

GENERAL NOTES

- ALL GRADING SHALL CONFORM TO THE RIVERSIDE MUNICIPAL CODE, TITLE 17 AND APPENDIX CHAPTER 33, VOL. 1 OF THE CURRENT CITY-ADOPTED EDITION OF THE UNIFORM BUILDING CODE.
- ALL PROVISIONS OF THE PRELIMINARY SOILS REPORT PREPARED BY TBD, DATED SHALL BE COMPLIED WITH DURING GRADING OPERATIONS. CITY BUSINESS TAX CERTIF. NO. EXP. DATE.
- THIS PLAN IS FOR GRADING PURPOSES ONLY AND IS NOT TO BE USED FOR THE PURPOSE OF CONSTRUCTING ON-SITE OR OFF-SITE IMPROVEMENTS. ISSUANCE OF A PERMIT BASED ON THIS PLAN DOES NOT CONSTITUTE APPROVAL OF DRIVEWAY LOCATIONS OR SIZES, PARKING LOT STRUCTURAL SECTIONS OR LAYOUT, ADA-RELATED REQUIREMENTS, BUILDING LOCATIONS OR FOUNDATIONS, WALLS, CURBING, OFF-SITE DRAINAGE FACILITIES OR OTHER ITEMS NOT RELATED DIRECTLY TO THE BASIC GRADING OPERATION. ON-SITE IMPROVEMENTS SHALL BE CONSTRUCTED FROM APPROVED BUILDING PERMIT PLANS. OFF-SITE IMPROVEMENTS SHALL BE CONSTRUCTED FROM PLANS APPROVED FOR THIS PURPOSE BY THE PUBLIC WORKS DEPARTMENT.
- CERTIFICATION FROM THE REGISTERED (CIVIL ENGINEER/ARCHITECT/LANDSCAPE ARCHITECT) STATING THAT THE GRADING HAS BEEN COMPLETED PER THE APPROVED PLAN, AND A COMPACTION REPORT FROM THE SOIL ENGINEER FOR FILL AREAS ARE REQUIRED PRIOR TO BUILDING PERMITS BEING ISSUED.
- CONTRACTOR IS RESPONSIBLE FOR EROSION, DUST AND TEMPORARY DRAINAGE CONTROL DURING GRADING OPERATIONS.
 - ALL MANUFACTURED SLOPES IN EXCESS OF 5 FEET IN VERTICAL HEIGHT ARE TO BE PROTECTED FROM EROSION DURING ROUGH GRADING OPERATIONS AND, THEREAFTER, UNTIL INSTALLATION OF FINAL GROUND COVER. (SEE LANDSCAPE PLANS FOR FINAL GROUND COVER).
 - ALL SLOPE PROTECTION SWALES TO BE CONSTRUCTED AT THE SAME TIME AS BANKS ARE GRADED.
 - THE DEVELOPER AND HIS CONTRACTOR ARE RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN AND SWPPP AND ALSO TO PROVIDE ANY ADDITIONAL EROSION CONTROL MEASURES (E.G., HYDROSEEDING, MULCHING OF STRAW, SAND-BAGGING, DIVERSION DITCHES, RETENTION BASINS, ETC.) DICTATED BY FIELD CONDITIONS TO PREVENT EROSION AND/OR THE INTRODUCTION OF DIRT, MUD OR DEBRIS INTO EXISTING PUBLIC STREETS AND/OR ONTO ADJACENT PROPERTIES DURING ANY PHASE OF CONSTRUCTION OPERATIONS. SPECIAL ATTENTION SHALL BE GIVEN TO ADDITIONAL EROSION CONTROL MEASURES NOTED ABOVE DURING THE PERIOD OCTOBER 15 TO APRIL 15.
 - AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS AND CHECK DAMS. SILT AND DEBRIS SHALL BE REMOVED FROM CITY OF RIVERSIDE STREETS. THIS REQUIREMENT SHALL REMAIN IN EFFECT UNTIL CITY ACCEPTANCE OF THIS PROJECT.
- ANY ON-SITE RETAINING WALLS SHOWN ON THIS PLAN THAT ARE UNDER 3 FEET IN HEIGHT AND SUPPORT A SURCHARGE OR THAT ARE OVER 3 FEET IN HEIGHT REQUIRE SEPARATE REVIEW, APPROVAL AND A BUILDING PERMIT FROM THE BUILDING DIVISION, PLANNING DEPARTMENT. ANY NECESSARY RETAINING WALLS ON THE PERIMETER OF THIS SITE SHALL BE IN PLACE AND APPROVED BY THE BUILDING INSPECTOR PRIOR TO ISSUANCE OF THE GRADING PERMIT. APPROVED SEQUENCED GRADING WITH 1:12:1 MAXIMUM SLOPES TO WITHIN 2 FEET OF THE ADJACENT PROPERTY LINE MAY BE ACCEPTABLE TO ALLOW FOR ISSUANCE OF A GRADING PERMIT PRIOR TO COMPLETION OF ANY NECESSARY PERIMETER RETAINING WALLS. (IF NO RETAINING WALLS ARE SHOWN ON THE PLAN, DO NOT PUT THIS NOTE ON PLAN.)
- ANY IMPROVEMENTS CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE A SEPARATE CONSTRUCTION PERMIT AND INSPECTION FROM THE PUBLIC WORKS DEPARTMENT.
- ANY WALLS, FENCES, STRUCTURES AND/OR APPURTENANCES ADJACENT TO THIS PROJECT ARE TO BE PROTECTED IN PLACE. IF GRADING OPERATIONS DAMAGE OR ADVERSELY AFFECT SAID ITEMS IN ANY WAY, THE CONTRACTOR AND/OR DEVELOPER IS RESPONSIBLE FOR WORKING OUT AN ACCEPTABLE SOLUTION TO THE SATISFACTION OF THE AFFECTED PROPERTY OWNER(S).
- THE CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR ENSURING THAT RETAINING WALLS DO NOT INTERFERE WITH PROVISION OF UTILITIES.
- IT IS THE GRADING CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ADEQUATE COMPACTION HAS BEEN ATTAINED ON THE ENTIRE GRADING SITE, INCLUDING FILL AREAS OUTSIDE THE BUILDING PADS AND ON ALL FILL SLOPES.
- IT IS THE SOIL ENGINEER'S RESPONSIBILITY TO OBSERVE AND PERFORM COMPACTION TESTS DURING THE GRADING TO EVALUATE THE PREPARATION OF THE NATURAL GROUND SURFACE TO RECEIVE THE FILL AND THE COMPACTION ATTAINED IN THE FILL, INCLUDING FILL AREAS OUTSIDE THE BUILDING PADS AND ON ALL FILL SLOPES.
- EARTHWORK QUANTITIES ARE SHOWN FOR GRADING PERMIT PURPOSES ONLY, AND THE CITY OF RIVERSIDE IS NOT RESPONSIBLE FOR THEIR ACCURACY.
- FOR GRADING OF AREAS OF 1 ACRE OR MORE, A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE KEPT ON-SITE AND MADE AVAILABLE UPON REQUEST OF A REPRESENTATIVE OF THE REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) - SANTA ANA REGION AND/OR THE CITY OF RIVERSIDE.
- GRADING OPERATIONS SHALL BE LIMITED TO BETWEEN THE HOURS OF 7 A.M. AND 7 P.M. ON WEEKDAYS AND BETWEEN 8 A.M. AND 5 P.M. ON SATURDAYS. NO GRADING WILL BE PERMITTED ON SUNDAY OR FEDERAL HOLIDAYS. (RIVERSIDE MUNICIPAL CODE, 7.35.010, ORDINANCE NO. 6273)

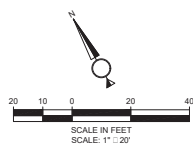
THE ABOVE ITEMS ARE THE MINIMUM INFORMATION REQUIRED FOR SUBMITTING A GRADING PLAN FOR REVIEW. THEREFORE, AFTER REVIEW, ADDITIONAL INFORMATION MAY STILL BE REQUIRED. IN SOME CASES, THE GRADING PLAN WILL BE SUBJECT TO ENVIRONMENTAL REVIEW PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT. THE PLANNING DEPARTMENT WILL PERFORM THE ENVIRONMENTAL REVIEW AND WILL INFORM THE APPLICANT IF ADDITIONAL INFORMATION WILL BE REQUIRED.

CONSTRUCTION NOTES

- CONSTRUCT CONCRETE V-GUTTER PER STANDARD DRAWING NO. 220 OF THE CITY OF RIVERSIDE STANDARDS
- CONSTRUCT CATCH BASIN TYPE 1 PER STANDARD DRAWING NO. 400 CITY OF RIVERSIDE STANDARDS, TYP.
- INSTALL 12" PVC STORM DRAIN PER CITY OF RIVERSIDE STANDARDS PER CITY OF RIVERSIDE STANDARDS
- INSTALL CURB AND GUTTER PER STANDARD DRAWING NO. 200 OF THE CITY OF RIVERSIDE STANDARDS

LEGEND:

— 841.5 —	PROPOSED CONTOUR
- - - - -	PROPOSED STORM DRAIN
841.5 ES	SPOT ELEVATION (FINISHED GRADE)
..... 841.5	EXISTING CONTOUR
— — — — —	PROPERTY LINE
— — — — —	ROAD CENTERLINE
— x —	EXISTING FENCE
—	EXISTING GATE
— W —	EXISTING WATER LINE
— SD —	EXISTING STORM DRAIN LINE
— S —	EXISTING SEWER LINE
—	EXISTING STORM DRAIN CLEANOUT
—	EXISTING SEWER MANHOLE
—	EXISTING TRANSFORMER
—	EXISTING SIGN
—	EXISTING TREE
—	PROPOSED STORM DRAIN
—	PROPOSED FIRE HYDRANT
—	PROPOSED CURB AND GUTTER
—	PROPOSED LANDSCAPE AREA
—	PROPOSED CONCRETE PAVEMENT
—	PROPOSED ASPHALT PAVEMENT
—	ALLEY DEDICATION
—	PROPOSED STORM DRAIN PIPE
—	PROPOSED TOWNHOME



CITY OF RIVERSIDE, CALIFORNIA PLANNING DIVISION DEPARTMENT			
APPROVED BY	BY	DATE	APPROVED BY
PRINCIPAL ENGINEER			CITY ENGINEER
CONSULTING ENGINEER			
STREET SERVICES			
SAFETY			
TRAFFIC DIVISION			
PARKS DEPARTMENT			
MARK	REVISIONS	APPR. DATE	DATE
DESIGNED BY	DRAWN BY	CHECKED BY	

Mission Inn Avenue Townhomes		GRADING PLAN
4019 Mission Inn Avenue		P17-0128
HORIZONTAL SCALE: 1" = 20' VERTICAL SCALE: N/A		SHEET 1 of 1



MISSION INN AVENUE BUILDINGS PLANS & ELEVATIONS UNITS 1 & 2 AND 3 & 4

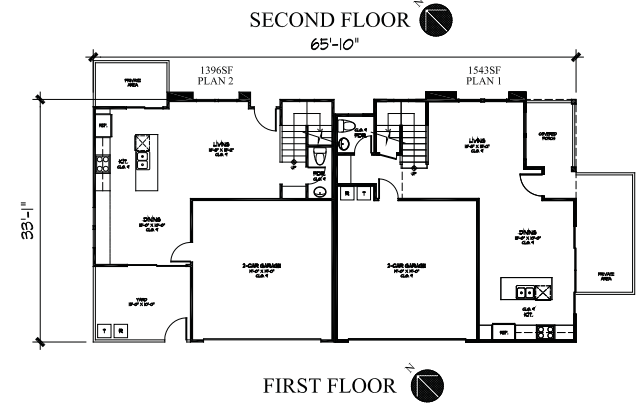
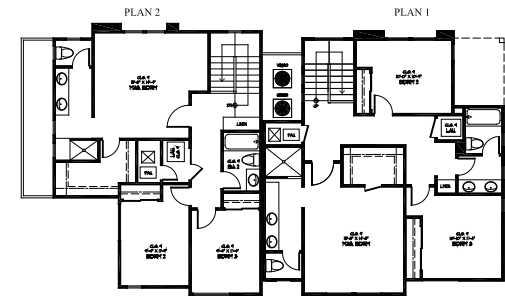
MISSION INN AVENUE

CityMark
1/8"=1'-0"



THE MCKINLEY ASSOC., INC.
ARCHITECTURE & PLANNING
AMENDED JANUARY . 03 . 2018

A.1



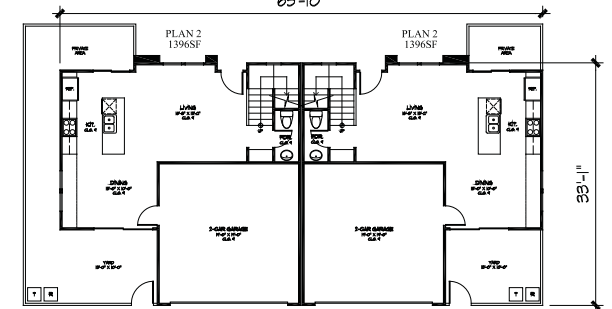
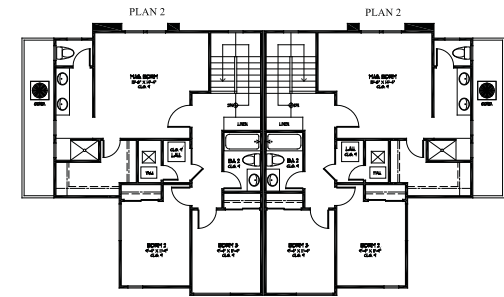
CHESTNUT STREET BUILDING PLANS & ELEVATIONS UNITS 5 & 6 MISSION INN AVENUE

CityMark
1/8"=1'-0"



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AMENDED JANUARY . 03 . 2018

A.2



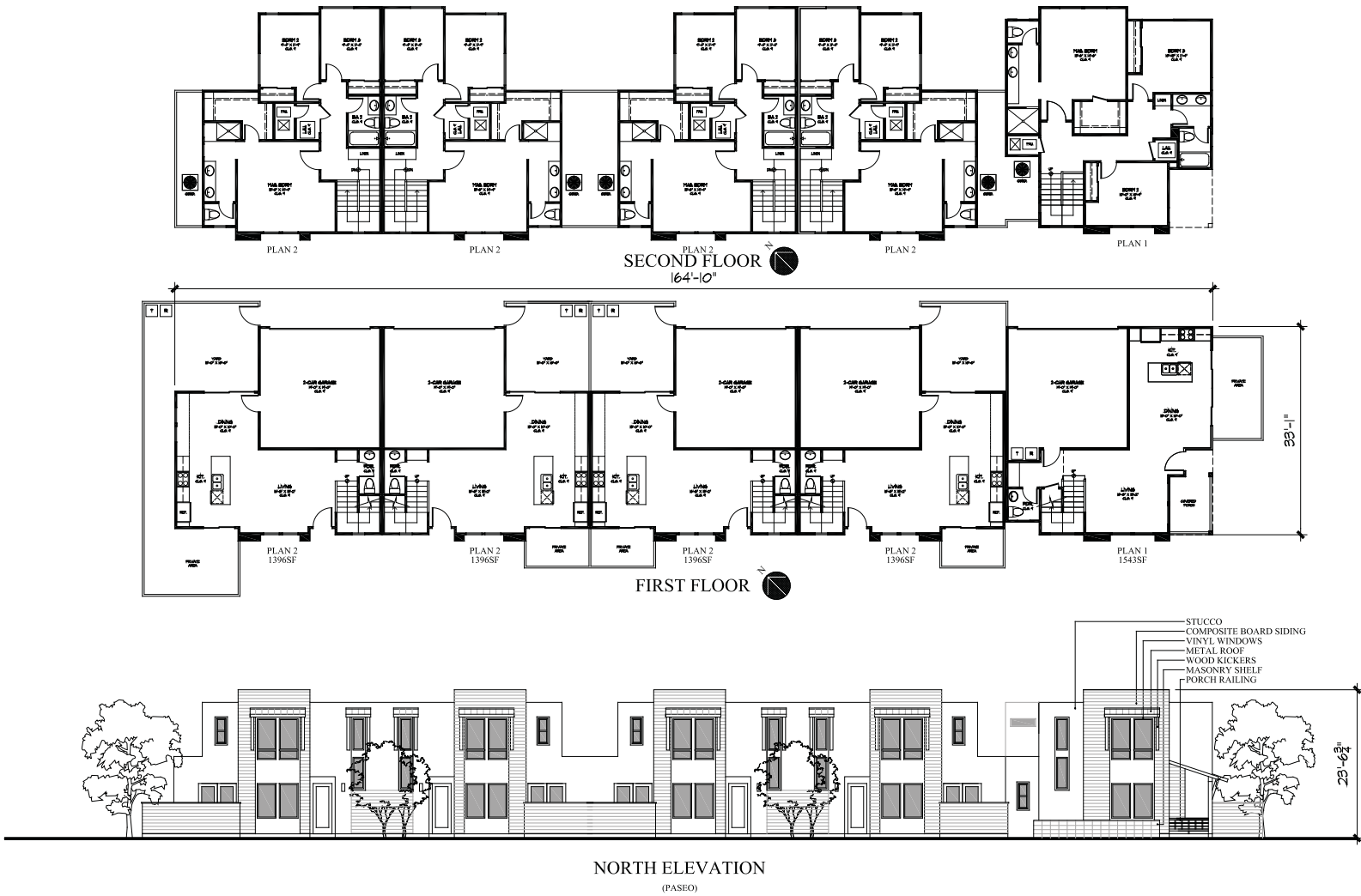
INTERNAL BUILDING PLANS & ELEVATIONS UNITS 7 & 8 MISSION INN AVENUE

CityMark
1/8"=1'-0"



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A.3



CHESTNUT/ALLEY BUILDING PLANS & ELEVATIONS UNITS 9,10,11,12 & 13

MISSION INN AVENUE

CityMark
1/8"=1'-0"



A.4



CHESTNUT/ALLEY BUILDING ELEVATIONS
MISSION INN AVENUE

CityMark
1/8"=1'-0"



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A.5



SOUTH ELEVATION
(MOTORCOURT)

EAST & WEST(rev) ELEVATION
(PASEO, STREET or SIDE YARD)

NORTH ELEVATION
(STREET)

- STUCCO BASE
DUNN EDWARDS
DROPLETS
DEW380
- TRIM
DUNN EDWARDS
PAPER SACK
DE6173
- HARDIE SIDING
DUNN EDWARDS
WALRUS
DE6368
- STONE VENEER
CREATIVE MINES
CRAFT URBAN LEDGE
BONE
- ACCENT
DUNN EDWARDS
LEMON ZEST
DE5412

ALL WINDOW FRAMES
TO BE BRONZE

MISSION INN AVENUE BUILDINGS PLANS & ELEVATIONS

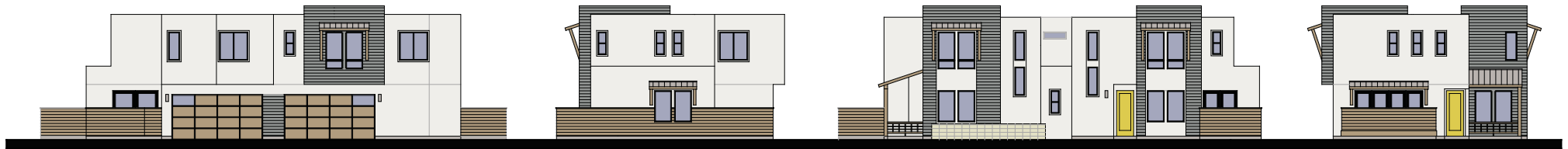
MISSION INN AVENUE

CityMark
1/8"=1'-0"



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JANUARY 3, 2018

A.6



NORTH ELEVATION
(MOTOR COURT)

WEST ELEVATION
(PASEO)

SOUTH ELEVATION
(PASEO)

EAST ELEVATION
(STREET)



CHESTNUT STREET BUILDING PLANS & ELEVATIONS MISSION INN AVENUE

CityMark
1/8"=1'-0"

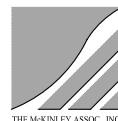


THE MCKINLEY ASSOC., INC.
JANUARY 3, 2018

A.7



UNITS 7 & 8
MISSION INN AVENUE
CityMark
1/8"=1'-0"

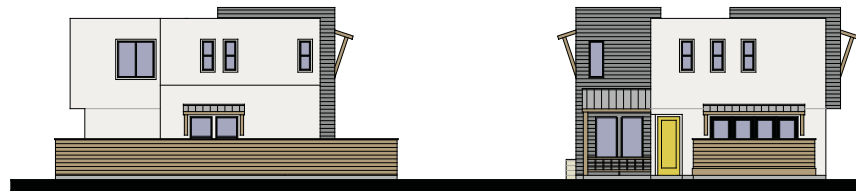


JANUARY 3, 2018

A.8



FRONT ELEVATION



LEFT ELEVATION

RIGHT ELEVATION



REAR ELEVATION



UNITS 9, 10, 11, 12, 13
MISSION INN AVENUE
CityMark
1/8"=1'-0"



JANUARY 3, 2018



MISSION INN AVENUE ELEVATION

COLORED LANDSCAPE ELEVATION
MISSION INN AVENUE
CityMark
1/8"=1'-0"



THE MCKINLEY ASSOC., INC.
JANUARY . 3 . 2018

A.10



CHESTNUT STREET ELEVATION

COLORED LANDSCAPE ELEVATION
MISSION INN AVENUE
CityMark
1/8"=1'-0"





BACK ALLEY ELEVATION

COLORED LANDSCAPE ELEVATION
MISSION INN AVENUE
CityMark
1/8"=1'-0"



THE MCKINLEY ASSOC., INC.
JANUARY . 3 . 2018

A.12



MISSION INN AVENUE

CityMark

ARCHITECTURAL DESIGN PACKAGE

AMENDED JANUARY , 03 , 2018





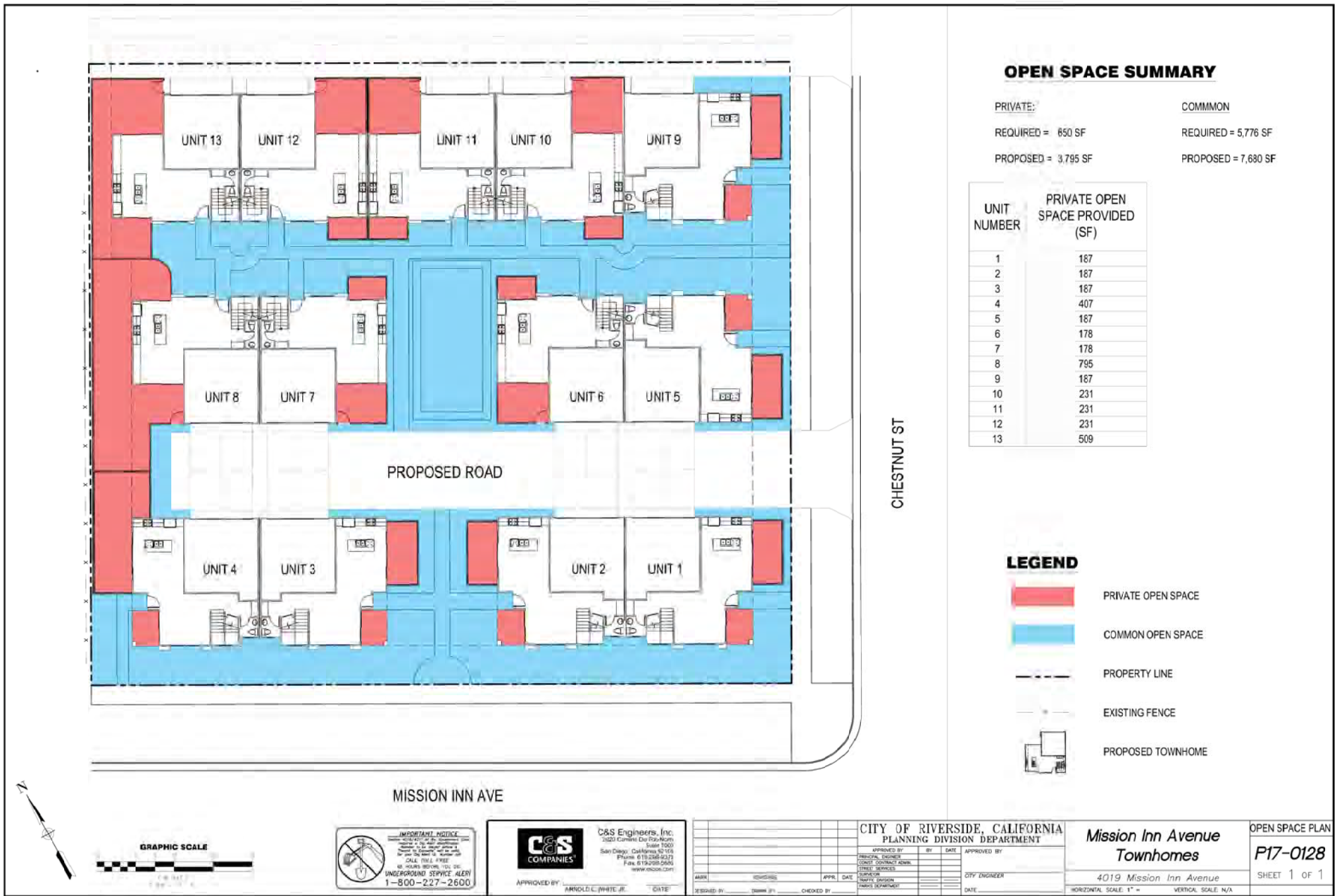
CHESTNUT STREET

CityMark

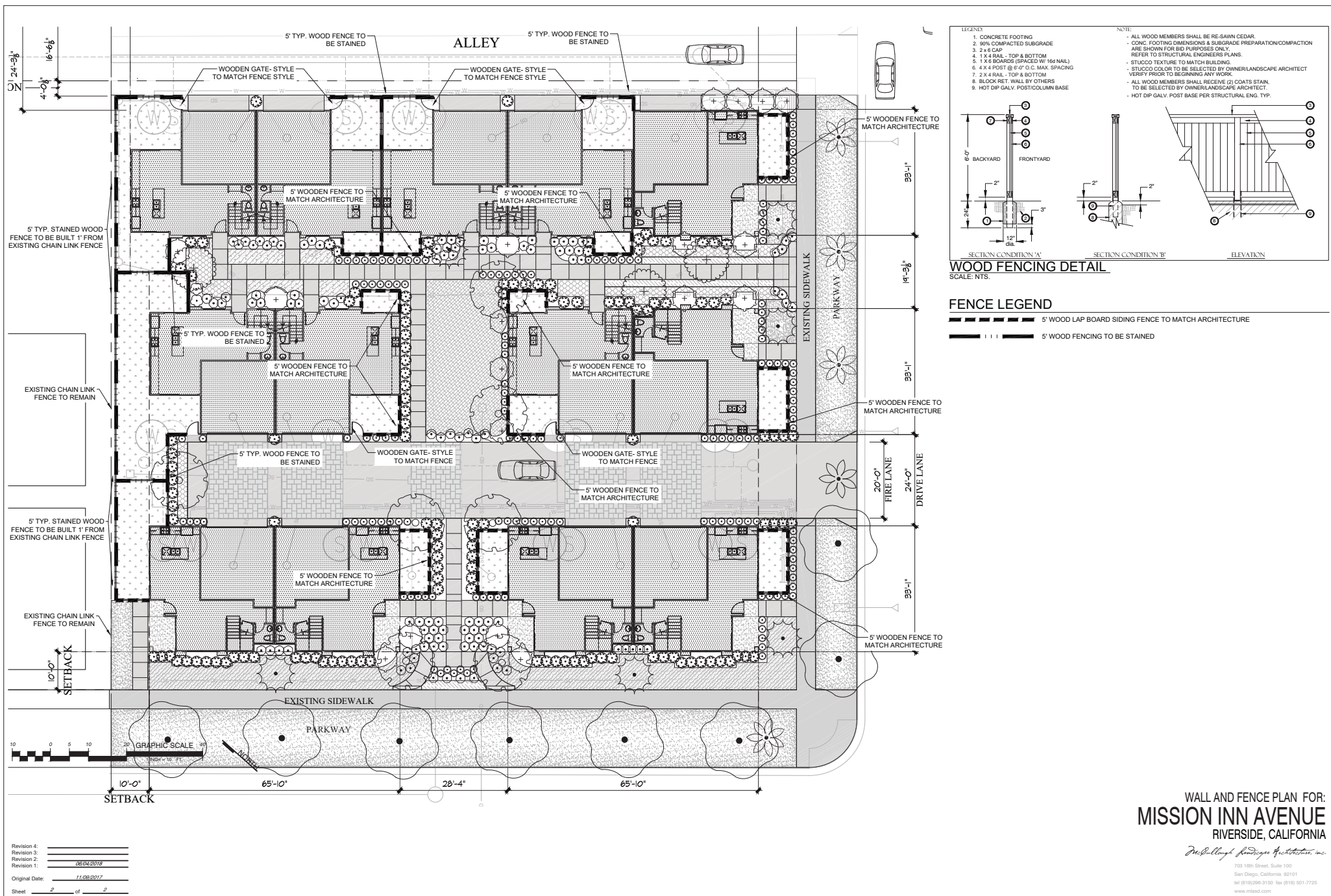
ARCHITECTURAL DESIGN PACKAGE

AMENDED JANUARY , 03 , 2018





P17-0761, P17-0762, P17-0763 Exhibit 7 - Project Plans



P17-0761, P17-0762, P17-0763 Exhibit 7 - Project Plans

(FOR CONDOMINIUM PURPOSES)
IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE,
STATE OF CALIFORNIA

BEING A PORTION OF BLOCK 6, RANGE 10 OF THE TOWN OF RIVERSIDE AS SHOWN BY MAP ON
FILE IN BOOK 7, PAGE 17 OF MAPS RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA

C&S ENGINEERS, INC. NOVEMBER 2017

ASSESSOR'S PARCEL NO.:	214-211-007
	(POR) 01, 02 & 03
TOTAL AREA GROSS:	0.663 ACRES
TOTAL AREA NET:	0.663 ACRES
EXISTING ZONING:	DSP (NEIGHBORHOOD COMMERCIAL DISTRICT)
PROPOSED ZONING:	DSP (NEIGHBORHOOD COMMERCIAL DISTRICT)
EXISTING LAND USE:	VACANT
PROPOSED LAND USE:	MULTI-FAMILY RESIDENTIAL
NO. OF LOTS:	1 LOT
NO. OF DWELLING UNITS:	13 DU
NO. OF PHASES:	1

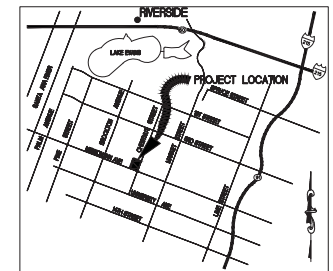
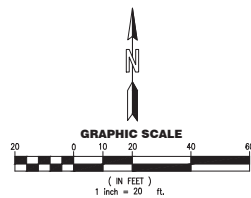
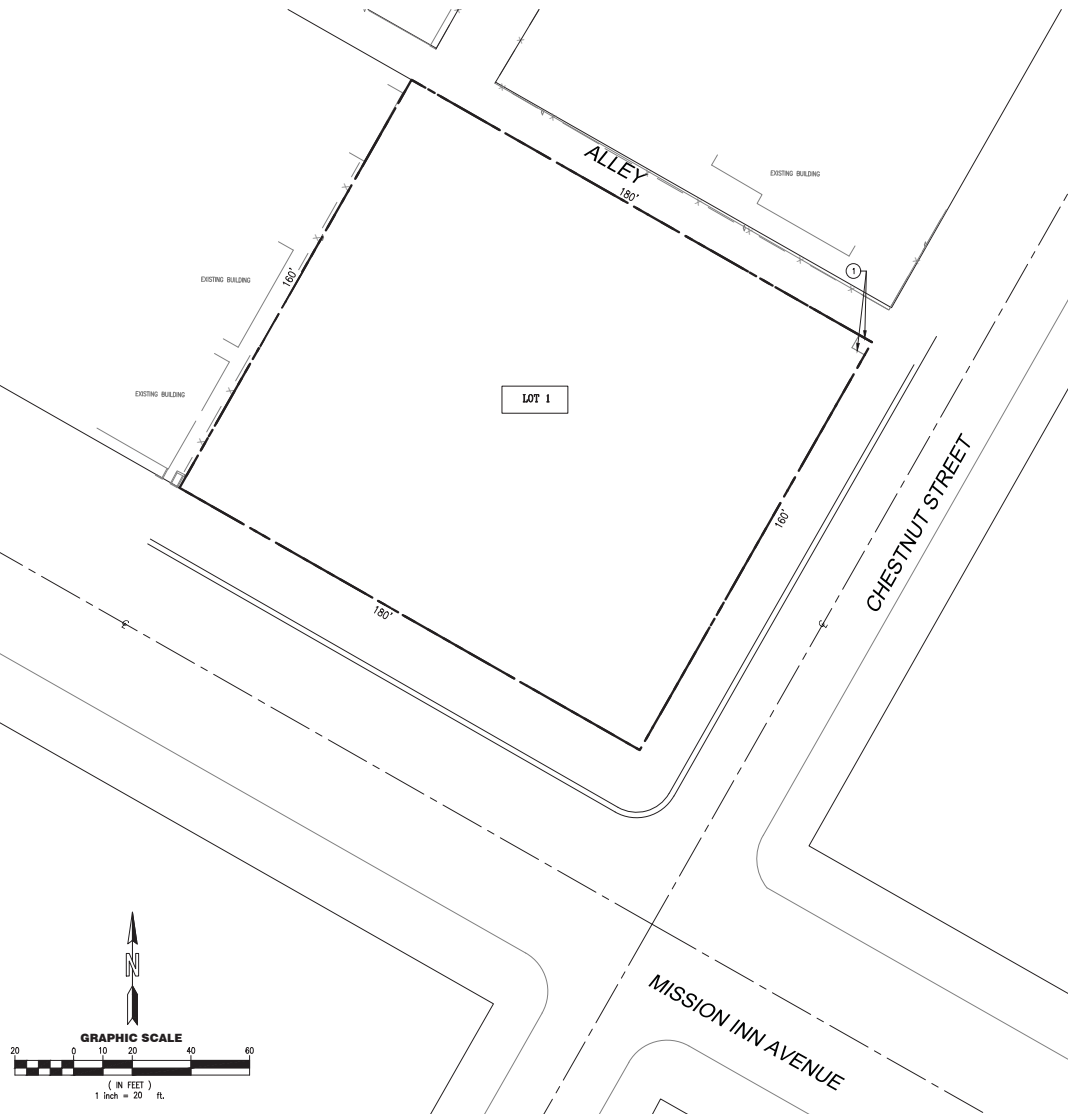
CITYMARK DEVELOPMENT
3818 PARK BOULEVARD
SAN DIEGO, CALIFORNIA 92103
ATTN: RUSS HALEY
(619) 231-1161

C&S ENGINEERS, INC.
2020 CAMINO DEL RIO N.
SUITE 1000
SAN DIEGO, CALIFORNIA
(619) 296-9373

① AN EASEMENT FOR EITHER OR BOTH POLE LINES, CONDUITS OR UNDERGROUND FACILITIES, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF PACIFIC TELEPHONE COMPANY, AS SET FORTH IN A DOCUMENT RECORDED FEBRUARY 26, 1980 AS INSTRUMENT NO. 37147 OF OFFICIAL RECORDS (PLOTTED HEREON).

X — X — X EXISTING FENCING
 EXISTING GATE
 — — — PROPERTY LINE

1. ALL EXISTING STRUCTURES ON THE SUBJECT LOT SHALL BE REMOVED.
2. A WATER QUALITY MANAGEMENT PLAN (WQMP) SHALL BE PREPARED FOR THE PROJECT SITE, BASED ON THE APPROVED PRELIMINARY WQMP. THE WQMP SHALL DOCUMENT THAT THROUGH A COMBINATION OF SITE DESIGN/LID BMP'S (WHERE FEASIBLE), SOURCE CONTROL, AND/OR STRUCTURAL TREATMENT SYSTEMS (MILL CREEK WETLANDS), NON-POINT POLLUTANT CONCENTRATIONS, HYDROLOGIC CONDITIONS OF CONCERN, HAVE BEEN MITIGATED TO THE MAXIMUM EXTENT PRACTICABLE, FOR THIS TRACT MAP PROJECT.
3. DESIGN AND CONSTRUCT PUBLIC IMPROVEMENTS IN ACCORDANCE WITH CITY CODE, STANDARDS AND SPECIFICATIONS.
4. OFFSITE IMPROVEMENT PLAN TO BE APPROVED BY PUBLIC WORKS PRIOR TO ISSUANCE OF A CONSTRUCTION PERMIT.
5. EXISTING POWER POLES AND TREE WITHIN THE PROPOSED ACCESS DRIVEWAY ON CHESTNUT TO BE RELOCATED PER CITY STANDARDS AND SPECIFICATIONS



VICINITY MAP