daily Run</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>3</td> <td>Drip</td> <td>L.580</td> <td>0.43</td> <td>3</td> <td>26</td> </tr> <tr> <td>2</td> <td>9</td> <td>Drip</td> <td>L.580</td> <td>0.43</td> <td>3</td> <td>26</td> </tr> <tr> <td>3</td> <td>4</td> <td>Bubbler</td> <td>L.700</td> <td>6</td> <td>3</td> <td>27</td> </tr> <tr> <td>4</td> <td>5</td> <td>Drip</td> <td>L.580</td> <td>0.43</td> <td>3</td> <td>26</td> </tr> <tr> <td>5</td> <td>4</td> <td>Bubbler</td> <td>L.700</td> <td>6</td> <td>3</td> <td>27</td> </tr> <tr> <td>6</td> <td>1</td> <td>Drip</td> <td>L.580</td> <td>0.43</td> <td>3</td> <td>26</td> </tr> <tr> <td>7</td> <td>3</td> <td>Drip</td> <td>L.580</td> <td>0.43</td> <td>3</td> <td>26</td> </tr> <tr> <td>8</td> <td>3</td> <td>Drip</td> <td>L.580</td> <td>0.43</td> <td>3</td> <td>26</td> </tr> </tbody> </table>	Yearly ETO	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	ETO	2.54	2.54	4.35	6.43	8.19	6.75	1.08	7.1	5.52	3.95	2.38	2.38	0.32	\$7.41	0.35	0.39	0.59	0.75	0.84	0.82	1.00	0.96	0.75	0.54	0.39	0.32			Yearly ETO	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	ETO	2.54	2.54	4.35	6.43	8.19	6.75	1.08	7.1	5.52	3.95	2.38	2.38	0.32	\$7.41	0.31	0.36	0.59	0.74	0.84	0.82	1.00	0.96	0.75	0.54	0.39	0.32			Station	Time	Sprinkler	Part	App. Rate	Water	Daily Run	1	3	Drip	L.580	0.43	4	23	2	9	Drip	L.580	0.43	4	23	3	4	Bubbler	L.700	6	4	21	4	5	Drip	L.580	0.43	4	23	5	4	Bubbler	L.700	6	4	21	6	1	Drip	L.580	0.43	4	23	7	3	Drip	L.580	0.43	4	23	8	3	Drip	L.580	0.43	4	23	Station	Time	Sprinkler	Part	App. Rate	Water	Daily Run	1	3	Drip	L.580	0.43	3	26	2	9	Drip	L.580	0.43	3	26	3	4	Bubbler	L.700	6	3	27	4	5	Drip	L.580	0.43	3	26	5	4	Bubbler	L.700	6	3	27	6	1	Drip	L.580	0.43	3	26	7	3	Drip	L.580	0.43	3	26	8	3	Drip	L.580	0.43	3	26
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DESIGN GROUP**

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4649 Brodton Ave.
 Riverside, CA 92506
 Phone: (951) 369-0700
 Fax: (951) 369-4039
 www.comworksgroup.com

**ENTERPRISE
CAR SALES**

7745 INDIANA AVENUE
 RIVERSIDE, CA 92506

JOB NUMBER: 160840
 DRAWN BY: DAL
 CHECKED BY: KCK
 DATE: 8/23/17

REVISIONS:

**IRRIGATION
DETAILS**

SCALE: N.T.S.

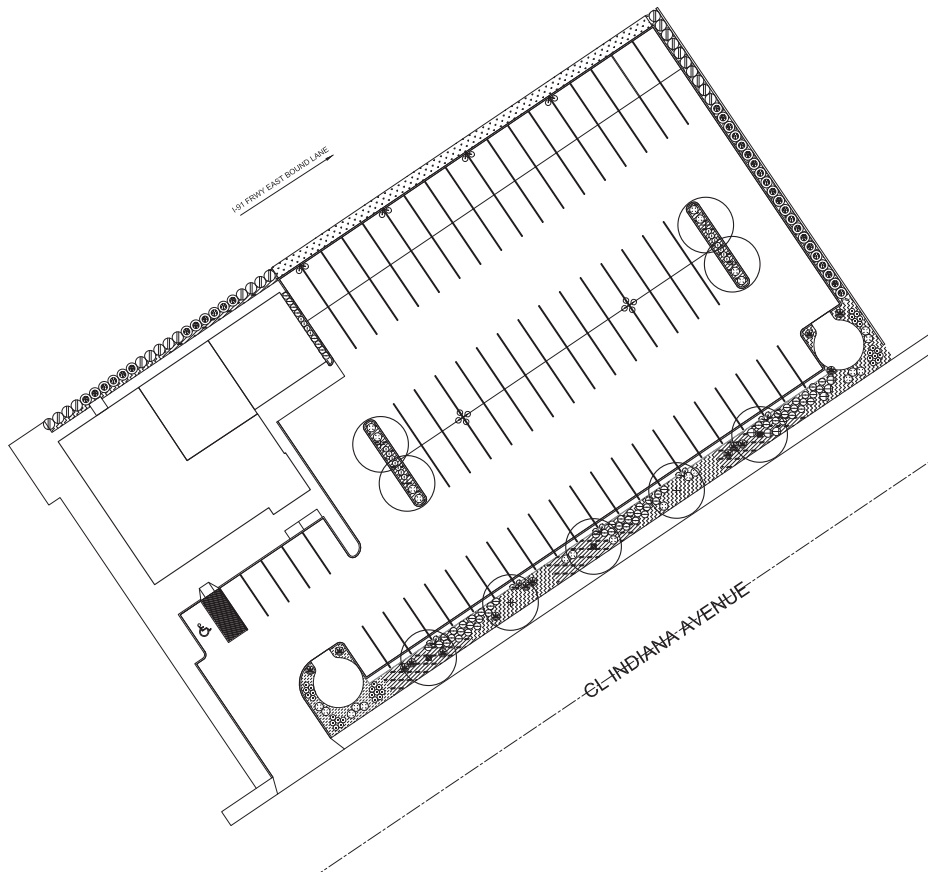
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Know what's below.
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LI-4

SHEET 5 OF 7

Aug. 30, 2017 - 10:35am
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Diego Lopez



PLANTING LEGEND:

BOTANIC NAME	COMMON NAME	SIZE / SPACING	QTY.	WUCOLS	DETAIL
TREES					
CERCIDIUM 'DESERT MUSEUM'	DESERT MUSEUM 'PALO VERDE'	24" BOX (MULTI)	5	LOW	'A', SHEET LP-2
LAGERSTROEMIA X 'TUSCARORA'	TUSCARORA CRAPE MYRTLE	24" BOX (MULTI)	6	MOD.	'A', SHEET LP-2
SHRUBS / VINES					
AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	5 GAL.	24	LOW	'C', SHEET LP-2
AGAVE DESMETTIANA 'VARIEGATA'	VARIEGATED DWARF AGAVE	5 GAL.	14	LOW	'C', SHEET LP-2
ALYDYOINE HUEDELI	BLUE HIBISCUS	5 GAL.	23	LOW	'C', SHEET LP-2
ANIGAZANTHOS 'BIG RED'	RED KANGAROO PAW	1 GAL.	62	LOW	'C', SHEET LP-2
CAESALPINIA PULCHERRIMA	MEXICAN BIRD OF PARADISE	5 GAL.	33	LOW	'C', SHEET LP-2
CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GAL.	6	LOW	'C', SHEET LP-2
ECHEVERIA 'AFTERGLOW'	AFTERGLOW ECHEVERIA	1 GAL.	34	LOW	'C', SHEET LP-2
NASSELLA TENUISSIMA	MEXICAN FEATHER GRASS	1 GAL.	18	LOW	'C', SHEET LP-2
GROUNDCOVERS					
CAREX DIVULSA	BERKELEY SEDGE	4" POTS/18" O.C.	373	LOW	'D', SHEET LP-2
CONVOLVULUS MAURITANICUS	GROUND MORNING GLORY	1 GAL/36" O.C.	70	LOW	'D', SHEET LP-2
SEDUM 'DRAGON'S BLOOD'	RED STONECROP	FLATS/12" O.C.	17	LOW	'D', SHEET LP-2
SENECIO MANDRAUSCAE	BLUE CHALKSTICKS	1 GAL/24" O.C.	290	LOW	'D', SHEET LP-2
3" MINIMUM DEPTH SHREDDED WOOD BARK MULCH					

- NOTES:**
- ALL TREES WITHIN 6' OF HARDSCAPE TO RECEIVE ROOTBARRIER SEE DETAIL 'B', SHEET LP-2
 - ALL PLANTER AREAS TO RECEIVE A 3" MINIMUM DEPTH LAYER OF SHREDDED WOOD BARK MULCH
 - PLANT WATER USE VALUES ARE PER WUCOLS IV PLANT LIST



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JOB NUMBER: 160840
DRAWN BY: DAL
CHECKED BY: KCK
DATE: 8/23/17

REVISIONS:



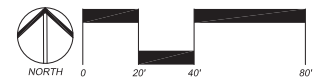
PLANTING PLAN

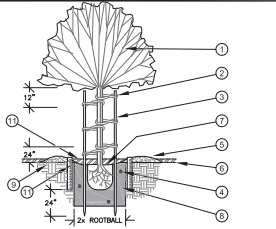
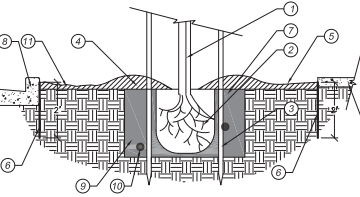
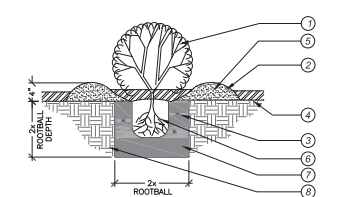
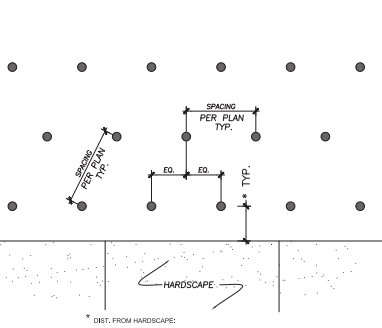
SCALE: 1"=20'-0"



LP-1

SHEET 6 OF 7



 <ol style="list-style-type: none"> TREE PER PLANTING PLAN CHUCK BEE (4 PER TREE) (MINIMUM 2) 5" DIA. x 10' LONG LODGE POLE STAKES. PLANT TABLETS PER PLANTING SPECS / NOTES EARTH WATERING BASIN IN GROUND COVER AREAS FINISH GRADE ROOTBALL SET CROWN 1"-2" ABOVE FINISH GRADE COMPACT BACKFILL MIX PER PLANTING SPECS / NOTES NATIVE SOIL 2" MINIMUM DEEP MULCH PER PLANTING PLAN TREE BREATHERS TUBE 4" DIA. PERFORATED ABS. 2' LONG. GRATE COVER SCREEN COVER TO PIPE. PROVIDE 2 ON EACH SIDE OF TREE <p>NOTE: ROOT BARRIER TO BE PLACED WHEN TREE IS WITHIN 4' OF HARDSCAPE</p>	 <ol style="list-style-type: none"> TREE PER PLANTING PLAN ROOTBALL STAKE PER "TREE PLANTING" DETAIL EARTH WATERING BASIN PER "TREE PLANTING" DETAIL FINISH GRADE DEEP ROOT BARRIER AT EDGE OF HARDSCAPE - 24" DEEP, 10' LONG CENTERED ON TRUNK TREE PLANTING PIT STREET CURB PER STREET IMPROVEMENT PLANS COMPACTED BACKFILL MIX PER PLANTING SPECS / NOTES PLANT TABLETS PER PLANTING SPECS / NOTES MULCH - TYPE & DEPTH PER PLANTING PLAN CONCRETE PAVING PER PLAN <p>NOTE: 1. ROOTBARRIER TO EXTEND 6" TO EITHER SIDE OF TREE TRUNK 2. ROOTBARRIER SHALL NOT ENCRUISE THE TREE ROOTBALL</p>	 <ol style="list-style-type: none"> SHRUB PER PLANTING PLAN DECOMPOSED GRANITE- DEPTH PER PLANTING PLAN PLANT TABLETS PER PLANTING SPECS / NOTES FINISH GRADE EARTH WATERING BASIN (PAKE SMOOTH PRIOR TO PLANTING GROUND COVER) ROOTBALL SET CROWN SLIGHTLY ABOVE FINISH GRADE COMPACT BACKFILL MIX PER PLANTING SPECS / NOTES NATIVE SOIL 	 <p>1. DIST. FROM HARDSCAPE: EQUAL TO 1/2 THE O.C. SPACING AS NOTED IN THE PLANTING LEGEND UNLESS OTHERWISE NOTED.</p>
A Tree Planting DATE: N.T.S. FERTILIZER PROGRAM: THREE (3) FERTILIZER APPLICATIONS ARE TO BE APPLIED TO ALL PLANTING AREAS AT THIRTY (30) DAY INTERVALS USING THE FOLLOWING FORMULA: 5 LBS. 16-16-16 COMMERCIAL FERTILIZER PER 1000 SQ. FT. AFTER ALL SITE GRADING HAS BEEN COMPLETED, THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, AN AGRONOMIC SOILS TEST. THE TEST SHALL BE PERFORMED BY AN APPROVED SOIL LAB AND SHALL INCLUDE AND WILL INCLUDE A FERTILITY AND SUITABILITY ANALYSIS WITH WRITTEN RECOMMENDATIONS FOR SOIL PREPARATION, PLANTING BACKFILL MIX, AUGER HOLE REQUIREMENTS, AND POST PLANT FERTILIZATION PROGRAM. THE RECOMMENDATIONS OF THIS REPORT SHALL TAKE PRECEDENT OVER THE ABOVE QUANTITIES WHEN THEY EXCEED THE SPECIFIED MINIMUMS. SOIL PREPARATION / BACKFILL NOTE: TO ALL NEW PLANTING AREAS (SHRUB AND GROUND COVER), ROTOTILL THE FOLLOWING AMENDMENTS: 'NITROMULCH' SOIL AMENDMENT - 3 CU. YDS. PER 1000 SQ. FT. 16-16-16 COMMERCIAL FERTILIZER - 12 LBS. PER 1000 SQ. FT. BACKFILL MIX FOR TREES, SHRUBS, AND VINES SHALL BE AS FOLLOWS: 6 PARTS BY VOLUME ON-SITE SOIL 4 PARTS BY VOLUME ORGANIC AMENDMENT AS ABOVE 1 LB. 16-16-16 COMMERCIAL FERTILIZER PER CU. YD. OF MIX 3 LBS. IRON SULFATE PER CU. YD. OF MIX 'NITROMULCH' SOIL AMENDMENT AVAILABLE FROM 'KELLOG SUPPLY, INC.' (800) 232-2322	B Linear Root Barrier DATE: N.T.S.	C Shrub Planting DATE: N.T.S.	D Groundcover Spacing DATE: N.T.S. PLANTING TABLETS: TIGHTLY COMPRESSED LONG-LASTING, 12 MONTH SLOW-RELEASE FERTILIZER TABLETS WEIGHING 7 GRAMS, AND HAVING AN ANALYSIS OF 12-8-8 DERIVED FROM THE SOURCES LISTED IN THE FOLLOWING GUARANTEED ANALYSIS: TOTAL NITROGEN(N).....12% DERIVED FROM UREA FORMALDEHYDE 7.0% WATER SOLUBLE NITROGEN 13.0% WATER INSOLUBLE NITROGEN AVAILABLE PHOSPHORIC ACID (P2O5).....8% DERIVED FROM TRIPLE SUPER PHOSPHATE SOLUBLE POTASH (K2O).....8% DERIVED FROM FERROUS AND POTASSIUM SULPHATES COMBINED SULFUR (S).....3.5% DERIVED FROM FERROUS SULPHATE IRON (EXPRESSED AS ELEMENTAL FE).....2.0% DERIVED FROM FERROUS SULPHATE
E Soil Prep / Fertilizer DATE: N/A	F DATE: N/A	G DATE: N/A	H Planting Tablets DATE: N/A
PLANTING NOTES: 1. GENERAL - ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE LOCAL CODES AND THESE PLANS. A. THE CONTRACTOR SHALL CAREFULLY INSPECT THE SITE AND VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS PRIOR TO COMMENCEMENT OF ANY WORK UNDER THIS CONTRACT. B. THE CONTRACTOR SHALL CARRY ALL WORKER'S COMPENSATION, PUBLIC LIABILITY, AND PROPERTY DAMAGE INSURANCE AS REQUIRED BY OWNER. C. THE CONTRACTOR SHALL APPLY FOR ALL PERMITS AND PAY FOR SAME. D. ALL IRRIGATION WORK SHALL HAVE BEEN INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING ANY GROUND COVER PLANTING WORK. E. THE OWNER'S SUPERINTENDENT AND THE LANDSCAPE ARCHITECT WILL INSPECT THE PLANTING WORK PRIOR TO STARTING WORK. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT AND COORDINATE ALL INSPECTIONS. F. THE QUALITY OF WORKMANSHIP AND MATERIALS SHALL BE OF THE HIGHEST STANDARDS. COOPERATION AND FLEXIBILITY IS EXPECTED OF THE CONTRACTOR TOWARD WORKING WITH THE OWNER/LANDSCAPE ARCHITECT IN PRODUCING THE BEST POSSIBLE PRODUCT. G. UPON COMPLETION OF EACH PHASE OF WORK, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE SITE OF ALL ACCUMULATED RUBBISH, DEBRIS, AND OTHER EXTRANEOUS MATERIAL. 2. SCOPE OF WORK - CONTRACTOR SHALL FURNISH ALL MATERIAL, LABOR, TRANSPORTATION, EQUIPMENT AND PROPERTY TO COMPLETE THE LANDSCAPING OF THE PLANTING AREAS AS INDICATED ON OR REASONABLY IMPLIED BY THE DRAWINGS AND OR NOTES. A. INCLUDED AS A PART OF THE WORK, BUT NOT NECESSARILY LIMITED BY IF ARE THE FOLLOWING ITEMS: FINE GRADING OF ALL PLANTING AREAS; PREPARATION OF ALL PLANTING AND TREE HOLES; FURNISHING AND INSTALLATION OF ALL PLANT MATERIALS; PROVIDING MAINTENANCE THROUGHOUT THE PROJECT PERIOD; PROVIDING PLANT ESTABLISHMENT WORK THROUGHOUT THE SPECIFIED PERIOD; CLEAN-UP AND WEEDING OF ALL LANDSCAPE AREAS; GUARANTEE OF ALL PLANT MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR. 3. THE CONTRACTOR SHALL REMOVE ALL WEEDS, ROCKS OVER 2" DIAMETER, DEBRIS AND OTHER EXTRANEOUS MATERIAL FROM THE JOB SITE IN A LEGAL MANNER PRIOR TO PROCEEDING WITH ANY WORK UNDER THIS CONTRACT. 4. THE CONTRACTOR SHALL PROVIDE ROUGH GRADE TO WITHIN 1/10th OF 1 FOOT OF FINISH GRADE, INCLUDING ANY MINOR ADJUSTMENTS TO EARTH BEAM AND SLOPE SHAPES. PROVIDE FINISH GRADE IN PLANTING AREAS TO 1/8 MINIMUM FLOW. FINISH GRADES SHALL BE 2" BELOW ADJACENT WALKS, CURBS, DRIVEWAYS, ETC. IN GROUND COVER AREAS AND 1" BELOW IN TURF.	5. ALL TREES AND SHRUBS SHALL BE PLANTED PER THESE NOTES AND AS DETAILED. ALL PLANT MATERIAL SHALL BE OF THE HIGHEST QUALITY AND LARGEST REASONABLE SIZE AVAILABLE FOR THE SPECIFIED CONTAINER SIZE (WITHOUT BEING ROOT BOUND). SHRUB MATERIALS SHALL BE VIGOROUSLY GROWING, HEALTHY PLANT MATERIAL, FULL AND BUSHY; OF HINES WHOLESALE NURSERY / MONROVIA NURSERY COMPANY QUALITY OR EQUAL. THE LANDSCAPE ARCHITECT WILL APPROVE ALL PLANT MATERIAL WHEN SPOTTED FOR PLANTING, AND WILL NOT HESITATE TO REJECT ANY MATERIAL OF QUESTIONABLE QUALITY, OR OF LESS THAN THE LARGEST REASONABLE SIZE MATERIAL AVAILABLE. ALL SPECIMEN MATERIAL TAGGED BY THE LANDSCAPE ARCHITECT FOR THIS PROJECT WILL BE AVAILABLE AT VALLEY CREST NURSERY, SEA TREE NURSERY, OR OTHER SOURCE EQUAL IN QUALITY. CONTRACTOR SHALL PURCHASE TAGGED MATERIAL, ARRANGE DELIVERY, PAY FOR SAME, AND INSTALL PER PLAN. 6. THE LANDSCAPE ARCHITECT SHALL APPROVE THE LOCATION OF ALL OF THE ONE GALLON, FIVE GALLON, AND FIFTEEN GALLON PLANT MATERIAL AS APPROXIMATELY SPOTTED IN THE FIELD BY THE CONTRACTOR. ALL BOXED MATERIAL SHALL BE STAKED FOR LOCATION APPROVAL PRIOR TO PLANT PIT EXCAVATION. PRIOR TO PLANTING, THE OWNER'S REPRESENTATIVE WILL SELECT THE BEST SITE AND FACE ALL SPECIMEN TREES. 7. TREE TIES SHALL BE "ONCH TIE" AVAILABLE FROM "V.I.T. COMPANY" OF ESCONCADO, CA (619) 480-6702 OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS. 8. ALL GROUND COVER AS NOTED IN THE LEGEND SHALL BE ROOTED TIP CUTTINGS FROM PLANTS OR LINERS UNLESS OTHERWISE SPECIFIED, AND SHALL BE PLANTED IN STAGGERED ROWS CONTINUOUSLY UNDER ALL TREES AND SHRUBS IN THE AREAS AS DESIGNATED ON THE PLANS AND AT THE SPACING INDICATED IN THE LEGEND. ALL GROUND COVER AND SHRUB AREAS SHALL HAVE A MINIMUM DEPTH OF 3" MULCH, TYPE PER PLAN (WOOD MULCH TO BE MAX. 1" IN DIAMETER). 9. TO ALL PLANTING AREAS AND PRIOR TO IRRIGATION SYSTEM INSTALLATION, CROSS RIP OR OTHERWISE TILL 12" DEEP. AFTER CROSS RIPPING, ROOT-TILL SOIL PREP AMENDMENTS 6" DEEP (SEE SOIL PREP / BACKFILL NOTE). 10. FOR BACKFILL AROUND TREES AND SHRUBS, USE THE FORMULA AS INDICATED IN THE SOIL PREP / BACKFILL NOTE. MIXING SHALL BE DONE AT ONE LOCATION. 11. WEED ABATEMENT - TO ALL PLANTING AREAS, AFTER EARLYWORK, INSTALLATION OF IRRIGATION SYSTEM AND SOIL PREPARATION, THE FOLLOWING WEED ABATEMENT WORK SHALL BE DONE: A. DURING THE COURSE OF THE MAINTENANCE WORK, THE CONTRACTOR SHALL REMOVE SURPLUS MATERIALS AND DEBRIS FROM THE SITE AND SHALL KEEP THE PREMISES IN A NEAT AND COURSELY MAINTAINED CONDITION AT ALL TIMES. F. DURING THE PLANT ESTABLISHMENT PERIOD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE PROTECTION FOR ALL PLANTING AREAS. ANY DAMAGED AREAS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.	A. KEEP AREAS MOST BY REGULAR IRRIGATIONS FOR A PERIOD OF TWO WEEKS (MINIMUM) TO GERMINATE EXISTING WEED SEEDS. B. KILL WEEDS WITH CONTACT WEED KILLER PER LICENSED HERBICIDE AGENCY SPECIFICATIONS. AFTER COMPLETE WEED KILL, REMOVE WEED RESIDUE AND TOP GROWTH. 12. PRE-EMERGENT PROGRAM - PRIOR TO INSTALLATION OF GROUND COVER, CONTRACTOR SHALL INSTALL A PER-EMERGENT HERBICIDE, EPTAM OR EQUAL, TO ALL PROPOSED GROUND COVER AREAS PER MANUFACTURER'S RECOMMENDATIONS. 13. MAINTENANCE - THE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS THROUGHOUT THE CONTRACT PERIOD. MAINTENANCE SHALL CONSIST OF PROPER WATERING, FERTILIZATION, WEEDING, AND GENERAL CLEAN-UP. PLANTS SHALL BE KEPT IN A HEALTHY GROWING CONDITION. 14. PLANT ESTABLISHMENT PERIOD - THE PLANT ESTABLISHMENT PERIOD SHALL COMMENCE UPON THE OWNER'S AND THE LANDSCAPE ARCHITECT'S WRITTEN APPROVAL OF ALL PHASES OF PLANTING INSTALLATION AND SHALL BE FOR NINETY (90) CONTINUOUS CALENDAR DAYS. PLANT ESTABLISHMENT WORK SHALL INCLUDE THREE (3) FERTILIZER APPLICATIONS TO ALL PLANTED AREAS DURING THIRTY (30) DAY INTERVALS DURING THE PLANT ESTABLISHMENT PERIOD (REFER TO FERTILIZER PROGRAM NOTE FOR TYPE AND APPLICATION RATES). 15. PLANT ESTABLISHMENT PROCEDURES - THE GENERAL CARE AND MAINTENANCE OF ALL AREAS SHALL CONSIST OF PROPER WATERING, FERTILIZATION, WEEDING, CLEAN-UP, AND AS FOLLOWS: A. CULTIVATE AND WEED AT NOT LESS THAN TEN (10) WORKING DAY INTERVALS. B. THREE (3) FERTILIZER APPLICATIONS PER NOTE ABOVE WITH FERTILIZER AT THE RATE AND FORMULA AS INDICATED IN THE SOIL PREP/BACKFILL NOTE. C. CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEMS IN A LIKE NEW, OPERATING CONDITION, ADJUSTING HEAD HEIGHTS, THROW AND SPRAY ARCS AS NECESSARY. THE CONTRACTOR IS RESPONSIBLE FOR PROPER WATERING OF ALL PLANTED AREAS, AND SHALL REPLACE ANY MATERIAL DAMAGED DUE TO IMPROPER MOISTURE. D. ANY CONCENTRATED DEVELOPMENT OF WEED GROWTH THAT MAY APPEAR IN PLANTING AREAS DURING PLANT ESTABLISHMENT PERIOD SHALL BE REMOVED AT THIRTY (30) DAY INTERVALS. THE CONTRACTOR MAY ELECT TO REMOVE SUCH CONCENTRATIONS OF WEEDS MANUALLY OR BY AN APPROVED HERBICIDE PROGRAM. E. DURING THE COURSE OF THE MAINTENANCE WORK, THE CONTRACTOR SHALL REMOVE SURPLUS MATERIALS AND DEBRIS FROM THE SITE AND SHALL KEEP THE PREMISES IN A NEAT AND COURSELY MAINTAINED CONDITION AT ALL TIMES. F. DURING THE PLANT ESTABLISHMENT PERIOD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE PROTECTION FOR ALL PLANTING AREAS. ANY DAMAGED AREAS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.	I DATE: N/A
J Planting Notes DATE: N/A	K DATE: N/A	L DATE: N/A	M DATE: N/A

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JOB NUMBER: 160840
 DRAWN BY: DAL
 CHECKED BY: KCK
 DATE: 8/23/17
 REVISIONS:



PLANTING DETAILS
 SCALE: N.T.S.
811
 Know what's below.
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LP-2
 SHEET 7 OF 7

1. Will the strict application of the provisions of the Zoning Code result in practical difficulties or unnecessary hardships inconsistent with the general purpose and intent of the Zoning Code?

Yes. Due to the interim nature of the requested block wall, it would be impractical to build a permanent wall for a temporary use. Erecting a block wall would subject the community and its environment to a wasteful burden of erecting, demolishing and discarding of materials into our already overwhelmed landfills. As you know, block walls are not recyclable when disposed of, whereas a privacy slatted chain link fence is almost entirely re-locatable and reusable without impact on the environment and/or landfills.

2. Are there special circumstances or conditions applicable to your property or to the intended use or development of your property that do not apply generally to other property in the vicinity and under the identical zoning classification?

The fence/wall request to identify and “divide” the properties is solely due to timing and the neighboring property owner awaiting their time to sell, rezone and relocate. It is the applicants’ intent to acquire the adjacent property and combine it with this project at a future date. The request for a dividing wall is due to the interim zoning difference between the properties and serves no other purpose.

Each of these properties will be ultimately be zoned the same when developed. The parcel that is not participating in the zoning process is to be zoned the same per the general plan. The need for a wall is an interim need and solely due to timing. The need for a dividing wall/fence would not exist if the adjacent property was ready to participate and move on with its consistency zoning.

3. Will the granting of such variance prove materially detrimental to the public welfare or injurious to the property or improvements in the zone or neighborhood in which your property is located?

No. The variance to allow a slatted fence meets the same objective of a masonry wall.

4. Will the granting of such variance be contrary to the objectives of any part of the General Plan?

No. This variance is in keeping with Objective 9 in the Executive Summarization of Riversides 2025 General plan. In Objective 9, “The Built Environment” goals are to **provide for continuing growth** (adding the additional parcel to this development) **while keeping in mind the needs for anticipated growth to achieve the community's objectives**. It is also important to note the goals outlined in all areas of the General Plan to have a low impact on our environment and work to eliminate unnecessary waste. As outlined in the California Green Building Standards Code, the waste that would be generated by an interim block wall would be in conflict with Sections 4.408 and 5.408 as well.



2. Photo number 2 is looking northwest at the project site from across Indiana Avenue.



3. Lastly, photo number 3 is from Indiana Avenue, looking northeast at the project site.