

PROPOSED TENANT IMPROVEMENT BANQUET HALL AND RESTAURANT 10170 INDIANA AVE. BUILDING 'B' RIVERSIDE, CA 92503 CONDITIONAL USE PERMIT (CUP) APPLICATION

DESIGN TEAM

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SCOPE OF WORK

BUILDING 'B' TENANT IMPROVEMENT OF APPROX. 20,000 SQ. FT.
BANQUET HALL AND RESTAURANT. SEE PROJECT SUMMARY.

PROJECT SUMMARY

ZONING: OR - COMMERCIAL RETAIL ZONE
APN: BANQUET HALL
OCCUPANCY GROUP: "A-2" BANQUET HALL, "S-2" LOW HAZARD STORAGE, "B" OFFICE, DINING
TYPE OF CONSTRUCTION: V-N FIRE SPRINKLERED
APPLICABLE CODES: -2016 CBC
-2016 CFC
-2016 CEC
-2016 CMC
-2016 CEC
-CITY OF RIVERSIDE MUNICIPAL CODES

AREA OF TENANT IMPROVEMENT: APPROX. 20,000 SQ. FT.

ALLOWABLE AREA:
TYPE OF CONSTRUCTION: TYPE V FIRE SPRINKLERED. 24,000
SQ. FT. PER TABLE 505.2

DESCRIPTION OF USE: BANQUET HALL & RESTAURANT DINING ROOM
OCCUPANCY:

NUMBER OF STORIES: ONE STORY
BUILDING HEIGHT: 24'-8"

OCCUPANT LOAD ANALYSIS

ROOM DESCRIPTION	SQ. FT.	OCC. LOAD FACTOR	FLOOR AREA	OCCUPANT	PER PERSON	TOTAL
HALL A (A-2 DINING)	15	1,100 SF	1,100 SF	1	1	1
HALL B (A-2 DINING)	15	1,100 SF	1,100 SF	1	1	1
HALL C (A-2 DINING)	15	1,100 SF	1,100 SF	1	1	1
LOBBY (A-2 DINING)	15	1,100 SF	1,100 SF	1	1	1
TOTAL						513.6 >49

ROOM DESCRIPTION	OCC. TYPE	OCC. LOAD FACTOR	FLOOR AREA	OCCUPANT	PER PERSON	TOTAL
BEST DINING (DINING)	15	581 SF	581 SF	1	1	1
TOTAL						38.7 <49

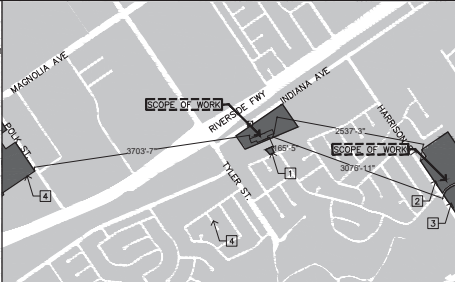
EXITS WIDTH: PER TABLE 1005.1 (0.15 FACTOR)

OCCUPANT LOAD FACT. REQ. PROP.
457.8' 0.15 68.67' 72"



SITE PHOTOGRAPHS

VICINITY USE MAP



VICINITY USE MAP KEYNOTES

1. NEAREST RESIDENCE: 165'-5" AWAY.
2. NEAREST PUBLIC OR PRIVATE SCHOOL AND CHURCH (HARRISON ELEMENTARY SCHOOL & RIVERSIDE VINEYARD CHURCH): 2537'-3" AWAY.
3. NEAREST PARK (HARRISON PARK): 3076'-11" AWAY.
4. NEAREST HOSPITAL (KAISER PERMANENTE RIVERSIDE MEDICAL CENTER): 3703'-7" AWAY.

BIDDING INSTRUCTIONS

THE CONTRACTOR SHALL CONTACT THE OWNER FOR VERIFICATION AND SPECIFICATIONS OF THE FOLLOWING ITEMS (PRIOR TO BIDDING THE PROJECT):

1. OWNER-SUPPLIED CONTRACTOR-INSTALLED ITEMS
2. FLOORING, WALL FINISHES, APPLIANCES, CABINETS, AND COUNTER TOPS
3. DECORATIVE ELECTRICAL FIXTURES, DESIGN & TYPE OF GUARDRAILS
4. SPECIFICATIONS OF DOORS AND WINDOWS
5. HANDSCAPE AND LANDSCAPE AREAS
6. PLUMBING FIXTURES, EQUIPMENT, ETC.

DRAWING INDEX

ARCHITECTURAL

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- T-1.1 ENLARGED SITE PLAN
- A-1 EXISTING & DEMO PLAN
- A-2 PROPOSED FLOOR PLAN
- CB COLOR BOARD

LANDSCAPE

- L-1 EXISTING SITE PLAN
- L-2 DEMOLITION SITE PLAN
- L-3 PROPOSED LANDSCAPE PLAN

OVERALL PHOTOMETRIC PLAN

- E-1 ENLARGED PHOTOMETRIC PLAN
- E-2 ENLARGED PHOTOMETRIC PLAN
- E-3 RENDERING VIEWPORTS
- E-4 RENDERING VIEWPORT
- E-5 CALCULATIONS
- E-6 OVERALL PHOTOMETRIC PLAN
- E-7 ENLARGED PHOTOMETRIC PLAN
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- E-9 RENDERING VIEWPORT
- E-10 CALCULATIONS
- E-11 CALCULATIONS

PARKING ANALYSIS

BUILDING	APPROX. AREA	EXISTING TRAILER	PROPOSED TRAILER
1	1,100	1	1
2	1,100	1	1
3	1,100	1	1
4	1,100	1	1
5	1,100	1	1
6	1,100	1	1
7	1,100	1	1
8	1,100	1	1
9	1,100	1	1
10	1,100	1	1
11	1,100	1	1
12	1,100	1	1
13	1,100	1	1
14	1,100	1	1
15	1,100	1	1
16	1,100	1	1
17	1,100	1	1
18	1,100	1	1
19	1,100	1	1
20	1,100	1	1
21	1,100	1	1
22	1,100	1	1
23	1,100	1	1
24	1,100	1	1
25	1,100	1	1
26	1,100	1	1
27	1,100	1	1
28	1,100	1	1
29	1,100	1	1
30	1,100	1	1
31	1,100	1	1
32	1,100	1	1
33	1,100	1	1
34	1,100	1	1
35	1,100	1	1
36	1,100	1	1
37	1,100	1	1
38	1,100	1	1
39	1,100	1	1
40	1,100	1	1
41	1,100	1	1
42	1,100	1	1
43	1,100	1	1
44	1,100	1	1
45	1,100	1	1
46	1,100	1	1
47	1,100	1	1
48	1,100	1	1
49	1,100	1	1
50	1,100	1	1
51	1,100	1	1
52	1,100	1	1
53	1,100	1	1
54	1,100	1	1
55	1,100	1	1
56	1,100	1	1
57	1,100	1	1
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80	1,100	1	1
81	1,100	1	1
82	1,100	1	1
83	1,100	1	1
84	1,100	1	1
85	1,100	1	1
86	1,100	1	1
87	1,100	1	1
88	1,100	1	1
89	1,100	1	1
90	1,100	1	1
91	1,100	1	1
92	1,100	1	1
93	1,100	1	1
94	1,100	1	1
95	1,100	1	1
96	1,100	1	1
97	1,100	1	1
98	1,100	1	1
99	1,100	1	1
100	1,100	1	1

EXISTING PARKING COUNT - 387

PROPOSED ADDITIONAL STALLS - 46

TOTAL PARKING STALLS - 433

NOTE: SEE PARKING ANALYSIS AND TRAFFIC REPORT

BUILDING B - UNITS 1299, 1410 - 62,384 SQ. FT.

BANQUET HALL - FLOOR AREA 8,000 SQ. FT.

STORAGE: FLOOR AREA 1,510 SQ. FT.

RESTAURANT: FLOOR AREA 580.9 SQ. FT.

KITCHEN: FLOOR AREA 986 SQ. FT.

LOBBY: FLOOR AREA 2,113 SQ. FT.

OFFICE: FLOOR AREA 347 SQ. FT.

HALLWAYS: FLOOR AREA 633 SQ. FT.

TOILETS: FLOOR AREA 874 SQ. FT.

UTILITIES: FLOOR AREA 238 SQ. FT.

STORAGE: FLOOR AREA 640 SQ. FT.

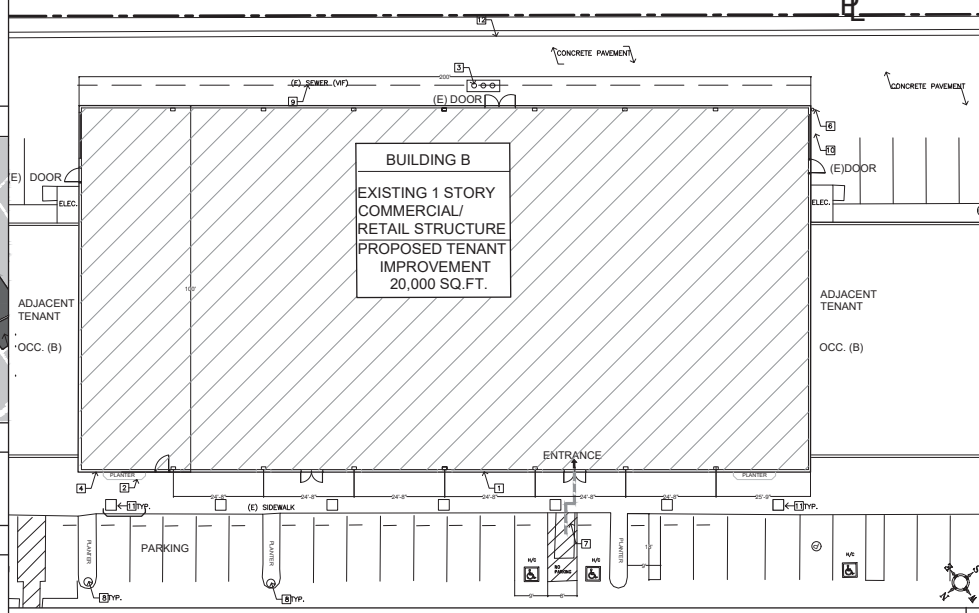
STORAGE: FLOOR AREA 250 SQ. FT.

LOBBY/BAR: FLOOR AREA 428 SQ. FT.

BUFFET: FLOOR AREA 540 SQ. FT.

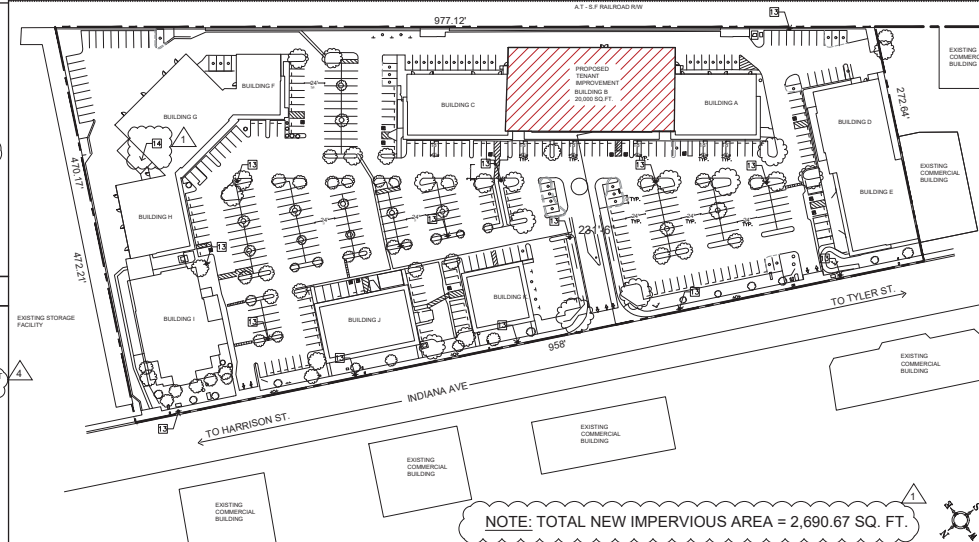
TOTAL UNITS AREA: 230,000 SQ. FT.

A.T. - S.F. RAILROAD R/W



ENLARGED EXISTING, DEMOLITION AND PROPOSED SITE PLAN

SCALE: 1/16" = 1'-0"



SITE PLAN (FOR REFERENCE ONLY) SEE ENLARGE PLAN (1/T-1 & 0/T-1.1)

SCALE: 1" = 70'-0"

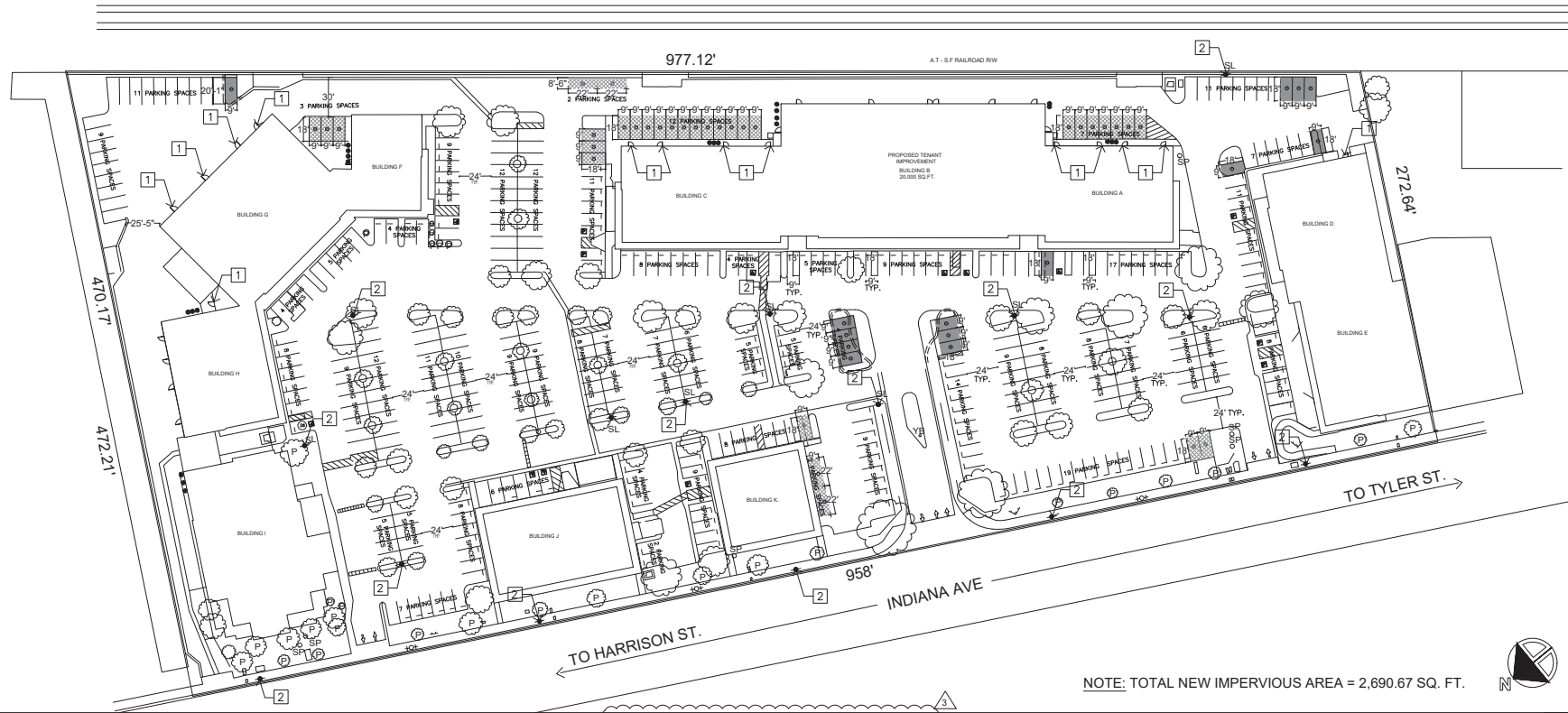
NOTE: TOTAL NEW IMPERVIOUS AREA = 2,690.67 SQ. FT.

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DRAWING TITLE	NO.	DATE	ISSUED
TITLE SHEET & EXISTING SITE PLAN	1	07-19-16	
JOB TITLE	2	01-17-19	
BANQUET HALL & RESTAURANT	3	03-24-19	
JOB ADDRESS	4	05-06-19	
10170 INDIANA AVENUE		05-25-19	
RIVERSIDE CA 92503			
JOB NO.	2017		
DWG. NO.	T-1		
REVISION NO.	4		



ENLARGED PROPOSED SITE PLAN

SCALE : 1"= 40'

0

LEGEND

- EXISTING PALM TREE - PROTECT IN PLACE
- EXISTING TREE - PROTECT IN PLACE
- PROPOSED PARKING SPACES (TOTAL 51)
- STREET LIGHT
- (N) STRIPING AT EXISTING ASPHALT PARKING AREA
- (N) ASPHALT PARKING AREA

SITE PLAN KEYNOTES

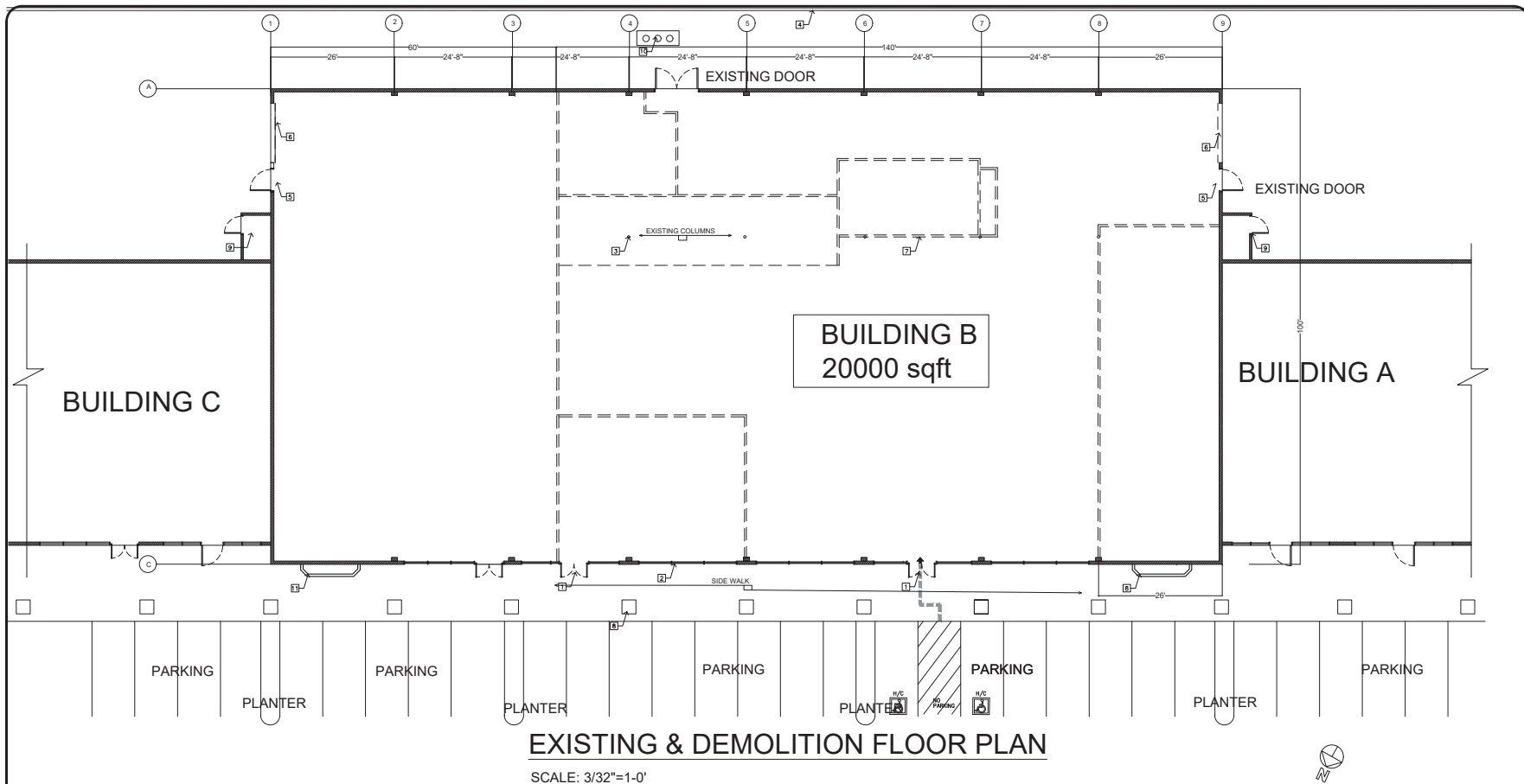
1. SERVICE/EXIT DOORS.
2. (E) 20' LIGHT POLES.
- 3.

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DRAWING TITLE	JOB NO.	DATE	ISSUED
ENLARGED SITE PLAN	2017	07-19-18	PLAN CHECK
BANQUET HALL & RESTAURANT		01-17-19	PLAN CHECK REVISION
		03-24-19	PLAN CHECK REVISION
		05-06-19	PLAN CHECK REVISION
		05-25-19	PLAN CHECK REVISION
JOB ADDRESS			
10170 INDIANA AVENUE			
RIVERSIDE CA 92503			
DWG. NO.	REVISION NO.		
T-1.1	4		



FLOOR PLAN KEYNOTES		SECTION KEYNOTES		WALL LEGEND:	
1. REPLACE EXISTING DOOR W/ NEW STOREFRONT. 2. EXISTING STOREFRONT. 3. EXISTING INTERNAL COLUMNS TO BE REMOVED 4. EXISTING FENCE 5. EXISTING EXIT DOOR. 6. EXISTING ROLL UP DOOR . 7. EXISTING WALL TO BE REMOVE. 8. EXISTING EXTERNAL COLUMNS 9. EXISTING ELECT. ROOM 10.(E) GREASE INTERCEPTOR (VIF) 11. (N) CONCRETE SLAB		1. EXISTING CMU WALL. 2. EXISTING CONCRETE SLAB. 3. EXISTING ROOF FRAMING.		- EXISTING EXTERIOR CMU WALL - EXISTING STOREFRONT - EXISTING WALL TO BE REMOVED (INTERIOR NON-BEARING) - EXISTING COLUMNS - EXISTING COLUMNS - ACCESSIBLE PATH OF TRAVEL	
NOTE: SEE SHEET A-2 FOR SECTION CALLOUT.		SECTION 'A-A' SCALE: 3/32"=1'-0"		1	

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NO.	DATE	ISSUED	PLAN CHECK	REVISION
1	07-19-18		PLAN CHECK	REVISION
2	01-17-19		PLAN CHECK	REVISION
3	03-24-19		PLAN CHECK	REVISION
4	05-08-19		PLAN CHECK	REVISION
5	05-25-19		PLAN CHECK	REVISION

DRAWING TITLE: EXISTING&DEMO PLAN

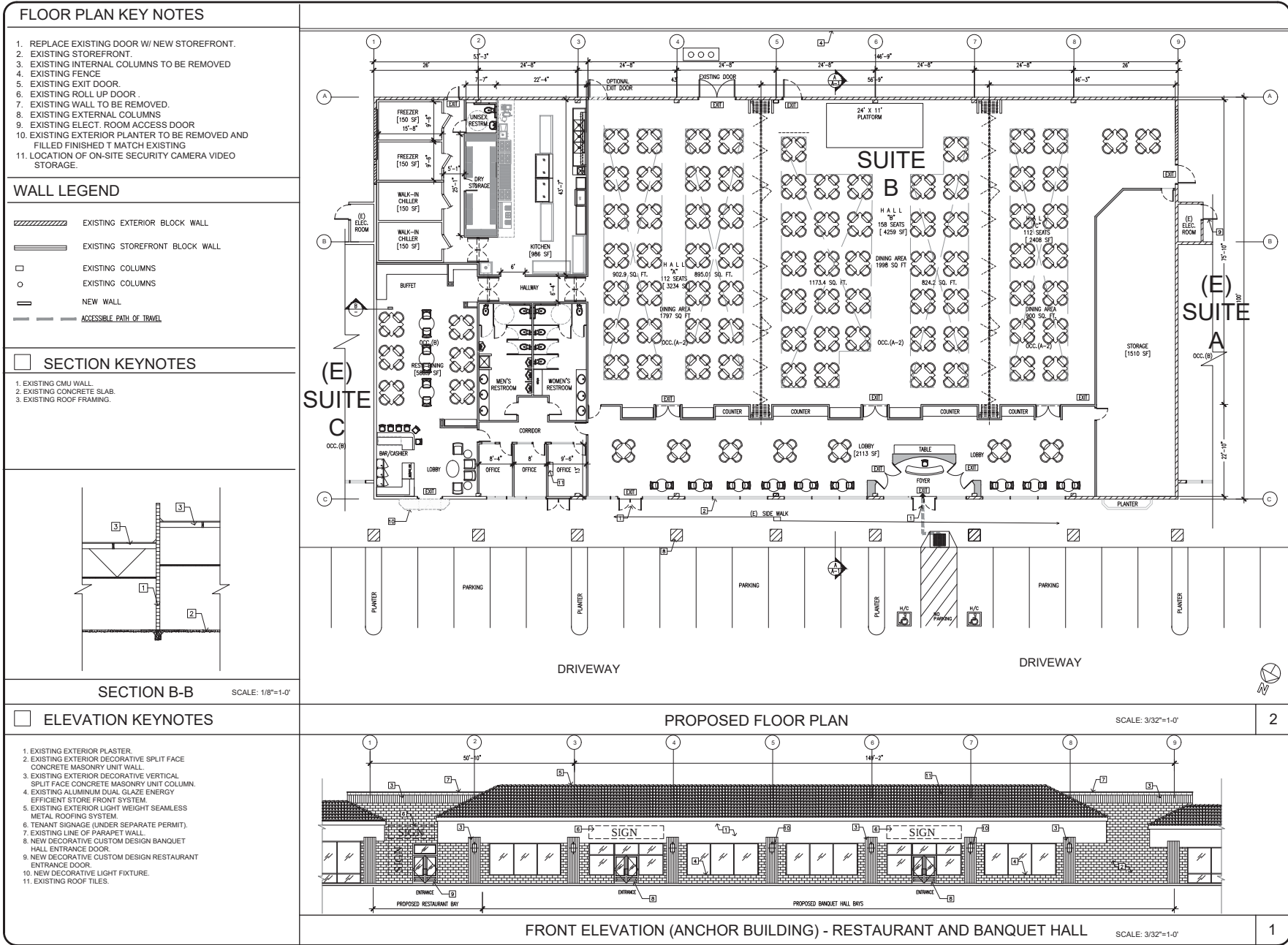
JOB TITLE: BANQUET HALL & RESTAURANT

JOB ADDRESS: 14070 INDIANA AVENUE RIVERSIDE CA 92503

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NO. **DATE** **ISSUED**

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4	05-06-19	PLAN CHECK REVISION
5	05-25-19	PLAN CHECK REVISION

DRAWING TITLE
PROPOSED FLOOR PLAN

JOB TITLE
BANQUET HALL & RESTAURANT

JOB ADDRESS
10170 INDIANA AVENUE
RIVERSIDE CA 92503

JOB NO. 2017

DWG. NO. A-2 **REVISION NO.** 4