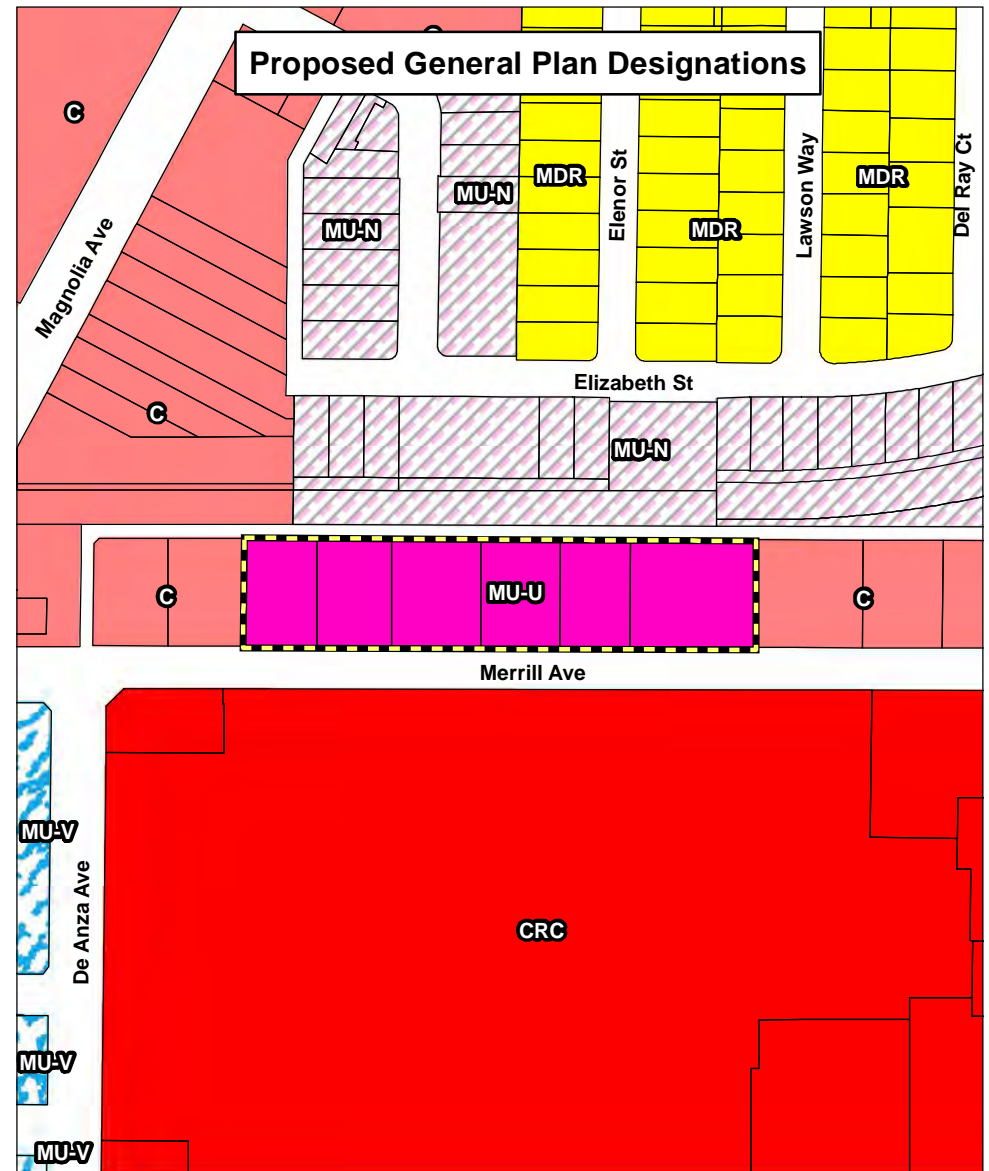
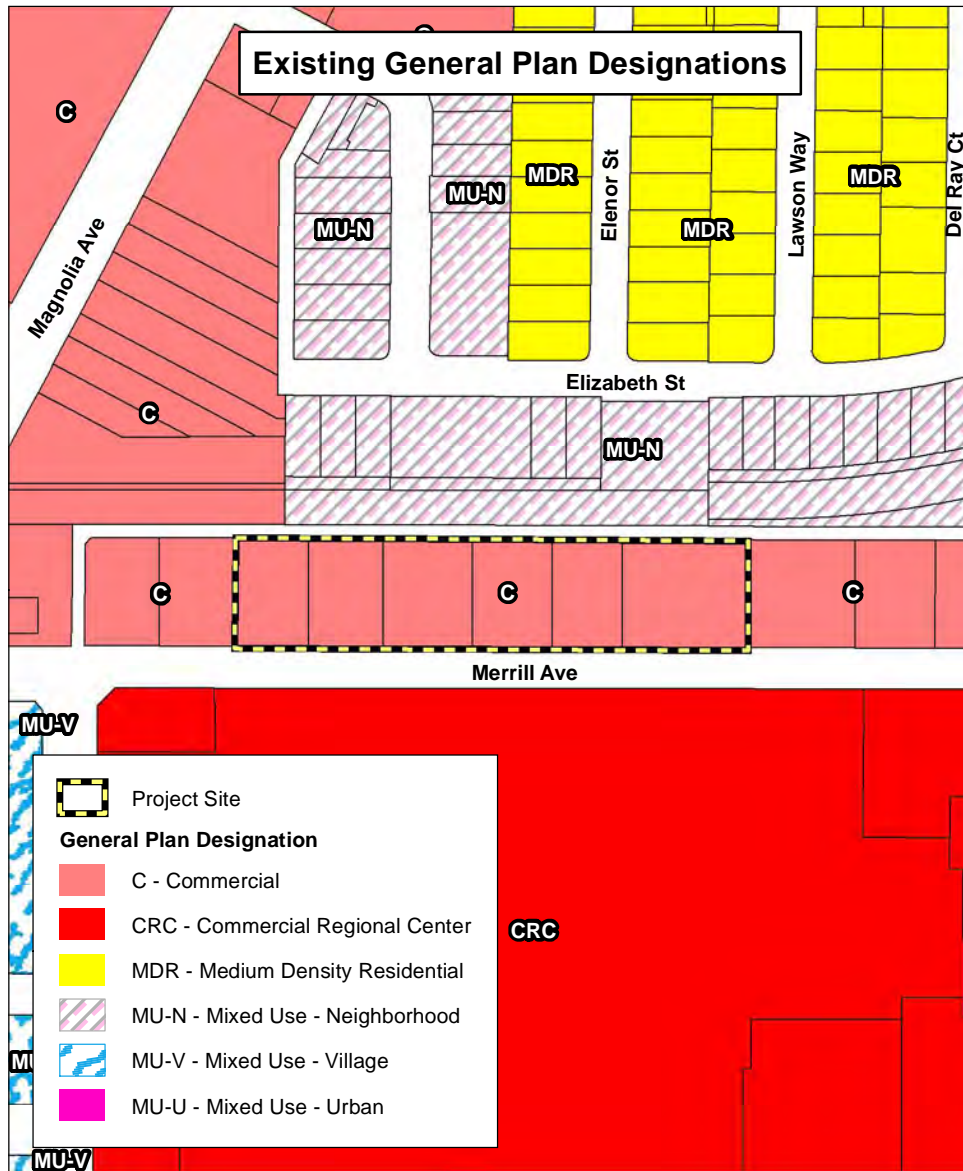




Exhibit 3 - Location Map

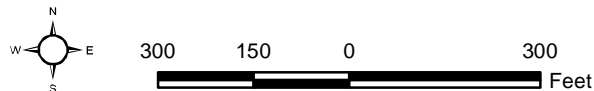
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Source: City of Riverside, 2017

Existing and Proposed General Plan Amendment

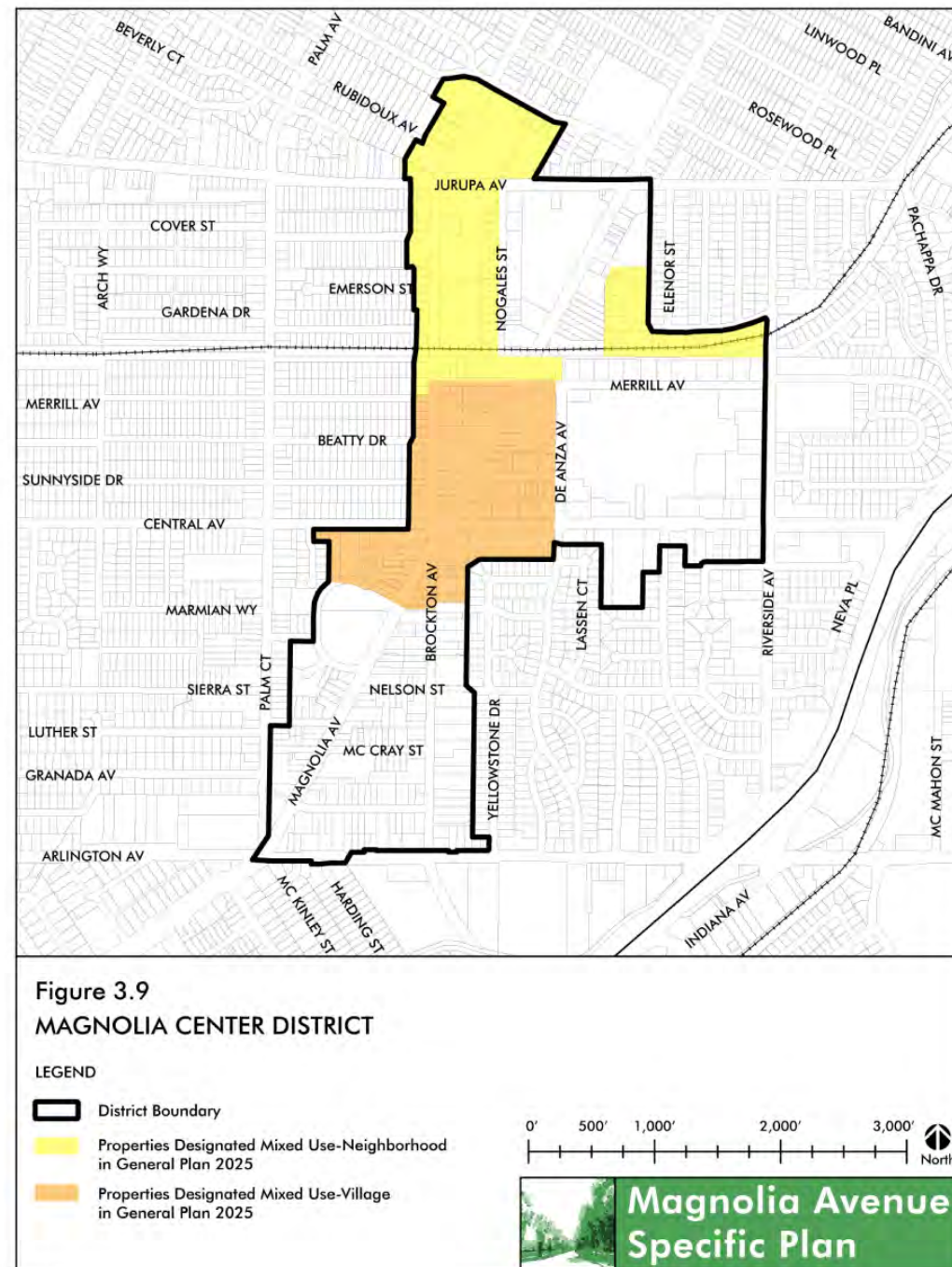
Merrill Avenue Brownstones Project



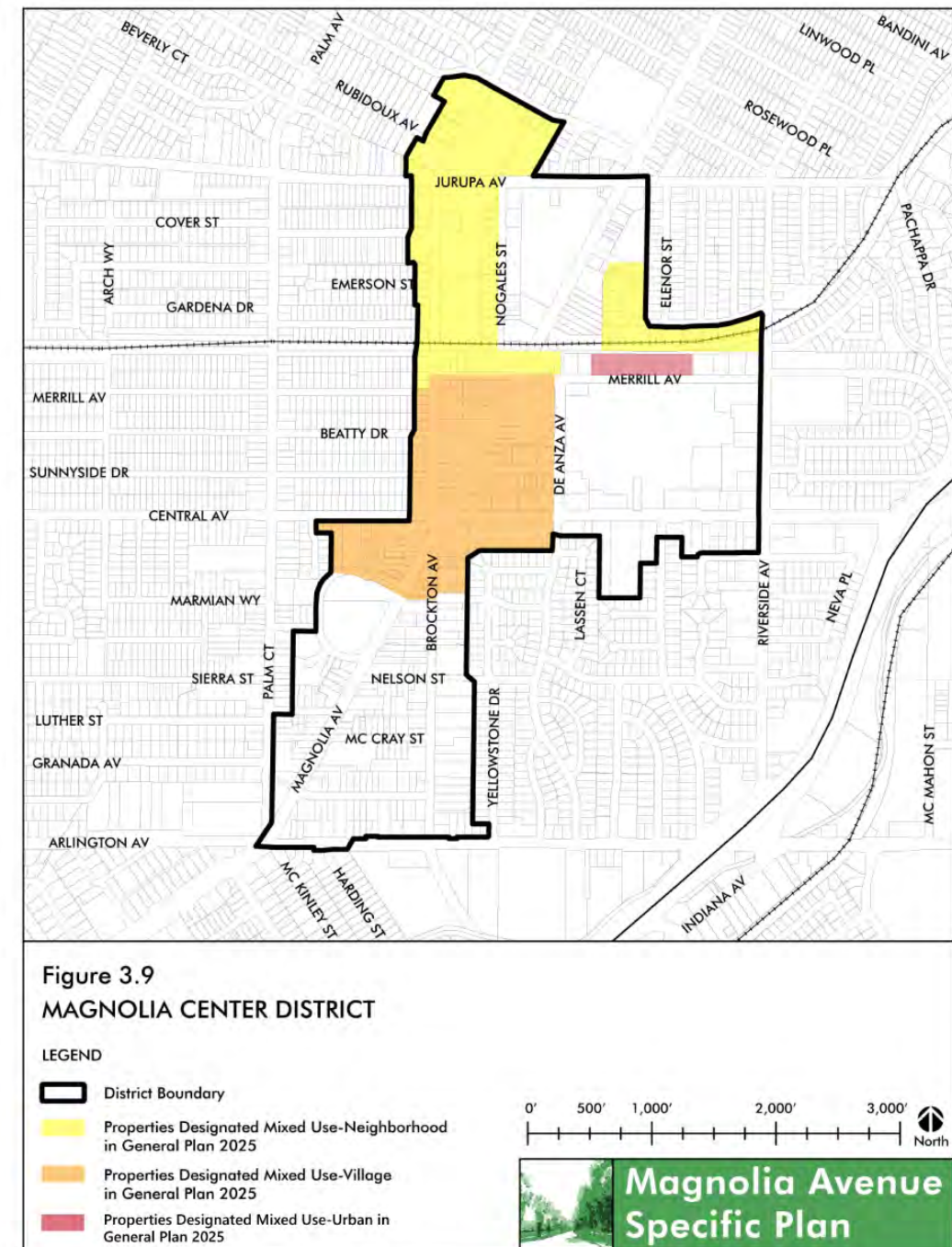
(Rev: 11-07-2017 MMD) R:\Projects\PEL_Pelican\3PEL020100\Graphics\VS-MND\ex_Proposed_GP_Amendment.pdf

Exhibit 4 - Existing/Proposed General Plan Maps

D:\Projects\3PEL\020100\Graphics\IS-MND\ex_Proposed_SP_Amendment_20171102.ai



Existing Figure 3.9



Proposed Figure 3.9

Proposed Specific Plan Amendment

Merrill Avenue Brownstones Project



(11/02/2017 MMD) R:\Projects\PEL_Pelican\3PEL020100\Graphics\IS-MND\ex_Proposed_SP_Amendment.pdf

Table 3.5: General Plan Land Use Designations in the Magnolia Center District

General Plan Land Use Designation	Location
Mixed Use –Neighborhood (MU-N)	• Northwestern and northeastern portions of the District
Mixed Use-Village (MU-V)	<ul style="list-style-type: none"> • Central portion of the District between Brockton and De Anza Avenues, north of San Simeon Way and Merrill Avenue. • Southwestern portion of the District, fronting Magnolia Avenue between San Rafael Way and Arlington Avenue.
Mixed Use – Urban (MU-U)	• Parcels to the immediate north of Riverside Plaza
Medium Density Residential (MDR)	• Four properties south of Maplewood Place.
Office (O)	• Southern portion of the District.
Commercial (C)	<ul style="list-style-type: none"> • North central portion of the district, at the Brockton Arcade. • Parcels to the immediate north and south of Riverside Plaza
Commercial Regional Center (CRC)	• Riverside Plaza site between Central and Merrill Avenues and between De Anza and Riverside Avenues.
Public Facilities/Institutional (PF)	• Riverside Adult School across the Brockton Arcade
Public Park (P)	• Low Park at the corner Magnolia and Arlington Avenues



Examples of projects that illustrate Mixed Use-Village densities.

The Mixed Use Land Use Designations occur at key nodes along Magnolia Avenue, where pedestrian-oriented activity centers are focused. The properties designated MU-N, MU-V and MU-U in the Magnolia Center District are illustrated in Figure 3.9 of this Chapter. Mixed use development will have the greatest impact in the Magnolia Center District, as it can include office, housing and live/work spaces in mixed use buildings with retail uses primarily at the street level. This will bring additional residences and employees to the area to support the retail expansion and re-energize the District.

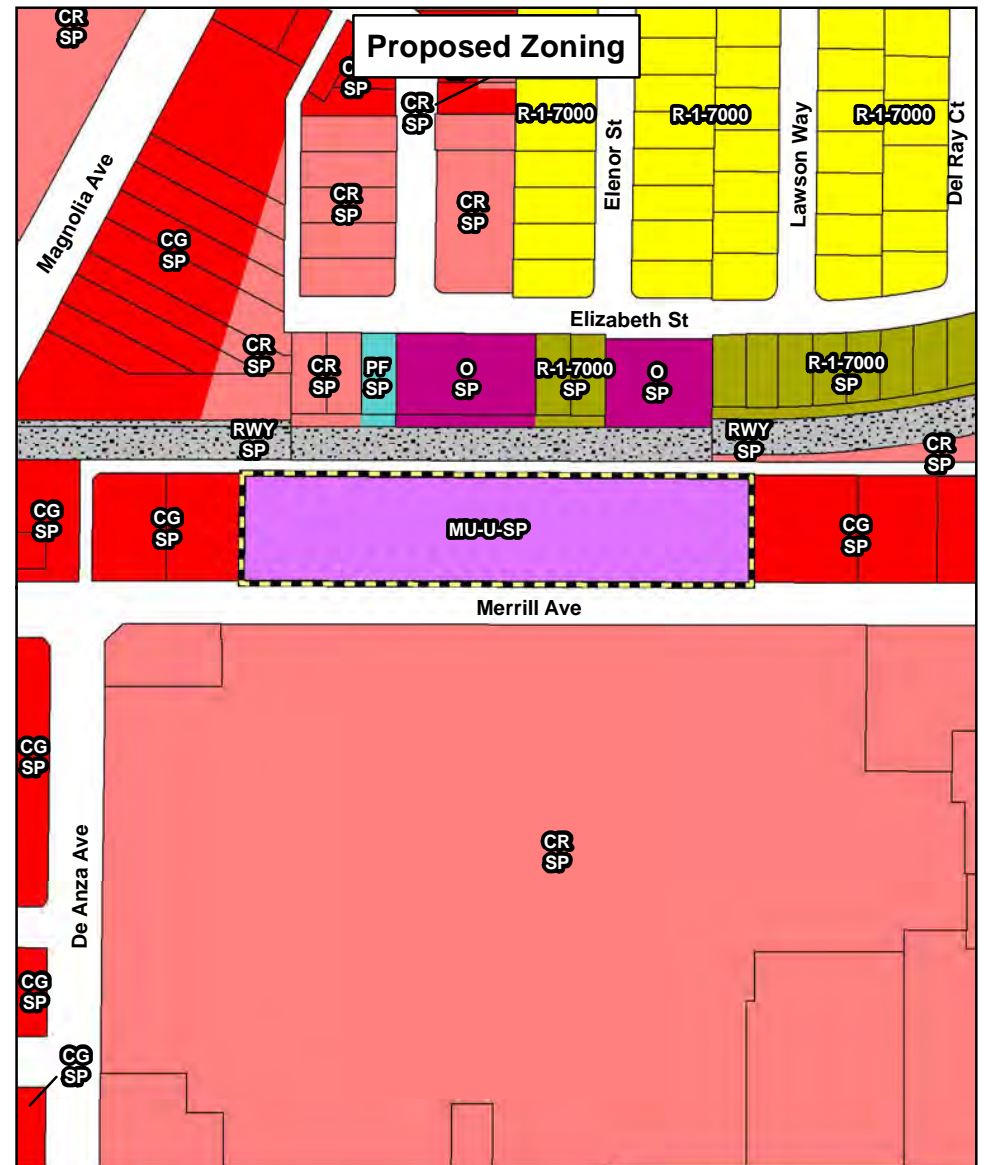
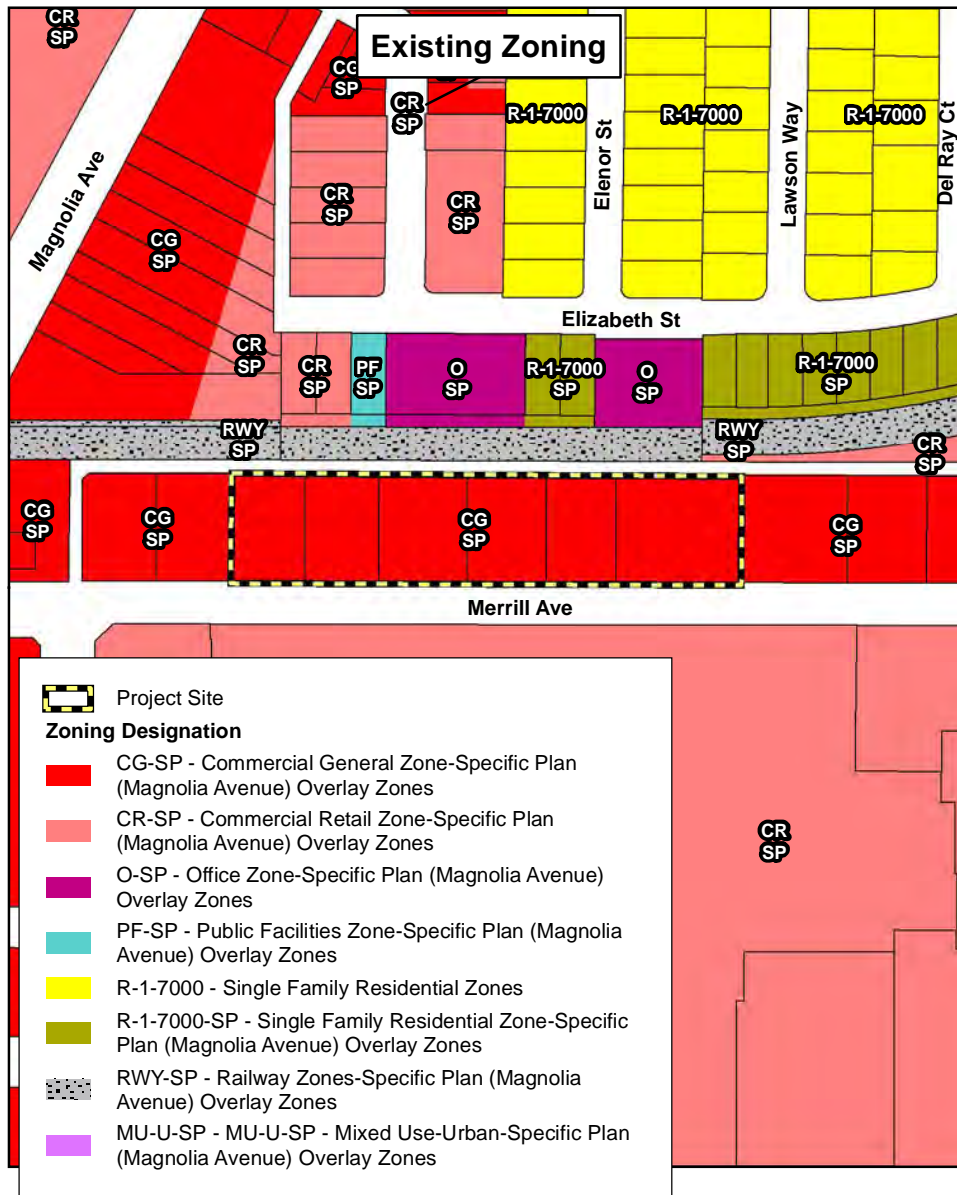
Framing the Vision

Area generally between Merrill Avenue and the Brockton Arcade:

- It offers a prime opportunity for retail, office and residential uses in a mixed use development format per the City's Mixed Use-Village (MU-V) Zoning.

Riverside Plaza and Brockton Arcade:

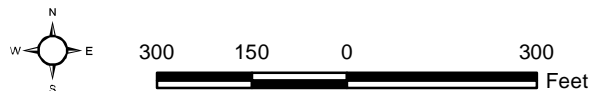
- Nodes of shopping activity should be focused at Riverside Plaza and the Brockton Arcade to avoid the dispersal of retail uses throughout the District. This will help create a focus for the District and energize the retail area.
- With a new RapidLink Station near Riverside Plaza, transit-oriented development that promotes pedestrian activity is strongly encouraged.



Source: City of Riverside, 2017

Existing and Proposed Rezone

Merrill Avenue Brownstones Project



(Rev: 3-08-2018 CJS) R:\Projects\PEL_Pelican\3PEL020100\Graphics\IS-MND\ex_Proposed_Rezone.pdf

Exhibit 6 - Existing/Proposed Zoning Maps



MERRILL AVENUE BROWNSTONES RIVERSIDE, CA

PELICAN COMMUNITIES, LLC

1300 QUAIL, SUITE 100, NEWPORT BEACH, CA 92660

North
0 15 30 60 120
CONCEPTUAL SITE PLAN

ARCHITECTS ORANGE

144 NORTH ORANGE ST., ORANGE, CALIFORNIA 92668 (714) 639-9880

PROGRESS
2015-2017 23 JAN 2016



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Exhibit 7 - Project Plans (Architectural Site Plan)

Merrill Street
4 Building Configuration March 1, 2018

Site Area	3.169	
Units	108	869 sqft/unit
Density	34.08	
Retail	1200 sqft	

Mixed-Use Building Configuration

First Floor							
Mix	Desc	SQFT	Patio	Sum SQFT	F/T	Bdrms	Notes
2	A1	780	0	1,560	F	1	
1	A6	900	120	900	F	1	
4	S1	510	110	2,040	F	S	
7			560	4,500			

Second Floor							
2	A2	760	50	1,520	F	1	
2	A3	780	80	1,560	F	1	
2	A4	856	84	1,712	F	1	
2	B1	1050	40	2,100	F	2	
2	B2T	1188	100	2,376	T	2	
2	B3T	1290	50	2,580	T	2	
4	A5T	836	0	3,344	T	1	
16			808	15,192			

Third Floor							
2	A3	780	80	1,560	F	1	
2	B4	1100	50	2,200	F	2	
4			260	3,760			

Total 4 Buildings					
27	869	1,628	23,452	per building	
4	108	869	6,512	residential leasable footage	
			60.3		

Non Residential Uses			
3 Amen	1200	3,600	
1 Retail	1200	1,200	retail leasable footage
Total Project Footage		98,608	

Private Open Space (patios and balconies over 50 sqft)	6,192 total sqft
Per Building = 19	Per Project = 76
	70%
	81.5 sqft per unit

Mix and Parking

Ave sqft	Mix	/ bldg	Total	%	Code Parking	Required Total	Total Provided	Mkt Ratio	Mkt Parking	Mkt Total
510	S	4	16	15%	1.5	24	16	1	1	16
810	1	15	60	56%	1.5	90	103	1.72	1.5	90
1157	2	8	32	30%	2	64	64	2	2	64
913		27	108			178	183	1.69	1.57	170

Parking Analysis

Parking Provided	per bldg	Total	
Garages in Res Building	Standard	22	88
	Tandom	8	32 4 garages with 2
		30	120
Stand alone garages	Standard	8	56 7 buildings
Total Garage Parking			176 Total Covered Parking
Non Garage Parking			
Private Onsite	Handicap		3
	Visitor		4
			183 Total Private Parking
Onsite Retail	Handicap		1
	Regular		6
Total Onsite Parking Provided			190
On Street Parking	North Merrill		18
	South Merrill		0
Total On Street Parking			18
Total Parking Project			208

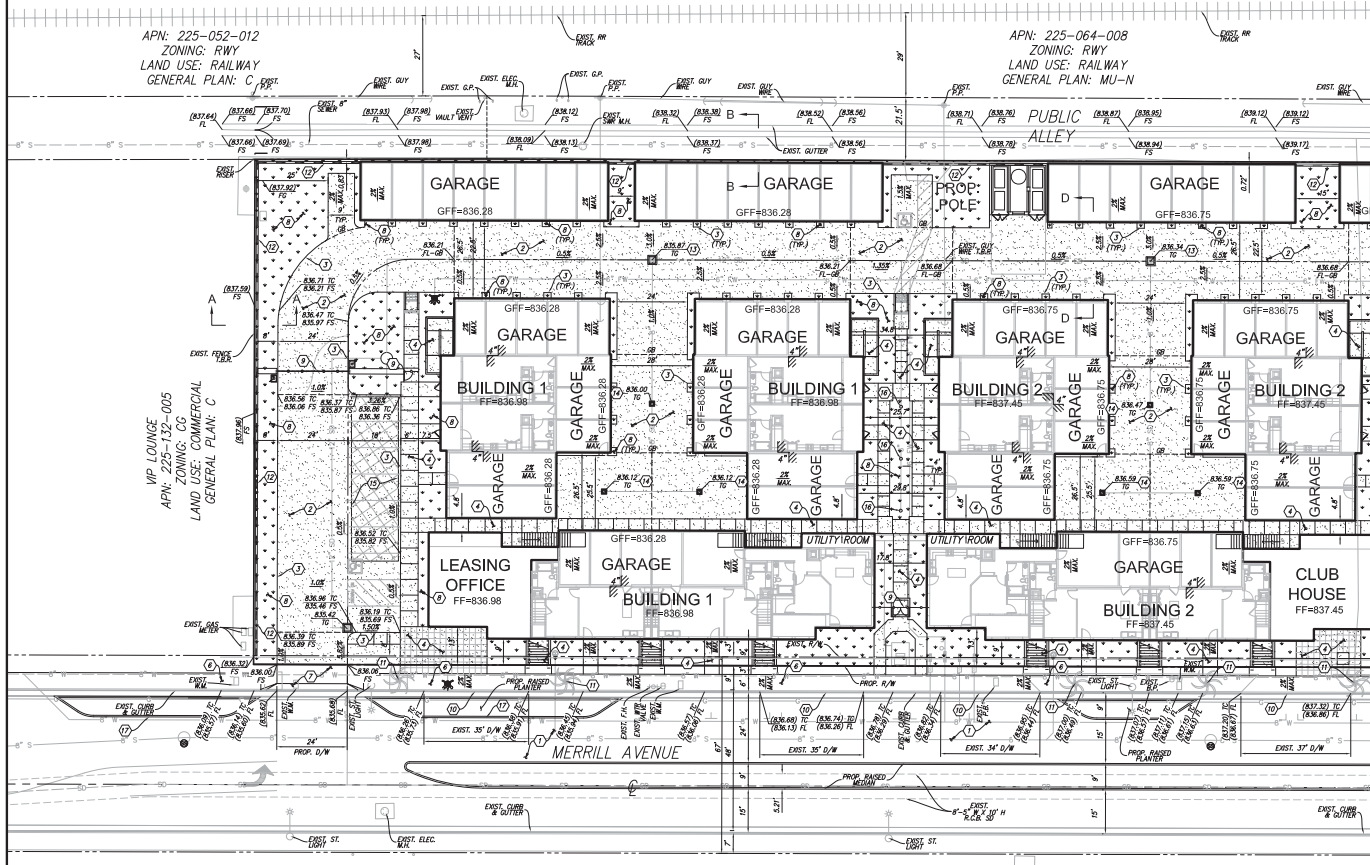
Towns Versus Flats

Mix	per Bldg	4 bldgs	Total	
Flats	19	76	76	70%
Towns	8	32	32	30%
			108	

CONCEPTUAL GRADING PLAN

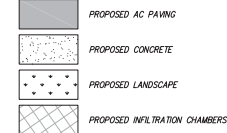
MERRILL AVENUE BROWNSTONES

AUGUST 2017



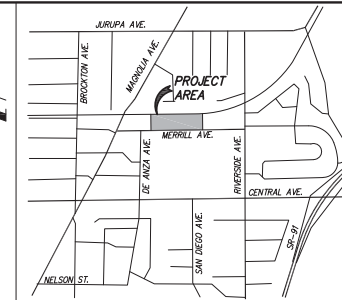
LEGEND

EXISTING PROPERTY LINE
PROPOSED RIGHT OF WAY
EXISTING RIGHT OF WAY
EXISTING CENTERLINE
PROPOSED CURB
EXISTING CURB
PROPOSED SIDEWALK
EXISTING SIDEWALK
EXISTING EASEMENT
EXISTING CONTOUR MAJOR
EXISTING CONTOUR MINOR
EXISTING BUILDING
EXISTING CONCRETE
EXISTING EDGE OF PAVEMENT
EXISTING CONTOUR ELEVATION
EXISTING SPOT ELEVATION
CENTERLINE
RIGHT OF WAY
SIDEWALK
MANHOLE
FIRE HYDRANT
EXISTING
TO BE REMOVED
GRADE BREAK
PROPOSED
NOT TO SCALE
PROTECT IN PLACE
REMOVE & RELOCATE
RETAINING
DEEP FOOTING
GREASE INTERCEPTOR
OFFER OF DEDICATION
GUARD POST
STREET
WATER METER
PULL BOX
FLOW LINE ELEVATION
FINISH SURFACE
FINISH FLOOR
FINISH GRADE
TOP OF CURB
PAD ELEVATION
EXISTING GROUND
INVERT OF PIPE ELEVATION
SEWER
WTR



CONSTRUCTION NOTES

1. PROPOSED A.C. PAVING.
2. PROPOSED CONCRETE HARDSCAPE.
3. PROPOSED 6" CURB ONLY.
4. PROPOSED CONCRETE S/W AND STAIRS.
5. PROPOSED 6" CURB ONLY PER CITY OF RIVERSIDE STD. NO. 200, TYPE 2.
6. PROPOSED CURB SIDEWALK PER CITY OF RIVERSIDE STD. NO. 325.
7. PROPOSED DRIVEWAY APPROACH TYPE CURB-1 PER CITY OF RIVERSIDE STANDARD NO. 302.
8. PROPOSED LANDSCAPE.
9. PROPOSED WROUGHT IRON GATE AND FENCE.
10. EXISTING DRIVEWAY TO BE REMOVED WITH PROPOSED CURB & GUTTER.
11. EXISTING TREE TO BE REMOVED.
12. PROPOSED COMBINATION RETAINING/FREE STANDING WALL.
13. PROPOSED 24" X 24" BROOKS BOX.
14. PROPOSED 12" X 12" BROOKS BOX.
15. PROPOSED UNDERGROUND INFILTRATION CHAMBERS.
16. PROPOSED 6" ATRIUM GRATE.
17. PROPOSED ROLLED CURB ONLY PER CITY OF RIVERSIDE STD. NO. 200, CT.



OWNER

PELICAN COMMUNITIES, LLC
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NEWPORT BEACH, CA 92660
CONTACT: RICHARD HAMM

ENGINEER

PSOMAS
1500 IOWA AVENUE, SUITE 210
RIVERSIDE, CA 92507
PHONE: (951) 787-8421
FAX: (951) 682-3379
CONTACT: DENNIS DONAHUE

UTILITY PROVIDERS

WATER: RPU WATER (951) 782-0330
SEWER: CITY OF RIVERSIDE
ELECTRICITY: RPU ELECTRIC (951) 782-0330
GAS: THE GAS COMPANY (800) 427-2200
TELEPHONE: AT&T (800) 298-2000
TV: CHARTER COMMUNICATIONS (888) 438-2427

ASSESSOR PARCEL NO

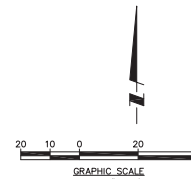
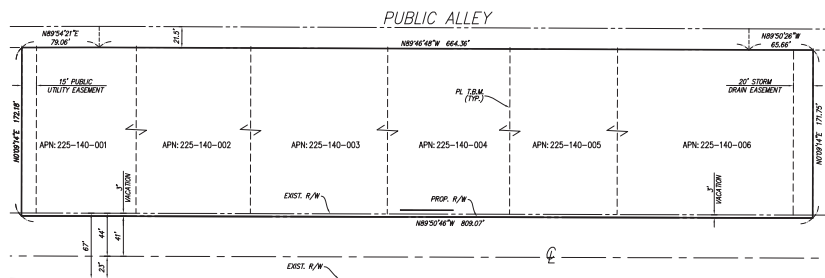
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225	140	003
225	140	004
225	140	005
225	140	006

ACREAGE

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APN: 225-140-002:	0.46 ACRES
APN: 225-140-003:	0.54 ACRES
APN: 225-140-004:	0.49 ACRES
APN: 225-140-005:	0.41 ACRES
APN: 225-140-006:	0.76 ACRES
GRASS:	2.14 ACRES
VACATION:	0.06 ACRES
NET:	3.20 ACRES
DISTURBED:	3.20 ACRES

SHEET INDEX

SHEET 1	CONCEPTUAL GRADING PLAN W/LY
SHEET 2	CONCEPTUAL GRADING PLAN E/LY
SHEET 3	CONCEPTUAL UTILITY PLAN



MARK	REVISIONS	DATE	BY
MERRILL AVENUE BROWNSTONES CONCEPTUAL GRADING PLAN			
FOR: PELICAN COMMUNITIES, LLC			
SCALE:	1"=20'		
DATE:	8/20/17		
DESIGNED:	OG		
CHECKED:	AH		
FILED BY REF:			
1500 IOWA AVENUE, SUITE 210 RIVERSIDE, CA 92507 (951) 787-8421 WWW.PSOMAS.COM		SHEET 1 OF 3 SHEETS DWG NO. 4PEL010101	

Exhibit 7 - Project Plans (Grading Plans)

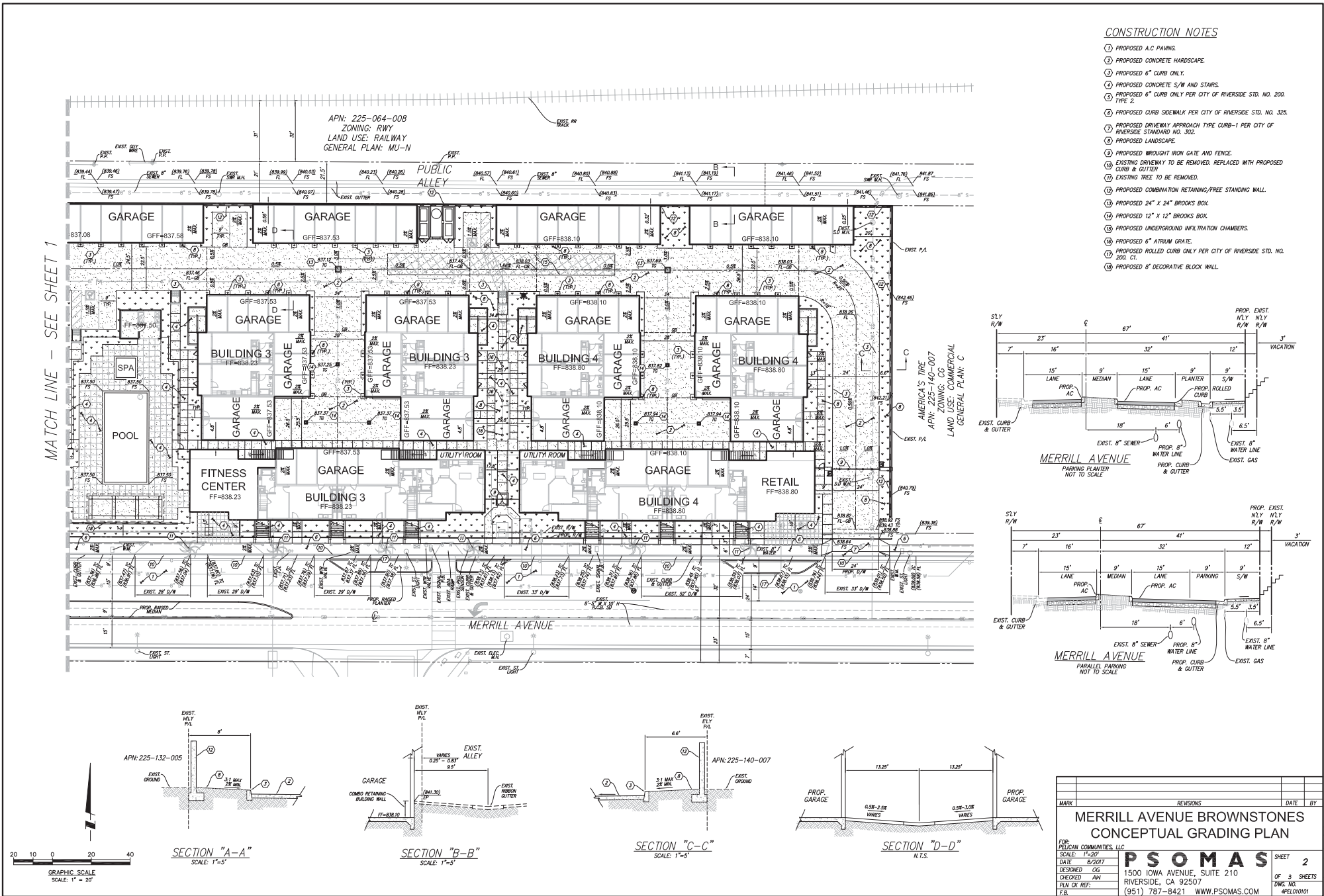


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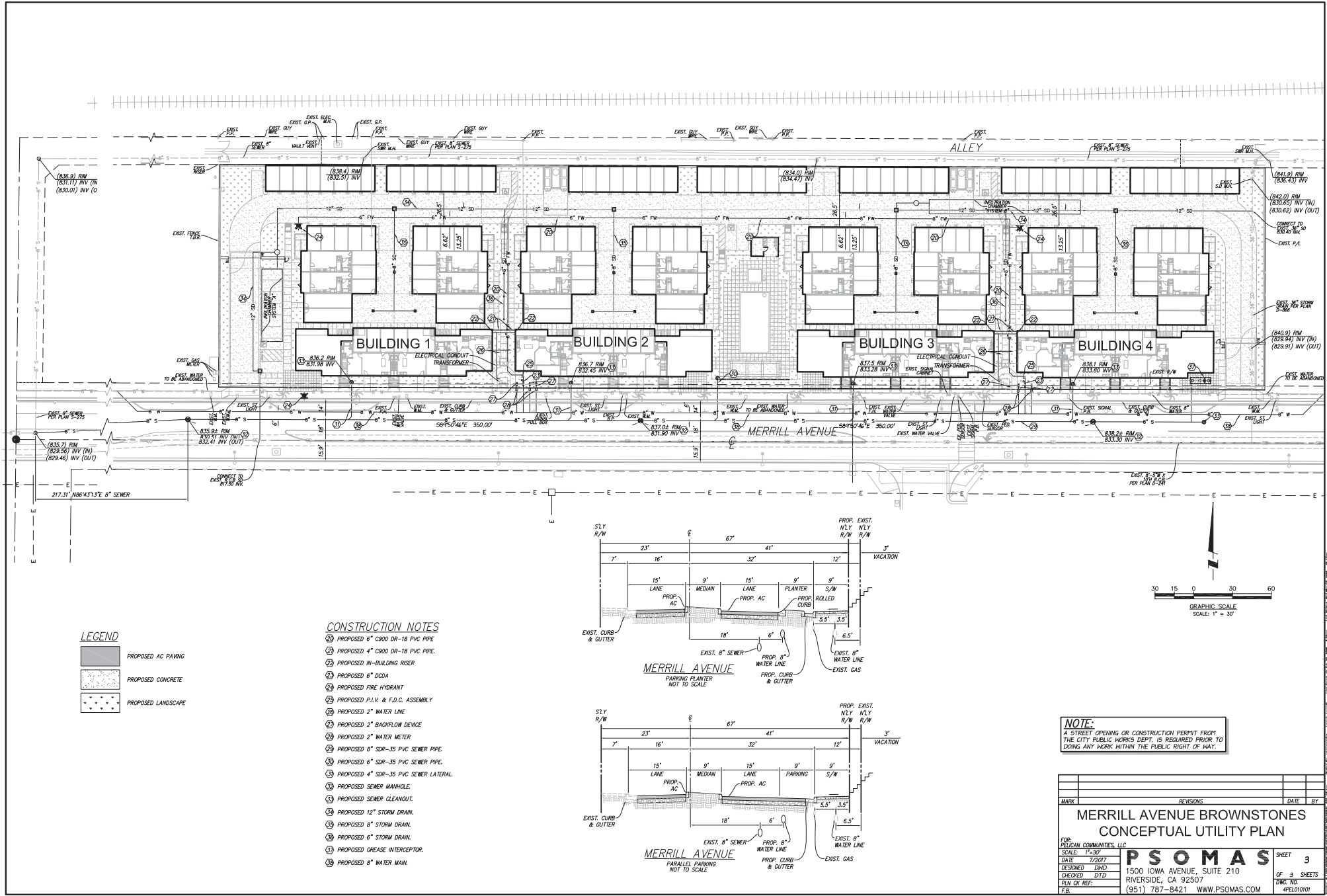


Exhibit 7 - Project Plans (Conceptual Utility Plan)



MATERIALS LEGEND

- 1 EXTERIOR CEMENT PLASTER
- 2 AWNING
- 3 MANUFACTURED STONE VENEER
- 4 MANUFACTURED STONE VENEER
- 5 STOOP ENTRY ELEMENTS
- 6 WROUGHT IRON RAILING
- 7 DECORATIVE BUILDING CORNICE
- 8 BUILT UP WINDOW TRIM
- 9 MASONRY VENEER
- 10 STOREFRONT GLAZING
- 11 VINYL WINDOW FRAME (COLORED OPTION)
- 12 SIGNAGE LOCATION
- 13 GARAGE DOOR
- 14 PAINTED SHUTTERS

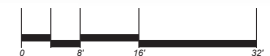


MERRILL AVENUE BROWNSTONES RIVERSIDE, CA

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EXTERIOR ELEVATIONS

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COLORS AND MATERIALS

ARCHITECTS ORANGE

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AERIAL VIEW LOOKING NORTHEAST ON MERRILL AVENUE

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AERIAL VIEW LOOKING NORTHEAST

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SOUTH ELEVATION- MERRILL AVENUE

CLUB RM

RECREATION / POOL AREA

FITNESS



VIEW LOOKING NORTHEAST ON MERRILL AVENUE

MERRILL AVENUE BROWNSTONES RIVERSIDE, CA

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3D MASSING STUDIES

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NORTH ELEVATION- RAILROAD EDGE



GARAGES AND WALL HEIGHTS

SEE LANDSCAPE WALL & FENCE PLAN FOR DETAILS



VIEW LOOKING SOUTHEAST ALONG THE RAILROAD

SEE LANDSCAPE WALL & FENCE PLAN FOR DETAILS

MERRILL AVENUE BROWNSTONES RIVERSIDE, CA

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3D MASSING STUDIES

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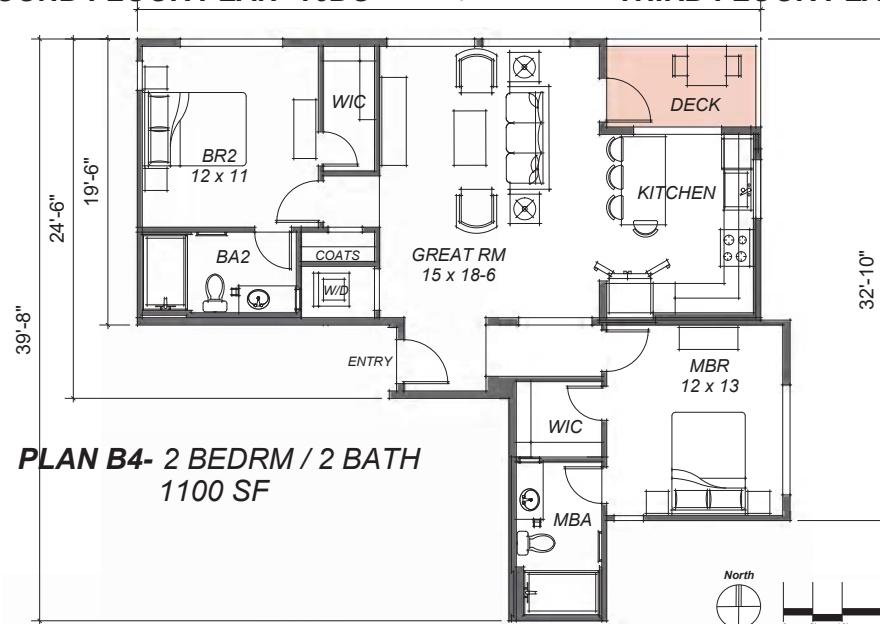


STREET LEVEL FLOOR PLAN- 7DU/25(30s)



SECOND FLOOR PLAN- 16DU

THIRD FLOOR PLAN- 4DU



PLAN B4- 2 BEDRM / 2 BATH
1100 SF

MERRILL AVENUE BROWNSTONES RIVERSIDE, CA

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A27DU/25(30s) CONCEPTUAL COMPOSITE FLOOR PLANS

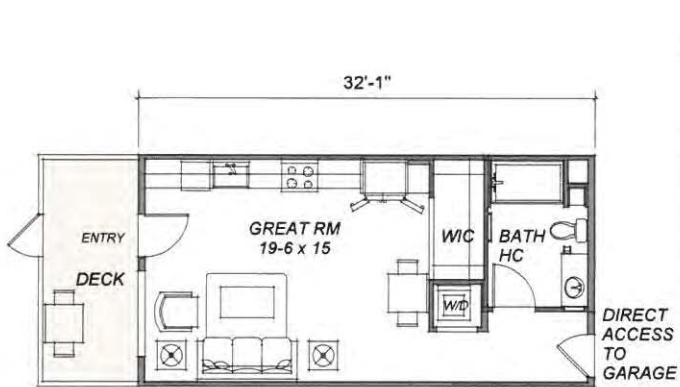
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144 NORTH ORANGE ST., ORANGE, CALIFORNIA 92666 (714) 639-9860

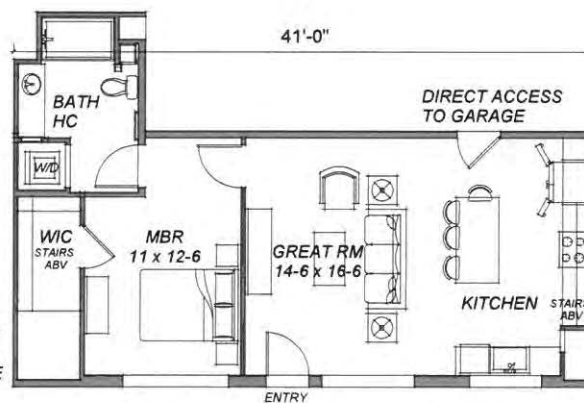
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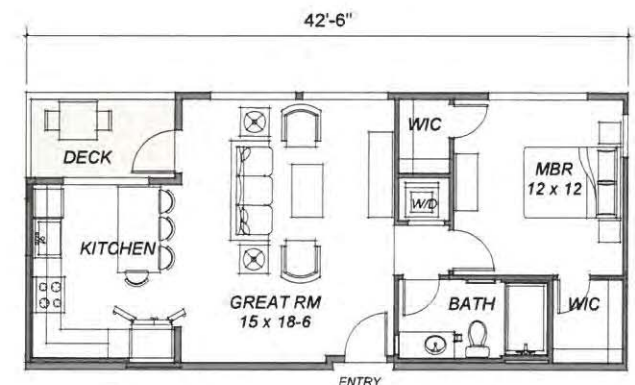
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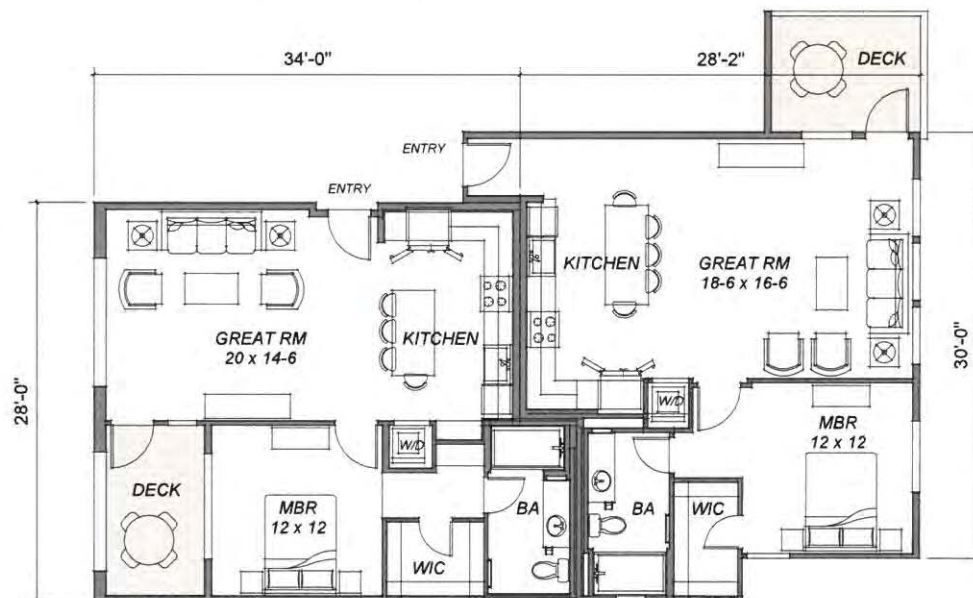
**PLAN S1- STUDIO 510 SF
DECK 110 SF**



**PLAN A1- 1 BEDRM / 1 BATH 780 SF
DECK**



**PLAN A2- 1 BEDRM / 1 BATH 760 SF
DECK 50 SF**



**PLAN A3- 1 BEDRM / 1 BATH 780 SF
DECK 80 SF**

**PLAN A4- 1 BEDRM / 1 BATH 856 SF
DECK 84 SF**



**PLAN A6- 1 BEDRM / 1 BATH 900 SF
DECK 120 SF**

MERRILL AVENUE BROWNSTONES RIVERSIDE, CA

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CONCEPTUAL UNIT PLANS 1

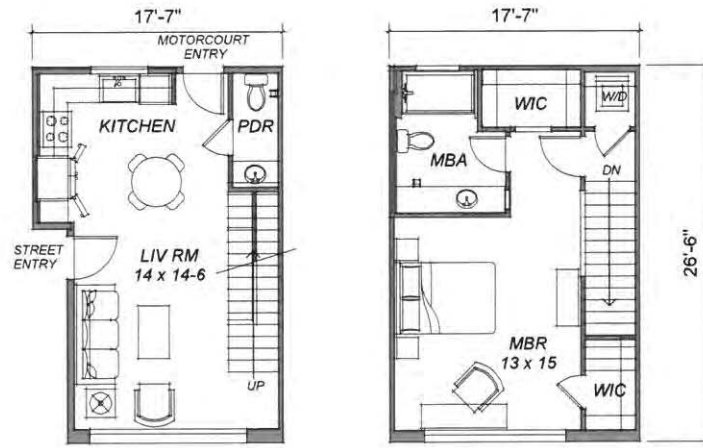
ARCHITECTS ORANGE

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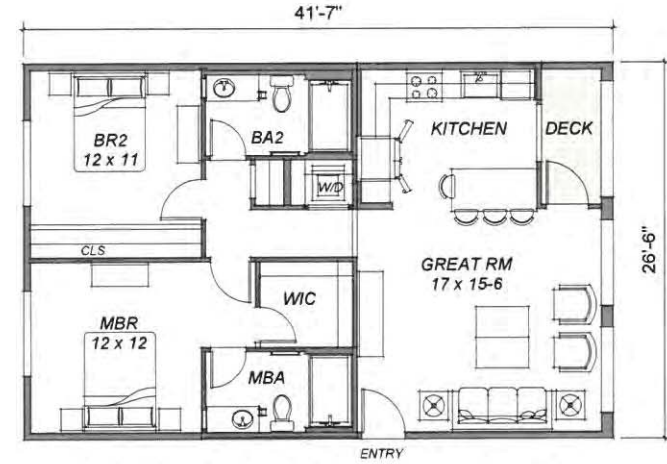
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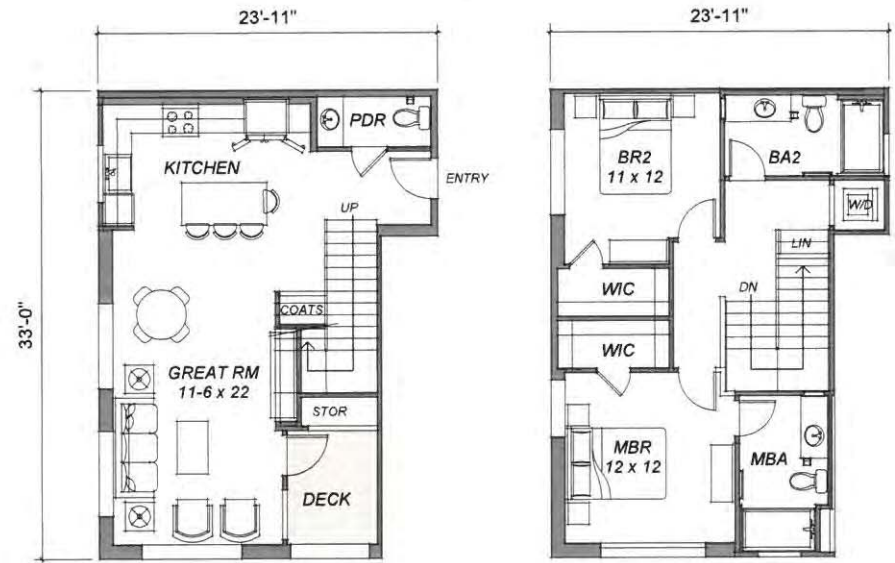
PLAN A5T- 1 BEDRM / 1.5 BATH
836 SF



PLAN B1- 2 BEDRM / 2 BATH 1050 SF
DECK 40 SF



PLAN B2T- 2 BEDRM / 2.5 BATH 1188 SF
DECK 100 SF



PLAN B3T- 2 BEDRM / 2.5 BATH 1290 SF
DECK 50 SF



MERRILL AVENUE BROWNSTONES RIVERSIDE, CA

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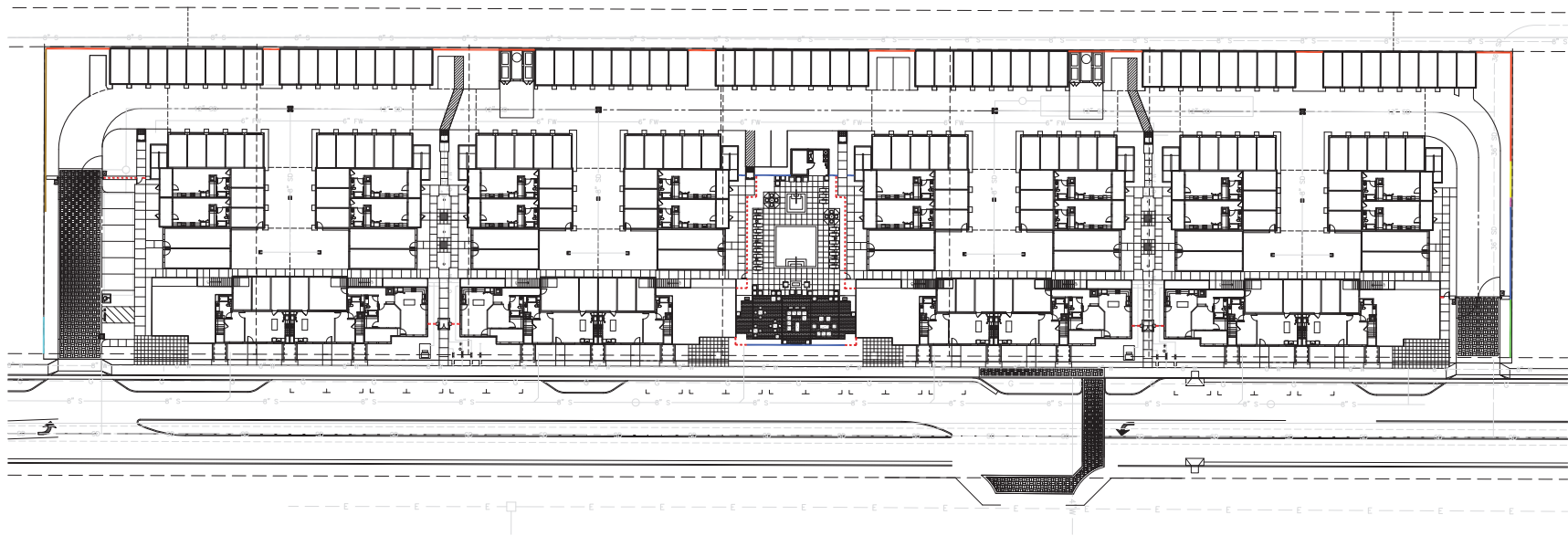
CONCEPTUAL UNIT PLANS 2

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PROGRESS
2015-380 24 SEPT 2017



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FENCE / WALL LEGEND

SYMBOL	DESCRIPTION	QTY
—	14 FEET HIGH CMU WALL	300 LF
—	13 FEET HIGH CMU WALL	115 LF
—	12 FEET HIGH CMU WALL	45 LF
—	10 FEET HIGH CMU WALL	30 LF
—	8 FEET HIGH CMU WALL	162 LF
—	6 FEET HIGH CMU WALL	45 LF
—	3 FEET HIGH DECORATIVE CMU WALL	57 LF
- - - - -	WROUGHT IRON FENCE/GATES	227 LF

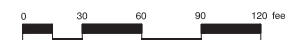
FENCE AND WALL PLAN

MERRILL AVENUE BROWNSTONES

RIVERSIDE, CA

PELICAN COMMUNITIES, LLC

1300 QUAIL ST., SUITE 100, NEWPORT BEACH CA 92660
Phone: 949 263 9210 Contact: DICK HAMM



SCALE: 1" = 30'



BGB DESIGN GROUP
Landscape Architecture Planning Urban Design
3185 C Airway Avenue Costa Mesa, CA 92626
P: 714-545-2898 F: 714-545-2878 bgb-hnc.com

L-3

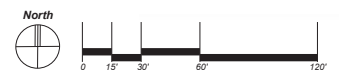
1/23/2018

Exhibit 7 - Project Plans (Fence and Wall Plans)



MERRILL AVENUE BROWNSTONES RIVERSIDE, CA

CONCEPTUAL AC CONDENSER LOCATION PLAN



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PROGRESS
2015-380 3 NOV 2017



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Exhibit 7 - Project Plans (Roof Plan)



MERRILL AVENUE BROWNSTONES

RIVERSIDE, CA

PELICAN COMMUNITIES, LLC

1300 QUAIL ST., SUITE 100, NEWPORT BEACH, CA 92660
Phone: 949-263-9210 Contact: DICK HAMM

0 30 60 90 120 feet

SCALE: 1" = 30'

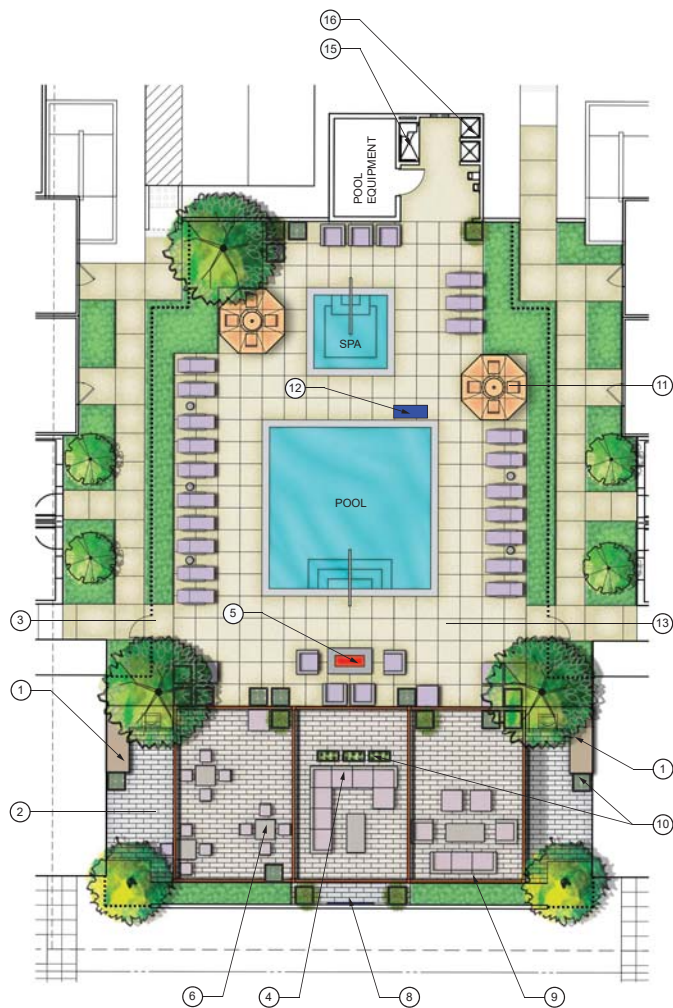


COMMON OPEN SPACE PLAN

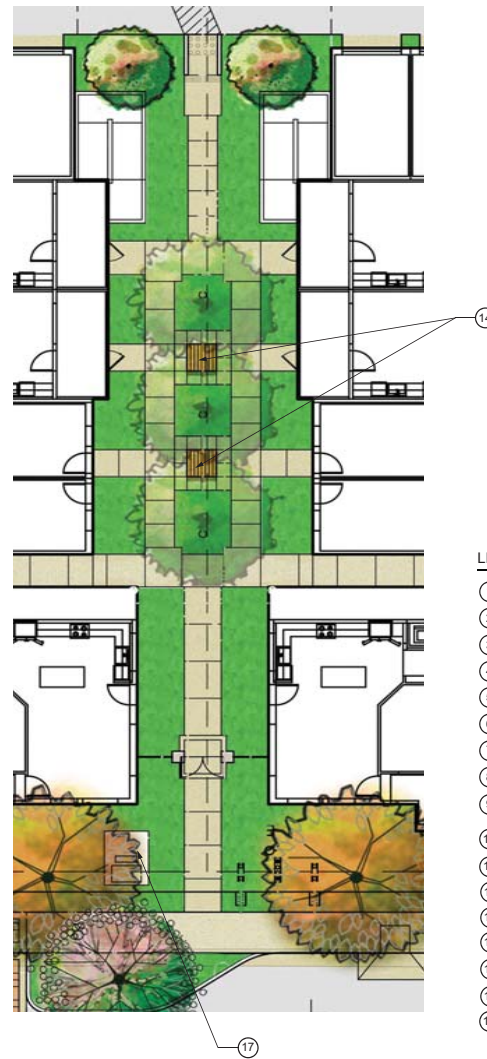
BGB | DESIGN GROUP
Landscape Architecture Planning Urban Design
3185 C1 Airway Avenue Costa Mesa, CA 92626
O: 714 545 2878 F: 714 545 2888 bgb-inc.com

L-4

01/23/2018

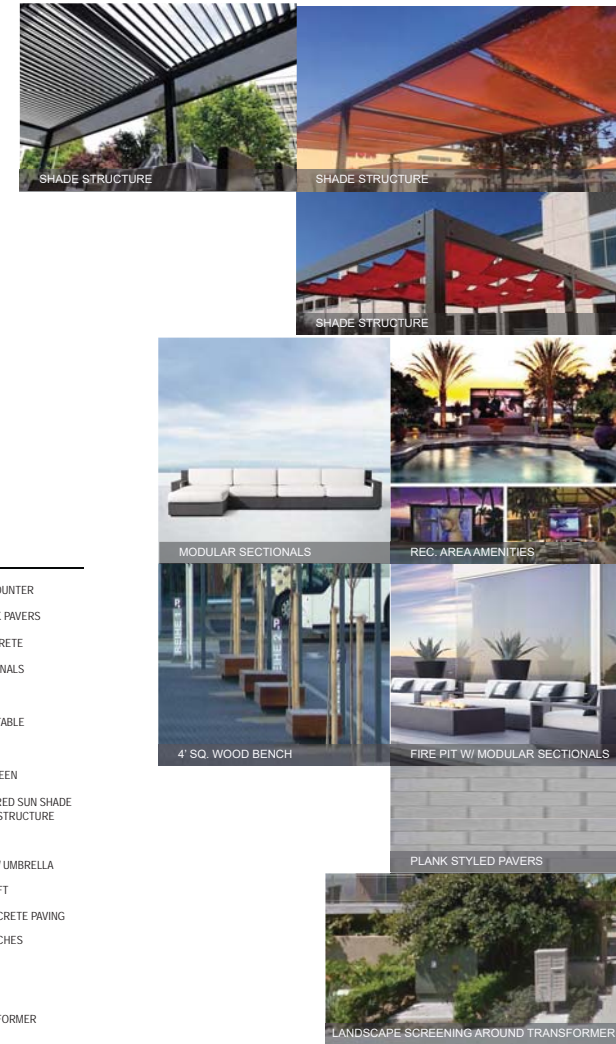


RECREATION AREA



PASEO

PRECEDENT IMAGES



LEGEND

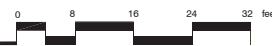
- ① BBQ / SERVING COUNTER
- ② CONCRETE PLANK PAVERS
- ③ ENHANCED CONCRETE
- ④ MODULAR SECTIONS
- ⑤ FIRE PIT
- ⑥ BAR STOOL AND TABLE
- ⑦ CHAISES
- ⑧ PROJECTION SCREEN
- ⑨ FABRIC OR COVERED SUN SHADE W/ STEEL FRAME STRUCTURE
- ⑩ PLANTERS
- ⑪ DINNING TABLE W/ UMBRELLA
- ⑫ PORTABLE ADA LIFT
- ⑬ SANDFINISH CONCRETE PAVING
- ⑭ 4' SQ. WOOD BENCHES
- ⑮ ADA SHOWER
- ⑯ SHOWER
- ⑰ ELECTRIC TRANSFORMER

MERRILL AVENUE BROWNSTONES - ENLARGEMENTS

RIVERSIDE, CA

PELICAN COMMUNITIES, LLC

1300 QUAIL ST., SUITE 100, NEWPORT BEACH, CA 92660
Phone: 949-263-9210 Contact: DICK HAMM



SCALE: 1/8" = 1'-0"



CONCEPTUAL LANDSCAPE PLAN

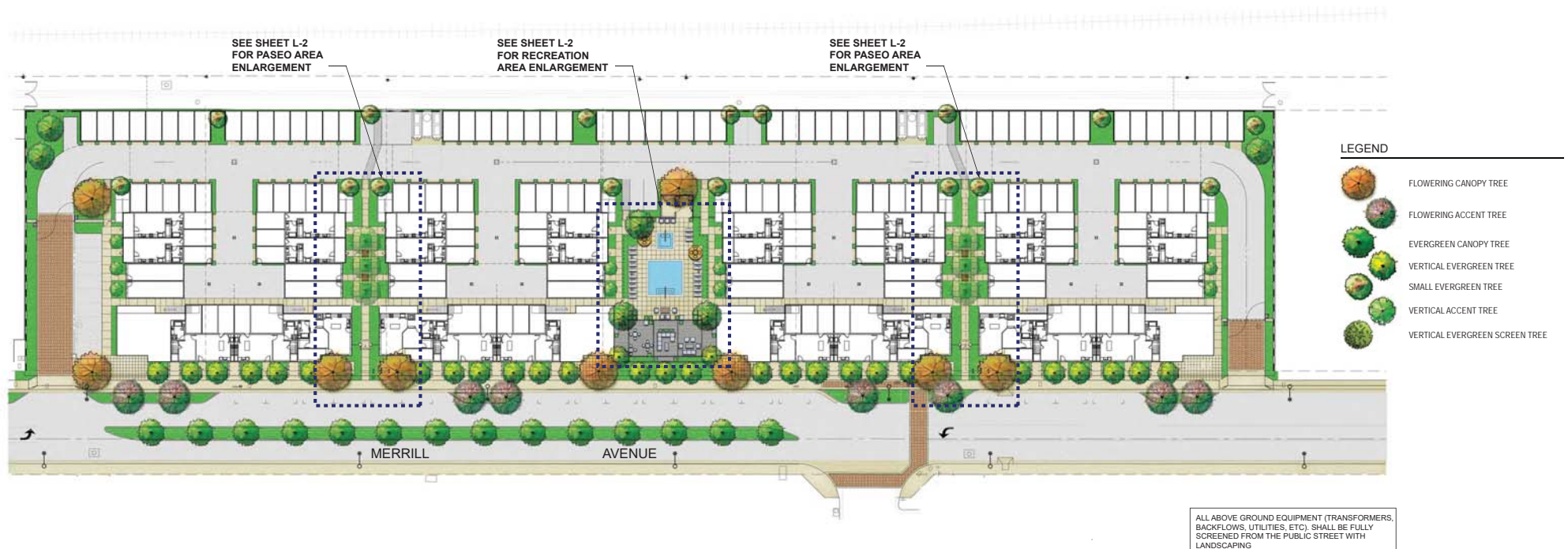
BGB | DESIGN GROUP
Landscape Architecture Planning Urban Design
3185 C1 Airway Avenue Costa Mesa, CA 92626
O: 714 545 2878 F: 714 545 2888 bgb-inc.com

L-2

01/23/2018



PRECEDENT IMAGES



LANDSCAPE TABULATION	
COMMON OPEN SPACE	19,200 S.F.
PUBLIC LANDSCAPE AREA (AREA FROM BACK OF SIDE WALK TO SECURITY GATES)	7,780 S.F.

MERRILL AVENUE BROWNSTONES

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SCALE: 1" = 30'



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1/23/2018

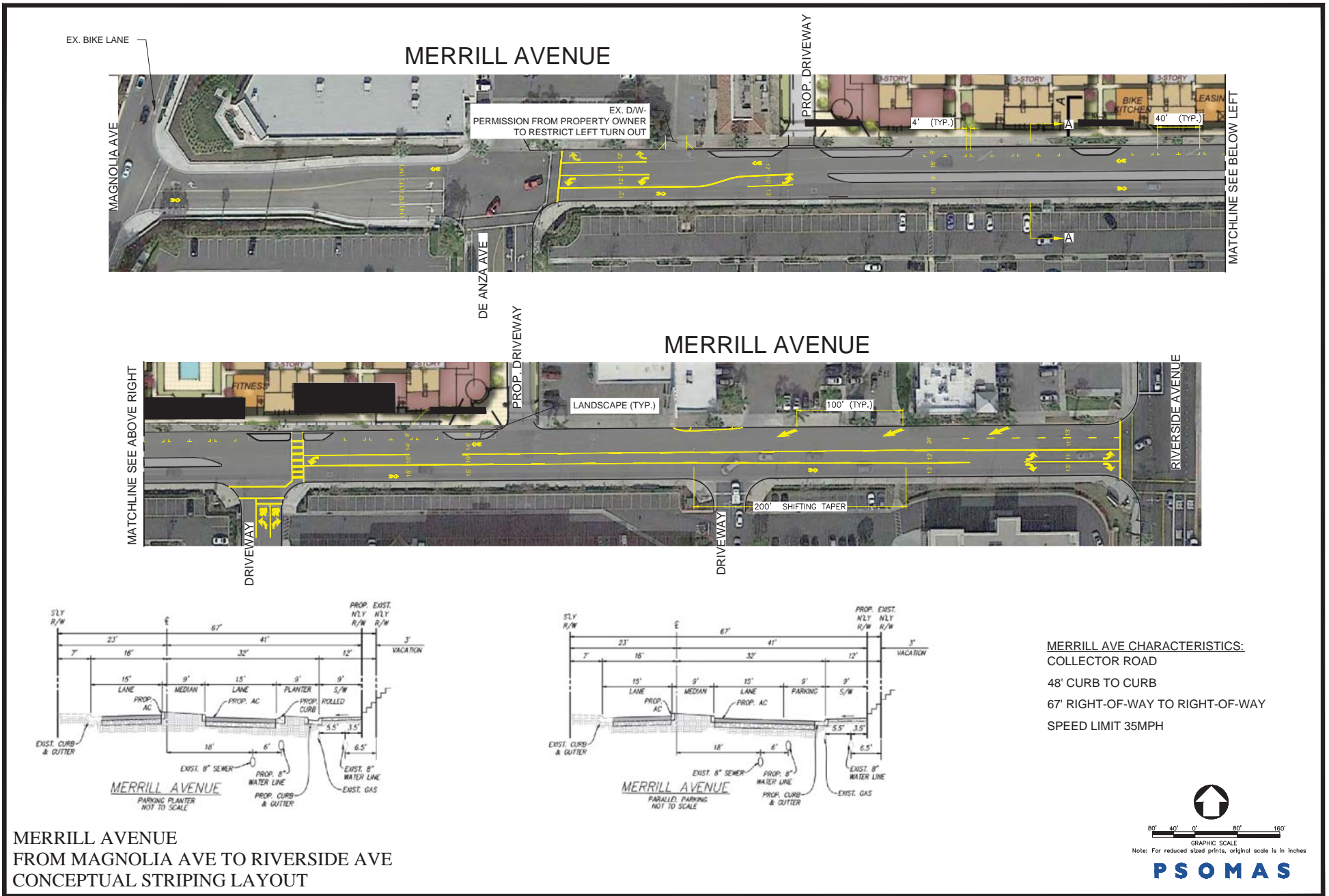


Exhibit 7 - Project Plans (Merrill Avenue Street Section)