

Exhibit 8 - Project Plans (Site Plan)



Exhibit 8 - Project Plans (Phasing Plan)



Exhibit 8 - Project Plans (Renderings)



Exhibit 8 - Project Plans (Renderings)



Exhibit 8 - Project Plans (Renderings)



Exhibit 8 - Project Plans (Conceptual Building Elevations)

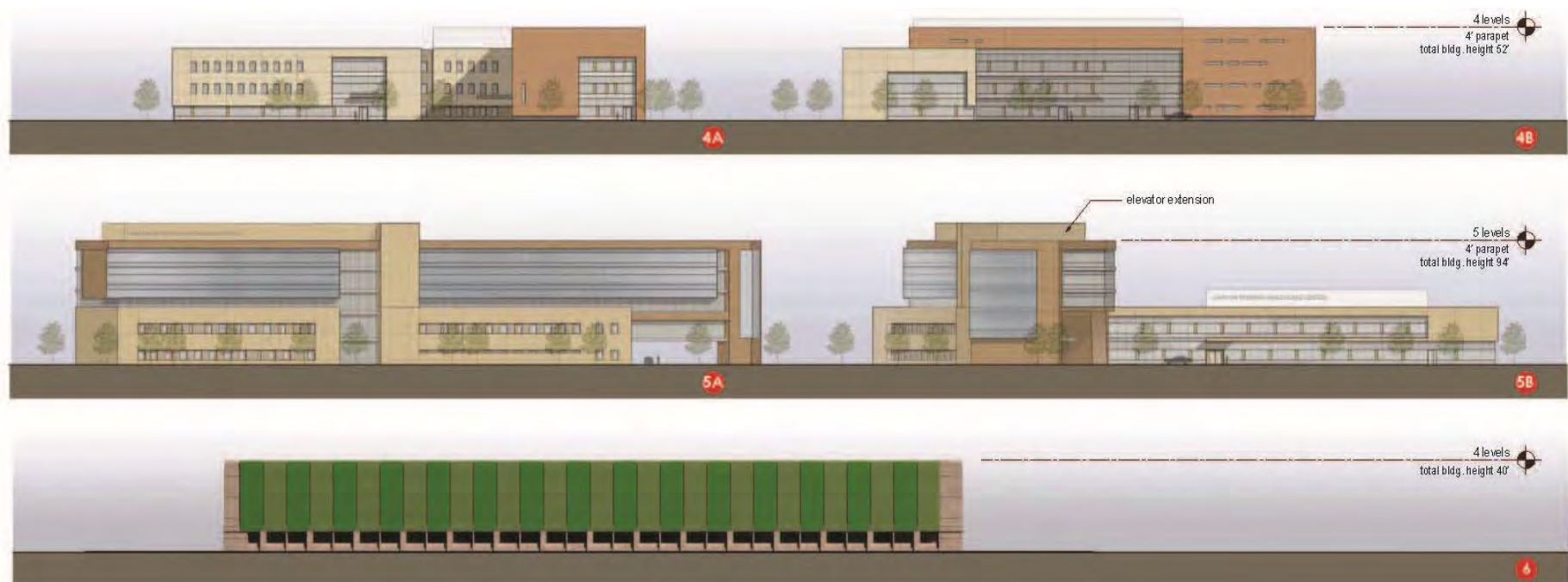


Exhibit 8 - Project Plans (Conceptual Building Elevations)



EXHIBIT 5-3
Acceptable Building Exterior Materials and Finishes:

- Stone
- Masonry
- Ceramic/ Terra Cotta Cladding
- Cement/ Lime Plaster (e.g. Swisspearl)
- Composite Metal Panel (e.g. Alucobond)
- High Pressure Laminate Panel (e.g. Trespa)
- Concrete
- Precast Concrete
- GFRC (Glass Fiber Reinforced Concrete)
- Storefront Glazing
- Curtain Wall Glazing
- Louvers/ Sun Shades/ Canopies

Exhibit 8 - Project Plans (Acceptable and Unacceptable Building Materials)



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- EXHIBIT 5-4
Acceptable Building Exterior Materials and
Finishes
- Stone
 - Masonry
 - Ceramic/ Terra Cotta Cladding
 - Cement/ Lime Plaster (e.g. Swisspearl)
 - Composite Metal Panel (e.g. Alucobond)
 - High Pressure Laminate Panel (e.g. Trespa)
 - Concrete
 - Precast Concrete
 - GFRC (Glass Fiber Reinforced Concrete)
 - Storefront Glazing
 - Curtain Wall Glazing
 - Louvers/ Sun Shades/ Canopies



© Maintenance Free Siding // Siding Express



© 2014 Contractor's Siding



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© Board & Batten Vertical Siding



© Liberty Home Solutions, LLC



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EXHIBIT 5-5 Unacceptable Building Exterior Materials and Finishes:

Vinyl Siding
Masonite / Hardie Board Siding

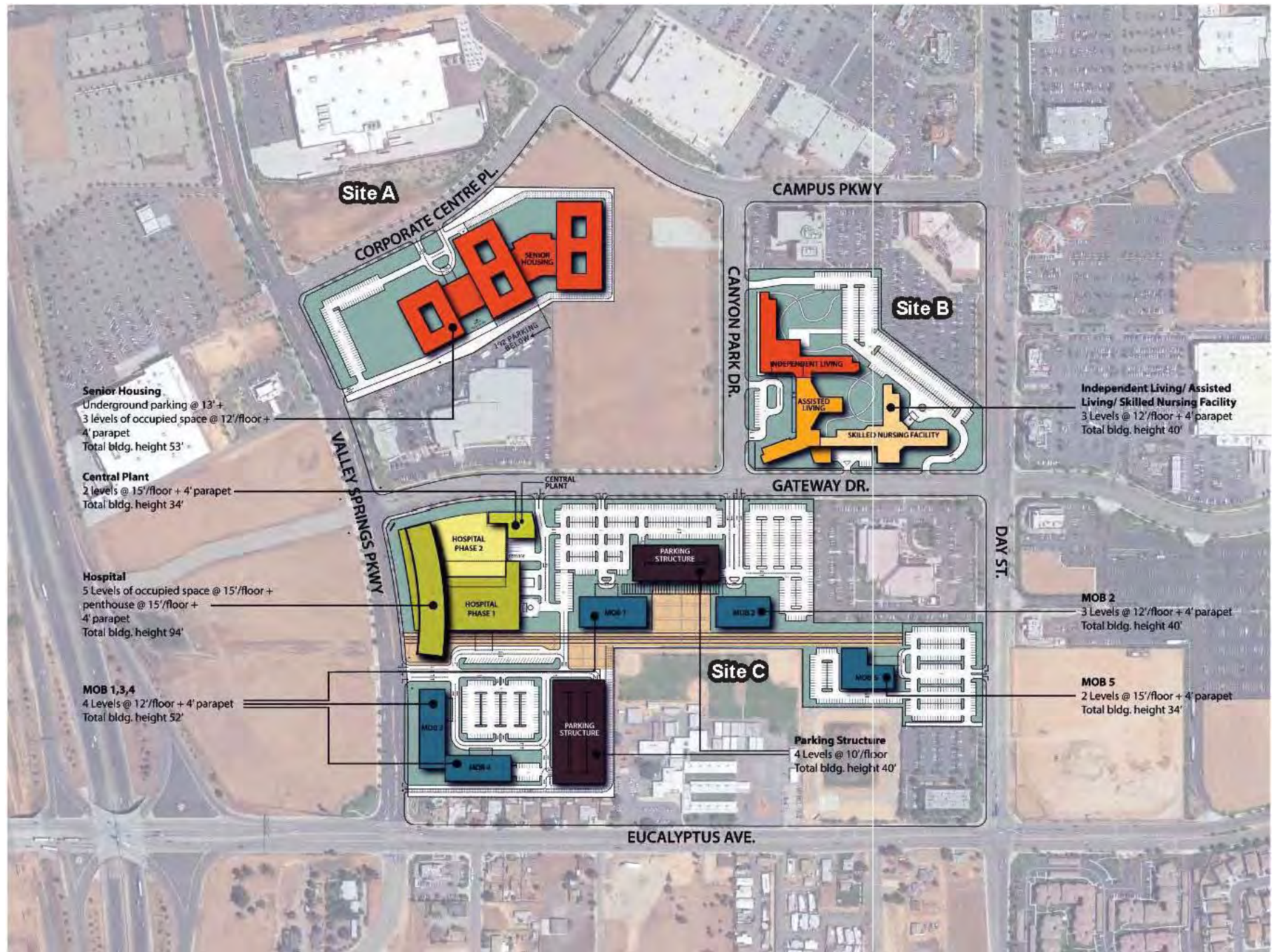
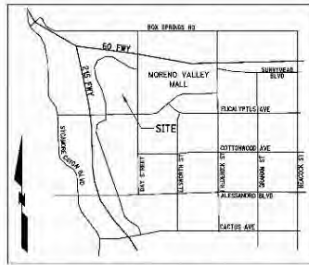


Exhibit 8 - Project Plans (Building Height Diagram)

IN THE CITY OF RIVERSIDE, CALIFORNIA
PRELIMINARY GRADING EXHIBIT
 CANYON SPRINGS HEALTHCARE CENTER



VICINITY MAP
 N.T.S.

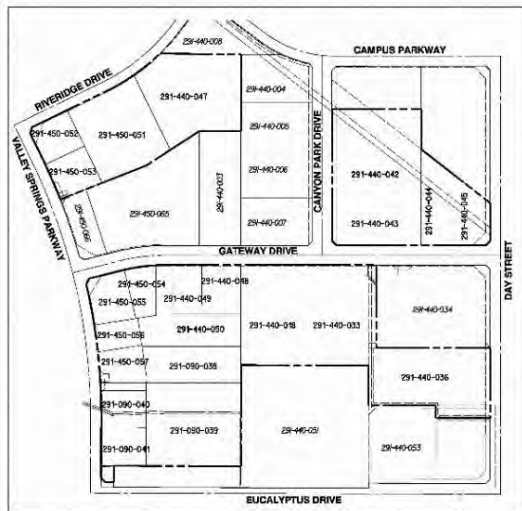
OWNER
 CANYON SPRINGS MARKETPLACE CORP.
 C/O TDA INVESTMENT GROUP
 2005 FOMER COURT
 SAN MATEO, CA 94403

ENGINEER
 RICK ENGINEERING COMPANY
 1770 JAWA AVENUE, SUITE 100
 RIVERSIDE, CA 92507
 PHONE (951) 782-2707
 FAX (951) 782-0733
 MARTIN L. ANDERSON

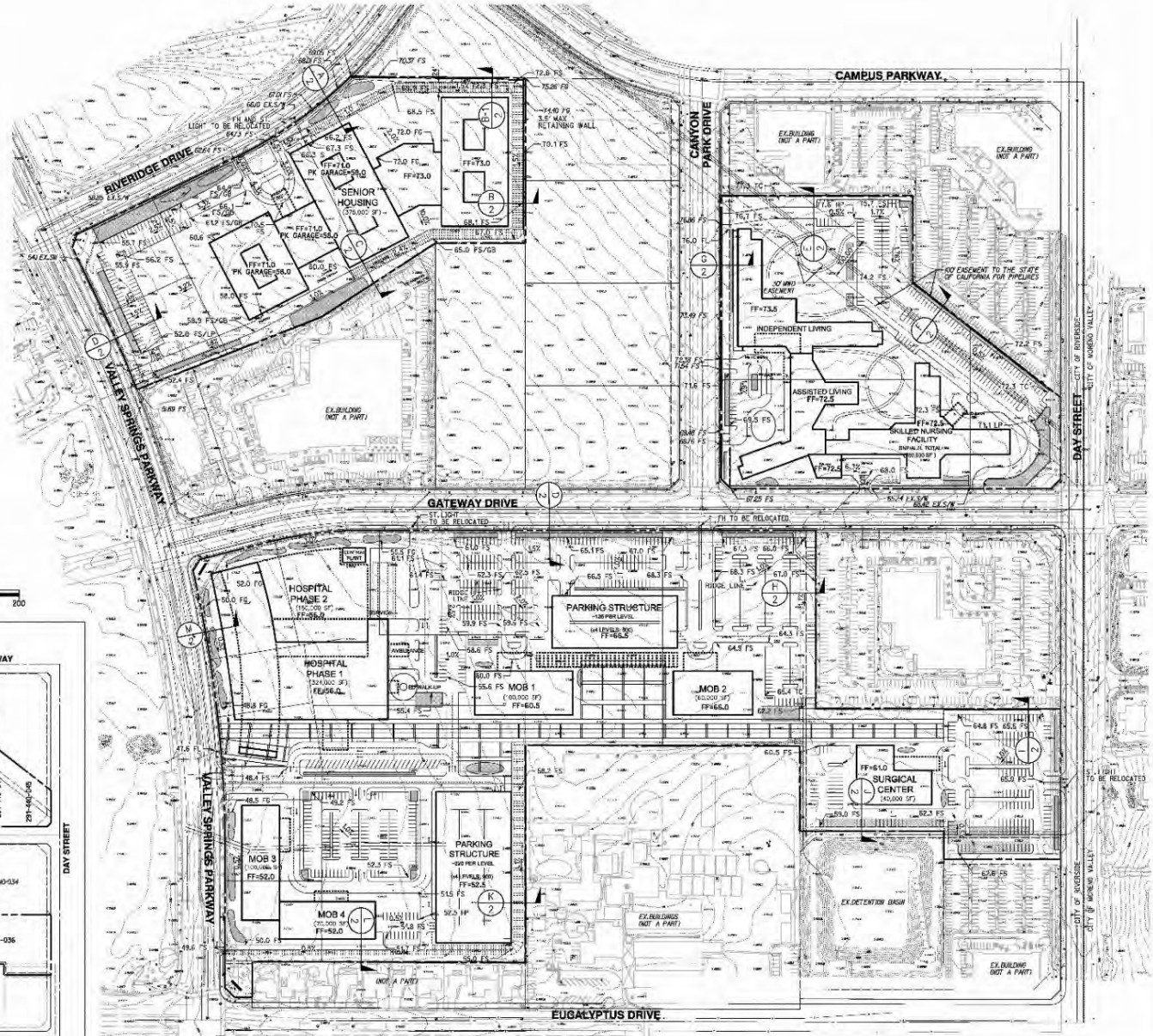
LEGEND

PROPERTY BOUNDARY	---
STREET CENTER LINE	---
CITY LIMITS	---
FINISHED FLOOR ELEVATION	FF+60.0
FINISHED SURFACE ELEVATION	60.0 FS
PROPOSED BIOTENTION AREA	---
PROPOSED PAVING	---
PROPOSED CURB	---
DIRECTION OF FLOW	---
EXIST. TREE	---
EXIST. STREET LIGHT	---
EXIST. FIRE HYDRANT	---
EXIST. EDGE OF PAVEMENT	---
EXISTING DOMESTIC WATER	---
EXISTING SANITARY SEWER	---
EXISTING STORM DRAIN	---
EXISTING GAS MAIN	---
EXISTING ELECTRIC LINE	---

SCALE: 1" = 100'
 100 0 100 200



APN INDEX
 N.T.S.



PRELIMINARY
 NOT FOR CONSTRUCTION

Exhibit 8 - Project Plans (Preliminary Grading Exhibit)

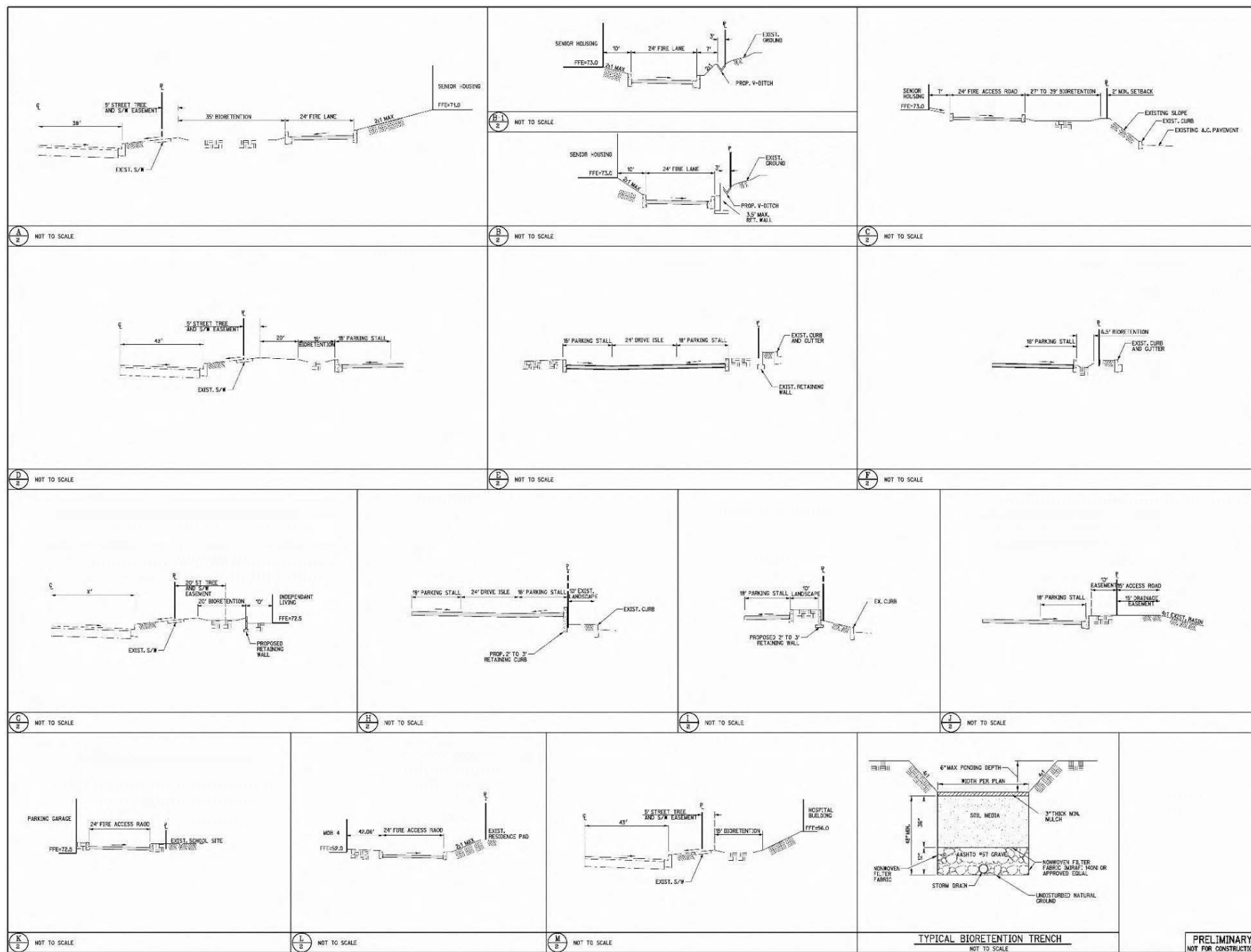


Exhibit 8 - Project Plans (Preliminary Grading Exhibit)

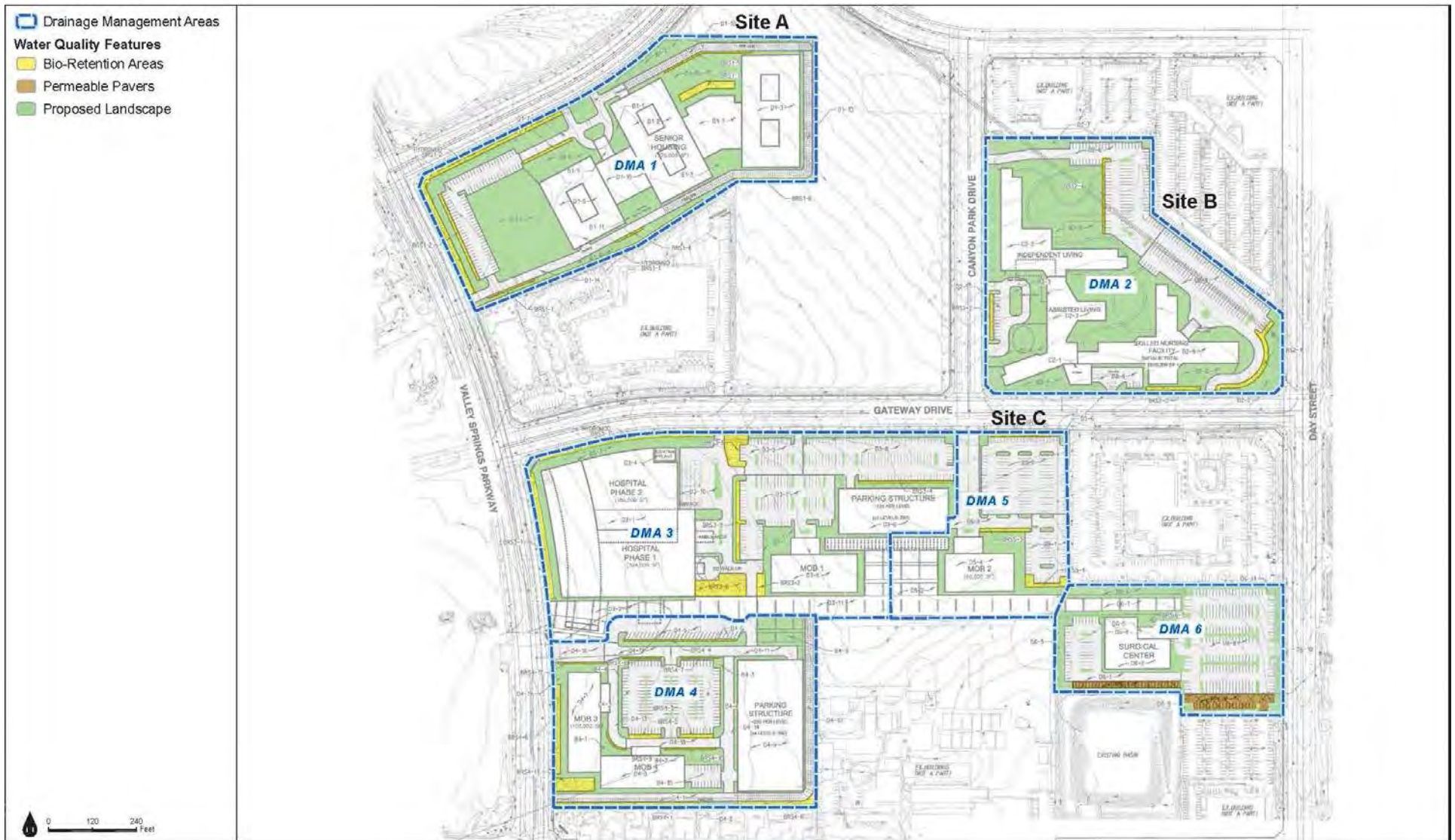


Exhibit 8 - Project Plans (Drainage Management Areas and Water Quality Features)



Exhibit 8 - Project Plans (Conceptual Landscape Plan)

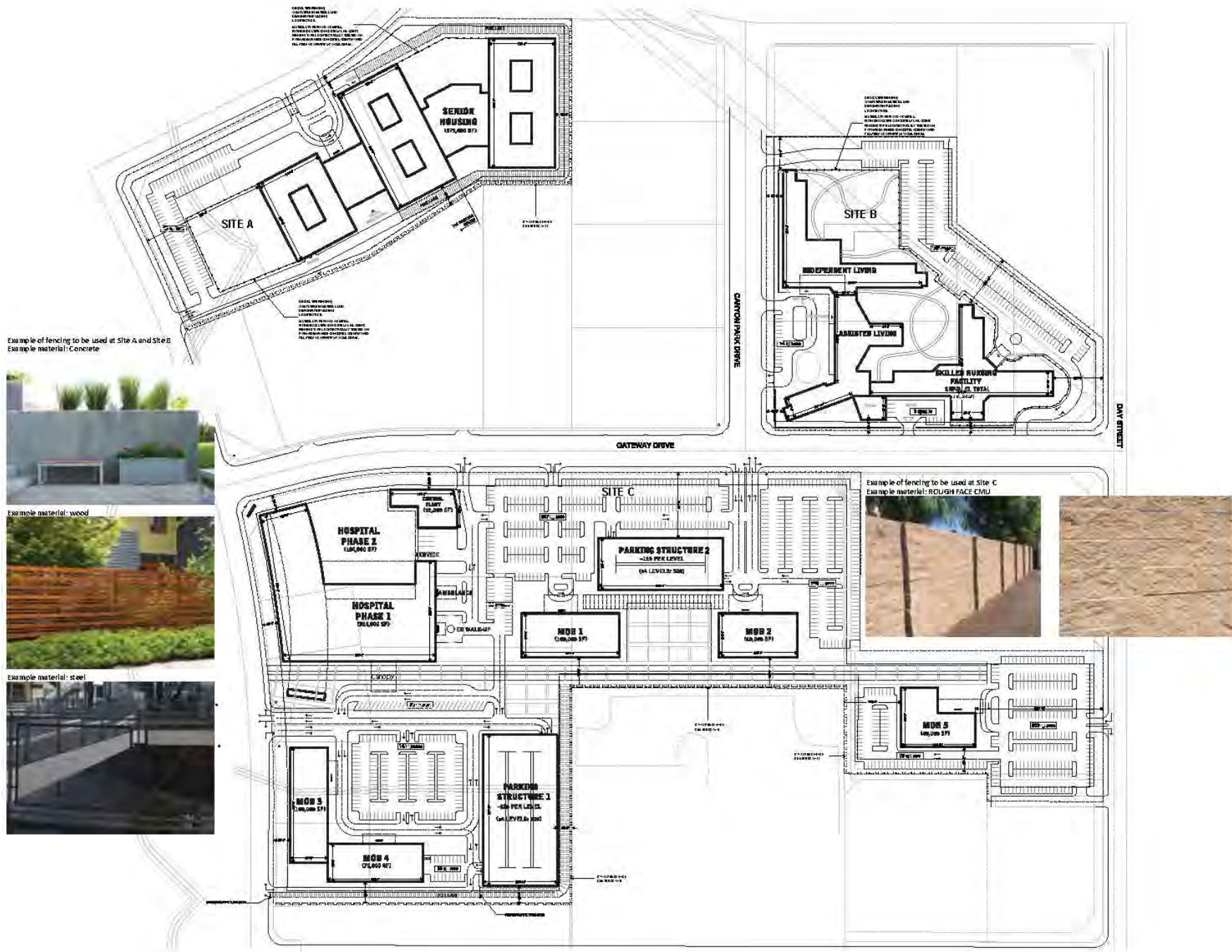


Exhibit 8 - Project Plans (Fencing Plan)



Exhibit 8 - Project Plans (Site Lighting Plan)

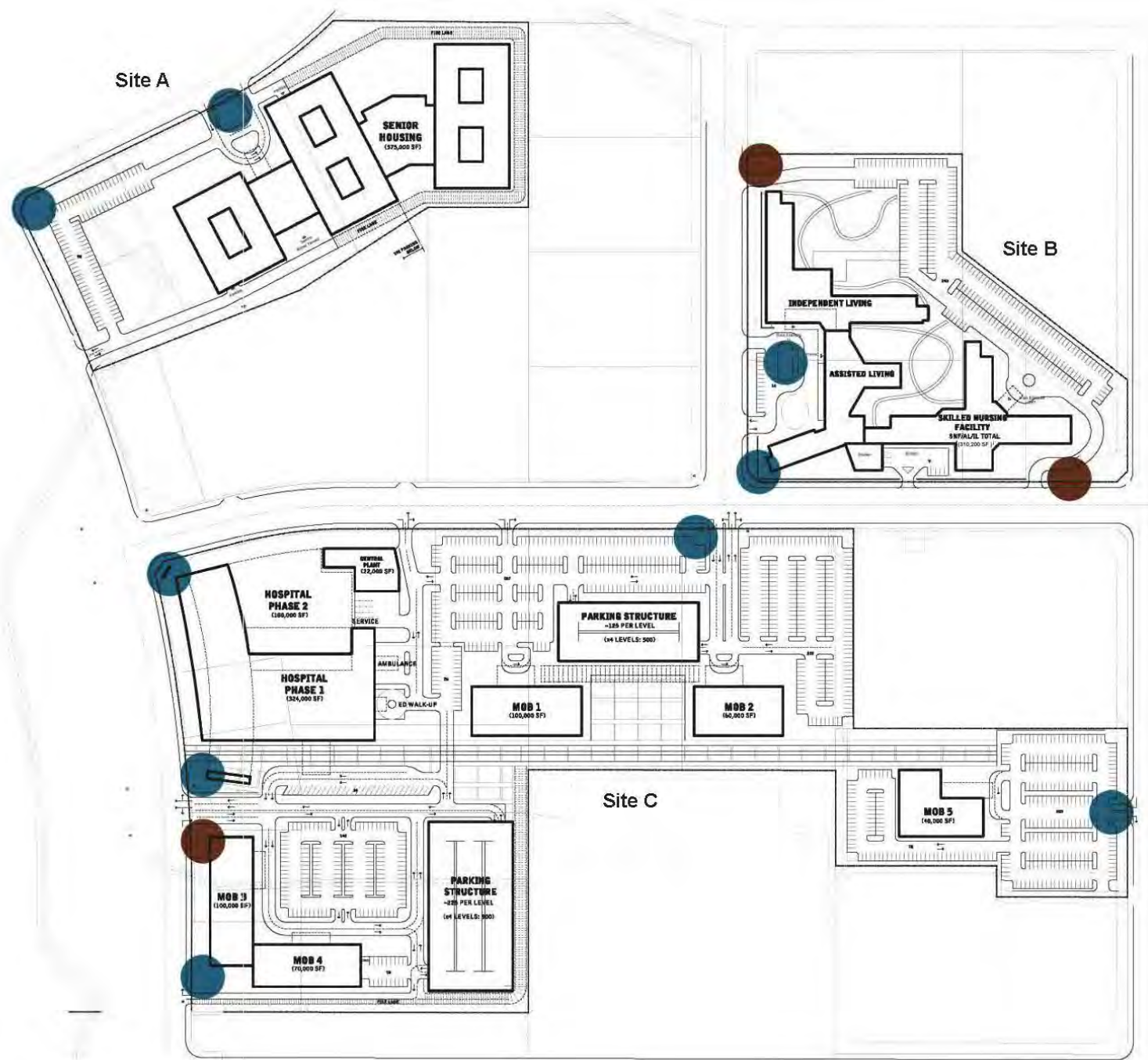


Exhibit 8 - Project Plans (Monument Signage Diagram)

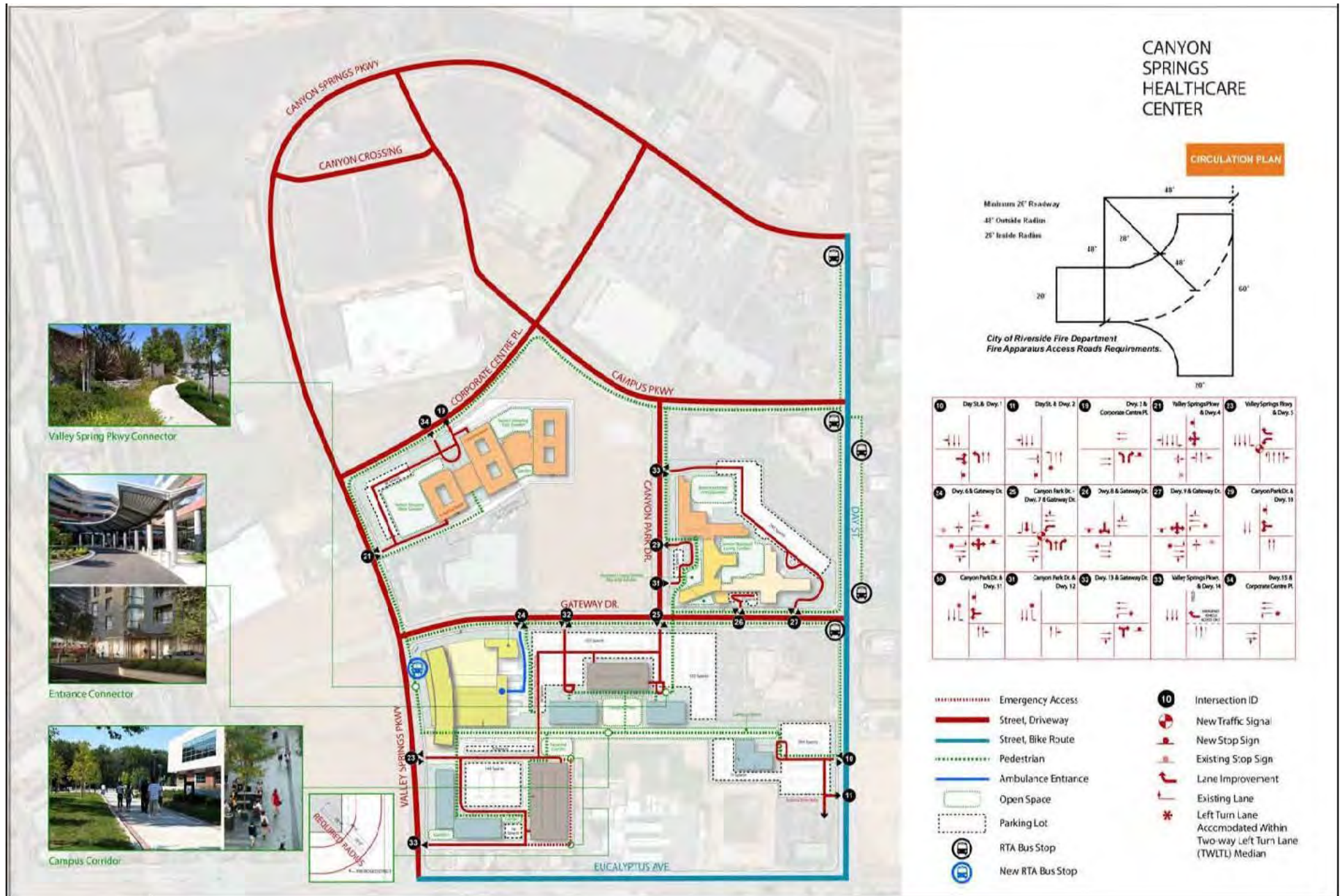


Exhibit 8 - Project Plans (Circulation Plan)

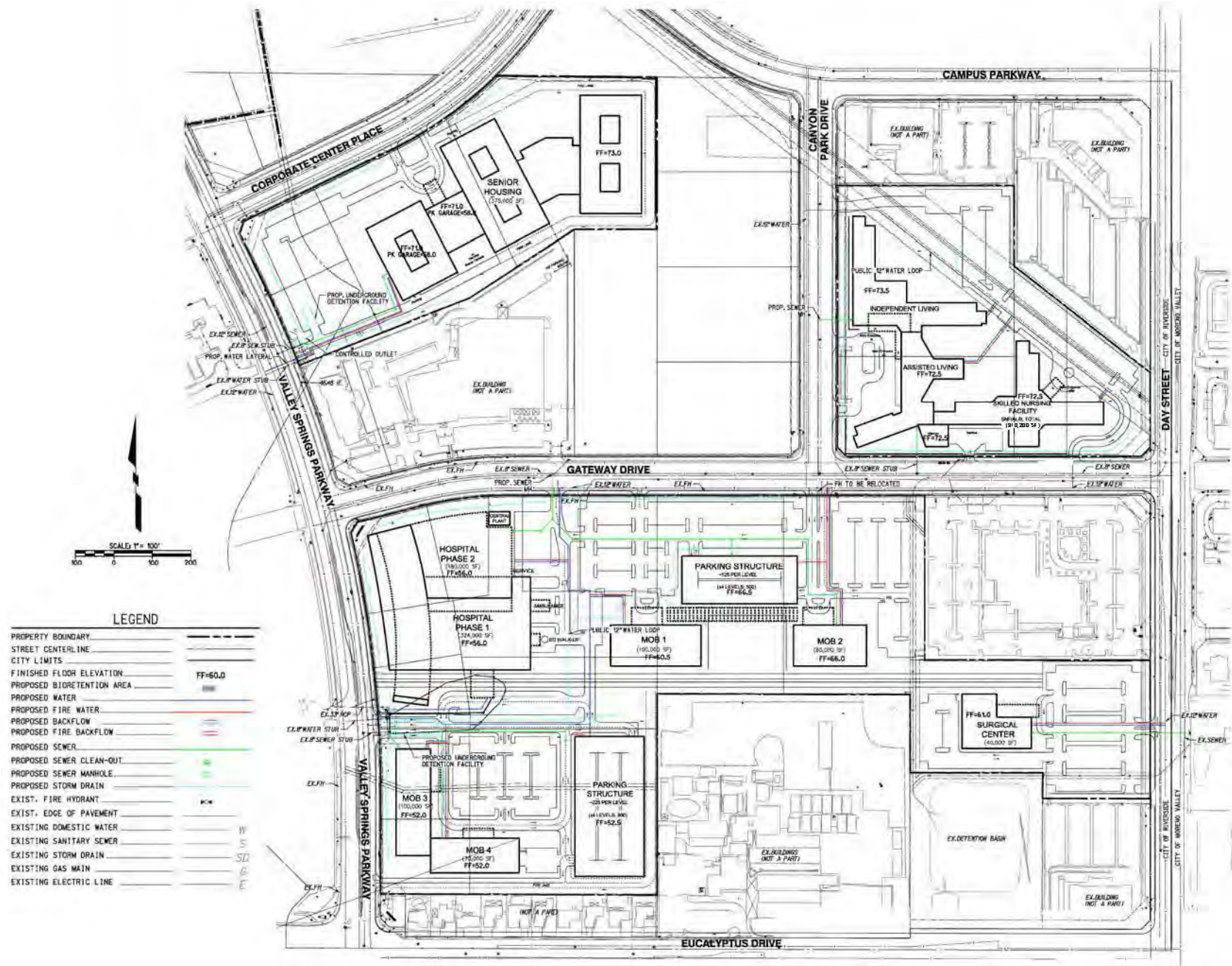
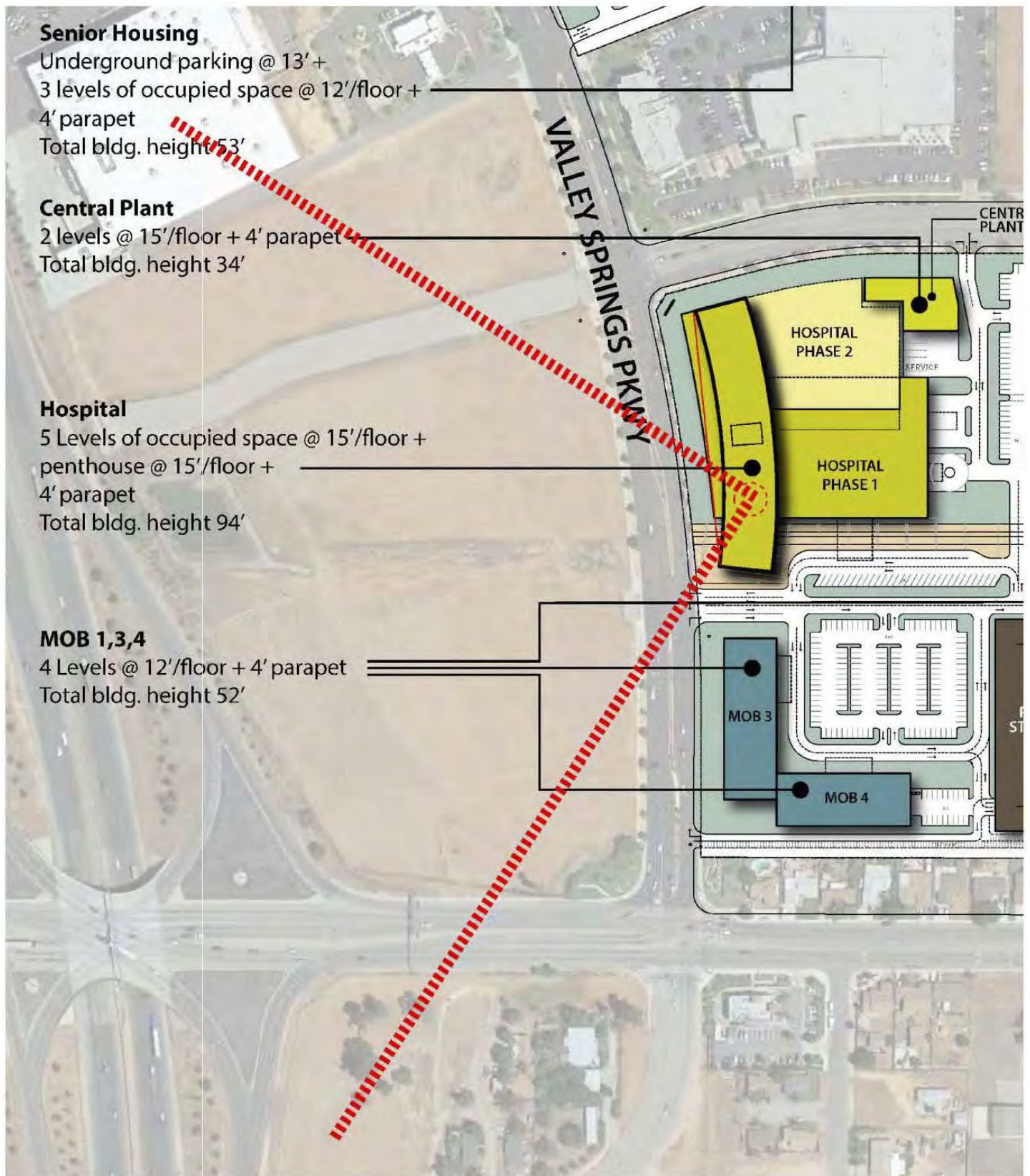


Exhibit 8 - Project Plans (Preliminary Utility Plan)



LEGEND:

- Conceptual Helicopter Approach
- Conceptual Helicopter Landing Location

Exhibit 8 - Project Plans (Conceptual Helipad and Approach Locations)