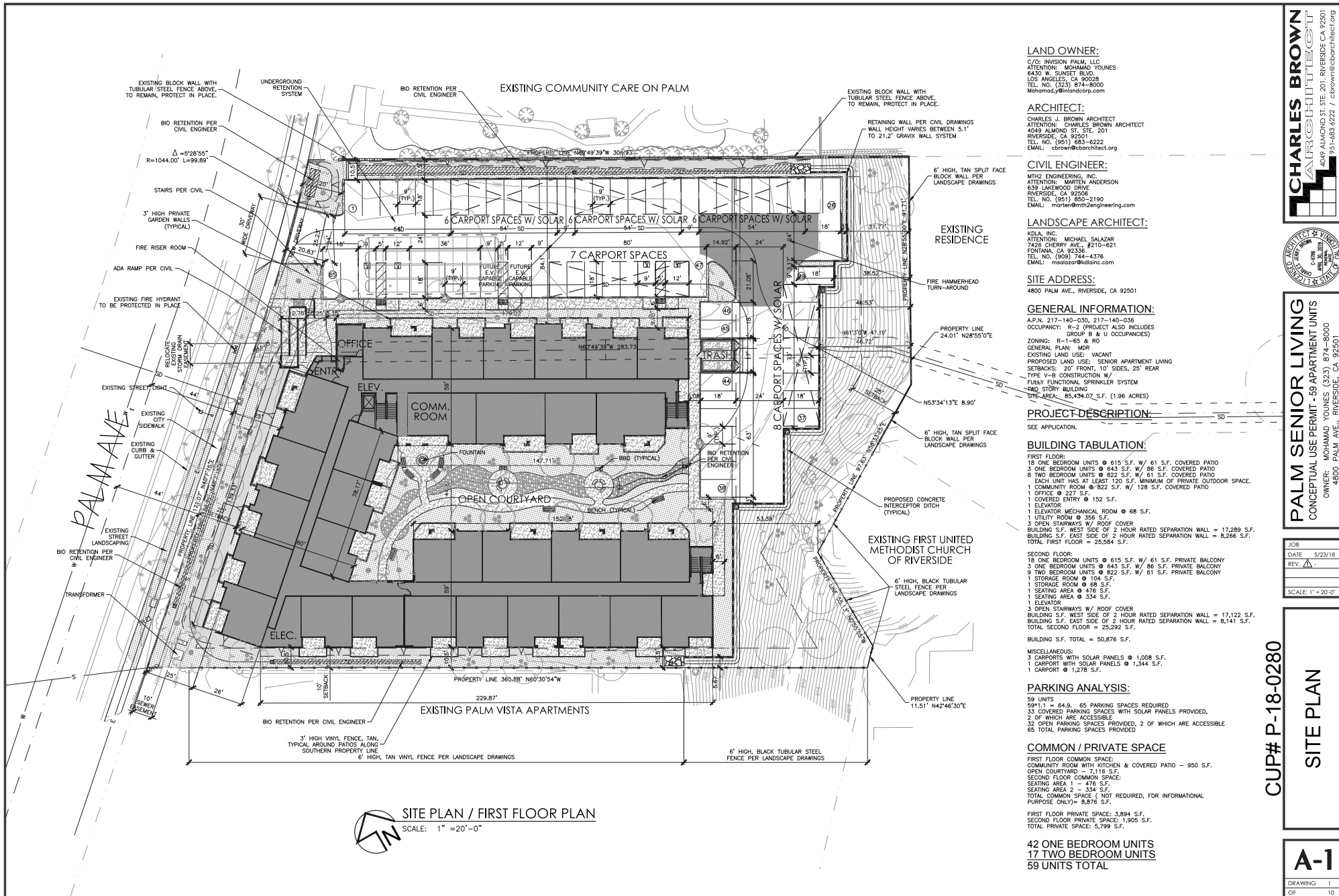


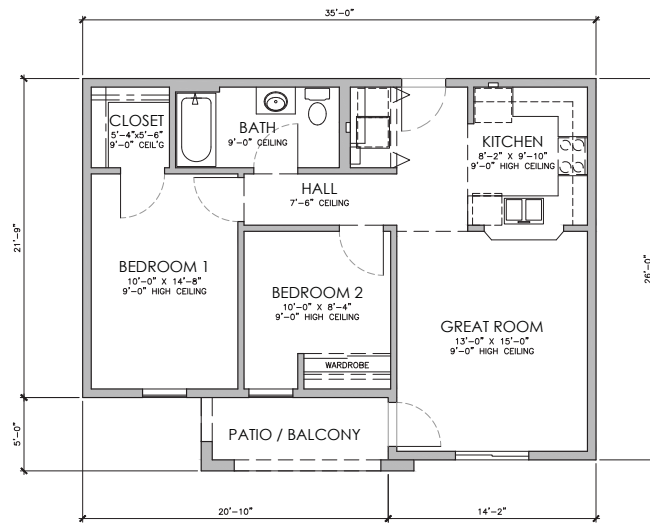


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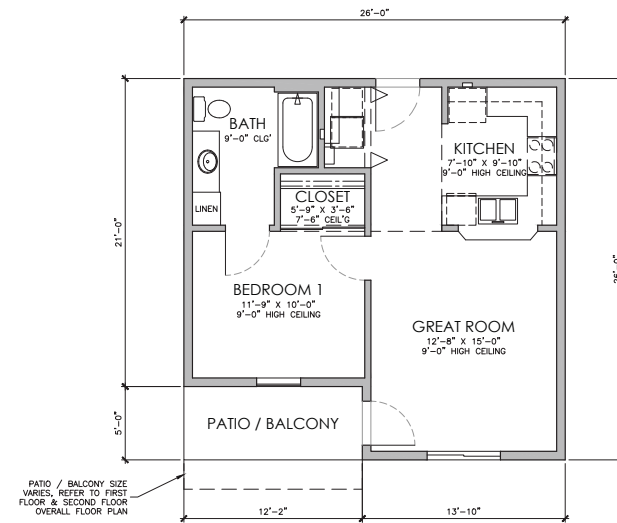


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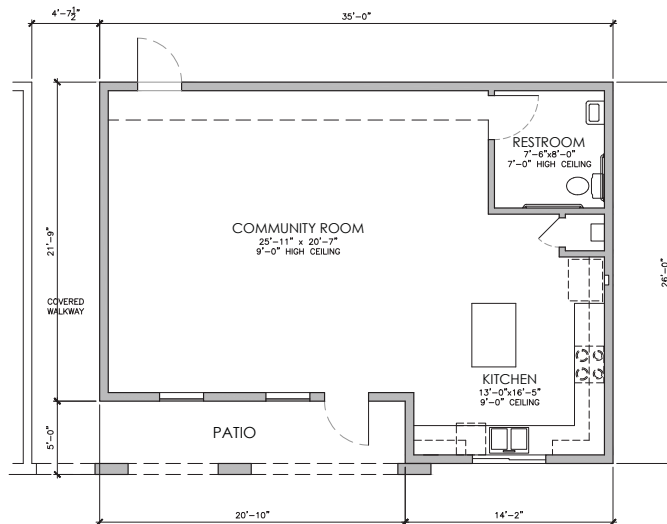




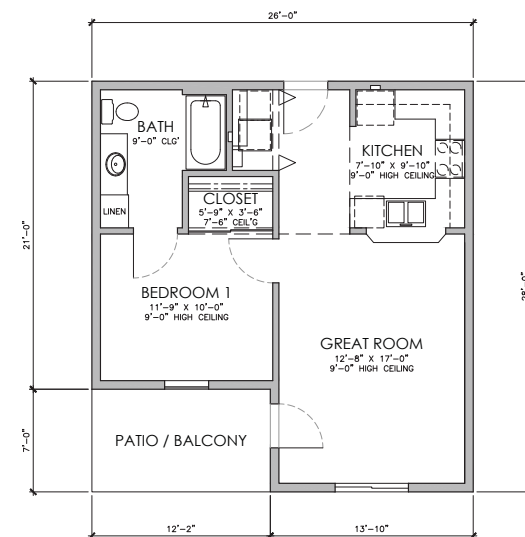
TWO BEDROOM UNIT 2A - 822 S.F.



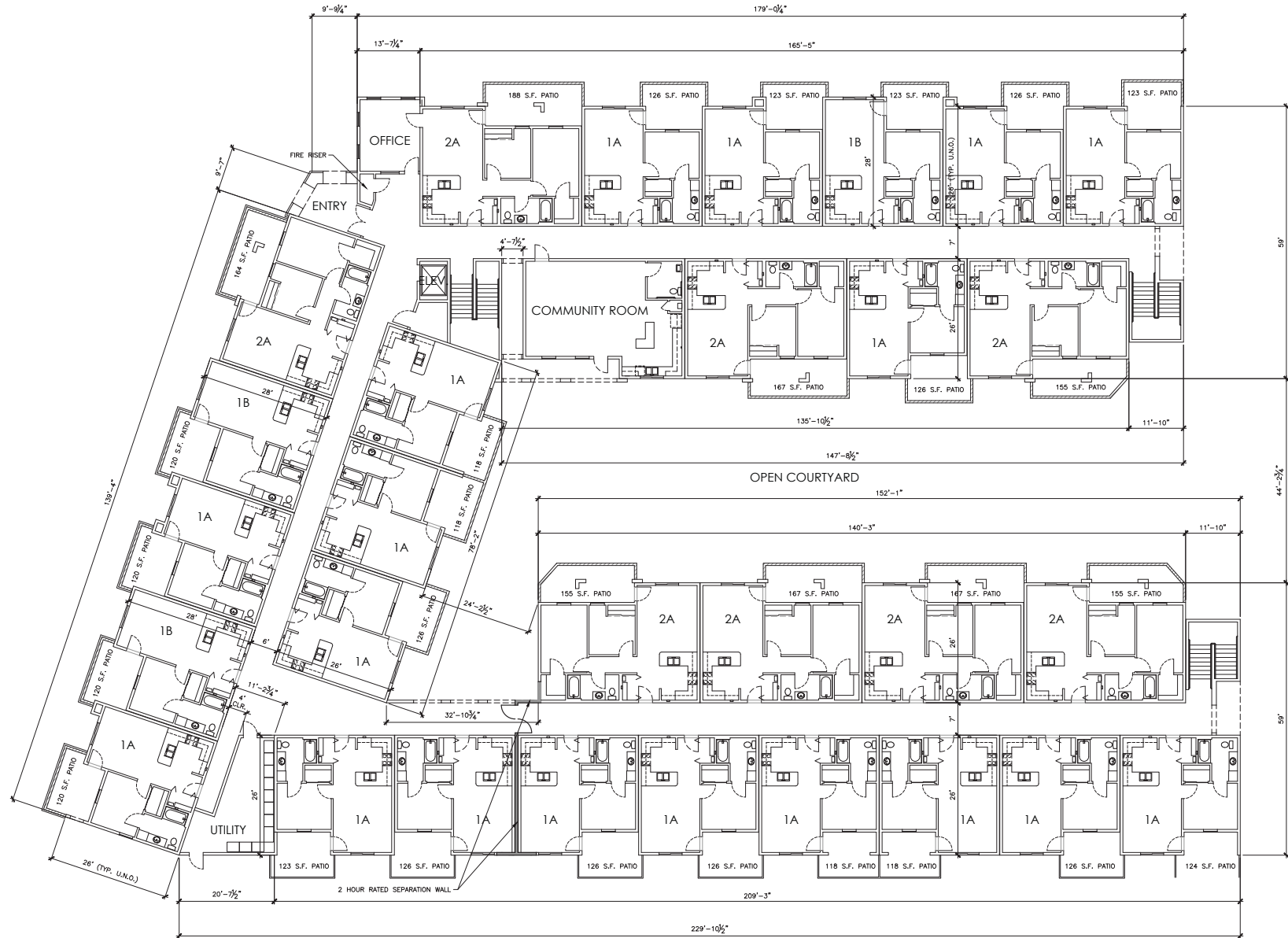
ONE BEDROOM UNIT 1A- 615 S.F.



COMMUNITY ROOM - 822 S.F.

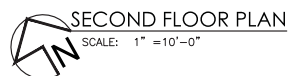


ONE BEDROOM UNIT 1B- 643 S.F.



FIRST FLOOR PLAN
SCALE: 1" = 10'-0"

BUILDING S.F. WEST SIDE OF 2 HOUR RATED SEPARATION WALL - 17,318 S.F.
BUILDING S.F. EAST SIDE OF 2 HOUR RATED SEPARATION WALL - 8,266 S.F.
TOTAL SECOND FLOOR S.F. = 25,584 S.F.



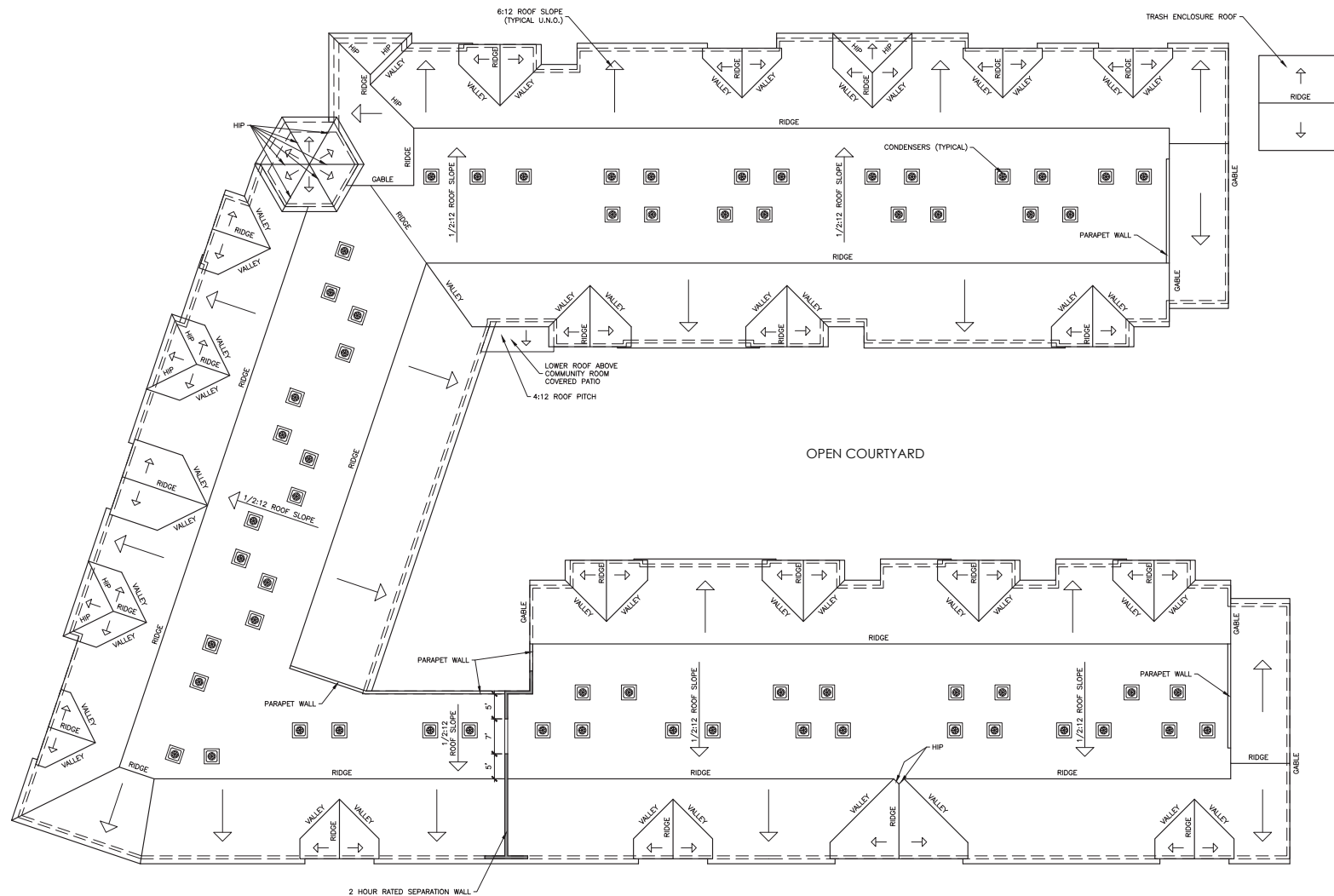
CHARLES BROWN
ARCHITECT
4049 ALMOND ST. STE. 201, RIVERSIDE CA 92501
951-683 6222 / cbrown@cbarchitect.org



JOB
DATE 5/23/18
REV.  -
SCALE: 1" = 10'-0"

SECOND
FLOOR PLAN

P18-0279, P18-0280, P18-0281, P18-0282 Exhibit 6 - Project Plans



ROOF PLAN
SCALE: 1" = 10'-0"

FUTURE SOLAR AREA CALCULATION:
THE ROOF AREA IS 29,006 S.F.
SOLAR ZONE AREA = ROOF AREA * 15%
SOLAR ZONE AREA = 29,006 S.F. * 15%
SOLAR ZONE AREA = 4,351 S.F.
4,368 S.F. OF SOLAR AREA PROVIDED @ FUTURE CARPORTS.



PALM STREET (NORTHWEST) ELEVATION

SCALE: 1/8"=1'-0"



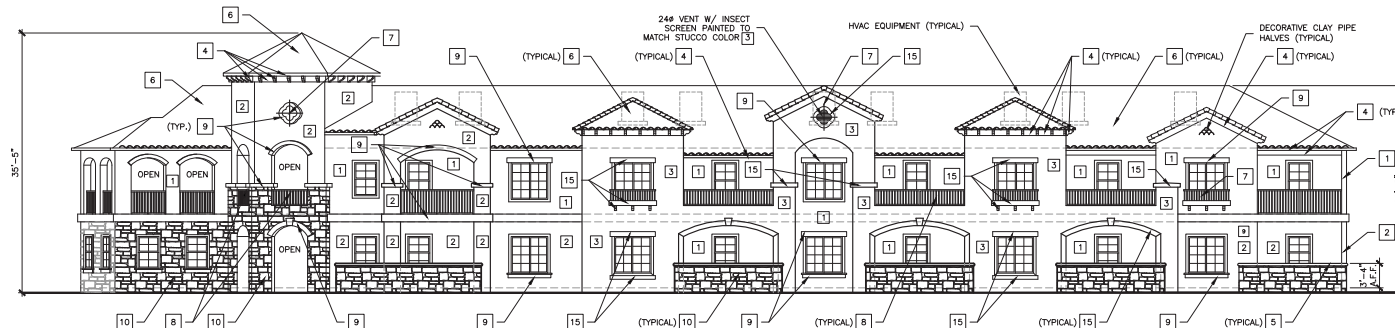
SOUTHWEST ELEVATION

SCALE: 1/8"=1'-0"

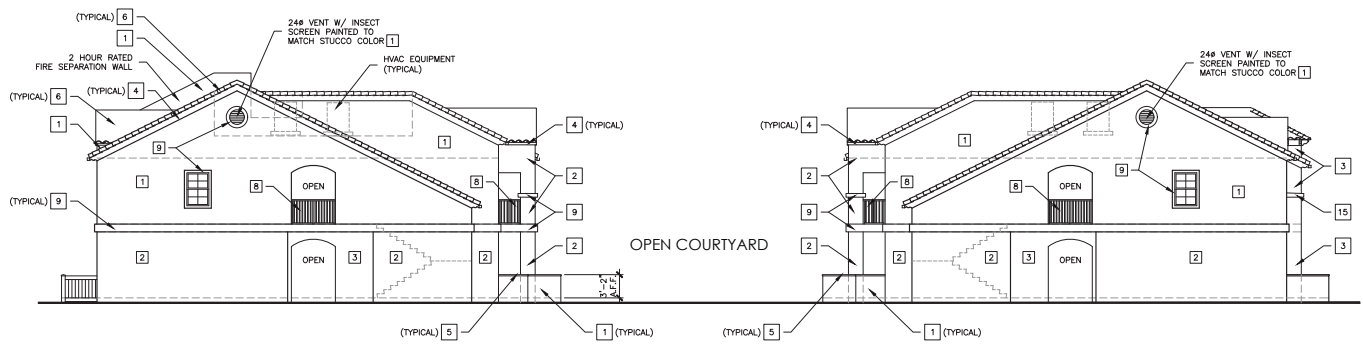


NORTHEAST ELEVATION

SCALE: 1/8"=1'-0"



PALM STREET (NORTHWEST) ELEVATION
SCALE: 1/8"=1'-0"



SOUTHEAST ELEVATION
SCALE: 1/8"=1'-0"

EXTERIOR ELEVATION FINISH NOTES			
#	MATERIALS	COMPANY	COLOR, NUMBER & NOTES
1	STUCCO - MACHINE APPLIED SAND 20/30 FINISH	OMEGA PRODUCTS INTERNATIONAL	#15 BIRCH WHITE
2	STUCCO - MACHINE APPLIED SAND 20/30 FINISH	OMEGA PRODUCTS INTERNATIONAL	#233 CHIMAYO
3	STUCCO - MACHINE APPLIED SAND 20/30 FINISH	OMEGA PRODUCTS INTERNATIONAL	#412 BISON BEIGE
4	ACCENT PAINT - WOOD TRIM, FAUX WOOD HEADER, WOOD POSTS, WOOD BEAMS, WOOD FASCIA, GUTTERS	DUNN EDWARDS	DEC712 BRIAR
5	PRECAST CONCRETE CAP	-	SELECTED BY OWNER
6	"S" PROFILE LIGHT WEIGHT CONCRETE TILE ROOF	EAGLE ROOFING PRODUCTS	CAPISTRANO LMC 8402 SANTA CRUZ BLEND
7	DECORATIVE WROUGHT IRON	-	SELECTED BY OWNER
8	42" HIGH DECORATIVE WROUGHT IRON GUARDRAIL	-	SELECTED BY OWNER
9	FOAM TRIM W/ ACCENT STUCCO MACHINE APPLIED, SAND 20/30 FINISH	OMEGA PRODUCTS INTERNATIONAL	#412 BISON BEIGE
10	STONE VENEER	BORAL CULTURED STONE	ROMANA OLD COUNTRY FIELDSTONE W/ 1/2" MORTAR JOINTS
11	WALL MOUNTED LIGHT FIXTURES - REFER TO ELECTRICAL DRAWINGS	OMITTED	OMITTED
12	PAINT - STEEL COLUMNS & CARPORT	DUNN EDWARDS	PAINT TO MATCH STUCCO COLOR #233 CHIMAYO
13	GALVANIZED METAL ROOF DECK	-	NATURAL COLOR
14	PAINT - TRASH ENC. STEEL MEMBERS (E.G., COLUMNS, GATES, ETC.)	DUNN EDWARDS	PAINT TO MATCH STUCCO COLOR #412 BEIGE
15	FOAM TRIM W/ ACCENT STUCCO MACHINE APPLIED, SAND 20/30 FINISH	OMEGA PRODUCTS INTERNATIONAL	#233 CHIMAYO

NOTES:
WINDOWS - VINYL W/ NAILED ON FINS, WHITE GLASS LOW "E" DOUBLE PANE, CLEAR PAINT DOWNSPOUTS TO MATCH ADJACENT STUCCO COLOR

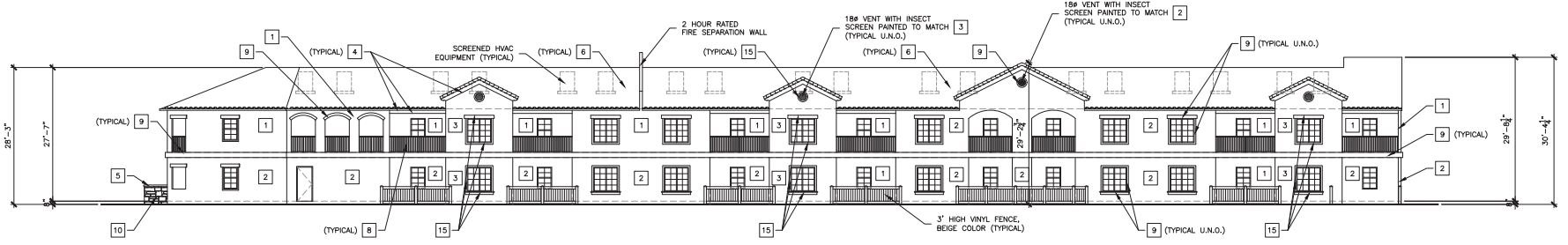
CHARLES BROWN
ARCHITECTS
4049 ALMOND ST. STE. 201, RIVERSIDE, CA 92501
951-465-6222 / cbbrown@charlesbrownarchitect.org

PALM SENIOR LIVING
CONCEPTUAL USE PERMIT - 59 APARTMENT UNITS
OWNER: MOHAMAD YOUNES (323) 874-8000
4800 PALM AVE., RIVERSIDE, CA 92501

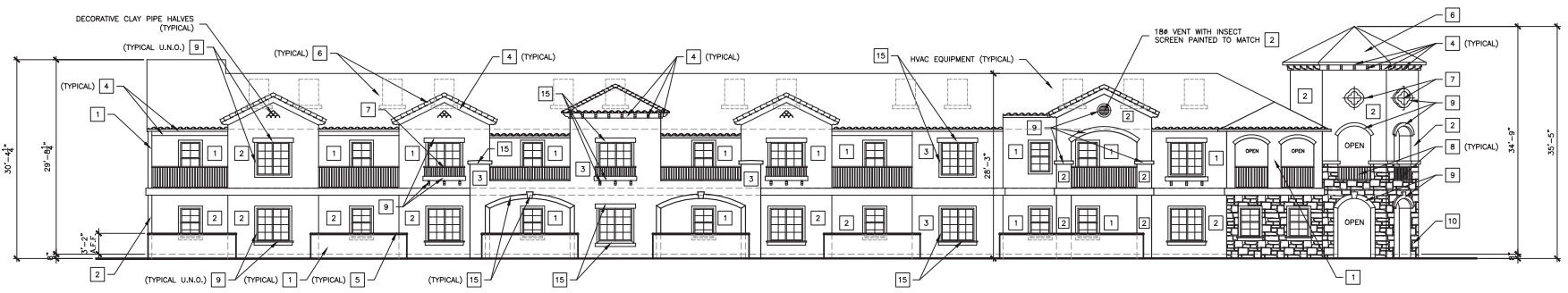
JOB: _____
DATE: 5/23/18
REV: A
SCALE: 3/16"=1'-0"

CUP# P-18-0280
ELEVATIONS

A-3.0
DRAWING: 4
OF: 10



SOUTHWEST ELEVATION
SCALE: 3/32"=1'-0"

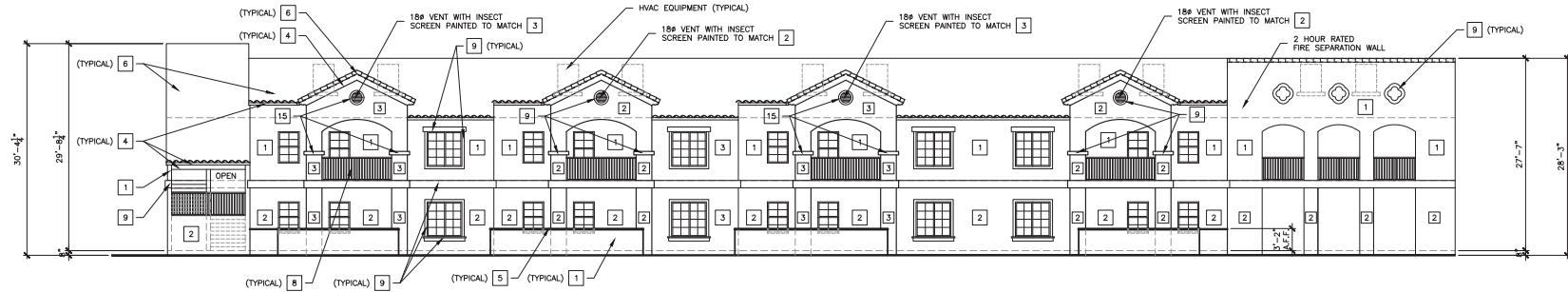


NORTHEAST ELEVATION
SCALE: 1/8"=1'-0"

EXTERIOR ELEVATION FINISH NOTES			
#	MATERIALS	COMPANY	COLOR, NUMBER & NOTES
1	STUCCO - MACHINE APPLIED SAND 20/30 FINISH	OMEGA PRODUCTS INTERNATIONAL	#15 BIRCH WHITE
2	STUCCO - MACHINE APPLIED SAND 20/30 FINISH	OMEGA PRODUCTS INTERNATIONAL	#233 CHIMAYO
3	STUCCO - MACHINE APPLIED SAND 20/30 FINISH	OMEGA PRODUCTS INTERNATIONAL	#412 BISON BEIGE
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6	"S" PROFILE LIGHT WEIGHT CONCRETE TILE ROOF	EAGLE ROOFING PRODUCTS	CAPISTRANO LMC 8402 SANTA CRUZ BLEND
7	DECORATIVE WROUGHT IRON	-	SELECTED BY OWNER
8	42" HIGH DECORATIVE WROUGHT IRON GUARDRAIL	-	SELECTED BY OWNER

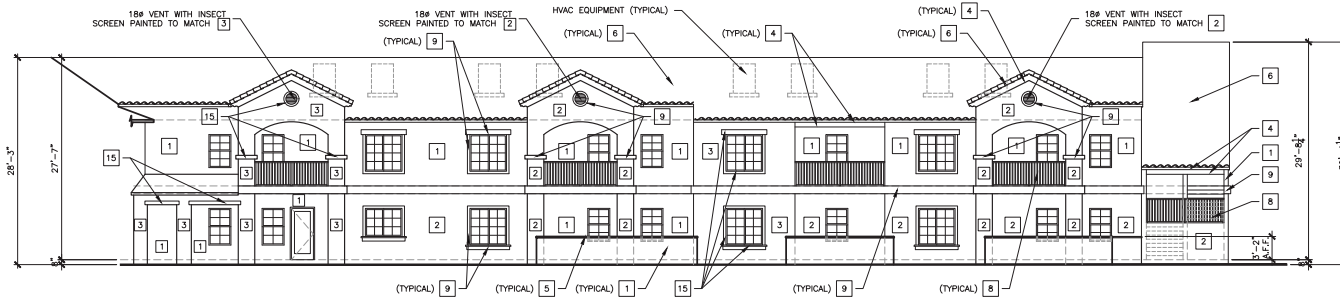
9	FOAM TRIM W/ ACCENT STUCCO MACHINE APPLIED, SAND 20/30 FINISH	OMEGA PRODUCTS INTERNATIONAL	#412 BISON BEIGE
10	STONE VENEER	BORAL CULTURED STONE	ROMANA OLD COUNTRY FIELDSTONE W/ 1/2" MORTAR JOINTS
11	WALL MOUNTED LIGHT FIXTURES - REFER TO ELECTRICAL DRAWINGS	OMITTED	OMITTED
12	PAINT - STEEL COLUMNS @ CARPORT	DUNN EDWARDS	PAINT TO MATCH STUCCO COLOR #233 CHIMAYO
13	GALVANIZED METAL ROOF DECK	-	NATURAL COLOR
14	PAINT - TRASH ENC. STEEL MEMBERS (E.G., COLUMNS, GATES, ETC.)	DUNN EDWARDS	PAINT TO MATCH STUCCO COLOR #412 BEIGE
15	FOAM TRIM W/ ACCENT STUCCO MACHINE APPLIED, SAND 20/30 FINISH	OMEGA PRODUCTS INTERNATIONAL	#233 CHIMAYO

NOTES:
WINDOWS - VINYL W/ NAILED ON FINIS. WHITE
GLASS - LOW "E" DOUBLE PANE, CLEAR
PAINT DOWNSPOUTS TO MATCH ADJACENT STUCCO COLOR



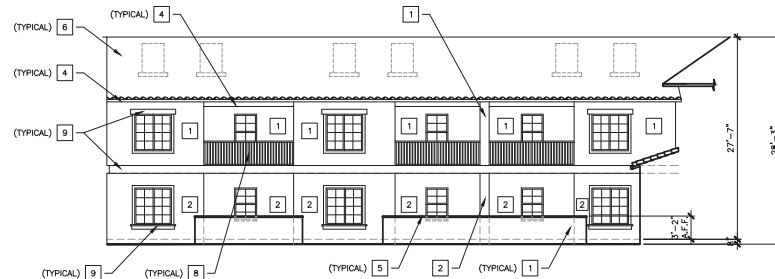
NORTHEAST ELEVATION - COURTYARD

SCALE: 1/8"=1'-0"



SOUTHWEST ELEVATION - COURTYARD

SCALE: 1/8"=1'-0"



SOUTHEAST ELEVATION - COURTYARD

SCALE: 1/8"=1'-0"

EXTERIOR ELEVATION FINISH NOTES

#	MATERIALS	COMPANY	COLOR, NUMBER & NOTES
1	STUCCO - MACHINE APPLIED SAND 20/30 FINISH	OMEGA PRODUCTS INTERNATIONAL	#15 BIRCH WHITE
2	STUCCO - MACHINE APPLIED SAND 20/30 FINISH	OMEGA PRODUCTS INTERNATIONAL	#233 CHIMAYO
3	STUCCO - MACHINE APPLIED SAND 20/30 FINISH	OMEGA PRODUCTS INTERNATIONAL	#412 BISON BEIGE
4	ACCENT PAINT - WOOD TRIM, FAUX WOOD HEADER, WOOD POSTS, WOOD BEAMS, WOOD FASCIA, GUTTERS	DUNN EDWARDS	DEC712 BRIAR
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9	FOAM TRIM W/ ACCENT STUCCO MACHINE APPLIED, SAND 20/30 FINISH	OMEGA PRODUCTS INTERNATIONAL	#412 BISON BEIGE
10	STONE VENEER	BORAL CULTURED STONE	ROMANA OLD COUNTRY FIELDSTONE W/ 1/2" MORTAR JOINTS
11	WALL MOUNTED LIGHT FIXTURES - REFER TO ELECTRICAL DRAWINGS	OMITTED	OMITTED
12	PAINT - STEEL COLUMNS @ CARPORT	DUNN EDWARDS	PAINT TO MATCH STUCCO COLOR #233 CHIMAYO
13	GALVANIZED METAL ROOF DECK	-	NATURAL COLOR
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15	FOAM TRIM W/ ACCENT STUCCO MACHINE APPLIED, SAND 20/30 FINISH	OMEGA PRODUCTS INTERNATIONAL	#233 CHIMAYO

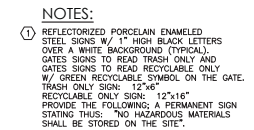
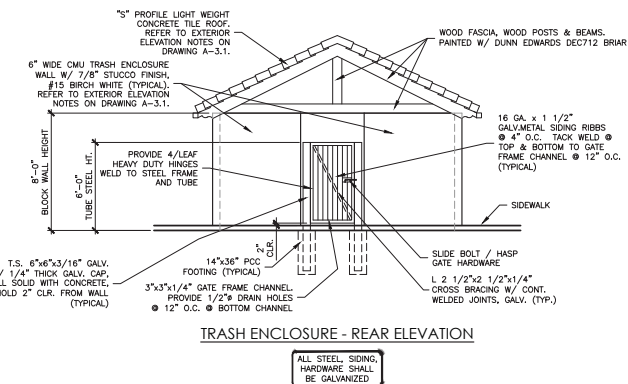
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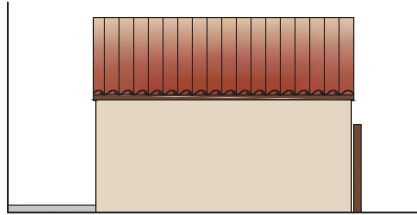
WINDOWS - VINYL W/ NAILED ON FIN, WHITE
GLASS LOW "E" DOUBLE PANE, CLEAR
PAINT DOWNSPOUTS TO MATCH ADJACENT STUCCO COLOR



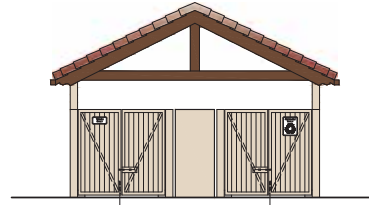
PALM AVENUE RENDERING

TAKEN FROM ACROSS THE STREET LOOKING STRAIGHT AT THE BUILDING

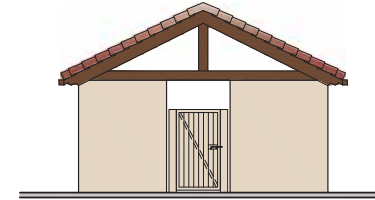




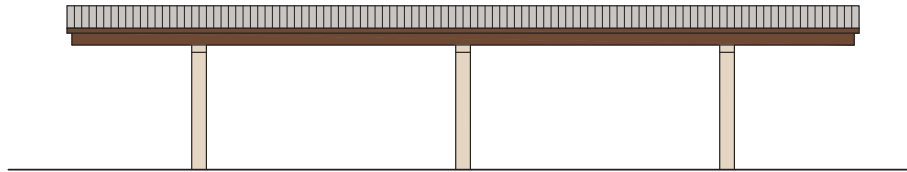
TRASH ENCLOSURE - SIDE ELEVATION



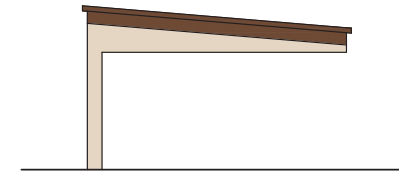
TRASH ENCLOSURE - FRONT ELEVATION



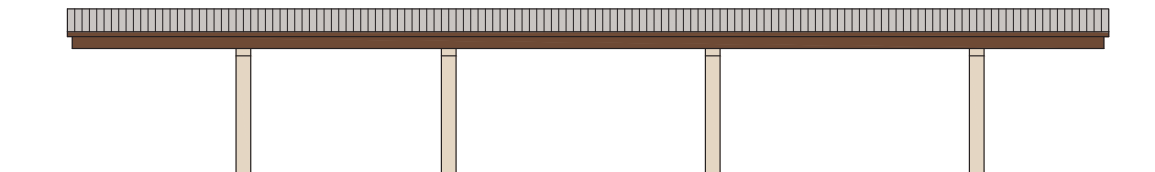
TRASH ENCLOSURE - REAR ELEVATION



TYPICAL CARPORT (FRONT ELEVATION)



CARPORT (SIDE ELEVATION)



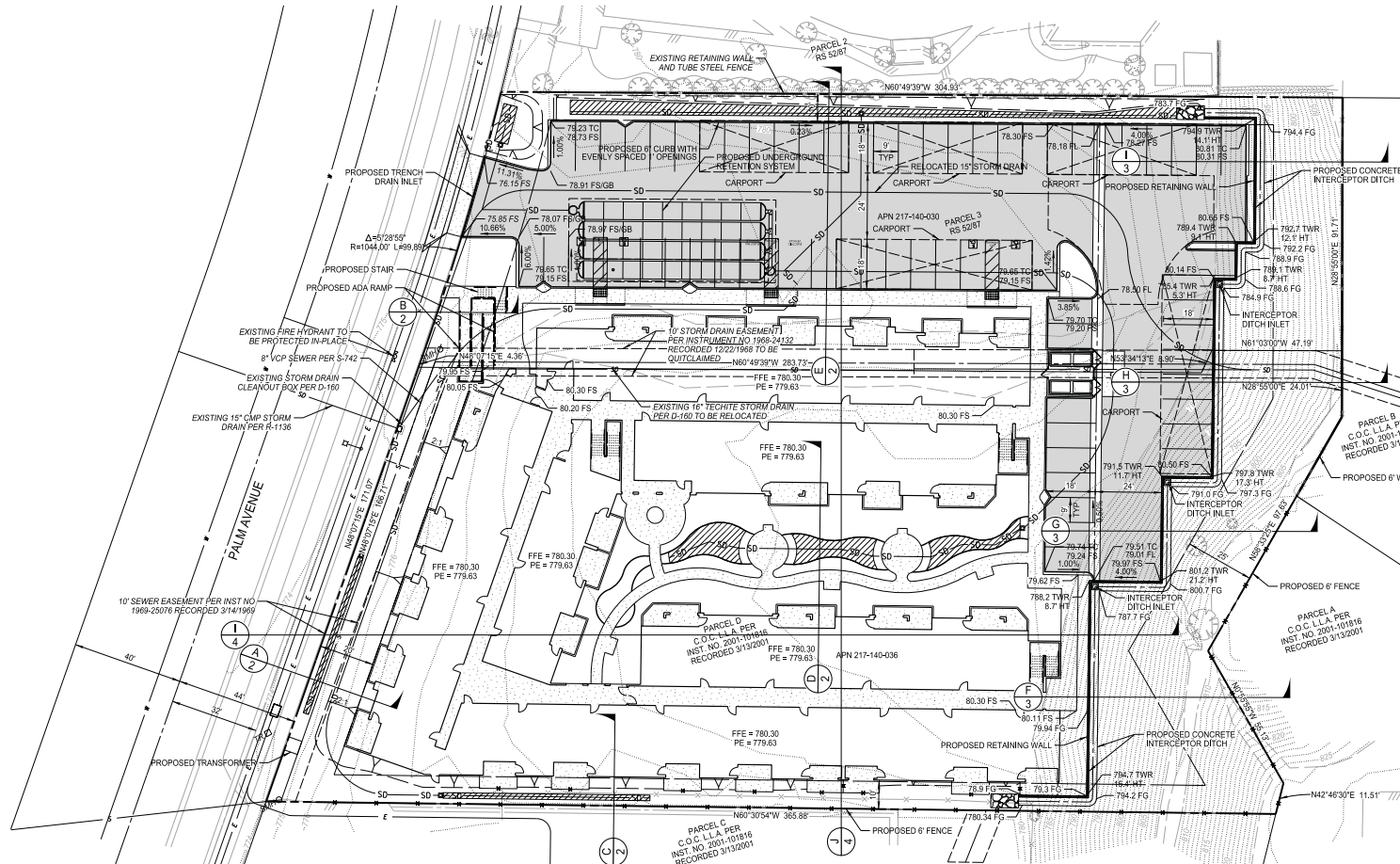
7 CAR CARPORT W/ ACCESSIBLE PARKING (FRONT ELEVATION)



IN THE CITY OF RIVERSIDE, CALIFORNIA

PRELIMINARY GRADING AND DRAINAGE PLAN

PALM SENIOR LIVING



ABBREVIATIONS

ASSESSOR'S PARCEL NUMBER	APN
FINISHED FLOOR ELEVATION	FFE
FINISHED GRADE	FG
FLOW LINE	FL
FINISHED SURFACE	FS
GRADE BREAK	GB
HEIGHT	HT
PAD ELEVATION	PE
TOP OF CURB	TC
TOP OF WALL RETAINING	TWR
TYPICAL	TYP

LEGEND

EXISTING PROPERTY BOUNDARY	---
EXISTING LOT LINE	---
EXISTING INTERMEDIATE CONTOUR	---
EXISTING STRUCTURE	---
EXISTING CONCRETE	---
EXISTING CURB	---
EXISTING ELECTRIC	---
EXISTING SEWER	---
EXISTING STORM DRAIN	---
EXISTING WATER	---
EXISTING FIRE HYDRANT	---
EXISTING SEWER MANHOLE	---
EXISTING TELEPHONE RISER	---
EXISTING LIGHT POLE	---
EXISTING POWER POLE	---
PROPOSED CURB	---
PROPOSED GUTTER	---
PROPOSED BUILDING	---
PROPOSED CARPORT	---
PROPOSED FENCE	---
PROPOSED WALL	---
PROPOSED RETAINING WALL	---
PROPOSED STORM DRAIN	---
GRADIENT AND DIRECTION	---
EXISTING ELEVATION	---
PROPOSED ELEVATION	---

PROPOSED BIO-RETENTION BASIN	---
PROPOSED CONCRETE PAVEMENT	---
PROPOSED AC PAVEMENT	---

OWNER/APPLICANT/DEVELOPER

INVISION PALM, LLC
6430 W. SUNSET BOULEVARD, SUITE 460
LOS ANGELES, CA 90028
MOHAMMAD YOUNES
(323) 874-8000

ENGINEER/CONTACT PERSON

THIS PLAN WAS PREPARED UNDER THE DIRECTION OF MARTIN L. ANDERSON, A REGISTERED CIVIL ENGINEER IN THE STATE OF CALIFORNIA.

MARTIN L. ANDERSON
RCE 51313 EXPIRES 6-30-18
MTH ENGINEERING, INC.
639 LAKEWOOD DRIVE
RIVERSIDE, CA 92506
(951) 850-2190

APRIL 7, 2018
DATE



PRELIMINARY GRADING QUANTITIES

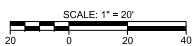
EXCAVATION: 3,000 CY
EMBANKMENT: 3,000 CY

SITE ADDRESS

4800 PALM AVENUE
RIVERSIDE, CA 92504

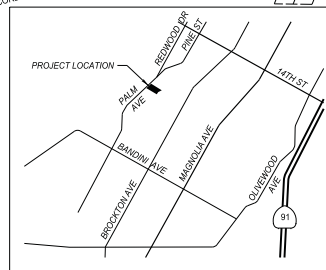
ASSESSOR'S PARCEL NUMBERS

217-140-030, 217-140-036

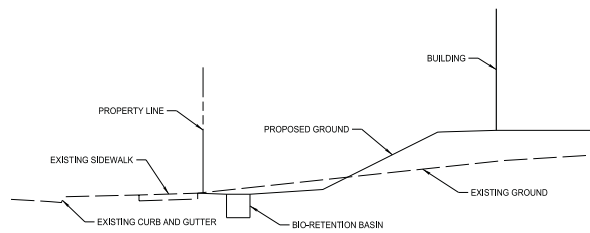


MTH2
639 Lakewood Drive
Riverside, CA 92506
(951) 850-2190
www.mth2engineering.com
civil • water resources • storm water
urban design and planning

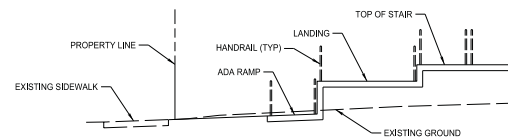
DATE	BY	REVISIONS
3/17/2018	MTH2	REVISED SITE PLAN PER 5/2/16 DRC COMMENTS, ADDED SHEET 2 AND SHEET 3
3/18/2018	MTH2	REVISED SITE CURB ADJACENT RETAINING WALL
08/20/18	MTH2	ADDED SHEET 4



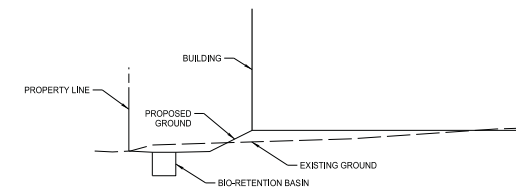
VICINITY MAP
NOT TO SCALE



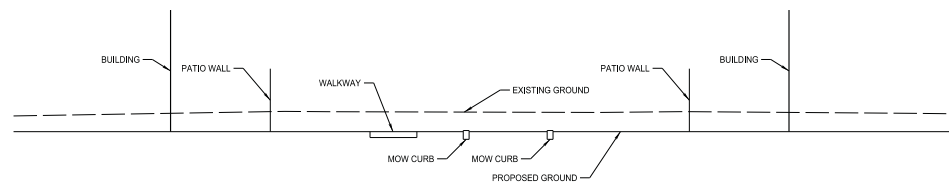
SECTION
A
2
1" = 5' HORIZ
1" = 5' VERT



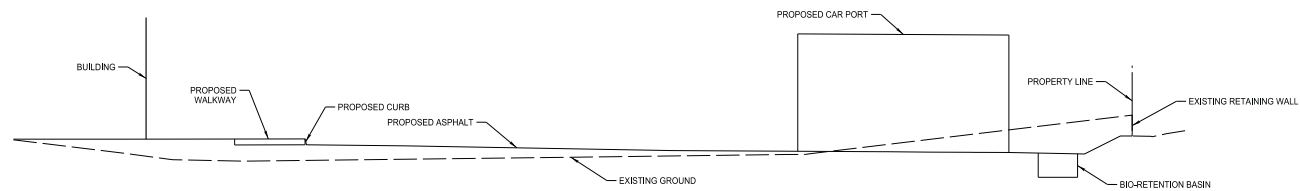
SECTION
B
2
1" = 5' HORIZ
1" = 5' VERT



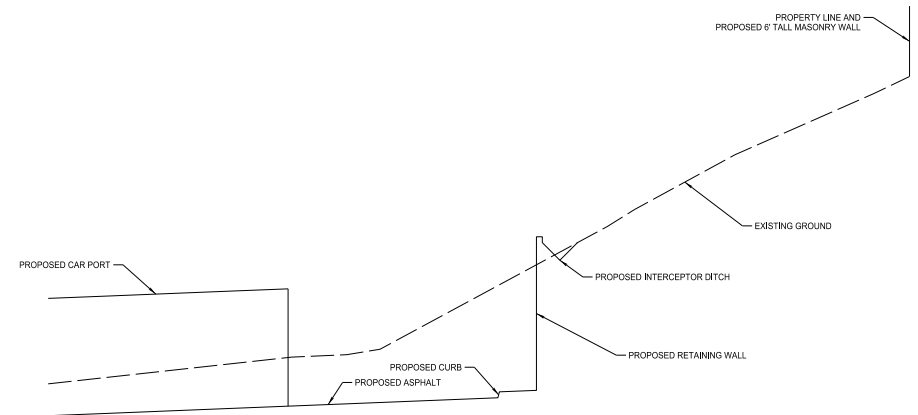
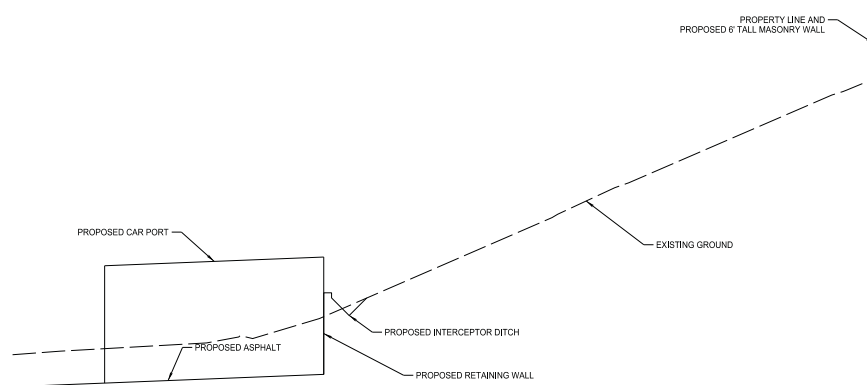
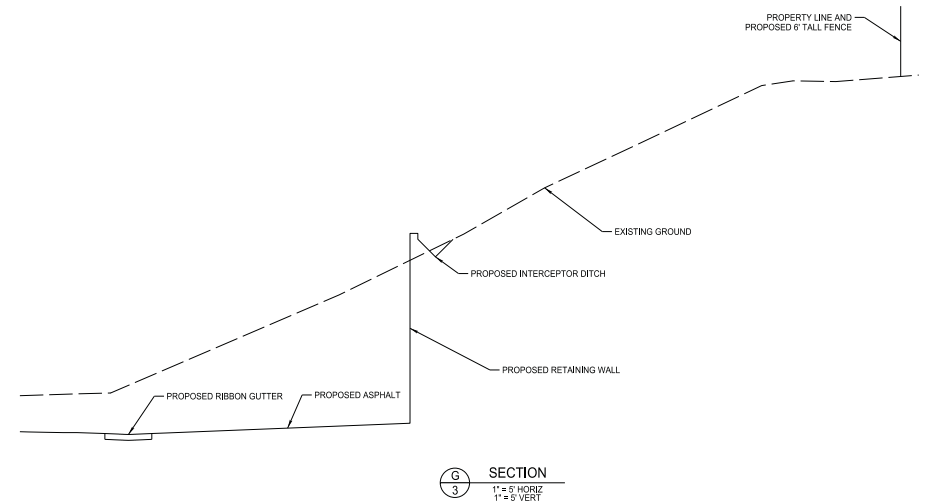
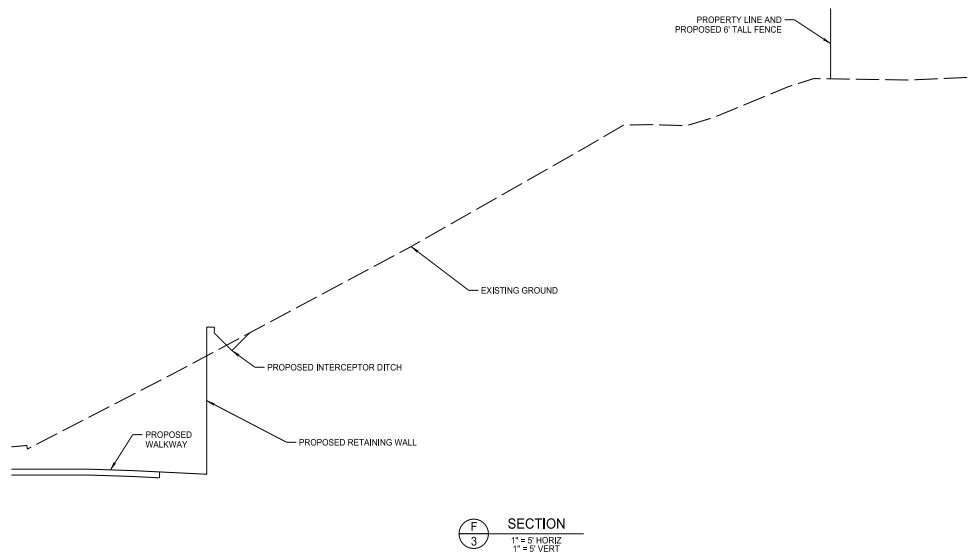
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1" = 5' HORIZ
1" = 5' VERT

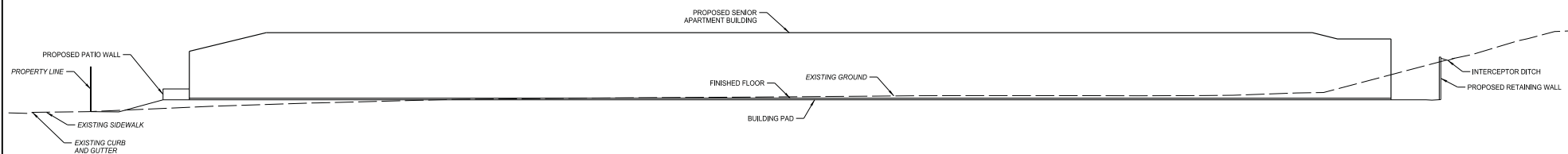


SECTION
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1" = 5' HORIZ
1" = 5' VERT

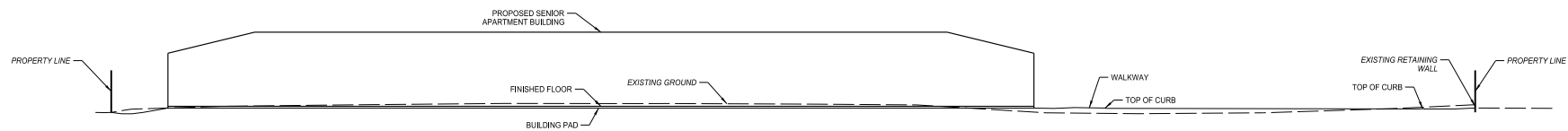


SECTION
E
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1" = 5' HORIZ
1" = 5' VERT





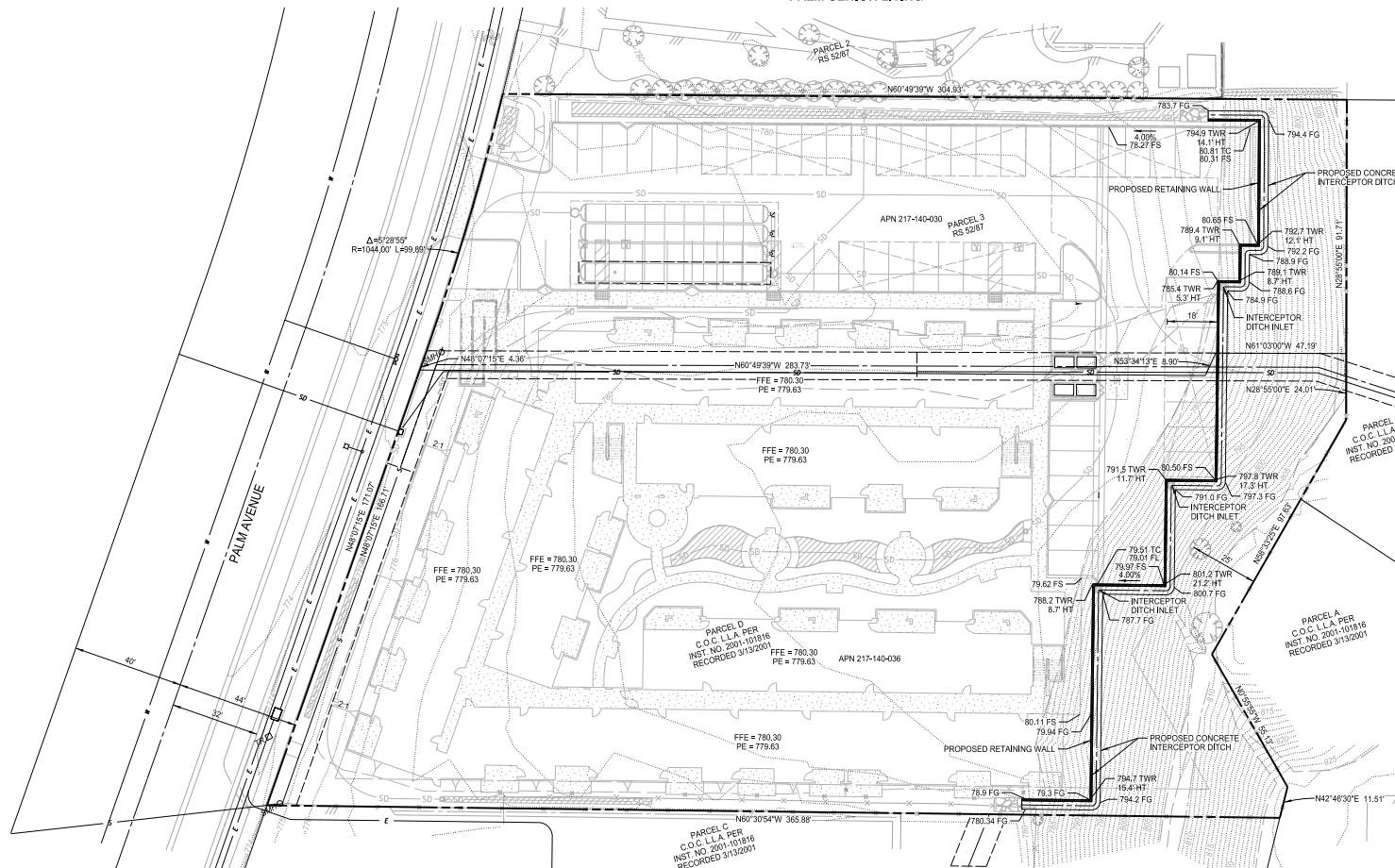
SECTION
J
4
NOT TO SCALE



SECTION
K
4
NOT TO SCALE

IN THE CITY OF RIVERSIDE, CALIFORNIA GRADING EXCEPTION PALM SENIOR LIVING

SHEET 1 OF 1



ABBREVIATIONS

ASSESSOR'S PARCEL NUMBER	APN
FINISHED FLOOR ELEVATION	FFE
FINISHED GRADE	FG
FLOW LINE	FL
FINISHED SURFACE	FS
GRADE BREAK	GB
HEIGHT	HT
PAD ELEVATION	PE
TOP OF CURB	TC
TOP OF WALL RETAINING	TWR
TYPICAL	TYP

LEGEND

EXISTING PROPERTY BOUNDARY	---
EXISTING LOT LINE	---
EXISTING INTERMEDIATE CONTOUR	---
EXISTING STRUCTURE	---
EXISTING CONCRETE	---
EXISTING CURB	---
EXISTING ELECTRIC	---
EXISTING SEWER	---
EXISTING STORM DRAIN	---
EXISTING WATER	---
EXISTING FIRE HYDRANT	---
EXISTING SEWER MANHOLE	---
EXISTING TELEPHONE RISER	---
EXISTING LIGHT POLE	---
EXISTING POWER POLE	---
PROPOSED CURB	---
PROPOSED GUTTER	---
PROPOSED BUILDING	---
PROPOSED CAR PORT	---
PROPOSED FENCE	---
PROPOSED WALL	---
PROPOSED RETAINING WALL	---
PROPOSED STORM DRAIN	---
GRADIENT AND DIRECTION	---
EXISTING ELEVATION	---
PROPOSED ELEVATION	---
PROPOSED BIO-RETENTION BASIN	---
PROPOSED CONCRETE PAVEMENT	---

OWNER/APPLICANT/DEVELOPER

INVESTOR PALM, LLC
6430 W. SUNSET BOULEVARD, SUITE 460
LOS ANGELES, CA 90028
MOHAMMAD YOUNES
(323) 874-8000

ENGINEER/CONTACT PERSON

THIS PLAN WAS PREPARED UNDER THE DIRECTION OF MARTIN L. ANDERSON, A REGISTERED CIVIL ENGINEER IN THE STATE OF CALIFORNIA.

MAY 21, 2018
DATE

MARTIN L. ANDERSON
RCE 51313, EXPIRES 6-30-18
MTH ENGINEERING, INC.
639 LAKEWOOD DRIVE
RIVERSIDE, CA 92506
(951) 850-2190



PRELIMINARY GRADING QUANTITIES

EXCAVATION: 3,000 CY
EMBANKMENT: 3,000 CY

SITE ADDRESS

4800 PALM AVENUE
RIVERSIDE, CA 92504

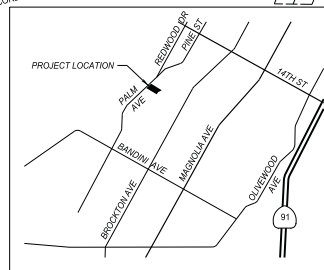
ASSESSOR'S PARCEL NUMBERS

217-140-030, 217-140-036



SCALE: 1" = 20'

639 Lakewood Drive
Riverside, CA 92506
(951) 850-2190
www.mth2engineering.com
civil • water resources • storm water
urban design and planning



VICINITY MAP
NOT TO SCALE

COMTH2Engineering2017_21 Internal CommentMTH2M2017_21v006_Grading_Exception.dgn

JOB 2017_21_PLOTTED:22MAY2018

GRADING EXCEPTIONS JUSTIFICATION FORM

EXCEPTIONS REQUESTED

Describe the exceptions requested in detail; attach a separate sheet if necessary.

Allow the construction of a retaining wall, varying in heights from zero to 20-feet maximum, which will not be visible from the public street, that will exceed the six feet in allowable height in order to accommodate the construction of the 59 senior housing apartment units and the required 65 parking spaces.

REQUIRED FINDINGS

Answer each of the following questions "yes" or "no" and then explain your answer in detail. Questions 1 and 2 must be answered "yes" and question 3 "no" to justify granting an exception. Attach written details if insufficient space is provided on this form. Economic hardship is not an allowable justification for an exception from Title 17 of the Riverside Municipal Code (Grading).

1. Will the strict application of the provisions of this title result in practical difficulties or unnecessary hardships inconsistent with the general purpose and intent of Title 17 of the Riverside Municipal Code (Grading)? Explain in detail.

Yes. Limiting the retaining wall height to 6-feet will prevent the ability to develop the site without the losing the efficiency to build an economically feasible project. The vertical differential between the adjacent property and the proposed pad site dictate the requirement of a higher retaining wall to accommodate the proposed 59 senior housing units and the 65 parking spaces.

2. Are there exceptional circumstances or conditions applicable to the property involved or the intended use or development of the property that do not apply generally to other properties in the same zone or neighborhood? Explain in detail.

Yes. The existing 2:1 slope on the back of the property are physical constraints that limit the ability to grade and develop the site and still at the same time be able to meet the density required in order to build an economically feasible project for senior housing.

3. Will the granting of a waiver be materially detrimental to the public welfare or injurious to the property or improvements in the same of neighborhood in which the property is located? Explain in detail.

No. The proposed project site is elevated 4 to 5 feet above Palm Avenue. Constructing a higher retaining wall in the back of the property behind the proposed building and the carport parking spaces will be completely shielded from public view and it is not going to be visible to the public from the street and the proposed planting in the side yard setback areas will hide any exposed portion and will make it esthetically pleasant.

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View looking Southeast from Palm Avenue



View of the site from the west side of Palm Avenue



View looking north along Palm Avenue



View looking south along Palm Avenue



View looking north of the site from existing Church to the southeast



View looking east to adjacent residence