

REHABILITATION OF THE RIVERSIDE PUBLIC LIBRARY (MAIN BRANCH) FOR USE AS THE
CHEECH MARIN CENTER FOR CHICANO ART, CULTURE, AND INDUSTRY
RIVERSIDE, CALIFORNIA

CERTIFICATE OF APPROPRIATENESS APPENDIX

PREPARED FOR THE CULTURAL HERITAGE BOARD
FINAL



why

PAGE & TURNBULL

imagining change in historic environments through design, research, and technology

MARCH 28, 2019

FINAL: APRIL 18, 2019

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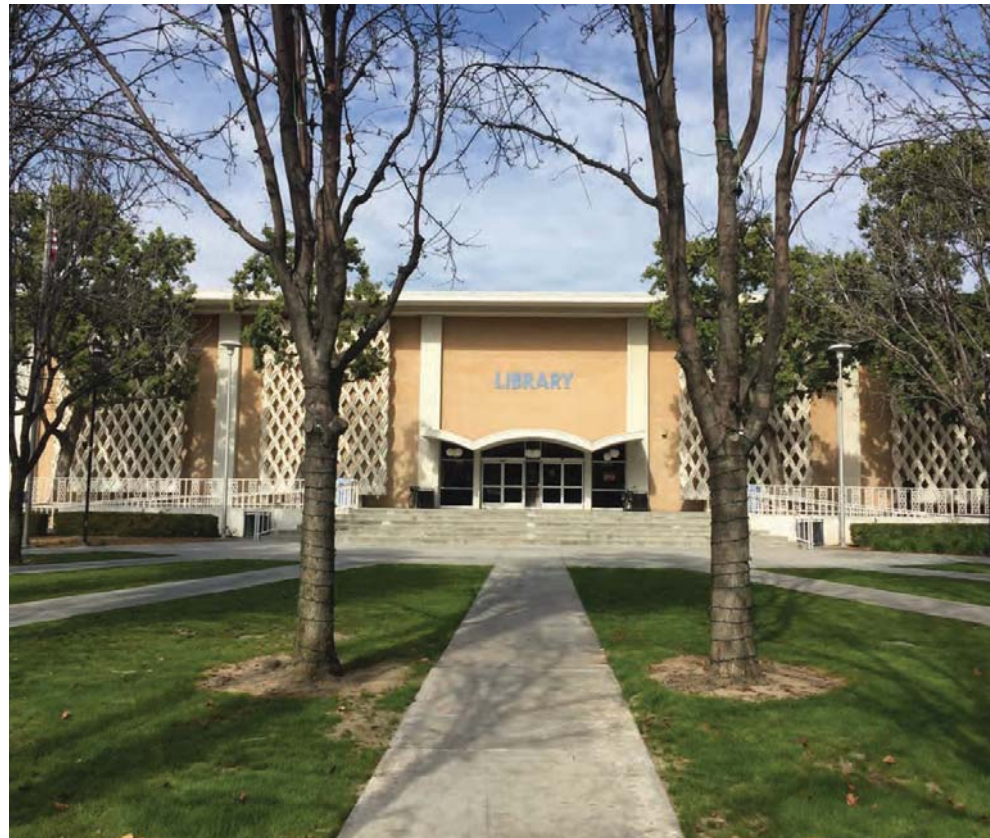


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CHEECH MARIN CENTER FOR CHICANO ART, CULTURE, AND INDUSTRY | OVERVIEW AND PROJECT SUMMARY

SITE AND BUILDING HISTORY

The Riverside Library at 3581 Mission Inn Avenue was constructed in 1965 in the New Formalist style and currently serves as the main library branch for the City of Riverside. The design is attributed to Bolton C. Moise, Jr. of the Riverside firm of Moise & Harbach, with the assistance of architect Eugene "Gene" Fickes of the Monrovia firm Fickes & Fickes. The library occupies a city block bounded by 6th Street to the northeast, Lemon Street to the southeast, Mission Inn Avenue to the southwest and Orange Street to the northwest. The main entrance of the building is along Mission Inn Avenue and faces a large plaza. The Chinese Memoria Pavilion, the Imre Kalincsak Sundial and the Unitarian Church of Riverside are also located on the block, towards Mission Inn Avenue at the southwest and southeast corners of the site. The northwest, north and northeast portions of the block consist of parking for the library, immediately adjacent to the building.

The exterior of the Riverside Library is largely unchanged. Alterations include changes to the west ramp to include a landing and the addition of the guardrails. The plaza, however, has been significantly altered overtime and no longer retains integrity of design.

The Library's most distinctive features are the symmetrical plan, wide overhanging flat roof, sculptural screens, arched canopy, and original globe light fixtures at the exterior and interior. The extant site consists of the building, parking, and a main public plaza to the south site, which originally featured an open Mid-Century Modern aesthetic characterized by broad paved walking paths and raised concrete planters. It included concrete patios flanking the main entrance to the library, tiled fountain pools, and seating areas linking the planters. In 1968, the Imre Kalincsak Sundial Clock was installed near the center of the plaza, and in 1987 the Chinese Pavilion was constructed on the southwest corner of the plaza. In 1999, the plaza was redesigned in preparation for the Congressional Medal of Honor Society's National Convention. At this time, the remaining tiled fountains and concrete planters were removed and a semicircular concrete plaza with radiating pathways was constructed. Deciduous trees, shrubs and other ground cover were planted to soften the edge of the library, and the sundial clock was relocated to the southwest corner of the plaza near the Chinese Pavilion. The original midcentury modern design of the plaza has been extensively altered and no longer retains integrity of design.

HISTORIC STATUS

The Main Library is eligible for listing in the California Register under Criterion 3. Buildings significant under Criterion 3 embody the distinctive characteristics of a type, period, region or method of construction or represent the work of a master or possess high artistic value. It is significant at the local level in the context of modern architecture in Riverside as a good and rare example of New Formalism. The Library retains a high level of integrity with only minor alterations.

The library was designated a City Landmark on February 21, 2018 by the Cultural Heritage Board. In addition to the building's significance as New Formalist civic architecture in Riverside, the landmark designation also noted the building as the work of the significant local architectural firm Moise, Harbach and Hewlett.

While it is located within the locally designated Mission Inn Historic District, the Library is a non-contributor to the district because it was constructed outside the period of significance (1880-1946). The Library's current California Historical Resources Information System (CHRIS) Status Code is 6Y – determined ineligible for the NR by consensus through Section 106 Process. Note: the CHRIS status code was given in the 1990s before the building was age eligible (50 years).



View of the front facade of the Riverside Main Library ca. 1966.

HISTORIC IMAGES

CHARACTER DEFINING FEATURES

The New Formalism architecture style emerged in the 1960s largely as a rejection to Modernism. Features common to the style include symmetry in elevations, classical proportion and scale, use of concrete and the use of a raised podium to separate the building from nature. The style was used primarily for institutional and public buildings.

As a building significant for its New Formalism style of architecture, the character-defining features of the building include:

- Symmetrical design composition with square plan
- Monumentality
- Flat roof with deep overhang
- Raised podium at south facade
- Exterior running-bond brick walls
- Centrally located exterior stairs
- Arched concrete canopy with three distinct curves, cantilevered over main entrance
- Square, full-height concrete pilasters across all façades
- Full-height latticework concrete screens with patterning designed to resemble doves on main and side façades



View of front (south) facade and entrance steps.

PROJECT DESCRIPTION

The proposed project consists of the adaptive reuse of the 1965 Riverside Library building for the Cheech Marin Center for Chicano Art, Culture, and Industry (The Cheech), which will feature an extensive collection of Chicano art.

Alterations at the exterior of the building are minimal and intended to be a "light touch."

Exterior alterations include:

- The existing entry storefronts will be replaced with a new compatible aluminum storefront which will have a symmetrical configuration. The replacement storefront will have a finish similar to the existing.
- The existing podium, steps, and ramp are in poor condition and exhibit extensive cracking. These features will be replaced along with the existing non-historic guardrails. The podium will be replaced with a new podium that will match the existing in height, width, depth, and materials. The steps and ramps will also be replaced with new steps and ramps. The curved configuration of the steps and ramps will relate to the curved canopy at the entrance. Though the proposed steps and ramps will have a curved configuration, they will be compatible with the building in their material (concrete), texture, and symmetrical design.
- The existing roof is in poor condition will be replaced.
- The program of the museum requires upgrades to the mechanical systems of the building. New rooftop mechanical units are required. Two new stucco clad walls that match the existing will be constructed to screen the new equipment. In addition, the existing metal screen to the north will be moved further north to screen the new roof top units.
- If not required for exiting, a utilitarian door on the west side of the building will be infilled with brick that matches the existing.

No other changes are proposed for the exterior of the building. No new exterior openings or additions are proposed. Character-defining features of the library such as the concrete screens, the brick walls, the roof overhang, the concrete entrance canopy, and the concrete pilasters will be retained and protected. The building will retain its character as a New Formalist style building and the proposed project will comply with the Secretary of the Interior's Standards for the Rehabilitation of historic buildings.

Alterations will be primarily at the interior of the building and include the reconfiguration of interior walls and upgrades to the electrical and mechanical systems to meet the program needs of the museum. Character-defining features will be retained.



Rendering of the first floor of the proposed Cheech Marin Center for Chicano Art, Culture, and Industry.

HISTORIC IMAGES



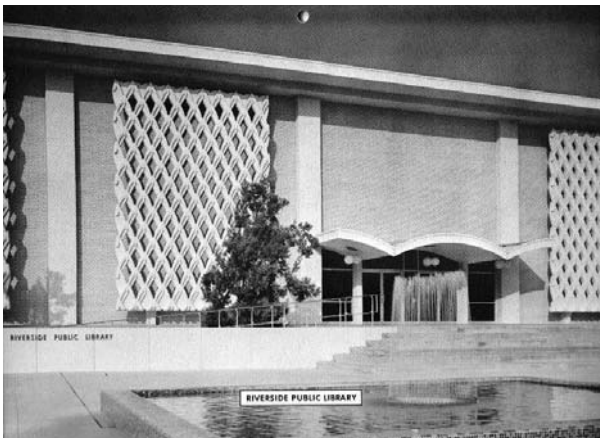
View of the construction of the Riverside Main Library ca. 1964 (Riverside Public Library).



Architect rendering of Riverside Public Library ca. 1965.



View of Riverside Main Library Plaza ca. 1965 (Baker, Ronald J.)



View of Riverside Main Library Plaza and front podium ca. 1967.



View of the Riverside Main Library Plaza ca. 1968.



View of Riverside Main Library Plaza and front podium ca. 1970s.

EXISTING CONDITION IMAGES



View of the south facade and front podium, steps and ramps.



Front entrance with existing storefront, lighting, and canopy.



View of west facade and parking.



View of the north facade, parking and loading dock.



Existing loading dock with bumpers, stairs and canopy.



View of the east facade and parking.

CONTEXT IMAGES



Existing Municipal Museum, across Mission Inn Avenue, looking southwest.



Existing Mission Inn, across Orange Street, looking southwest.



Existing church, at the southeast corner of the block, at Mission Inn Avenue and Lemon Street.



Existing building to the north, across 4th Street, looking northeast.

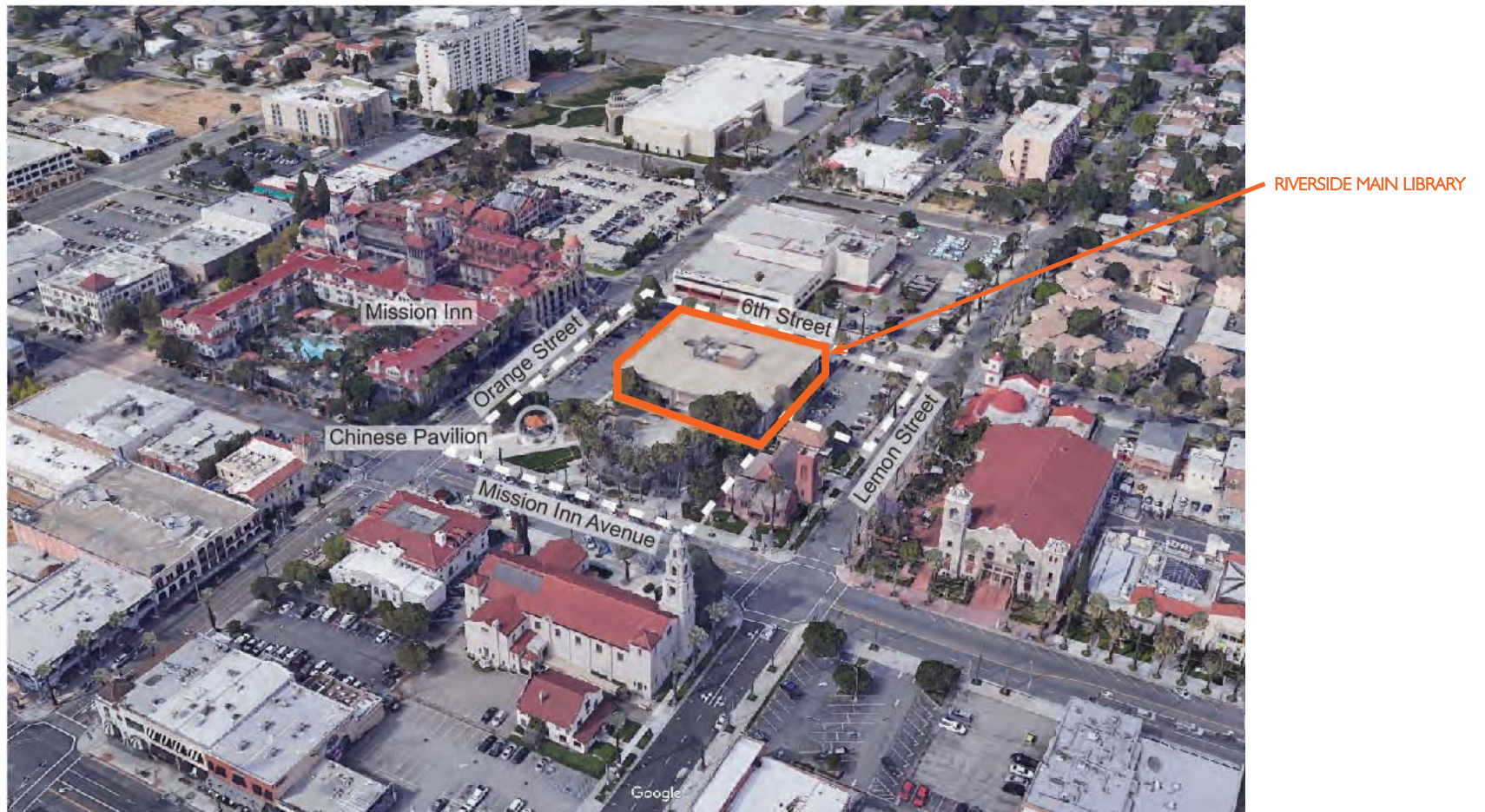


View of the west facade with brick, concrete columns, and decorative screens.

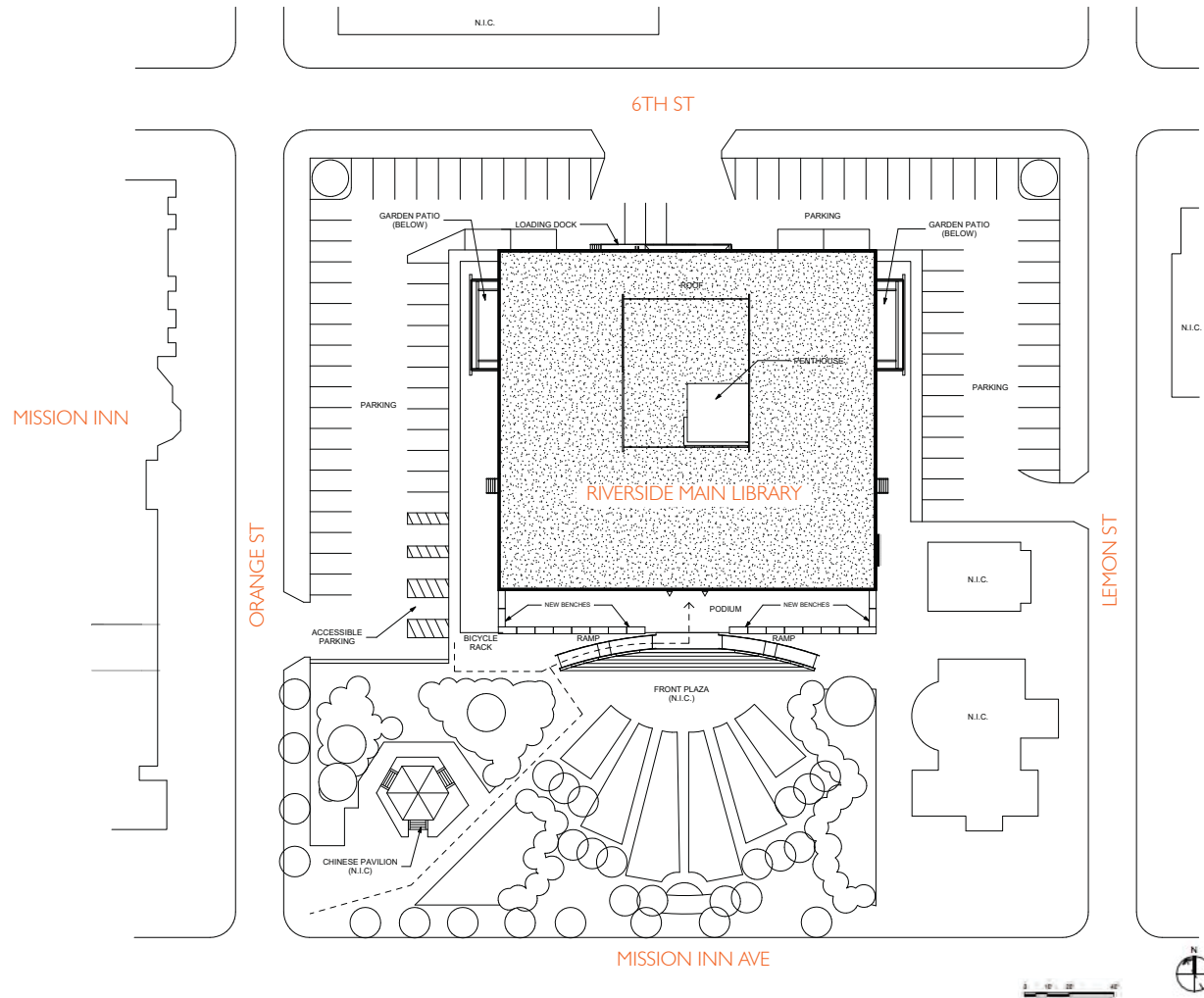


Existing Sundail and Chinese Pavilion (behind) at the southwest corner of the site.

SITE MAP



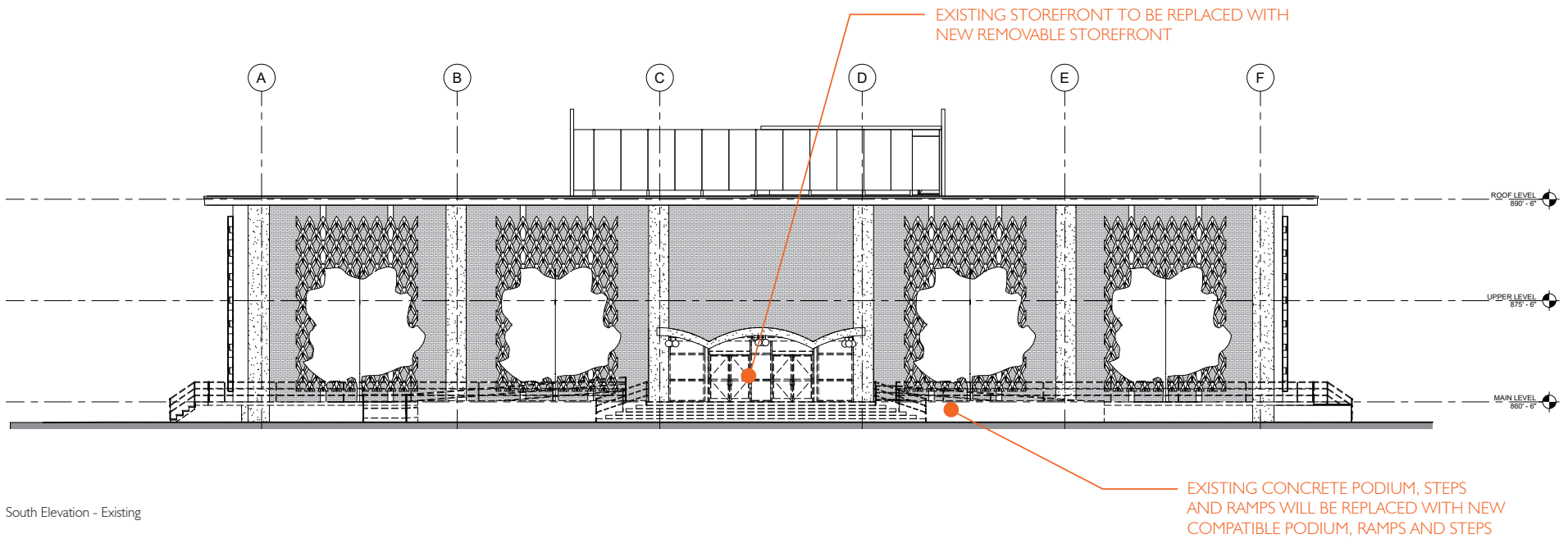
SITE PLAN



Site Plan - Proposed Project

MARCH 28, 2019
REVISED: APRIL 18, 2019

SOUTH ELEVATION: EXISTING

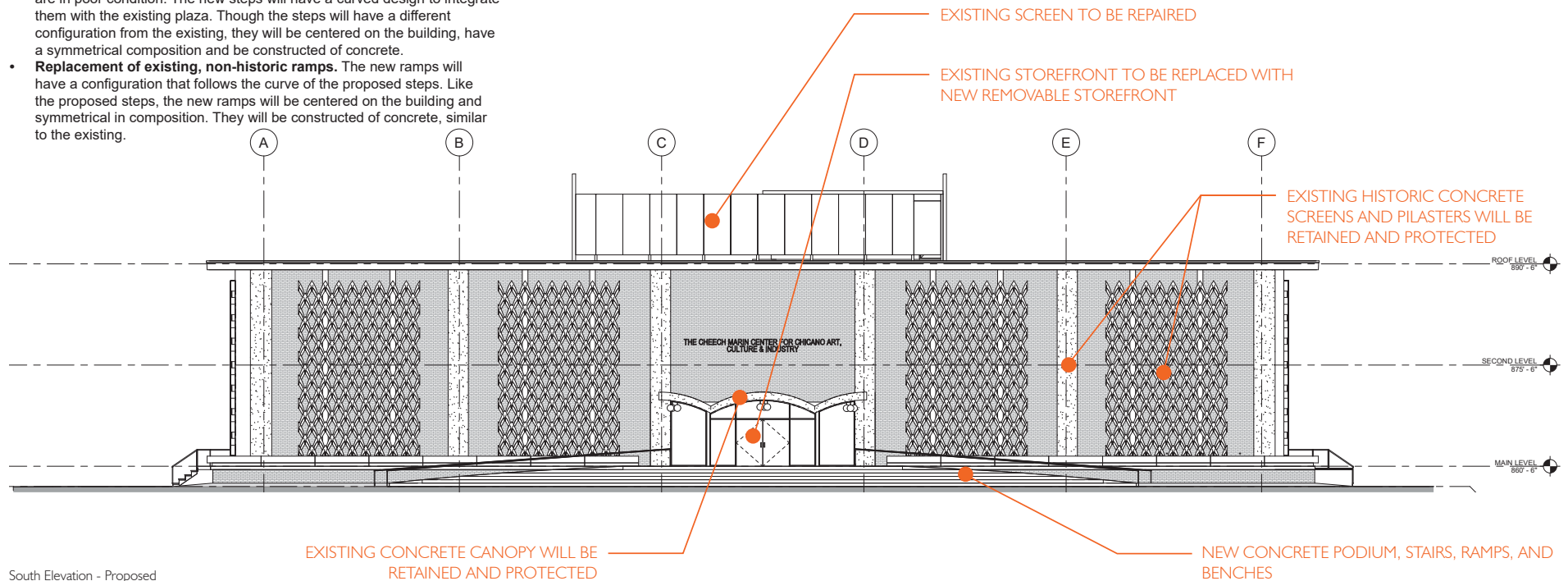


SOUTH ELEVATION: PROPOSED

Proposed Work

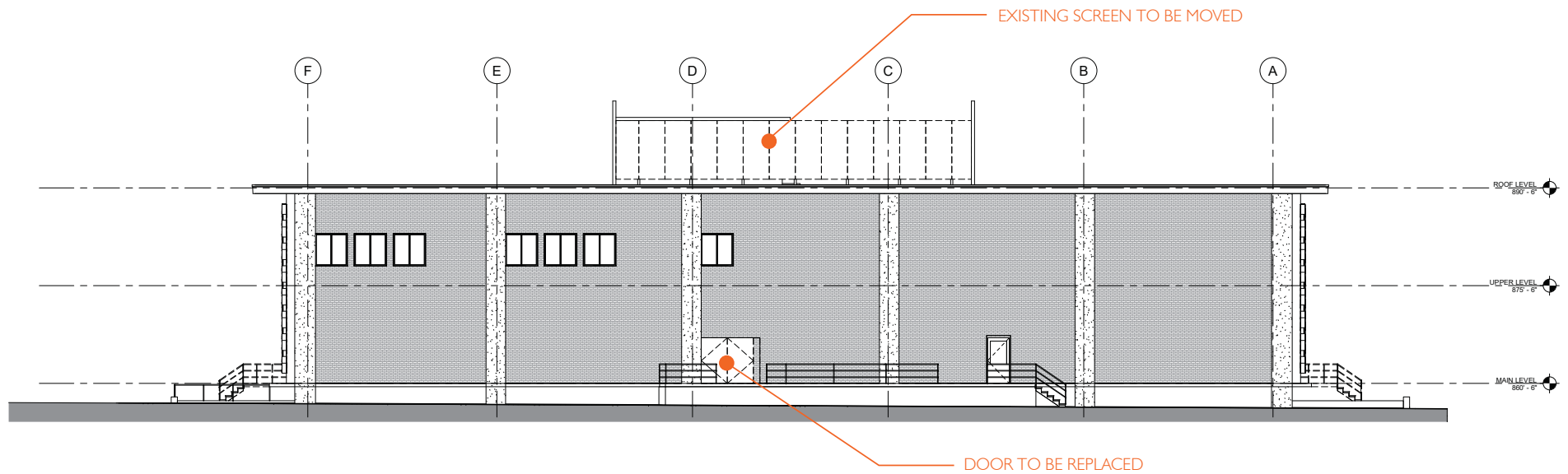
Scope of work at the south elevation is limited to:

- **Replacement of the existing podium.** The podium is in poor condition with cracks throughout the concrete surface. The new podium will match the existing in size, height, character and materials; therefore, the new podium will be in keeping with the character of the building.
- **Replacement of the existing handrails and guardrail.** These features are not original. The new handrails will be distinguished from, but compatible with the historic resource.
- **Replacement of the existing steps.** While the steps are original, they are in poor condition. The new steps will have a curved design to integrate them with the existing plaza. Though the steps will have a different configuration from the existing, they will be centered on the building, have a symmetrical composition and be constructed of concrete.
- **Replacement of existing, non-historic ramps.** The new ramps will have a configuration that follows the curve of the proposed steps. Like the proposed steps, the new ramps will be centered on the building and symmetrical in composition. They will be constructed of concrete, similar to the existing.
- **Replacement of existing storefronts.** Though the storefronts are original, they are not a character-defining feature. The new storefronts will be aluminum and will have doors that are 4'-0" in width to accommodate the transport of art.
- **New signage.** The existing signage will be replaced with new. The signage has not been designed but will be submitted to the preservation planner for future review. The signage will be installed in a way that protects the historic material of the building.



South Elevation - Proposed

NORTH ELEVATION



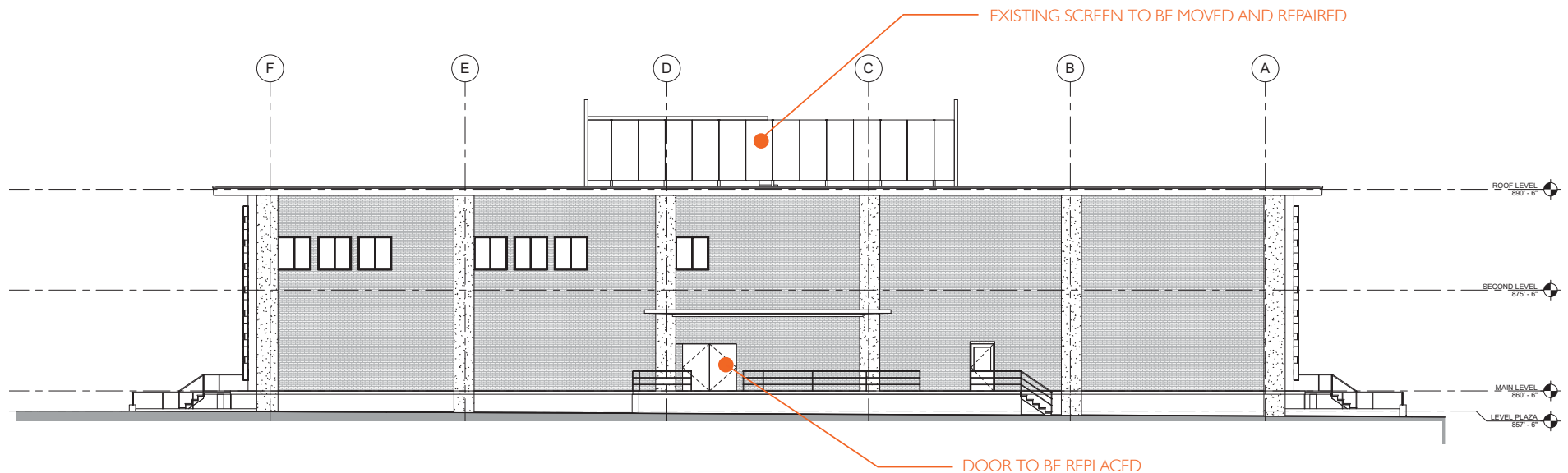
North Elevation - Existing

NORTH ELEVATION: PROPOSED

Proposed Work

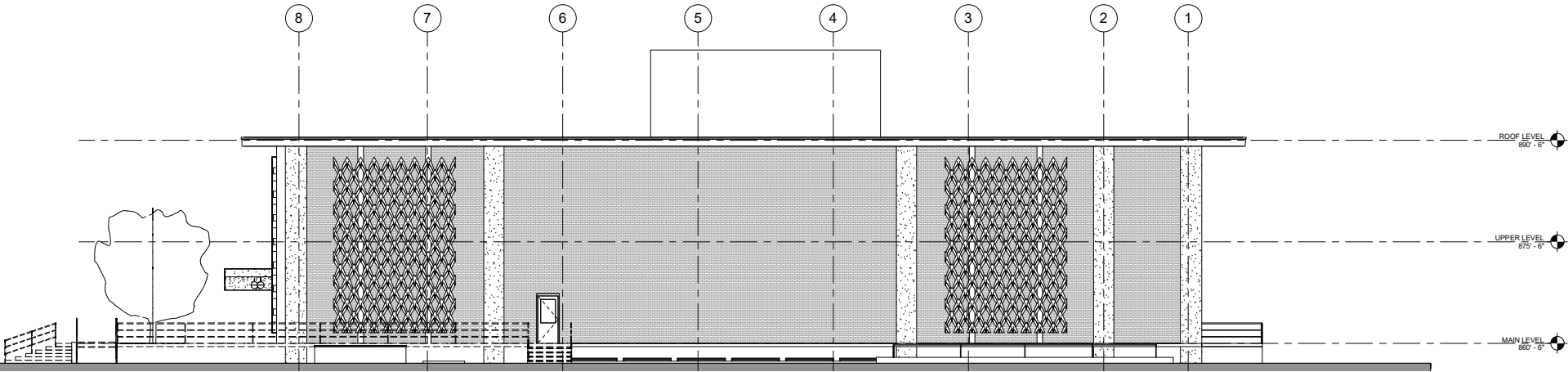
Scope of work at the north elevation is limited to:

- **Replacement of the loading dock doors.** A new door will be installed to match the existing.
- **Moving the rooftop screen.** The existing screen will be moved to the north to hide new mechanica equipment that will be installed on the roof.



North Elevation - Proposed

EAST ELEVATION



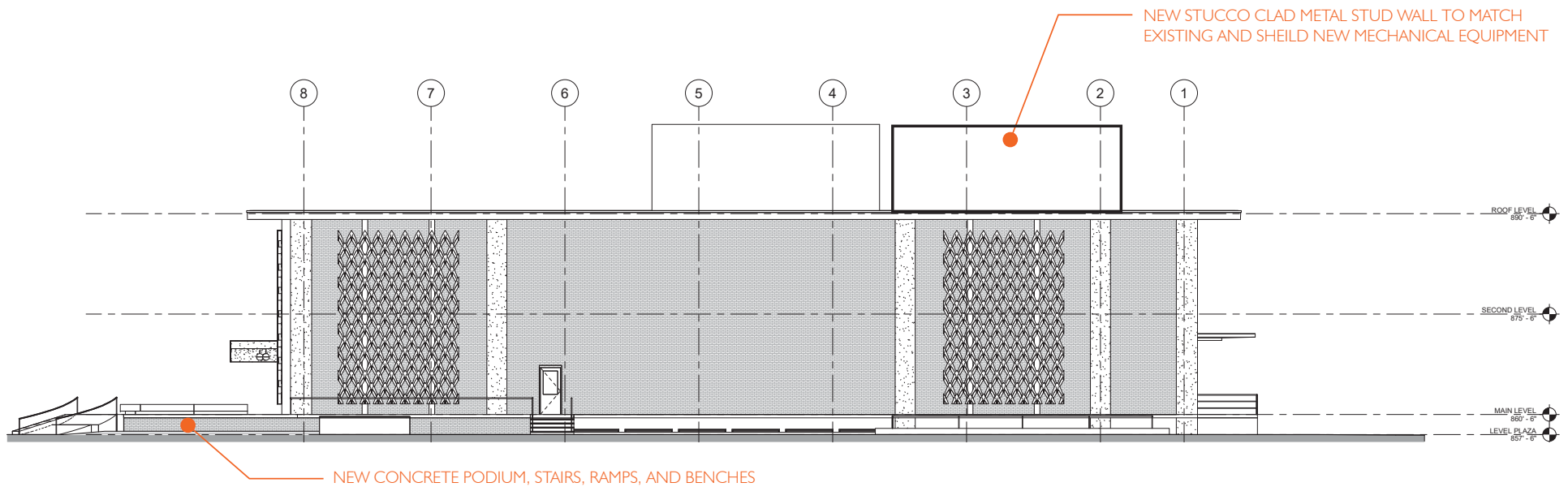
East Elevation - Existing

EAST ELEVATION: PROPOSED

Proposed Work

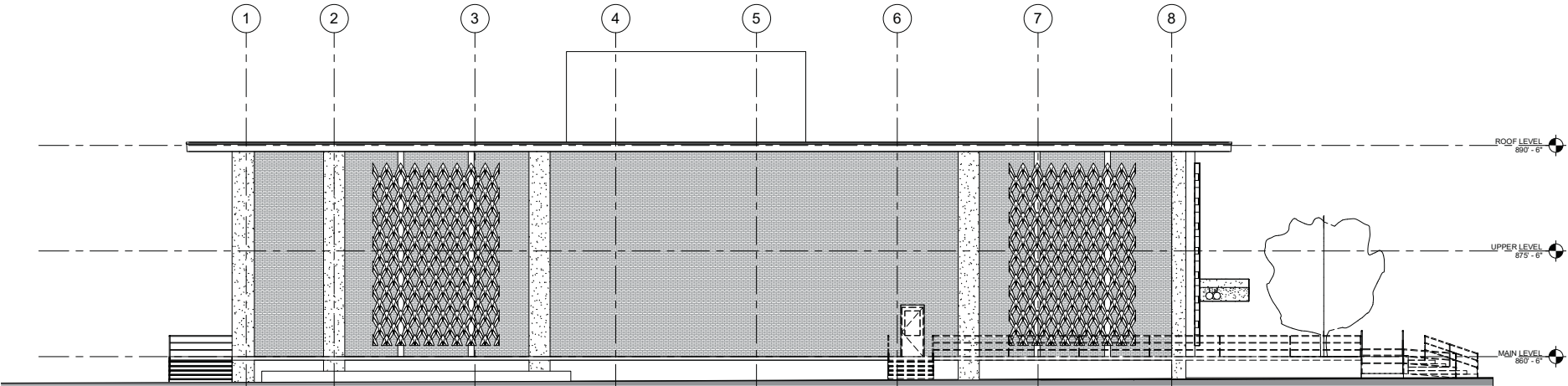
Scope of work at the east elevation is limited to:

- There are no proposed alterations to the main body of the east facade.
- **New stucco screen wall.** Additional mechanical equipment is required to meet programmatic needs and will be installed on the roof. A new stucco wall, to match the existing, will be built to screen the new equipment. A small gap of ~8" will separate the existing stucco wall from the new.



East Elevation - Proposed

WEST ELEVATION



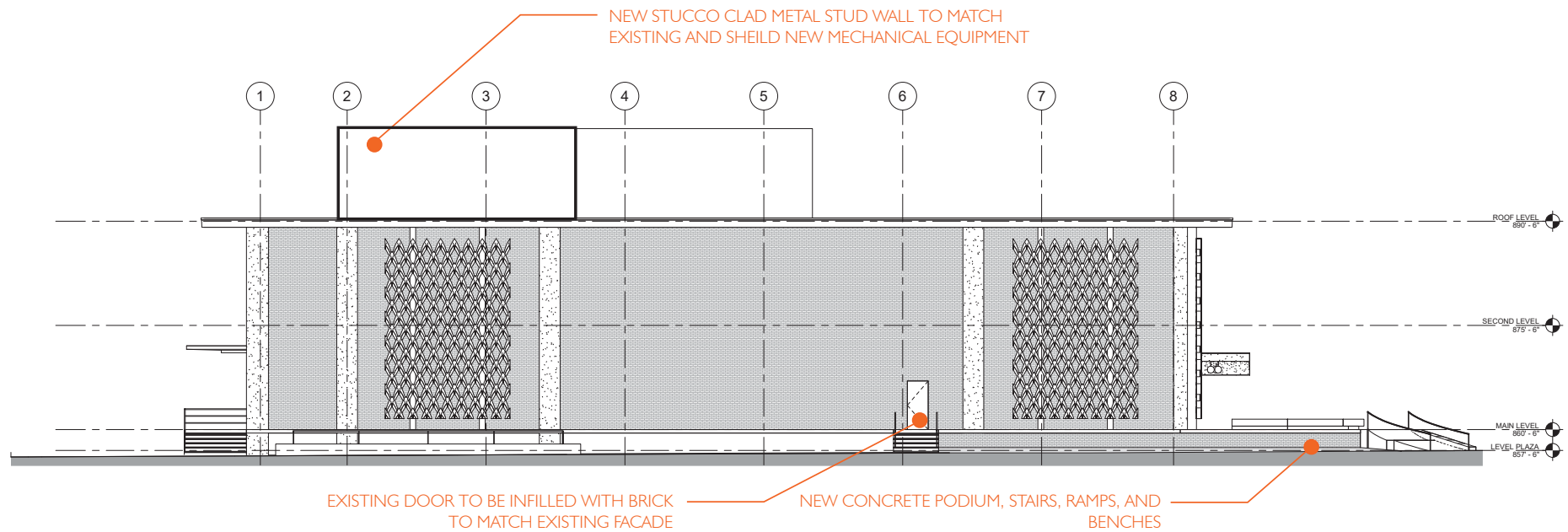
West Elevation - Existing

WEST ELEVATION: PROPOSED

Proposed Work

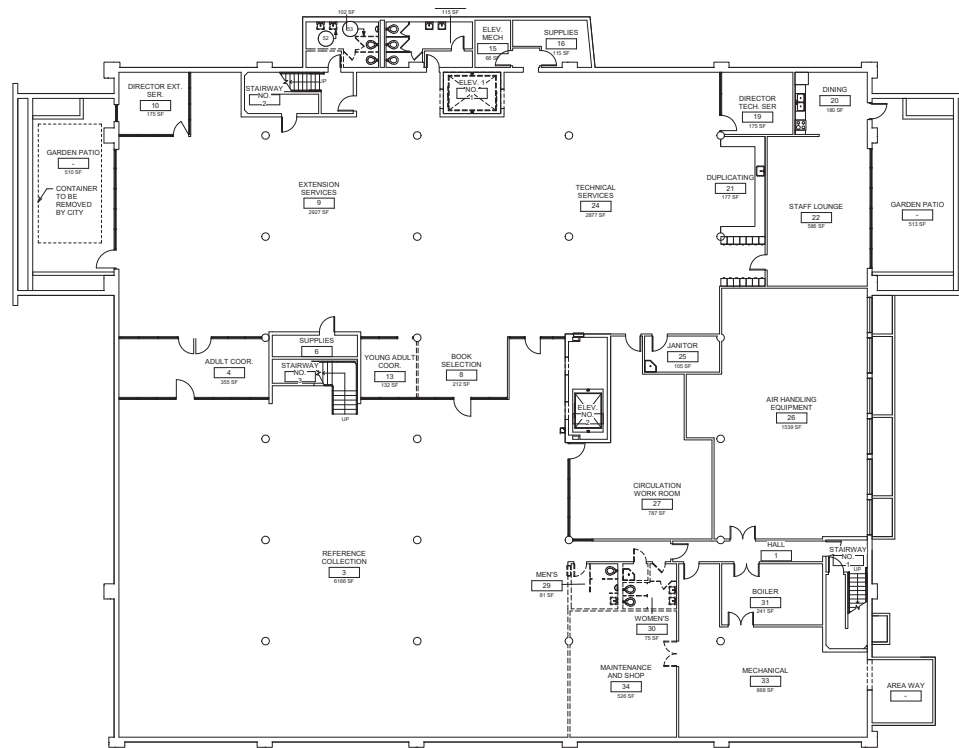
Scope of work at the west elevation is limited to:

- **Removal and infill of the exit door.** The infill will consist of brick to match the existing.
- **New stucco screen wall.** Additional mechanical equipment is required to meet programatic needs and will be installed on the roof. A new stucco wall, to match the existing, will be built to screen the new equipment. A small gap of ~8" will separate the existing stucco wall from the new.



West Elevation - Proposed

LOWER LEVEL: EXISTING

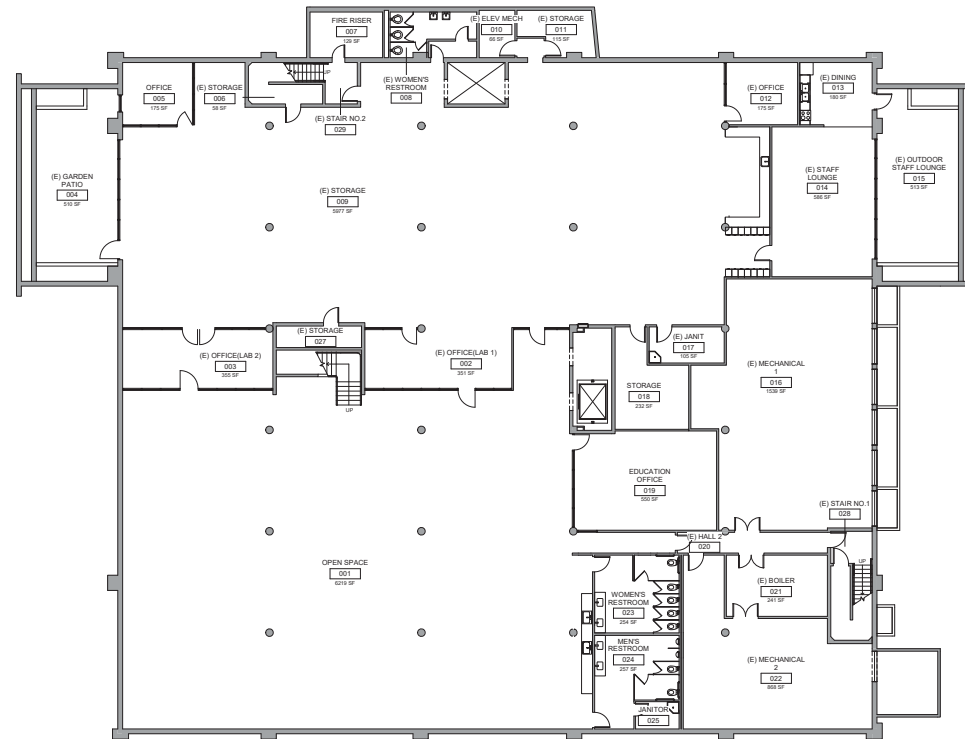


Plan of Lower Level - Proposed Demolition



LOWER LEVEL: PROPOSED

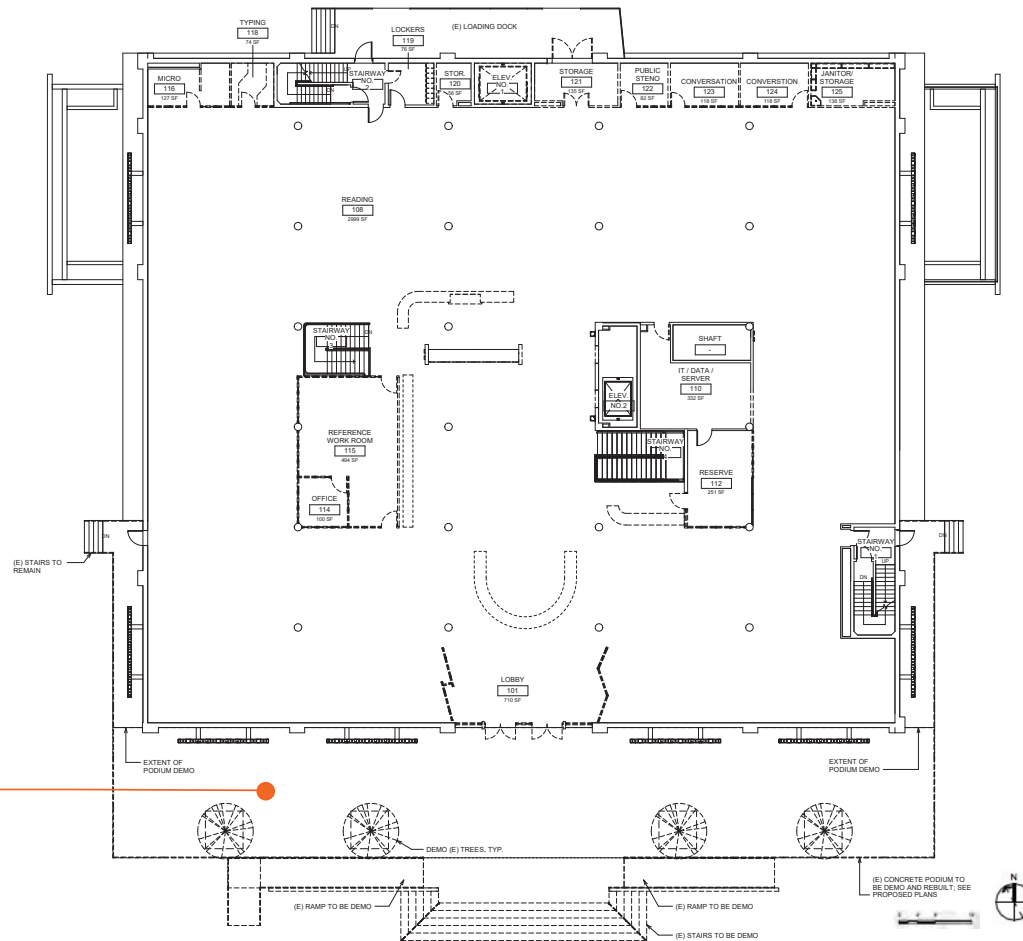
Proposed Work
No exterior scope.



Plan of Lower Level - Proposed Construction

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MAIN LEVEL: EXISTING

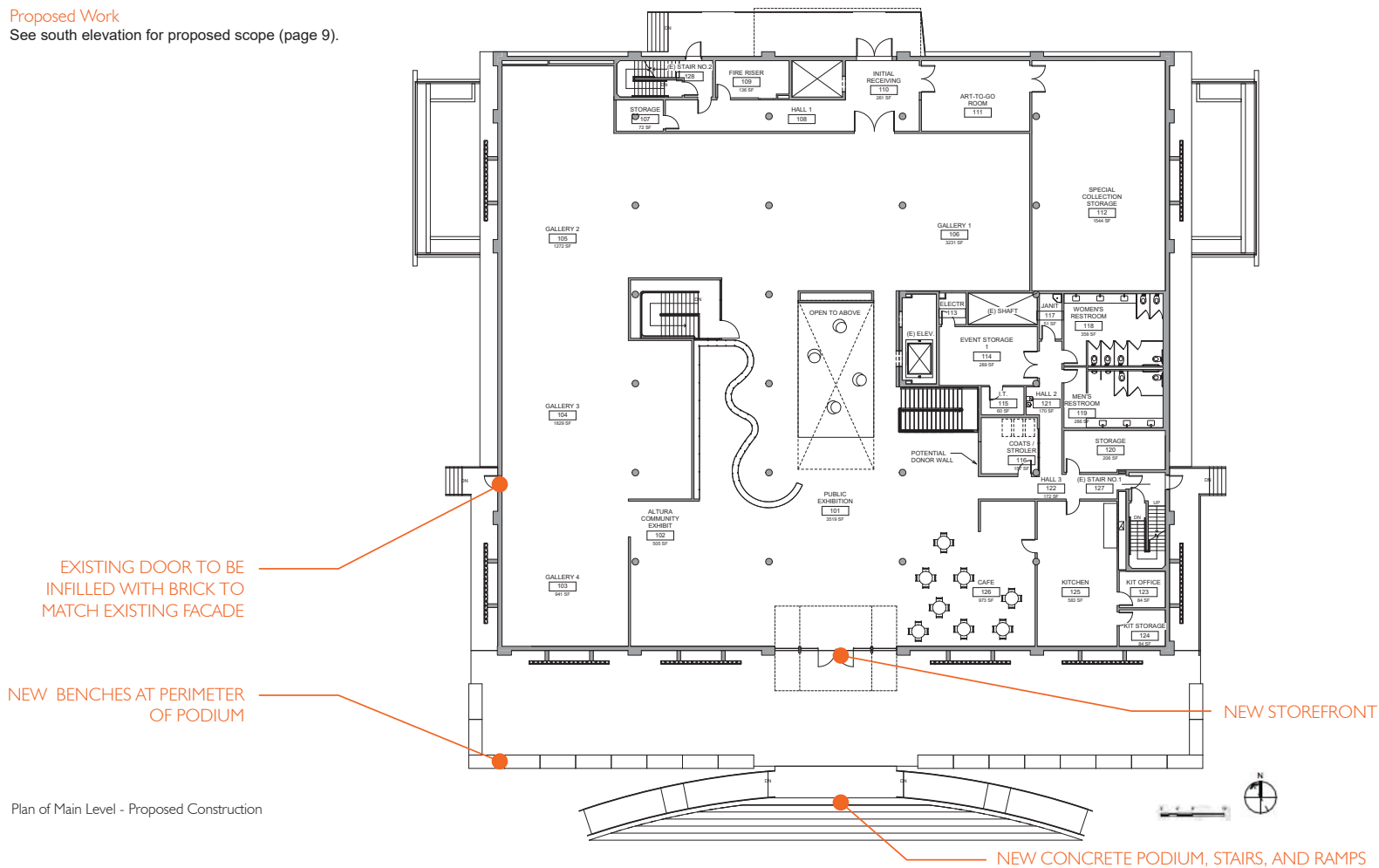


Plan of Main Level - Proposed Demolition

MAIN LEVEL: PROPOSED

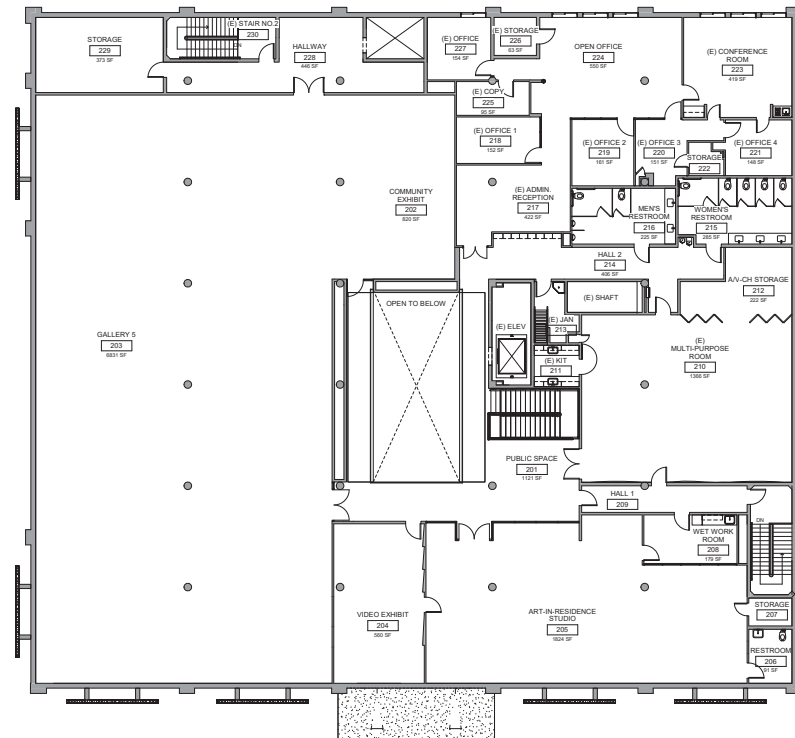
Proposed Work

See south elevation for proposed scope (page 9).



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Proposed Work
No exterior scope.

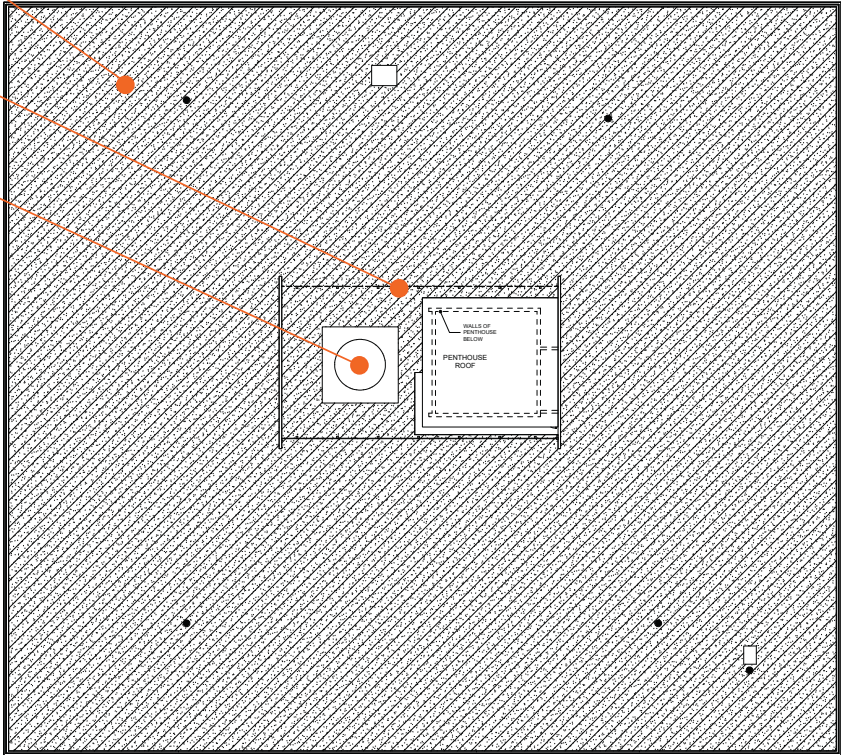


ROOF: EXISTING

EXISTING ROOFING, CONDUIT
AND ROOF PENETRATIONS TO
BE REMOVED AND REPLACED

EXISTING ARCHITECTURAL
SCREEN TO BE MOVED

EXISTING ROOFTOP
MECHANICAL EQUIPMENT TO
BE REMOVED AND REPLACED



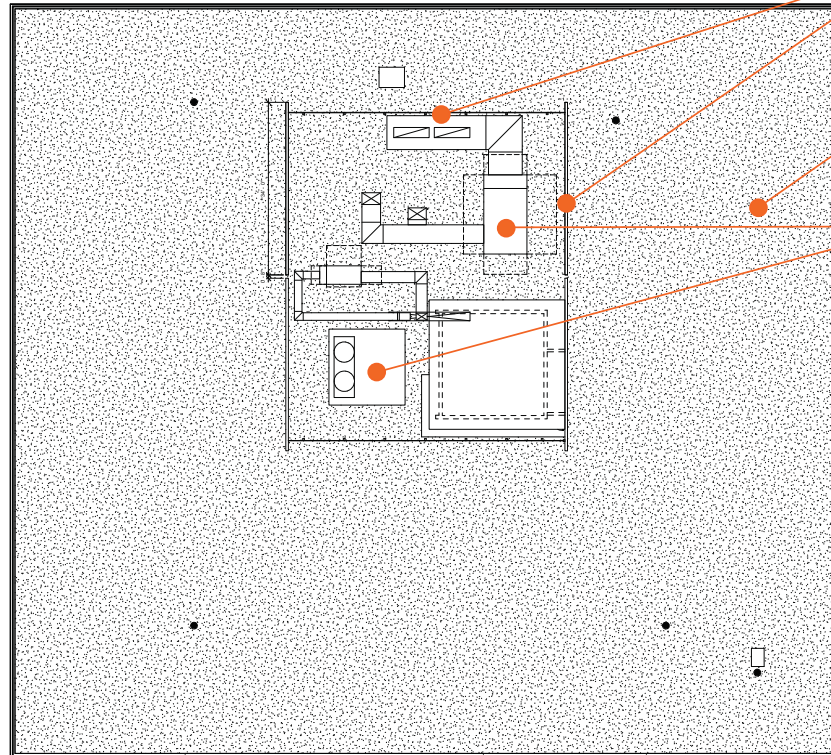
Plan of Roof - Proposed Demolition



ROOF: PROPOSED

Proposed Work

New mechanical equipment will be installed on the roof. To screen the equipment, two new stucco clad walls will be constructed. The new walls will match the existing in texture and height. The existing metal screen will be moved to the north to screen the mechanical equipment.



EXISTING ARCHITECTURAL
SCREEN, MOVED TO NEW
LOCATION AND NEW
STUCCO WALLS TO HIDE NEW
MECHANICAL EQUIPMENT

NEW ROOFING MEMBRANE,
CONDUIT AND ROOF
PENETRATIONS

NEW ROOFTOP MECHANICAL
EQUIPMENT TO

Plan of Roof - Proposed Construction



EXTERIOR RENDERING



View of proposed exterior - new front podium, stair and ramps (wHY).



View of proposed exterior - new front podium, stair and ramps (wHY).

TITLE 20

20.25.50 – Principles and Standards of Site Development and Design Review

- A. *The application proposal is consistent or compatible with the architectural period and the character-defining elements of the historic building;*

The proposed project is consistent with the architectural period and the character-defining features of the building. Exterior alterations are limited to the replacement of the podium, the existing entry steps and existing ramps. Though the podium and steps are original, they exhibit extensive cracking. The podium will be replaced with a new podium that is similar in width, height, depth and concrete finish. It will be constructed within the same footprint. The ramps do not meet current accessibility requirements, the west ramp has been altered and they also exhibit extensive cracking. The ramps and steps will be replaced with new ramps and steps that have a curvilinear configuration. Though the configuration is a departure from the existing rectilinear form, the new ramps and steps will be centered on the podium and will continue the symmetrical organization of the building. Furthermore, the ramps and steps will match the concrete material of the existing. The proposed steps and ramps will be distinguished from, but compatible with, the character of the library and the architectural period.

- B. *The application proposal is compatible with existing adjacent or nearby Cultural Resources and their character-defining elements;*

Though the Riverside Library is located within the Mission Inn Historic District, it was designed in the New Formalist style and constructed outside of the period of significance of the district. The library is therefore not a contributor to the Mission Inn Historic District. The proposed project will be compatible with the library but it will neither contribute to, nor diminish the character of the Mission Inn Historic District.

- C. *The colors, textures, materials, fenestration, decorative features, details, height, scale, massing, and methods of construction proposed are consistent with the period and/or compatible with adjacent Cultural Resources;*

The exterior of the building will largely remain unchanged. The exterior project scope is limited to the replacement of the entry storefront, podium, steps, and ramps. The fenestration of the building will remain unchanged. Likewise, the height, scale and massing of the building will remain the same. The replacement storefront, podium, ramps and steps will be replaced with similar materials so that the colors and textures of the building will remain and be compatible with the historic resource.

- D. *The proposed change does not adversely affect the context considering the following factors: grading; site development; orientation of buildings; off-street parking; landscaping; signs; street furniture; public areas; relationship of the project to its surroundings;*

The proposed project is limited to the adaptive reuse of the library building. No work is planned for the surrounding plaza, parking, sidewalks and site features.

- E. *The proposed change does not destroy or adversely affect an important architectural, historical, cultural, or archaeological feature or features;*

The proposed project will not destroy or adversely affect important features of the property. As stated above, the exterior alterations are limited to the replacement of the existing entry storefront, podium, ramps and steps. The proposed replacement storefront will accommodate wider doors, but will be installed within the existing opening. Similar to the existing, it will be finished with an anodized aluminum material. The new podium will be the same height, depth, width and material and will therefore be consistent with the character of the building. As noted above, the proposed replacement ramps and steps will have a curvilinear configuration rather than a rectilinear. Though the configuration will be distinct from the existing, the new ramps and steps will be symmetrical about the building and podium; and will be constructed of the same material as the existing so as to be compatible with the character-defining features of the building.

- G. *The project is consistent with the principles of the Secretary of the Interior's Standards for the Treatment of Historic Properties.*

See the Standards Analysis on the following page.

SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

1. **Rehabilitation Standard No. 1:** *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.*

The Riverside Library at 3581 Mission Inn Avenue was constructed to serve as the main library. The proposed project will adaptively reuse the library for The Cheech Marin Center for Chicano Art, Culture, and Industry. The new use is one that will require only minimal change at the exterior. No new openings nor additions are proposed. The proposed alternations are limited to the replacement of the front entry storefront, podium, ramps and steps. The storefront proposed will be installed within the existing opening; but will have doors of greater width than the existing to accommodate the transport of art. The new storefront will be aluminum like the existing and will have a similar finish. The existing podium is in poor condition with extensive surface cracking. The replacement podium will match the existing in footprint, width, height and depth. It will also be constructed of similar materials and will therefore have a similar appearance as the existing. The proposed ramps and steps are also in disrepair and are proposed to be replaced with new concrete ramps and steps that have a curved configuration. Though the new configuration is different from the existing, the new ramps and steps will be compatible through the use of concrete as the primary material and by employing a symmetrical design. Their curved configuration will also relate to the curved canopy at the entry. Other character-defining features such as the concrete screens, brick walls, roof overhang, concrete entrance canopy and concrete pilasters will be retained and protected. As such, the proposed project is compliant with Standard 1.

2. **Rehabilitation Standard No. 2:** *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided. The proposed project does not intend to remove distinctive materials, spaces or spatial relationships.*

The proposed project does not intend to remove distinctive materials, spaces or spatial relationships. The proposed project will include the demolition and reconstruction of the front (south) entrance concrete podium, stairs and ramps. These features are in poor condition and exhibit extensive cracking. Furthermore, the ramps do not meet the requirements of current code. The podium will be reconstructed to match the existing cast-in-place concrete podium; however the design for the new stairs and ramps will have a different

configuration than the existing. The proposed steps and ramps will be curved but will not impact the spatial relationships that characterize the historic resource. Character-defining features of the library such as the concrete screens, brick walls, roof overhang, concrete entrance canopy and concrete pilasters will be retained and protected. The proposed project is in compliance with Standard 2.

3. **Rehabilitation Standard No. 3:** *Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The only changes proposed for the exterior of the building include the replacement of the entry storefront, podium, ramps and steps. The storefronts and podium will essentially be replaced in kind with only minor distinctions. The ramps and steps will be compatible with the building but distinct and therefore will not convey a false sense of history. As such, the proposed project complies with Standard 3.

4. **Rehabilitation Standard No. 4:** *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

There are no changes to the library that have acquired historic significance in their own right. As such, the proposed project is compliant with Standard 4.

5. **Rehabilitation Standard No. 5:** *Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The only exterior features proposed to be removed include the entry storefront, podium, ramps and steps. These features do not represent distinctive materials or finishes nor do they represent examples of craftsmanship. As such, the proposed project complies with Standard 5.

6. **Rehabilitation Standard No. 6:** *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

The front (south) podium, stairs and ramps are in disrepair and exhibit extensive cracking on the concrete surface. The podium will be reconstructed to match the existing; however, the proposed design for the stairs and ramps will have a different configuration from the existing. These elements were previously altered with the addition of handrails and the west ramp has been reconfigured from the original design. The proposed new design of the stairs and ramps will have a curved configuration which is a departure from the existing rectilinear form. Though the curved form will be distinct from the existing, the new ramps and steps will be constructed of concrete; therefore, having a compatible texture, color and material. These features will also be centered on the podium and will have a symmetrical design. The project will largely comply with Standard 6.

7. **Rehabilitation Standard No. 7:** *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

No chemical or physical treatments to the historic materials are proposed as part of this project. As such, the proposed project is compliant with Standard 7.

8. **Rehabilitation Standard No. 8:** *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

It is not anticipated that any archeological resources will be discovered. If this should occur, appropriate mitigation measures will be taken.

9. **Rehabilitation Standard No. 9:** *New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

The reconstruction of the existing front podium, and new construction of the front (south) entrance stairs and ramps will not destroy historic materials, features, and spatial relationships that characterize the property. The new podium will be reconstructed to match the existing in height, width, depth, and materials. The new stairs and ramps will be differentiated from the old while still being constructed of cast-

SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION CONTINUED

in-place concrete. The new front stairs and ramps will have a curved design which will differentiate them from the original building; however, they will be compatible in their symmetrical design, massing, scale and use of concrete. Other character-defining features such as the concrete screens, brick walls, roof overhang, concrete entrance canopy and concrete pilasters will be retained and protected. The project will comply with Standard 9.

10. **Rehabilitation Standard No. 10:** *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

No additions or adjacent new construction are proposed for this project. The proposed new stairs and ramps at the front (south) entrance will be constructed so that if removed in the future, the essential form and integrity of the historic property will not be impaired. The project will be in compliance with Standard 10.

MATERIAL BOARD

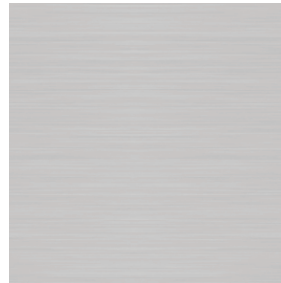
Since there are few alterations to the existing library that are proposed, the materials palette will largely remain the same. Primary materials are brick and concrete, both painted and unpainted. The entry storefronts will be replaced with new storefronts that have wider doors; however the new doors will be clear anodized aluminum, similar to the existing. New handrails at the ramps and stairs will have a similar, clear anodized aluminum finish.



Exposed concrete



Stucco walls at roof



Clear anodized aluminum storefront and handrails



Exterior brick

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