

CAMDEN COLLECTION

A RC HOBBS COMMUNITY



1B - FRENCH

DESIGN TEAM

IDEARC ARCHITECTURE & PLANNING
17848 SKY PARK CIRCLE, SUITE D
IRVINE, CA 92614
949.336.6056

ADKAN ENGINEERS
MITCH ADKINSON
6879 AIRPORT DRIVE
RIVERSIDE, CA 92504
951.688.0241

DEVELOPMENT TEAM

RC HOBBS
1428 E CHAPMAN AVE
ORANGE, CA 92866
714.633.8100

ROGER HOBBS
JEFF MOORE

3A - SPANISH

PLANNING TEAM

KEN GUTIERREZ
KEN.GUTIERREZ@ATT.NET
951.850.5018

2C - COTTAGE

PROJECT INFO

34 SINGLE FAMILY DETACHED LOTS
V.B CONSTRUCTION
13D FIRE SPRINKLERS

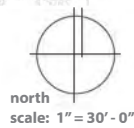
PLAN 1 - 1,864 SQFT
PLAN 2 - 2,100 SQFT
PLAN 3 - 2,482 SQFT

P18-0881, P18-0882, P18-0883, P18-0884, Exhibit 6 - Project Plans

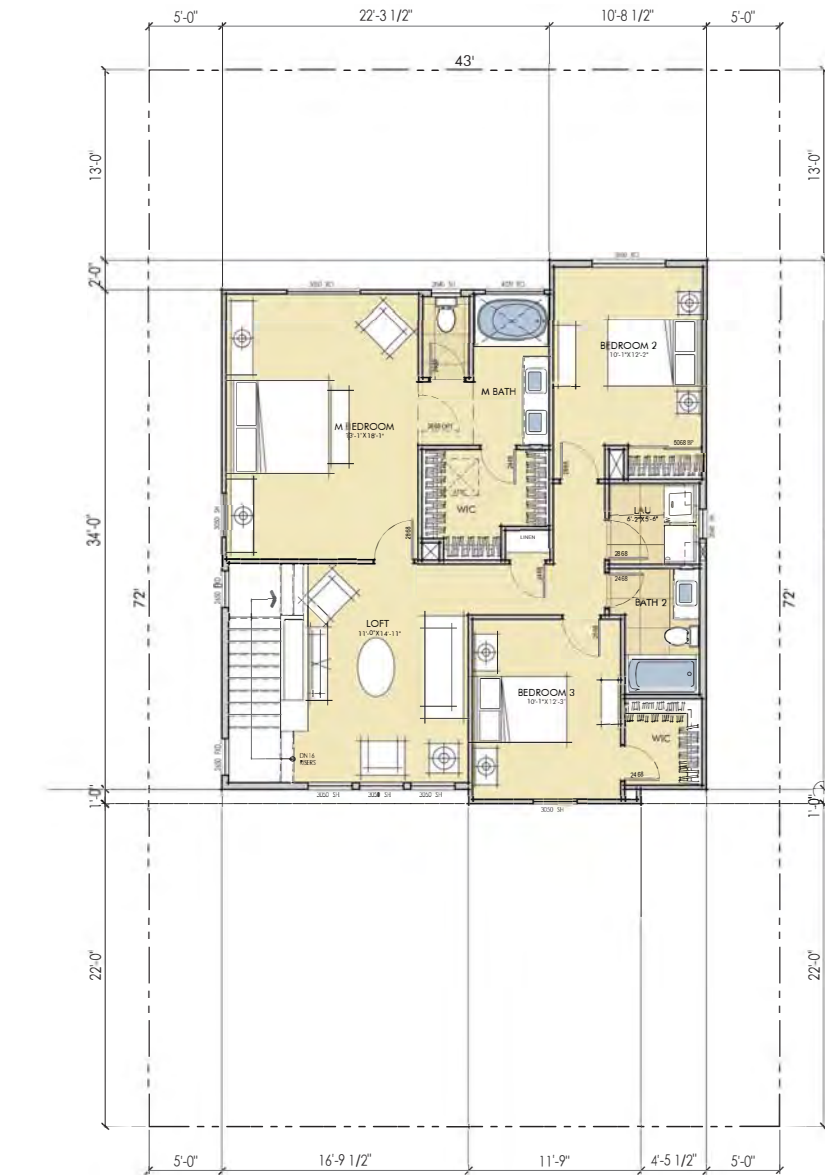


open space:
 common open space required = 17,000 sf (500 s.f. per lot)
 provided = 17,861 sf
 detention basin = 11,408 sf

parking: min. of 1 guest space per 3 dwelling units
 required = 11
 provided = 16



Camden Collection



Floor Area	
LIVING AREA:	
FIRST FLOOR LIVING:	791.8 SQ. FT.
SECOND FLOOR LIVING:	1071.8 SQ. FT.
TOTAL LIVING AREA:	1864 SQ. FT.
OTHER AREAS:	
GARAGE:	417 SQ. FT.
COVERED PORCH:	145 SQ. FT.

PLAN 1

SCALE: 1/4" = 1'-0"

CAMDEN COLLECTION

REVISIONS:	DATE:

RC HOBBS
COMPANIES

A05



Floor Area	
LIVING AREA:	3117.0 SQ. FT.
FIRST FLOOR LIVING:	1817.0 SQ. FT.
SECOND FLOOR LIVING:	1480.2 SQ. FT.
TOTAL LIVING AREA:	3480.2 SQ. FT.
OTHER AREAS:	
GARAGE:	427.0 SQ. FT.
COVERED PORCH:	141.0 SQ. FT.



LOWER FLOOR (ELEVATION C)

LOWER FLOOR (ELEVATION B)

PLAN 3

SCALE: 1/4" = 1'-0"



REVISIONS	DATE

CAMDEN COLLECTION



UPPER FLOOR

Floor Area	
LIVING AREA:	
FIRST FLOOR LIVING:	7744.62 SF
SECOND FLOOR LIVING:	1179.52 SF
TOTAL LIVING AREA:	2100.52 SF
OTHER AREAS:	
DANCE:	415.53 SF
PORCH:	345.52 SF

PLAN 2

SCALE: 1/4" = 1'-0"

CAMDEN COLLECTION

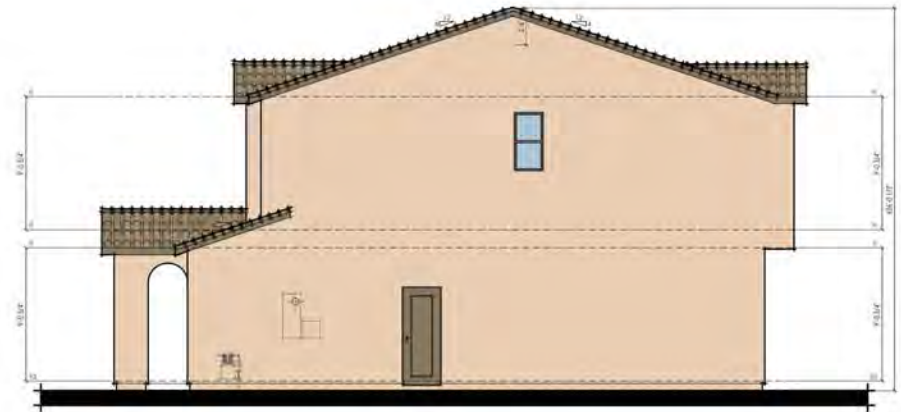


LOWER FLOOR

REVISIONS:	DATE:



1A - FRONT (SPANISH)



1A - RIGHT (SPANISH)



1A - REAR (SPANISH)



1A - LEFT (SPANISH)

PLAN 1

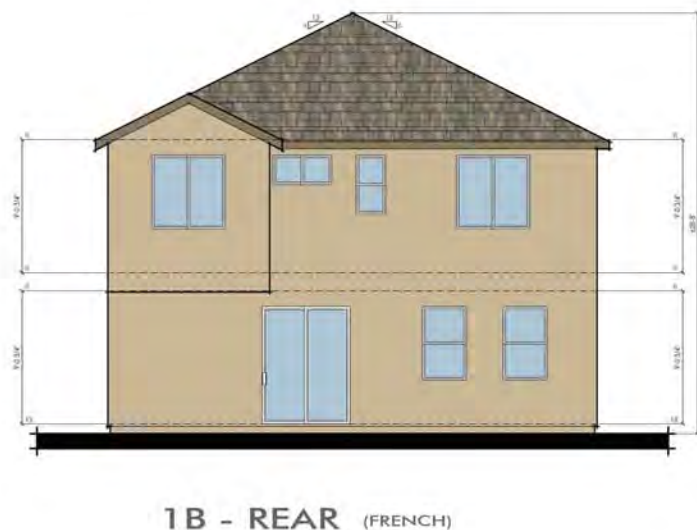
SCALE: 1/4"=1'-0"

COLOR SCHEME: A3 **CAMDEN COLLECTION**

REVISIONS	DATE



RC HOBBS
COMPANIES



PLAN 1
SCALE: 1/4"=1'-0"

COLOR SCHEME: B1 **CAMDEN COLLECTION**

REVISIONS:	DATE:





PLAN 1
SCALE: 1/4"=1'-0"

COLOR SCHEME: C2 **CAMDEN COLLECTION**

REVISIONS	DATE





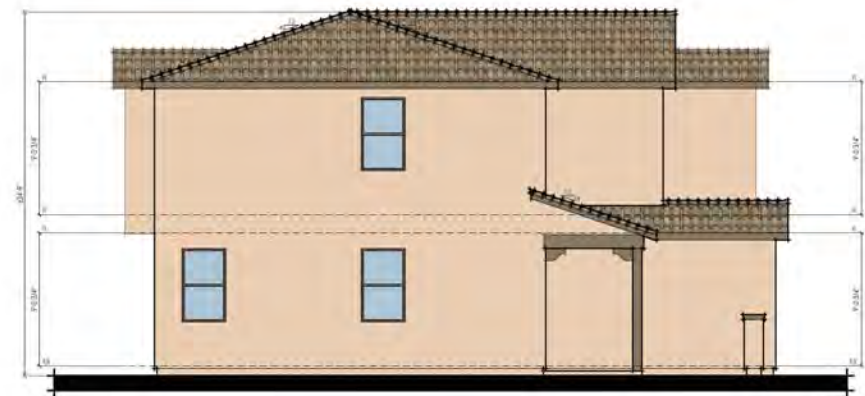
2A - FRONT (SPANISH)



2A - RIGHT (SPANISH)



2A - REAR (SPANISH)



2A - LEFT (SPANISH)

PLAN 2

SCALE: 1/4"=1'-0"

COLOR SCHEME: A3 **CAMDEN COLLECTION**

REVISIONS	DATE



RC HOBBS
COMPANIES



PLAN 2

SCALE: 1/4"=1'-0"

2B - REAR (FRENCH)

2B - LEFT (FRENCH)

COLOR SCHEME: B2 **CAMDEN COLLECTION**

REVISIONS	DATE



PLAN 2

SCALE: 1/4"=1'-0"

2C - REAR (COTTAGE)

2C - LEFT (COTTAGE)

COLOR SCHEME: C1 **CAMDEN COLLECTION**

REVISIONS	DATE





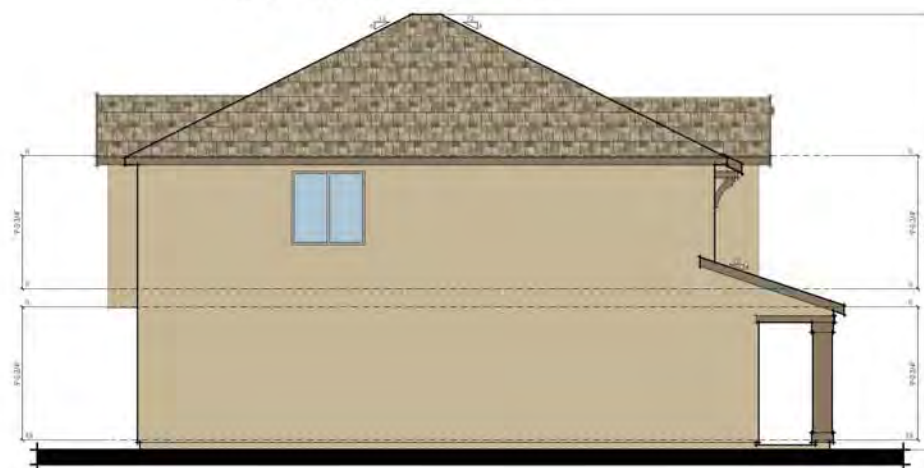
PLAN 3
SCALE: 1/4"=1'-0"

COLOR SCHEME: A2 **CAMDEN COLLECTION**

REVISIONS	DATE



P18-0881, P18-0882, P18-0883, P18-0884, Exhibit 6 - Project Plans



PLAN 3

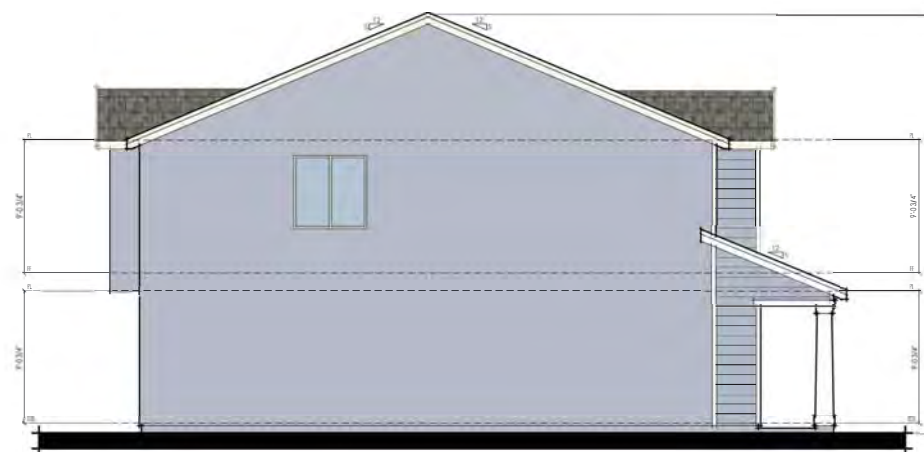
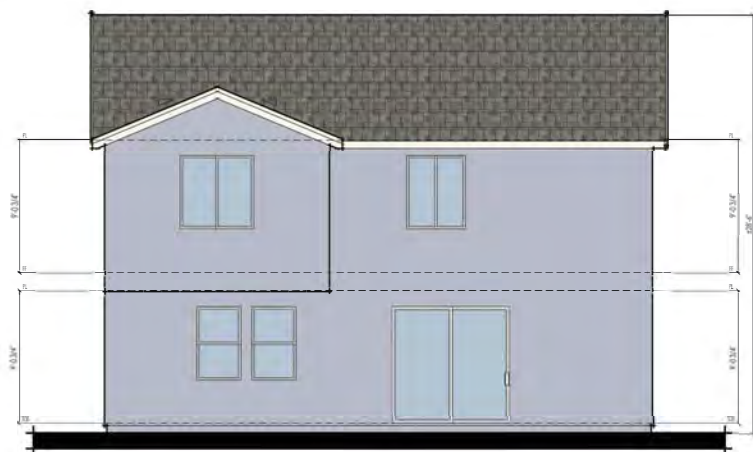
SCALE: 1/4"=1'-0"

3B - REAR (FRENCH)

3B - LEFT (FRENCH)

COLOR SCHEME: B3 **CAMDEN COLLECTION**

REVISIONS	DATE



PLAN 3

SCALE: 1/4"=1'-0"

COLOR SCHEME: C1

CAMDEN COLLECTION

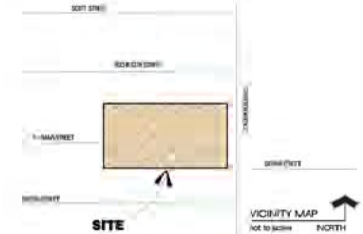
REVISIONS:	DATE:



34 Lots- Camden Collection

OPEN SPACE EXHIBIT

Streeter Ave.
Riverside, CA 92504



PRIVATE OPEN SPACE SUMMARY

PRIVATE OPEN SPACE REQUIRED (200 SQ. FT. / DWELLING) 6,800 SQ. FT.

LOT #	AREA (IN SQ. FT.)	LOT #	AREA (IN SQ. FT.)
LOT 1	1,405 Sq. Ft.	LOT 19	677 Sq. Ft.
LOT 2	924 Sq. Ft.	LOT 20	1200 Sq. Ft.
LOT 3	999 Sq. Ft.	LOT 21	904 Sq. Ft.
LOT 4	946 Sq. Ft.	LOT 22	933 Sq. Ft.
LOT 5	935 Sq. Ft.	LOT 23	788 Sq. Ft.
LOT 6	965 Sq. Ft.	LOT 24	945 Sq. Ft.
LOT 7	680 Sq. Ft.	LOT 25	690 Sq. Ft.
LOT 8	689 Sq. Ft.	LOT 26	669 Sq. Ft.
LOT 9	383 Sq. Ft.	LOT 27	710 Sq. Ft.
LOT 10	780 Sq. Ft.	LOT 28	687 Sq. Ft.
LOT 11	873 Sq. Ft.	LOT 29	695 Sq. Ft.
LOT 12	943 Sq. Ft.	LOT 30	1005 Sq. Ft.
LOT 13	931 Sq. Ft.	LOT 31	1077 Sq. Ft.
LOT 14	680 Sq. Ft.	LOT 32	804 Sq. Ft.
LOT 15	910 Sq. Ft.	LOT 33	780 Sq. Ft.
LOT 16	650 Sq. Ft.	LOT 34	846 Sq. Ft.
LOT 17	464 Sq. Ft.		
LOT 18	653 Sq. Ft.		
		TOTAL PRIVATE OPEN SPACE AREA PROVIDED	28720 Sq. Ft.

PRIVATE OPEN SPACE AREA REQUIRED (200 Sq. Ft. / Dwelling) : 6,800 Sq. Ft.

PRIVATE OPEN SPACE AREA PROVIDED: 28,720 Sq. Ft.

COMMON OPEN SPACE AREA REQUIRED (500 Sq. Ft. / Dwelling): 17,000 Sq. Ft.

COMMON OPEN SPACE AREA PROVIDED: 17,347 Sq. Ft.

CONCEPTUAL PLAN
Scale: 1" = 30'



JOB: 18-69 UKD CKE
November 7, 2018

Applicant:

RC HOBBS COMPANY
1428 E. Chapman Ave,
Orange, CA 92666
Contact: Shay Mueller
Phone: 714-633-8100
email: smueller@rchobbs.com

SHEET 2 OF 4

RICHARD
POPE
LANDSCAPE ARCHITECT
ARCHITECTURE & PLANNING



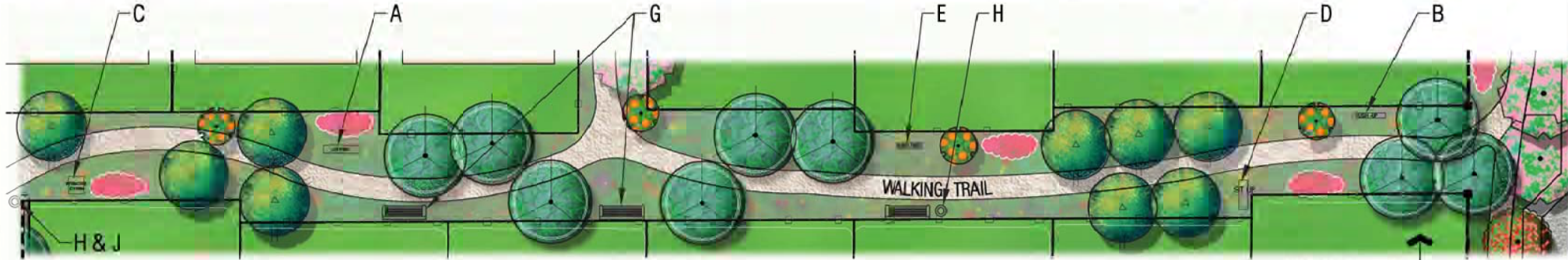
1585 South 'D' Street, Suite 103
San Bernardino, CA 92408
phone: (909) 888-5568
fax: (909) 334-9854
e-mail: rpa.ca@verizon.net
Richard Pope
Landscape Architect CA# 2664

34 Lots- Camden Collection

STREETER FRONTAGE & PASEO WITH EXERCISE EQUIPMENT

Streeter Ave.
Riverside, CA 92504

SEE SHEET L-1 FOR LOCATION



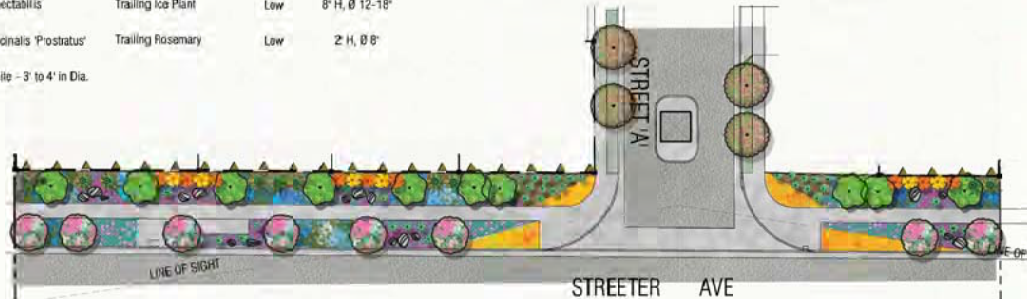
WALKING TRAIL PLAN
Scale: 1" = 10'

STREETER AVENUE PLANTING LEGEND

SYMBOL	QTY	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS #	INTENDED MATURE SIZE (H x W)
STREET TREE - STREETER AVENUE						
	8	24" Box	<i>Cercis canadensis</i>	Eastern Redbud	Mod	25' H, Ø 25'
ACCENT TREE - STREETER AVENUE						
	10	24" Box	<i>Arbutus unedo</i> 'Marina'	Marina Strawberry Tree	Low	25' H, Ø 12'
	40	5 Gal.	<i>Agave desmettiana</i>	Dwarf Century Plant	Low	2' H, Ø 3'
	15	5 Gal.	<i>Tecoma stans</i> - mixed with yellow trumpet flowers	Orange Bellis / Yellow Trumpet Flower	Low	5' H, Ø 5'
	11	5 Gal.	<i>Yucca recurvifolia</i>	Soft Leaf Yucca	V. Low	6' H, Ø 6'
	24	1 Gal.	<i>Ficus pumila</i>	Creeping Fig	Mod	Climbing, Ø 3'
	977	1 Gal.	<i>Callandria grandiflora</i>	Rock Purslane	Low	3' H, Ø 3'
	528	Flats	<i>Lampranthus aurantiacus</i> 'Glaucus'	Yellow Tailing Ice Plant	Low	8' H, Ø 12-18"
	801	Flats	<i>Lampranthus spectabilis</i>	Trailing Ice Plant	Low	8' H, Ø 12-18"
	1,482	1 Gal./24" o.c.	<i>Rosmarinus officinalis</i> 'Prostratus'	Trailing Rosemary	Low	2' H, Ø 8"
	17			Boulders - Granite - 3' to 4' in Dia.		

AMENITIES LEGEND

DETAIL	ITEM / PART No.	QTY.	SOURCE COMPANY NAME
A	DOUBLE STATION LEG PRESS #PFT010	1	
B	PUSH-UP BAR #PFT054	1	
C	RETRACTOR STATION #PFT056	1	
D	SINGLE STATION SIT-UP BENCH #PFT001	1	PLAYGROUND EQUIPMENT.COM
E	SINGLE STATION WAGG-WAGGER #PFT007	1	1 Playgroup Drive
F	Round Picnic Table with Solid Top #35450400	4	Greenfield, IL 60140
G	Outline Outdoor Bench #SLO4445700	6	1-800-667-0097
H	Outline Trash Receptacle #REL5000000	3	http://www.playgroundequipment.com
I	Key-Chain Gas BBQ Grill - see Sheet L-1	2	Siena Products, Inc.
J	Pay Waste Station and Signage	1	(773) 241-0586



STREETER FRONTAGE PLAN
Scale: 1" = 30'



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November 7, 2018

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RC HOBBS COMPANY
1428 E. Chapman Ave,
Orange, CA 92866
Contact: Shay Mueller
Phone: 714-633-8100
email: smueller@rchobbs.com

SHEET 3 OF 4

RICHARD POPE
AND ASSOCIATES
Landscape Architecture
Urban Design & Planning



1585 South D Street, Suite 103
San Bernardino, CA 92408
phone: (909) 888-5568
fax: (909) 334-9854
e-mail: rpoa@aol.com
Richard Pope
Landscape Architect CA# 2664

34 Lots- Camden Collection

CONCEPTUAL LANDSCAPE PLAN

Streeter Ave.
Riverside, CA 92504



PLANTING LEGEND

SYMBOL	QTY	SIZE	BOTANICAL NAME	COMMON NAME	WUOLLS WATER USAGE	RECOMMENDED MAINTENANCE SIZE (H x W)
24" Box	1	24" Box	Quercus canadensis	Eastern Redbud	Mod	25' H, 12' W
24" Box	1	24" Box	Chitalpa fastidiosa	Chitalpa Tree	Low	25' H, 12' W
24" Box	1	24" Box	Arbutus unedo 'Marina'	Marina Strawberry Tree	Low	25' H, 12' W
24" Box	1	24" Box	Chorisia speciosa	Floss Silk Tree	Low	40' H, 20' W
24" Box	1	24" Box	Citrus spp. Dwarf Varieties	Dwarf Citrus	Mod	8' H, 8' W
24" Box	1	24" Box	Eucalyptus citriodora	Lemon Scented Gum	Mod	50' H, 15' W
24" Box	1	24" Box	Lagerstroemia indica 'Dynamite'	Red Crepe Myrtle	Mod	15' H, 15' W
24" Box	1	24" Box	Olea europaea 'Swan Hill'	Fruitless Olive	Low	20' H, 18' W
1.5 Gal. (Multi-Trunk)	1	1.5 Gal. (Multi-Trunk)	Punica granatum 'Nochi Shiban'	Nochi Shiban Pomegranate	Low	10' H, 8' W
24" Box	1	24" Box	Tigra tree	Tigra Tree	Mod	20' H, 130' W

PRIVATE FRONT & BACKYARD LANDSCAPE AREA :	58,569 Sq. Ft.
HOA ON-SITE LANDSCAPE AREA:	25,336 Sq. Ft.
HOA BASIN LANDSCAPE AREA:	10,347 Sq. Ft.
OFF-SITE/STREETER LANDSCAPE AREA:	5,152 Sq. Ft.
TOTAL LANDSCAPE AREA:	99,404 Sq. Ft.

PLANTING LEGEND

SHRUBS	Low	4' H, 12' W
5 Gal. Anigozanthos flavidus	Low	4' H, 12' W
5 Gal. Buxus microphylla japonica	Mod	2' H, 12' W
5 Gal. Calistemon viminalis 'Little John'	Mod	3' H, 12' W
5 Gal. Cissus purpurea	Low	4' H, 12' W
5 Gal. Dianthus bicolor	Mod	3' H, 12' W
1 Gal. Helictotrichon Sempervirens	Mod	3' H, 12' W
5 Gal. Heteromeles arbutifolia	Low	10' H, 12' W
5 Gal. Leucophyllum frutescens 'Green Cloud'	Low	3' H, 12' W
1 Gal. Muhlenbergia capillaris	Low	3' H, 12' W
1 Gal. Muhlenbergia rigens	Mod	3' H, 12' W
1 Gal. Pennisetum alopecuroides 'Little Bunny'	Low	1' H, 12' W
1 Gal. Pennisetum setaceum 'Purpureum'	Low	4' H, 12' W
5 Gal. Rhaphiolepis umbellata 'Minor'	Mod	4' H, 12' W
5 Gal. Rosa Speciosa	Mod	3' H, 12' W
5 Gal. Tecoma stans	Low	5' H, 12' W
5 Gal. Salvia leucantha	Low	5' H, 12' W
5 Gal. Xylosma congestum	Mod	6' H, 12' W

VINES

5 Gal. Distichis buccinatoria	Mod	Climbing
5 Gal. / 10' o.c. Ficus pumila	Mod	Climbing, 12' H, 12' W
5 Gal. / 10' o.c. Parthenocissus tricuspidata	Mod	Climbing, 12' H, 12' W
1 Gal./24" o.c. Baccharis pilularis 'Pigeon Point'	Low	1' H, 12' W
Plugs/12" o.c. Carex pansa	Mod	1' H, 12' W
1 Gal./24" o.c. Cistus salvifolius	Low	2' H, 12' W
1 Gal./24" o.c. Cotoneaster dammeri 'Lowfast'	Mod	1' H, 12' W
Plugs/12" o.c. Gazania Species	Mod	1' H, 12' W
1 Gal./24" o.c. Rosmarinus officinalis 'Prostratus'	Low	2' H, 12' W
5 Gal. Bougainvillea 'San Diego Red'	Low	Climbing 12' H, 12' W
Sod	Mod	OREGRO SEEDS
Artificial Turf	Mod	75 PACIFIC AEROLANTO
Decomposed Granite Trail	Mod	INDOOR PERMS, CA 92510

CONCEPTUAL PLAN:
Scale: 1" = 30'



JOB: 18-69 LKD CKE
November 7, 2018



Applicant:
RC HOBBS COMPANY
1428 E. Chapman Ave,
Orange, CA 92668
Contact: Shay Mueller
Phone: 714-633-8100
email: smueller@rchobbs.com

SHEET 1 OF 4

1585 South D' Street, Suite 103
San Bernardino, CA 92408
phone: (909) 888-5558
fax: (909) 384-9854
e-mail: rpo@veliz.com
Richard Pope
Landscape Architect CA# 2664

34 Lots- Camden Collection

CONCEPTUAL LANDSCAPE PLAN

Streeter Ave.
Riverside, CA 92504



Chorisia speciosa - Silk Floss Tree



Magnolia grandiflora 'Little Gem' - Little Gem Magnolia



Chitalpa tashkentensis - Chitalpa Tree



Eucalyptus citrodora - Lemon Gum



Tipuana tipu - Tipu Tree



Lagerstroemia indica 'Dynamite' - Red Crepe Myrtle



Olea europaea 'Swan Hill' - Fruitless Olive



Citrus spp. Dwarf Varieties - Dwarf Lemon/Orange



Punica granatum 'Nochi Shiba' - Ornamental Pomegranate



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Phone: 714-633-8100
email: smueller@rchobbs.com

SHEET 1 OF 2

1585 South 'D' Street, Suite 103
San Bernardino, CA 92408
phone: (909) 898-5568
fax: (909) 384-9854
e-mail: rpa.la@verizon.net
Richard Pope
Landscape Architect CA# 2664

RICHARD
POPE
LANDSCAPE ARCHITECT
Landscape Architecture
Urban Design & Planning



P18-0881, P18-0882, P18-0883, P18-0884, Exhibit 6 - Project Plans

Chorisia speciosa - Silk Floss Tree

34 Lots- Camden Collection

CONCEPTUAL LANDSCAPE PLAN

Streeter Ave.
Riverside, CA 92504



Anigozanthos flavidus - Kangaroo Paw



Buxus microphylla japonica - Japanese Box Wood



Callistemon viminalis 'Little John' - Dwarf Bottlebrush



Cistus purpureus - Orchid Rock Rose



Dietes bicolor - Cream Fortnight Lily



Helictotrichon Sempervirens - Blue Oat Grass



Rosa ssp - Rose



Rosa 'Flower Carpet' - Carpet Rose



Leucophyllum frutescens - Texas Ranger



Muhlenbergia capillaris - Deer Grass



Muhlenbergia capillaris - Pink Muhly



Pennisetum alopecuroides 'Little Bunny' - Dwarf Fountain Grass



Pennisetum setosum Purpureum - Purple Fountain Grass



Cistus salmifolius - Sage Leaved Rock Rose



Heteromeles arbutifolia - Toyon



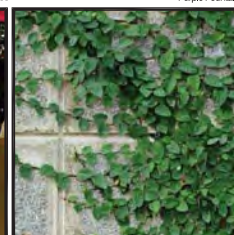
Tecoma stans - Yellow Trumpet Flower



Salvia leucantha - Mexican Bush Sage



Distictis buccinatoria - Red Trumpet Vine



Ficus pumila - Creeping Fig



Bougainvillea 'San Diego Red' - Red Bougainvillea



Carex pansa - Dune Sedge



Baccharis pilularis 'Pigeon Point' - Dwarf Coyote Bush



Rosmarinus officinalis 'Prostratus' - Carpet Rosemary



JOB: 18-69 LKD OKE
November 7, 2018

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email: smueller@rchobbs.com

SHEET 2 OF 2

RICHARD POPE
AND ASSOCIATES
Landscape Architecture
Urban Design & Planning



1585 South 'D' Street, Suite 103
San Bernardino, CA 92408
phone: (909) 888-5568
fax: (909) 384-9854
e-mail: rpa.la@verizon.net
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Landscape Architect CA# 2664

Streeter Ave.
Riverside, CA 92504

SPUT FACE BLOCK WALL
(ONESIDE-INTERNAL)

PRECAST/CAST-IN-PLACE RETAINING WALL

SPLITFACE BLOCK WALL
(ONE-SIDED - EXTERNAL)
FROM CORNER AT STREETER AVE
TO SIDE SETBACK OF LOT F

PROF. PET. BALLOU WAO

Legend for the cross-section diagram:

- 7-8" BLOCK PLASTER
- 6-8" TUBULAR STEEL PIERCE
- 6" 1" TAN VIBRY SERVICE
- 6" TAN VIBRY SEAM OPEN SERVICE
- 7" PRECIPITATION BLOCK WALL ON RETAINING WALL - FORM BOUNDARY OF
- STEELER BRIDGEHEAD/WALLS FACING STREET
- 6" SPILT FACE BLOCK (WALL WITH BLASTER)

5' HIGH TAN VINYL SEMI-OPEN FENCE
5' HIGH PANGLETOP FENCE WITH 1" HIGH PICKETS

- 1 DOWNPOST
- 2 2" X 2" 1/2" HIGH RAIL/STOM RAIL
- 3 2" X 2" 1/2" HIGH PICK
- 4 4" HIGH PICK & WOODCH
- 5 PICKET (BASE)
- 6 2" X 2" PICKET

6' HIGH SPLIT FACE BLOCK WALL WITH SPLIT FACE CAP
STREETER FRONTAGE & ALL WALLS FACING
INTERIOR STREETS
(NO 4" THICK WALL, OR PRECISARLY DO WITH 4" CAP 1/2" MINUS COLOR)

Technical drawing of a fence section showing a gate and a post. The drawing includes dimensions and material specifications. The gate is 1.5m high and 1.5m wide. The post is 1.5m high and 1.5m wide. The drawing is labeled 'FENCE SECTION' and 'FENCE SECTION'.

8'-6" HIGH TUBULAR STEEL FENCE - 1/2"=1'-0"

5-6" HIGH TAN VINYL FENCE - 1/2" X 1-0"

Diagram illustrating the components of a door assembly:

- 1 1/2" x 5" VERTICAL TOP AND BOTTOM BRIDGE
- 2 3" x 5" VERTICAL BRIDGE
- 3 1" x 4" VERTICAL BRIDGE
- 4 THICKNESS OF THE BOTTOM
- 5 INVERTED U-SHAPED JOINT CONNECTOR
- 6 LATCH
- 7 PLASTIC BRIDGE
- 8 FINISH COVER
- 9 FINISH COVER

= 6" HIGH CAN VEHIC DATE - 1/2"=1'-0"

6' HIGH PRECISION BLOCK WALL- NO. CA
NORTH PERIMETER
COLOR TO MATCH SPLIT FACE BLOCK

WALL SECTIONS AT LOTS 21, 22, & 23

SPUT FACES BLOCK WALL
WITH PLASTER ON VARIABLE
HEIGHT RETAINING WALL
(ONESIDE INTERMAX)

SPLIT FACE BLOCK WALL
WITH PLASTER
(ONESIDED) - EXTERNA
FACING STREETER AVENUE

WALL & FENCE PLAN

Scale: 1" = 30'

7/8/2019

JOB: 18-69 LKD CKD
November 7, 2018

Applicant:

RC HOBBS COMPANY
1428 E. Chapman Ave,
Orange, CA 92666
Contact: Shay Mueller
Phone: 714-633-8100
email: smueller@rchobbs.com

SHEET 4 OF 4

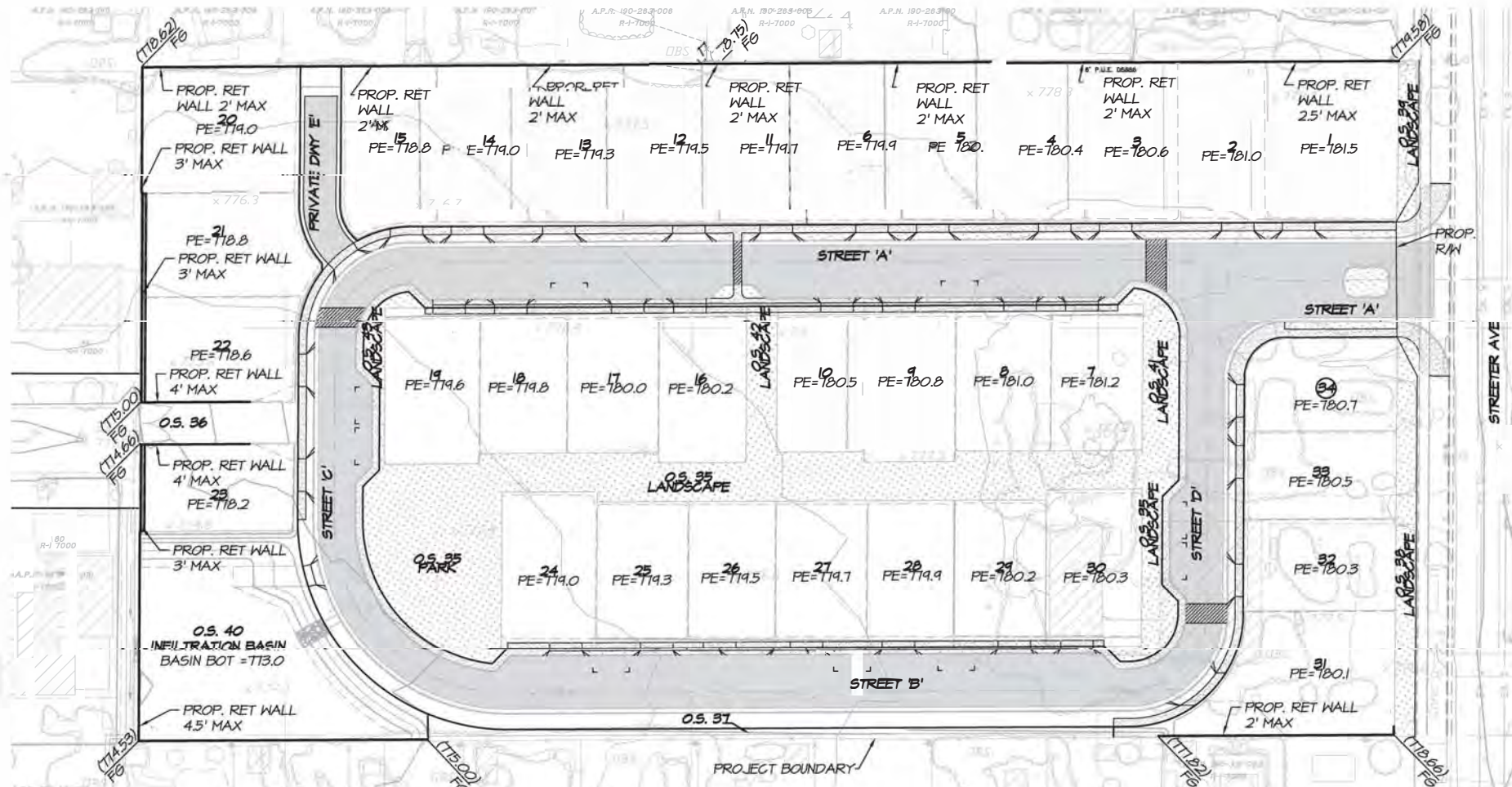
1585 South 'D' Street, Suite 103
San Bernardino, CA 92408
phone: (909) 888-5588
fax: (909) 384-9854
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**RICHARD
POPE
AND ASSOCIATES**
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P18-0881, P18-0882, P18-0883, P18-0884, Exhibit 6 - Project Plans

TRACT 37632 - RETAINING WALL EXHIBIT



NOTE:

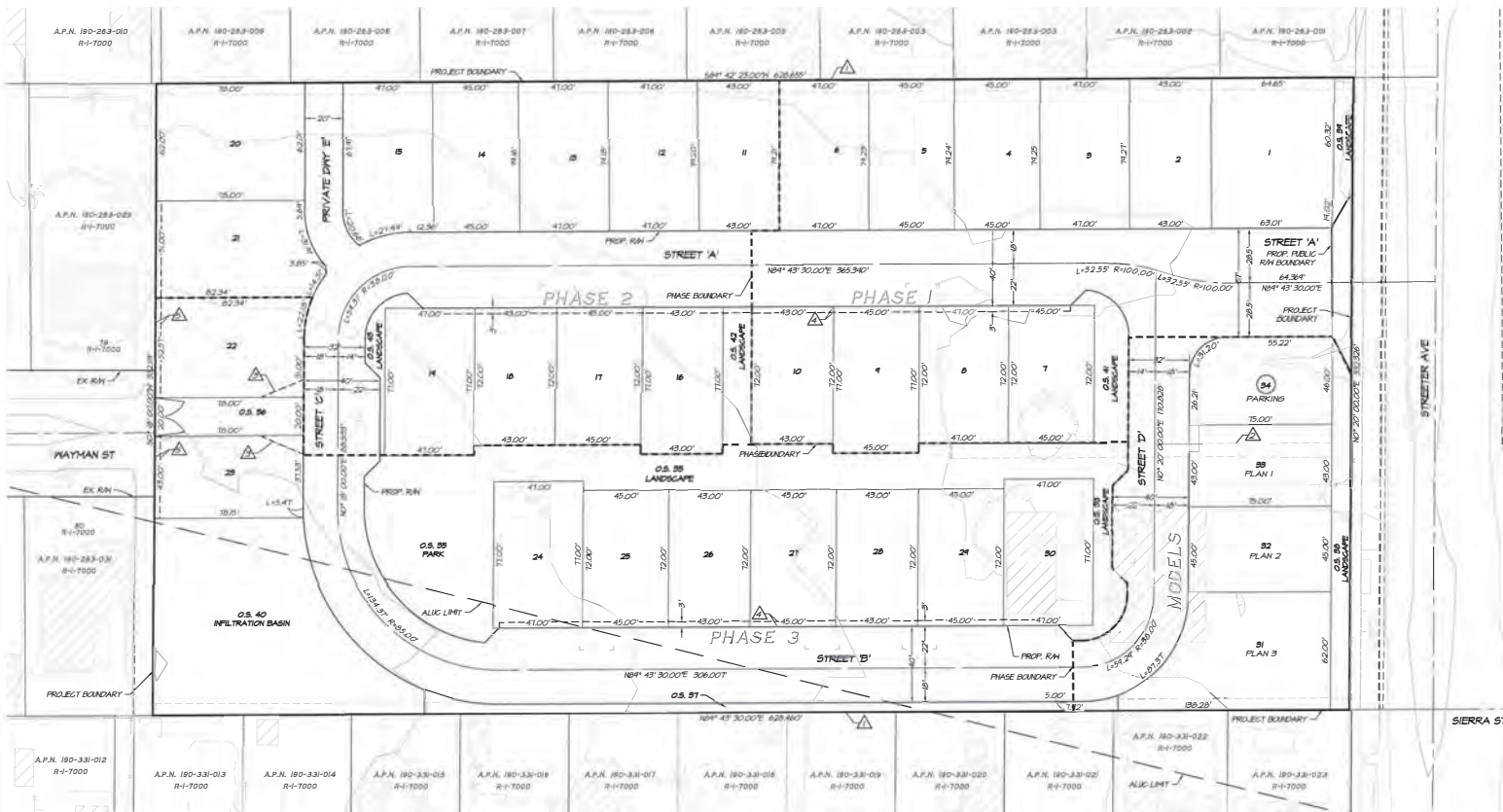
ALL PROPOSED RETAINING WALL HEIGHTS ARE THE MAXIMUM EXPOSED HEIGHT FOR THAT SEGMENT OF RETAINING WALL

TRACT 37632 RETAINING WALL EXHIBIT
PREPARATION DATE: JULY 2019

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Tel: (951) 688-0241 · Fax: (951) 688-0599

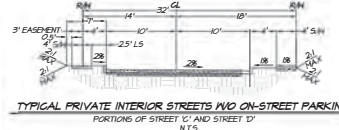
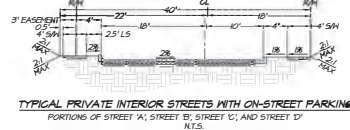
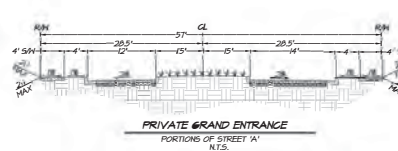
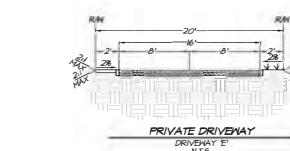


IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
TENTATIVE TRACT NO. 37632



LOT SIZES					
LOT	LOT SIZE (SF)	PAD SIZE (SF)	LOT	LOT SIZE (SF)	PAD SIZE (SF)
1	5,085.22	4,982.77	19	5,046.86	2,917.04
2	3,430.66	3,240.64	14	3,641.8	3,335.40
3	3,125.27	3,563.16	20	4,836.36	46,466.68
4	3,566.08	3,434.32	21	4,281.51	4,030.16
5	3,565.41	3,431.54	22	4,830.81	3,617.15
6	3,123.26	3,441.34	23	3,354.44	3,244.77
7	3,240.18	2,994.04	24	3,641.20	3,252.46
8	3,334.14	3,302.80	25	3,240.18	2,946.36
9	4,465.20	3,684.83	26	3,046.17	2,715.03
10	3,046.17	2,837.18	27	3,240.18	20,594
11	3,405.64	3,230.35	28	3,046.17	2,160.50
12	3,121.61	3,563.34	29	3,240.18	245.63
13	3,121.09	3,550.64	30	2,618.10	3,348.21
14	3,562.66	3,416.18	31	5,623.27	5,024.17
15	3,562.30	3,536.73	32	3,375.14	3,245.07
16	3,331.17	3,093.53	33	3,225.85	3,076.14
17	3,240.16	2,473.11	34	3,366.45	3,178.71

O.S. LOT SIZING	
LOT #	LOT SIZE (SF)
35	13,774.15
36	1,560.08
37	1,300.63
38	1,851.47
39	648.62
40	10,629.70
41	1,381.86
42	1,081.04
43	541.56



OWNER	APPLICANT	ENGINEER
MALLIE MAE KIM & LUCY KIM 4280 MT VERNON AVENUE RIVERSIDE, CA 92501	R.C. HOBBS COMPANY 1428 E. CHAPMAN AVE. ORANGE, CA 92666 (714) 633-8100 (DIRECT)	adkan ENGINEERS 6871 AIRPORT DRIVE RIVERSIDE, CA 92504 951-680-0241

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
EAST 5 ACRES OF SOUTH HALF OF SOUTH HALF OF NORTHEAST QUARTER OF SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 2
SOUTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN, BEING ALL OF SOUTH HALF OF SOUTH HALF OF NORTHEAST
QUARTER OF SOUTHWEST QUARTER, EXCEPTING THEREFROM THE WESTERLY 5 ACRES THEREOF. ALSO EXCEPTING THEREFROM
ANY PORTION THEREOF INCLUDED IN STREETER AVENUE.

TENTATIVE TRACT SUMMARY		UTILITY PURCHASERS	
TOTAL AREA GROSS:	4.71	WATERS	CITY OF RIVERSIDE
ADDITIONAL DRAINAGE:	6.2/03827	SEWER:	CITY OF RIVERSIDE
EXISTING ZONING:	R-1-XC0	GAS:	SOCAL GAS
EXISTING LAND USE:	NDR	ELECTRICITY:	RIVERSIDE PUBLIC UTILITIES
PROPOSED LAND USE:	NDR	SOCIAL DISTRICT:	RIVERSIDE UNIFIED SCHOOL DISTRICT
MINIMUM LOT SIZE:	30,496 SF		
PROPOSED LOT SIZES:	3,621 SF		
AVERAGE PLOT SIZE:	3,440 SF		
PROPOSED DENSITY PER GROSS ACRES:	12.0/AC		
NO. OF RESIDENTIAL LOTS:	34		
ZONING OF SURROUNDING PROPERTY:	R-1-XC0		
LAND USE OF SURROUNDING PROPERTY:	NDR, PR		
AVERAGE NATURAL SLOPES:	1.5%		

PROJECT NOTES

1. ALL IMPROVEMENTS SHALL BE PER SCHEDULE "A" SUBDIVISION ORDINANCE 460.
2. THOMAS DRIPS DRAIN GOOD PRACTICE TO BE IN CC DRAIN.
3. ALL OF SLOPES SHALL BE 2:1 RATIO AND ALL SLOPES 2:1 UNLESS OTHERWISE NOTED.
4. SETBACKS OF SLOPES TO PROPERTY LINES SHALL CONFORM TO CITY OF RIVERSIDE MUNICIPAL CODE AND ALL VARIANCES.
5. ALL SLOPES SHALL BE PROTECTED BY EROSION CONTROL MEASURES.
6. LOT DIMENSIONS SHOWN HEREON INCLUDE DIMENSIONS TO STREET R/W.
7. WATER QUALITY FOR THIS TRACT SHALL BE PROTECTED BY CONSTITUTE INSTALLATION PITS.
8. THIS TENTATIVE MAP INCLUDES THE ENTIRE CONTOURED OWNERSHIP OF THE LAND OWNERS.
9. PROPERTY NOT LOCATED IN A FLOODPLAIN.
10. PROPERTY IS IN A LOW MODERATE LOCATION AREA.
11. PROPERTY IS NOT IN A SUSCEPTIBLE AREA.
12. PROPERTY CONTAINS NO KIDNEY LENS.
13. PROPERTY IS NOT IN A FAULT ZONE.
14. PROPERTY IS NOT ON A PAINT LINE.
15. PROPERTY IS NOT LOCATED IN A FIRE HAZARD ZONE.
16. SANITARY SEWER SYSTEM PROPOSED FOR PROJECT SITE.
17. ALL SETBACKS SHALL CONFORM TO CITY OF RIVERSIDE MUNICIPAL CODE AND ALL VARIANCES.
18. APPROVED AND FILED IN THE PROJECT FILE IN THE CITY OF RIVERSIDE MUNICIPAL CODE AND ALL VARIANCES.

ASSESSORS PARCEL NUMBERS

190-263-030

BENCHMARK

BENCH MARK NO. 15-03
 DATUM: 1980 NAVD
 DESCRIPTION: P.K. NAIL AND CITY ENGINEER TAG IN THE SOUTHERLY CORNER OF A GATCH BASIN ALONG THE NORTHERLY CURB
 OF GRAND AVENUE, 90 FEET NORTHEASTERLY OF THE INTERSECTION OF GRAND AVENUE AND STREETER AVENUE.
 ELEV: 704.912

BASIS OF BEARINGS

THE BASIS OF BEARING OF THIS MAP IS THE CENTERLINE OF STREETER AVENUE PER M.B.027/44-45, BEING N00°20'00"E

LEGEND

TRACT BOUNDARY	_____	CL = CENTER LINE
LOT LINE	_____	PL = PROPERTY LINE
MAJOR CONTOUR	_____	RLH = RIGHT OF WAY
MINOR CONTOUR	_____	OS = OPEN SPACE
CENTER LINE	_____	EX = EXISTING
PHASE BOUNDARY	-----	FE = FLOOD ELEVATION
PUBLIC RIGHT OF WAY	_____	PROP = PROPOSED
PRIVATE RIGHT OF WAY	_____	SW = SIDEWALK
EX EASEMENTS	_____	(J) = EXISTING ELEVATION
ALIC LIMIT	_____	SF = SQUARE FEET
PROP EASEMENT	_____	

EASEMENT NOTES

- AN EASEMENT IN FAVOR OF CONSTRUCTION, RECONSTRUCTION, MAINTENANCE, OPERATION, REPAIR, REPLACEMENT, AND REMOVAL OF A PUBLIC UTILITY RECORDED AS INSTRUMENT NO. 12786, DATED JULY 15, 1966 TO REMAIN.
- A PORTION OF PROPERTY BELONGING TO THE CITY OF RIVERSIDE RECORDED AS INSTRUMENT NUMBER 7034, DATED JULY 22, 1964 SHALL BE VACATED AND REDESIGATED AS REAL PROPERTY.
- AN EASEMENT IN FAVOR OF THE PUBLIC FOR INGRESS/EGRESS AND MAINTENANCE PURPOSES WILL BE RECORDED WITH THE FINAL MAP.
- AN EASEMENT IN FAVOR OF THE HOA FOR MAINTENANCE AND REPAIR OF SIDEWALK PURPOSES
- AN EASEMENT IN FAVOR OF THE HOA FOR OPERATION AND MAINTENANCE OF LANDSCAPE

THOMAS BROS. GUIDE PAGE 715, GRID B1,B2,C1,C2



SEC 32 T2S R5W

[illegible]

REVISIONS

TENTATIVE TRACT NO. 37632
PREPARATION DATE: JULY 2019

adkan
ENGINEERS
Civil Engineering • Surveying • Planning
6879 Airport Drive, Riverside, CA 92504
Tel: (951) 688-0241 • Fax: (951) 688-0599

PLOT DATE: 12/20/19 2:08 PM

IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

CONCEPTUAL GRADING TENTATIVE TRACT NO. 37632

OWNER
MALLIE MAE KIM & LUCY KIM
4280 HT VERNON AVENUE
RIVERSIDE, CA 92501

APPLICANT
R.C. HOBBS COMPANY
1430 E. CHAPMAN AVE.
ORANGE, CA 92666
(714) 633-0100 (DIRECT)

ENGINEER
adkan ENGINEERS
687N AIRPORT DRIVE
RIVERSIDE, CA 92504
(951) 688-0241

LEGAL DESCRIPTION
REAL PROPERTY IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA DESCRIBED AS FOLLOWS:
EAST 5 ACRES OF SOUTH HALF OF SOUTH HALF OF NORTHEAST QUARTER OF SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 2 SOUTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN BEING ALL OF SOUTH HALF OF SOUTH HALF OF NORTHEAST QUARTER OF SOUTHEAST QUARTER, EXCEPTING THEREFROM THE WESTERLY 5 ACRES THEREOF, ALSO EXCEPTING THEREFROM ANY PORTION THEREOF INCLUDED IN STREETER AVENUE.

TENTATIVE TRACT SUMMARY

TOTAL GROSS AREA:	4.71 ACRES
OVERALL DIMENSIONS:	4,071' X 332'
EXISTING ZONING:	R-1-7000
EXISTING LANDUSE:	RES
PROPOSED LANDUSE:	MOR
MINIMUM LOT SIZE:	3,096 SF
AVERAGE LOT SIZE:	3,601 SF
AVERAGE PAD SIZE:	3,440 SF
PROPOSED DENSITY PER GROSS ACRES:	13 DWG
NO. OF LOTS:	34
NO. OF O.S. LOTS:	6
ZONING OF SURROUNDING PROPERTY:	R-1-7000
LAND USE OF SURROUNDING PROPERTY:	RES, PP
AVERAGE NATURAL SLOPE:	1.3%
PARKING COUNT:	14

- PROJECT NOTES**
- ALL IMPROVEMENTS SHALL BE PER SCHEDULE 'A' SUBDIVISION ORDINANCE 460.
 - THOMAS BROS. GUIDE (2009) PAGE 75 IS BY B2, C1 & C2.
 - ALL LOT SLOPES SHALL BE 2% MAXIMUM AND FILL SLOPES 2% UNLESS OTHERWISE NOTED.
 - SETBACKS OF SLOPES TO PROPERTY LINES SHALL CONFORM TO CBC 2016.
 - LOT DIMENSIONS SHOWN HEREIN INCLUDE DIMENSIONS TO STREET R/W.
 - ALL WATER QUALITY FOR THIS TRACT IS BEING MITIGATED BY ON-SITE BMP BIORETENTION BASINS.
 - THIS TENTATIVE MAP INCLUDES THE ENTIRE CONTIGUOUS OWNERSHIP OF THE LAND DIVISOR.
 - PROPERTY NOT LOCATED IN A FLOODPLAIN.
 - PROPERTY IS NOT IN A LIQUEFACTION AREA.
 - PROPERTY IS NOT IN A SUBSIDENCE AREA.
 - PROPERTY CONTAINS NO KNOWN WELLS.
 - PROPERTY IS NOT ON A FAULT ZONE.
 - PROPERTY IS NOT ON A FAULT LINE.
 - SANITARY SEWER SYSTEM PROPOSED FOR PROJECT SITE.
 - SETBACKS TO ALL SITE BOUNDARIES SHALL COMPLY WITH THE 2016 CBC.
 - FOR UTILITY LOCATION, SEE COMPOSITE UTILITY PLAN.

UTILITY SURVEYORS

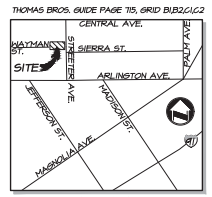
WATER:	CITY OF RIVERSIDE
SEWER:	CITY OF RIVERSIDE
ELECTRIC:	RIVERSIDE PUBLIC UTILITIES
GAS:	SO. CAL GAS COMPANY
SCHOOL DISTRICT:	RIVERSIDE UNIFIED SCHOOL DISTRICT

ASSESSORS PARCEL NUMBER
180-263-030-8

BENCHMARK
BENCH MARK NO. 15-63
DATUM: 1985 NAVD
DESCRIPTION: P.C. NAIL AND CITY ENGINEER TAG IN THE SOUTHERLY CORNER OF A CATCH BASIN ALONG THE NORTHERLY CURB OF GRAND AVENUE 90 FEET NORTHEASTERLY OF THE INTERSECTION OF GRAND AVENUE AND STREETER AVENUE.
ELEV: 184.64

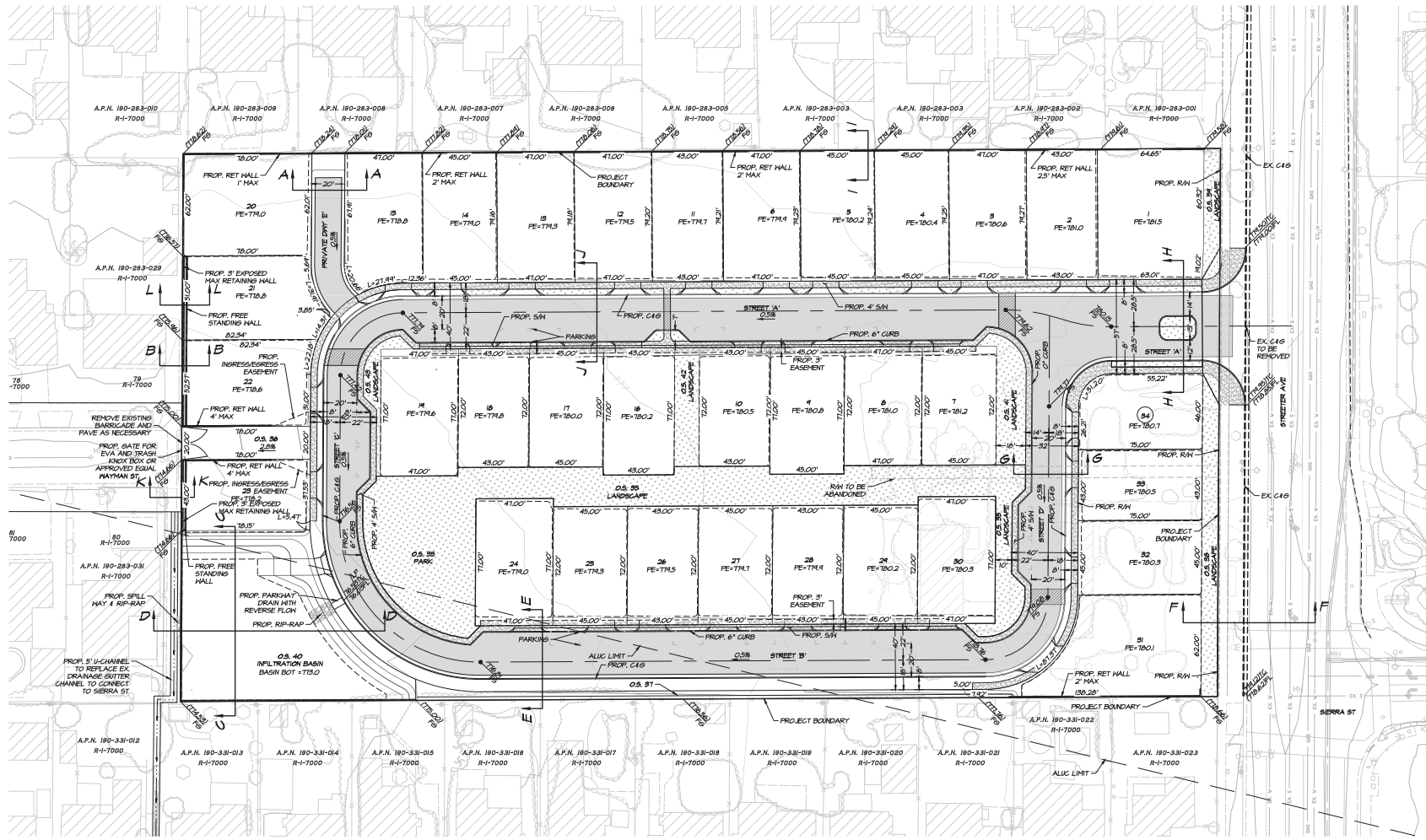
BASIS OF BEARING
THE BASIS OF BEARING OF THIS MAP IS THE CENTERLINE OF STREETER AVENUE PER M202144-45, BEING N00°20'00"E.

EARTHWORK QUANTITIES
CUT: 9.45 CY FILL: 15,522 CY NET: 14,522 CY (IMPORT)
THE QUANTITY SHOWN ABOVE IS FOR DISCUSSION PURPOSES ONLY.



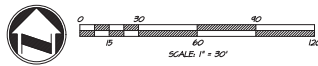
VICINITY MAP
T202051 SEC 32 SE

PAGE 1 OF 2
TENTATIVE TRACT NO. 37632
CONCEPTUAL GRADING DETAILS
PREPARATION DATE: JULY 2016
adkan ENGINEERS
Civil Engineering • Surveying • Planning
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Tel: (951) 688-0241 Fax: (951) 688-0599

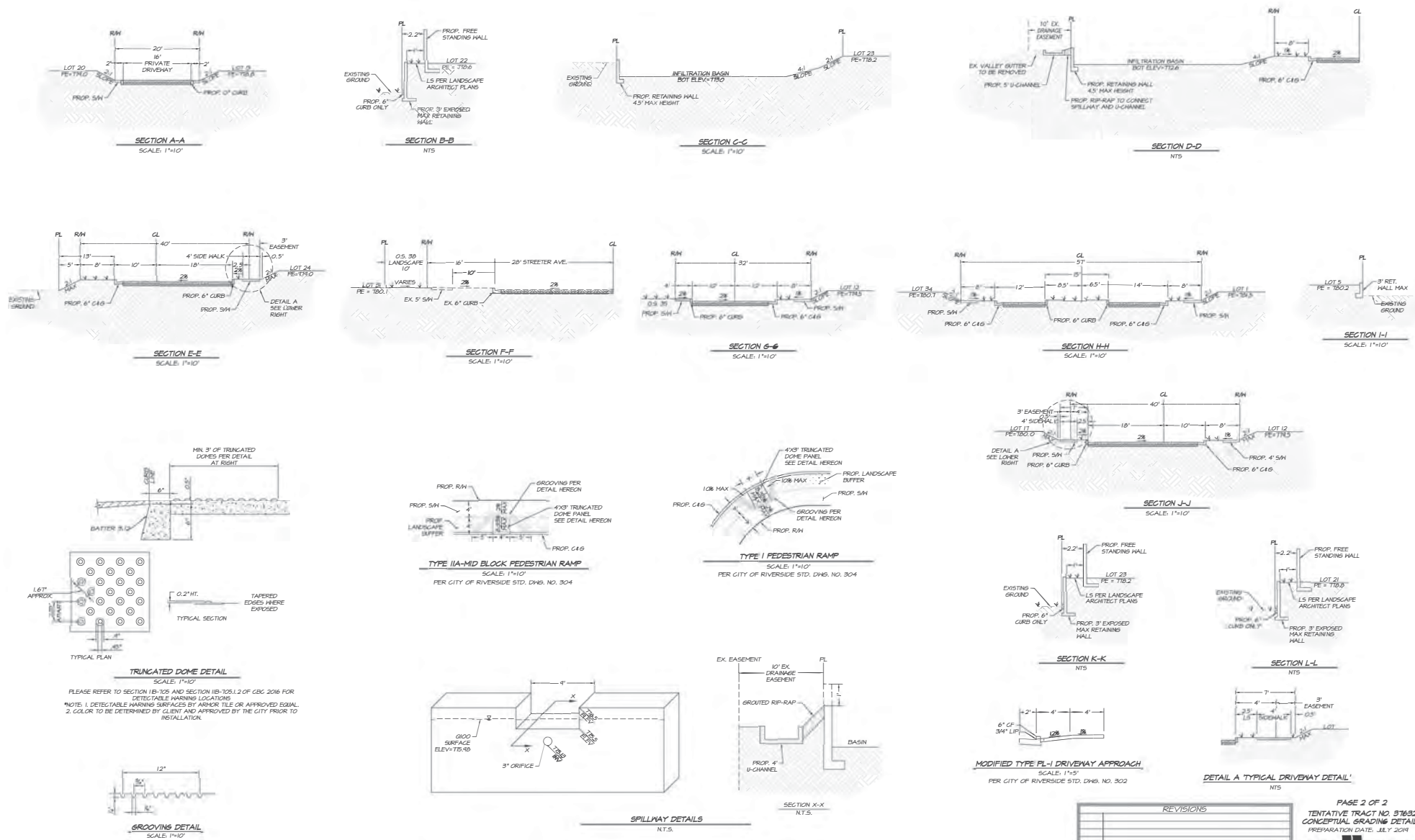


LEGEND

SD = STORM DRAIN TC = TOP OF CURB FS = FINISH SURFACE SKW = SEWER TP = TOP OF FOOTING CL = CENTER LINE PG = FINISHED GROUND HFC = HYDRAULIC EP = EDGE OF PAVEMENT PL = PROPERTY LINE RH = RIGHT OF WAY O.S. = OPEN SPACE	EX = EXISTING MH = MAN HOLE FE = FILL ELEVATION PROP = PROPOSED SKW = SIDEWALK () = EXISTING ELEVATION C40 = CURB AND GUTTER SF = SQUARE FEET NOA = HOME OWNERS ASSOCIATION CF = CURB FACE	TRACT BOUNDARY PROPOSED CURB & GUTTER PAD LOT LINE MAJOR CONTOUR MINOR CONTOUR ALIC LIMIT CENTER LINE PROP. EASEMENT EXISTING WATER EXISTING SEWER	EXISTING GAS EXISTING HALL EXISTING CURB & GUTTER EXISTING STORM DRAIN CONCRETE LANDSCAPING ASPHALT EXISTING BUILDING PROP. PEDESTRIAN CROSSING
---	--	--	---



REVISIONS	
NO.	DESCRIPTION



REVISIONS	

PAGE 2 OF 2
TENTATIVE TRACT NO. 57652
CONCEPTUAL GRADING DETAILS
PREPARATION DATE: JULY 2019
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ENGINEERS
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6578 Airport Drive, Riverside, CA 92504
Tel: (951) 688-0241 Fax: (951) 688-0599

IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

COMPOSITE UTILITY TENTATIVE TRACT NO. 37632

OWNER
MALLIE MAE KIM & LUCY KIM
4280 MT VERNON AVENUE
RIVERSIDE, CA 92501

APPLICANT
R.C. HOBBS COMPANY
1480 E. CHAPMAN AVE.
ORANGE, CA 92668
(714) 633-8100 (DIRECT)

ENGINEER
adkan
6879 AIRPORT DRIVE
RIVERSIDE, CA 92504
(951) 688-0241

LEGAL DESCRIPTION
REAL PROPERTY IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
EAST 5 ACRES OF SOUTH HALF OF SOUTH HALF OF NORTHEAST QUARTER OF SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 2 SOUTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN, BEING ALL OF SOUTH HALF OF SOUTH HALF OF NORTHEAST QUARTER OF SOUTHEAST QUARTER, EXCEPTING THEREFROM THE WESTERLY 1.5 ACRES THEREOF, ALSO EXCEPTING THEREFROM ANY PORTION THEREOF INCLUDED IN STREETER AVENUE.

TENTATIVE TRACT SUMMARY

TOTAL GROSS AREA:	4.74 ACRES
OVERALL DIMENSIONS:	6.21' X 332'
EXISTING ZONING:	R-1-7000
EXISTING LANDUSE:	PRD
PROPOSED LANDUSE:	HOUS
MINIMUM LOT SIZE:	3,046 SF
AVERAGE LOT SIZE:	3,601 SF
AVERAGE PAD SIZE:	3,449 SF
PROPOSED DENSITY PER GROSS ACRES:	7.3 DUS/AC
NO. OF LOTS:	34
NO. OF C.S. LOTS:	4
ZONING OF SURROUNDING PROPERTY:	R-1-7000
LAND USE OF SURROUNDING PROPERTY:	HR, PF
AVERAGE NATURAL SLOPE:	1.3%

UTILITY PURVEYORS
WATER: CITY OF RIVERSIDE
SEWER: CITY OF RIVERSIDE
ELECTRIC: RIVERSIDE PUBLIC UTILITIES
GAS: SO. CAL. GAS COMPANY
SCHOOL DISTRICT: RIVERSIDE UNIFIED SCHOOL DISTRICT

ASSESSORS PARCEL NUMBER
HO-283-030-5

BENCHMARK
BENCH MARK NO. 15-63
DATING 1963, IRON NAIL AND CITY ENGINEER TAG IN THE SOUTHERLY CORNER OF A CATCH BASIN ALONG THE NORTHERLY CURB OF GRAND AVENUE 40 FEET NORTHEASTERLY OF THE INTERSECTION OF GRAND AVENUE AND STREETER AVENUE.
ELEV. 164.642

BASIS OF BEARING
THE BASIS OF BEARING OF THIS MAP IS THE CENTERLINE OF STREETER AVENUE PER M.B.02144-45, BEING N00°20'00"E.

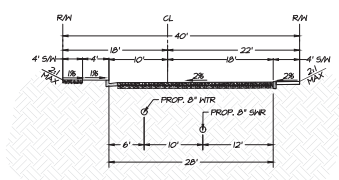
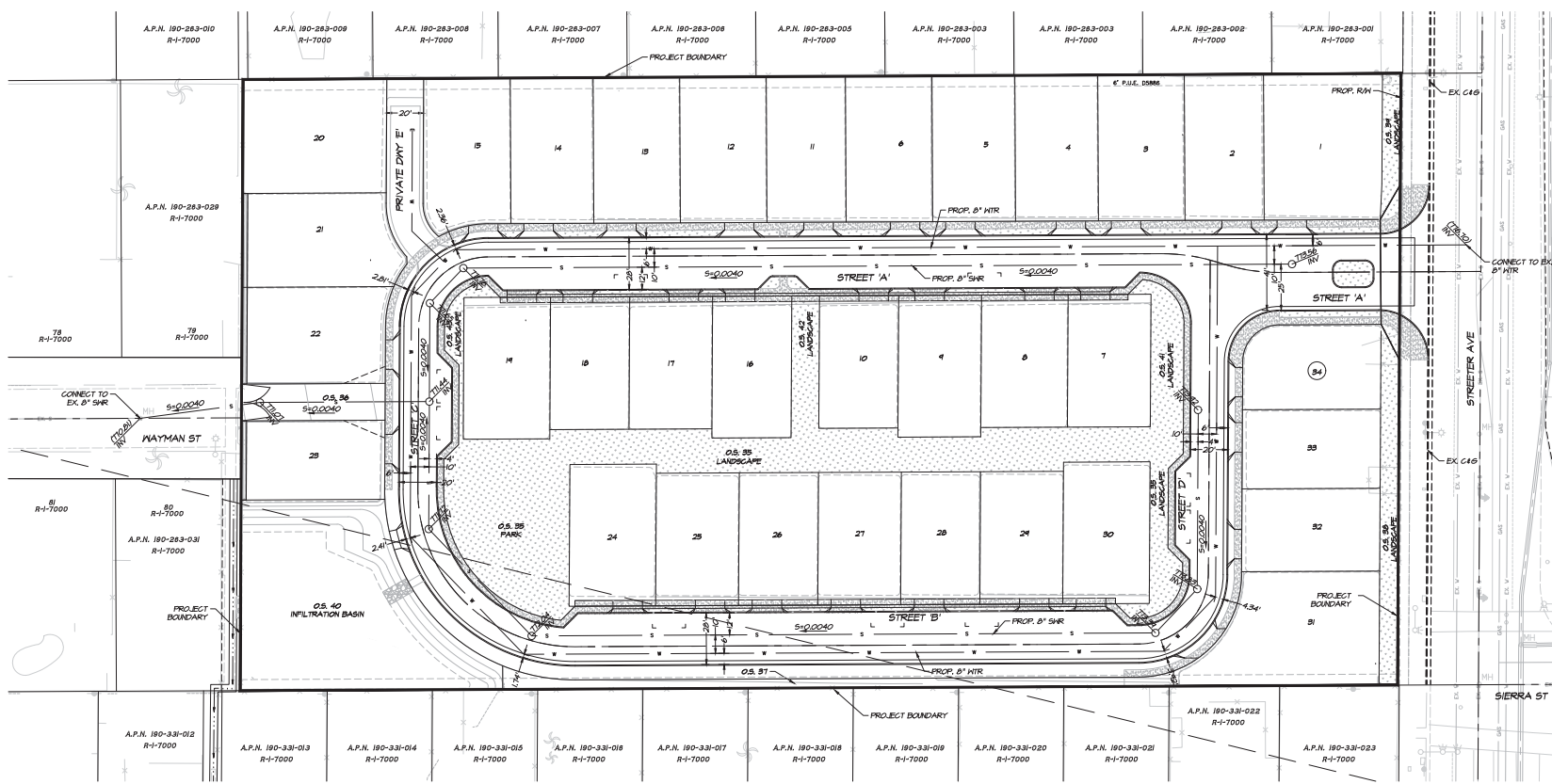
LEGEND

SD = STORM DRAIN	EX = EXISTING
TC = TOP OF CURB	PE = PAD ELEVATION
FS = FINISH SURFACE	PRO = PROPOSED
SHW = SEWER	SW = SIDEWALK
TH = TOP OF FOOTING	() = EXISTING ELEVATION
CL = CENTER LINE	C&G = CURB & GUTTER
FG = FINISHED GROUND	S.F. = SQUARE FEET
NTR = WATER	HOA = HOME OWNERS ASSOCIATION
EVP = EDGE OF PAVEMENT	OPC&G PAGE
PIL = PROPERTY LINE	SHXXXXX=SEWER SLOPE
R/N = RIGHT OF WAY	
O.S. = OPEN SPACE	

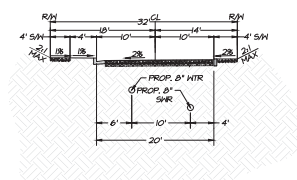
PROPOSED WATER	---
PROPOSED SEWER	---
TRACT BOUNDARY	---
PROPOSED CURB & GUTTER	---
LOT LINE	---
MAJOR CONTOUR	---
MINOR CONTOUR	---
CENTER LINE	---
EXISTING WATER	---
EXISTING SEWER	---
EXISTING GAS	---
EXISTING HALL	---
EXISTING CURB & GUTTER	---
EXISTING STORM DRAIN	---
PROP. SEWER MANHOLE	○
CONCRETE	■
LANDSCAPING	■

TENTATIVE TRACT NO. 37632
COMPOSITE UTILITY
PREPARATION DATE: JULY 2018

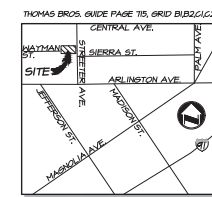
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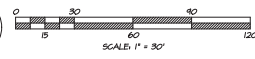
TYPICAL UTILITY LOCATION
WITH 20' DRIVE AISLE
SCALE: 1"=10'



TYPICAL UTILITY LOCATION
WITH 20' DRIVE AISLE
SCALE: 1"=10'



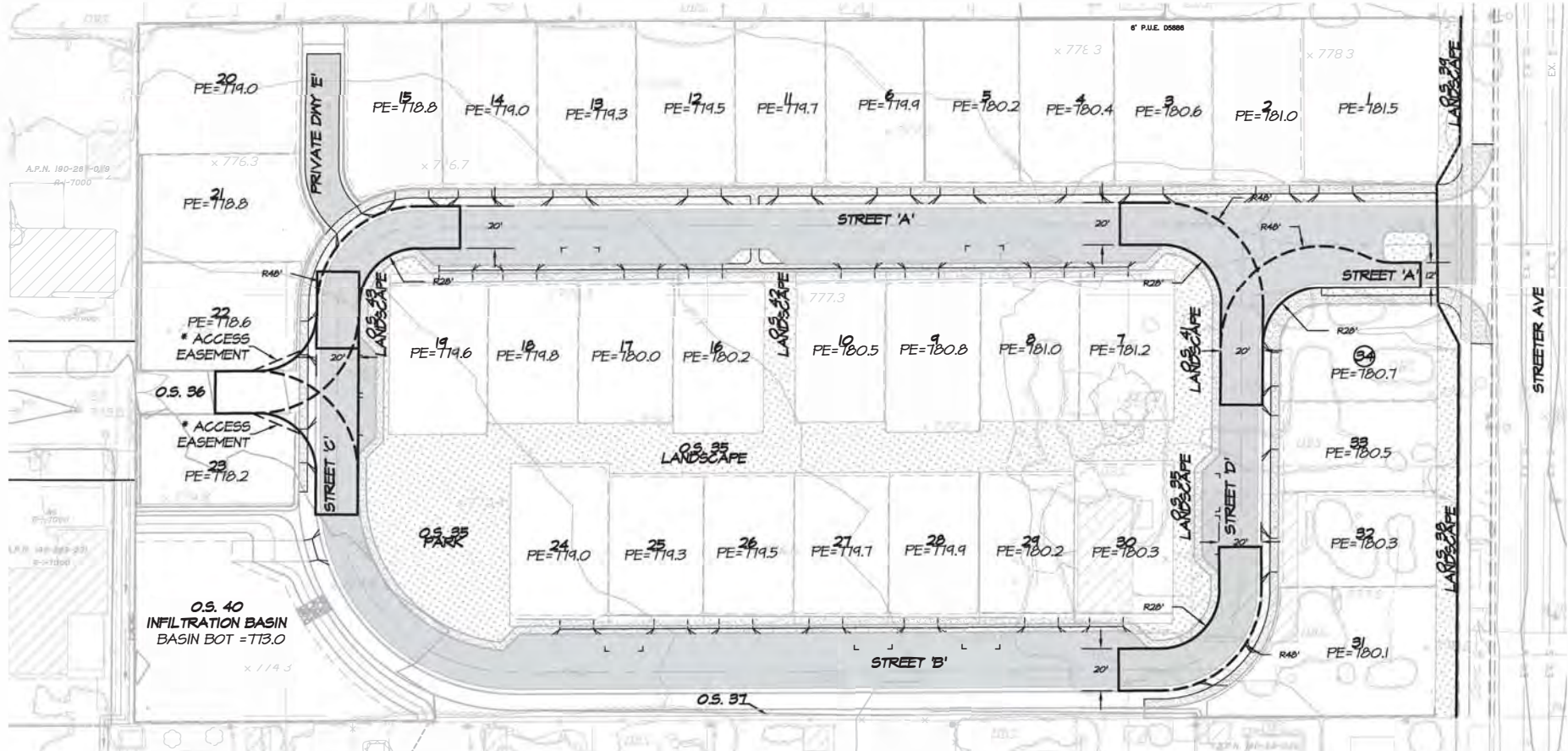
VICINITY MAP
(1"=1")
T29SRW SEC 32 SE



REVISIONS

NO.	DATE	DESCRIPTION

TRACT 37632 - FIRE TURNING EXHIBIT



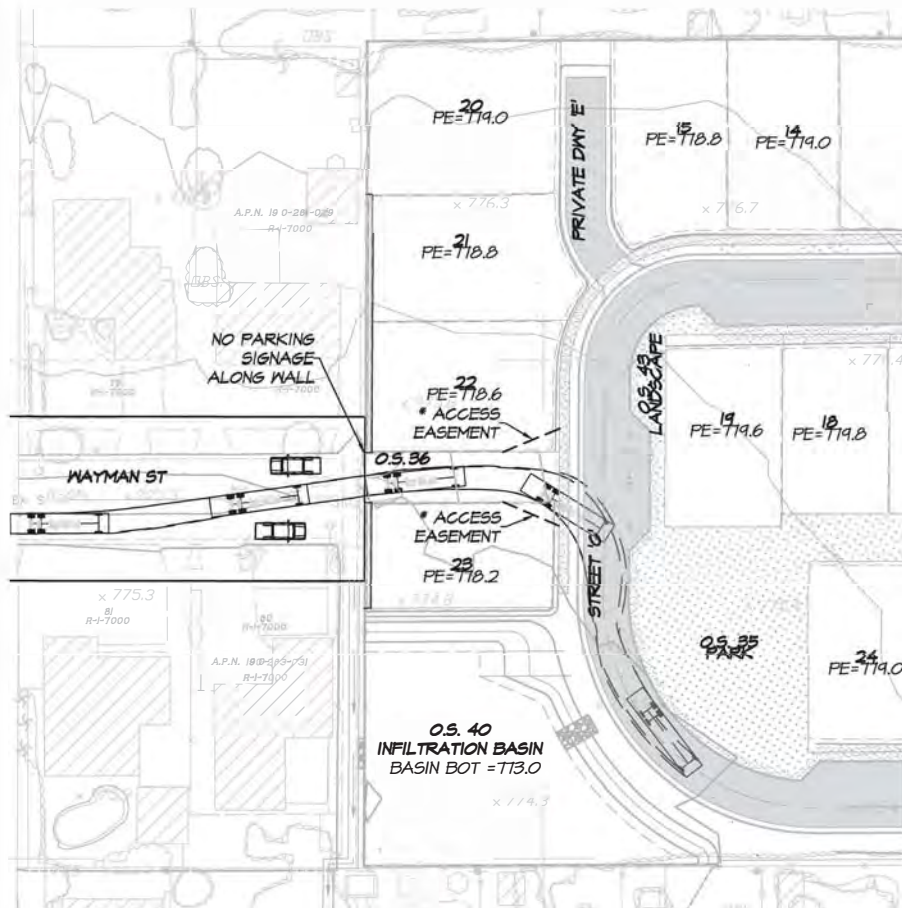
* NOTE: DRIVABLE SURFACE WILL BE MAINTAINED IN THIS AREA TO ACCOMMODATE FIRE DEPARTMENT ACCESS. TYPICALLY A WEATHERABLE SURFACE SUCH AS DG OR EQUAL AS APPROVED BY THE FIRE DEPARTMENT.



TRACT 37632 FIRE TURNING EXHIBIT
PREPARATION DATE: JULY 2019

adkan
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Tel: (951) 688-0241 · Fax: (951) 688-0599

TRACT 31632 - WAYMAN STREET FIRE AND TRASH ACCESS EXHIBIT

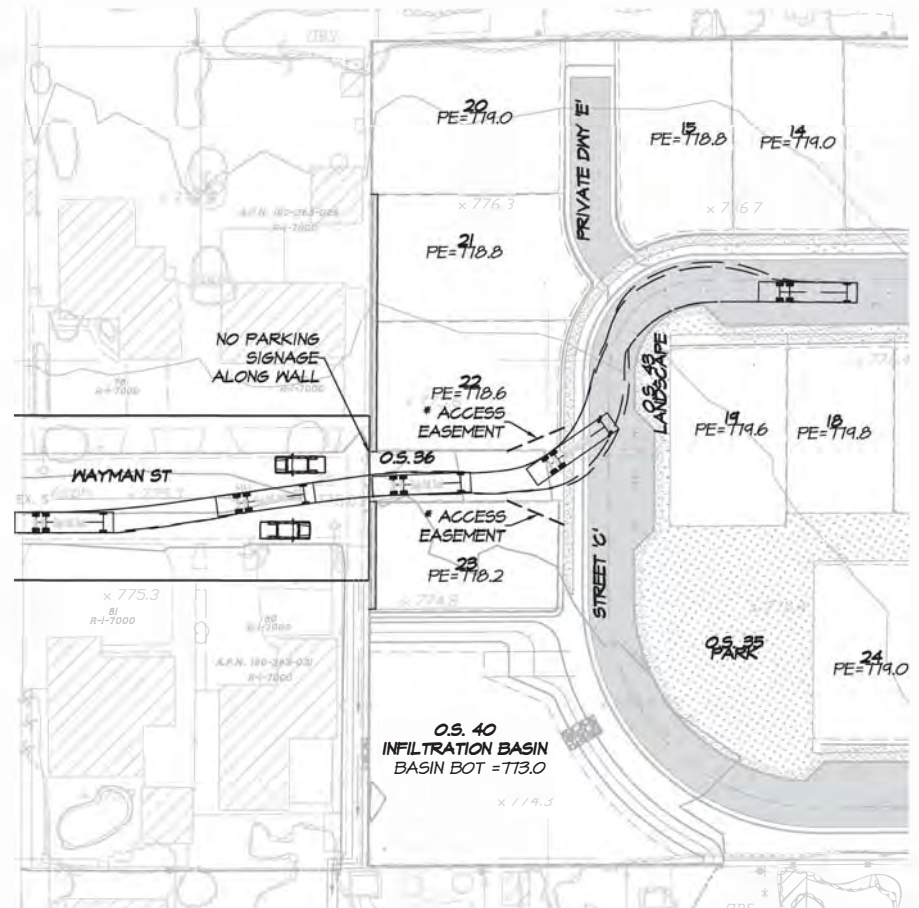


LEGEND

WHEEL TRACKS
VEHICLE MOVEMENT
NO PARKING SIGNAGE



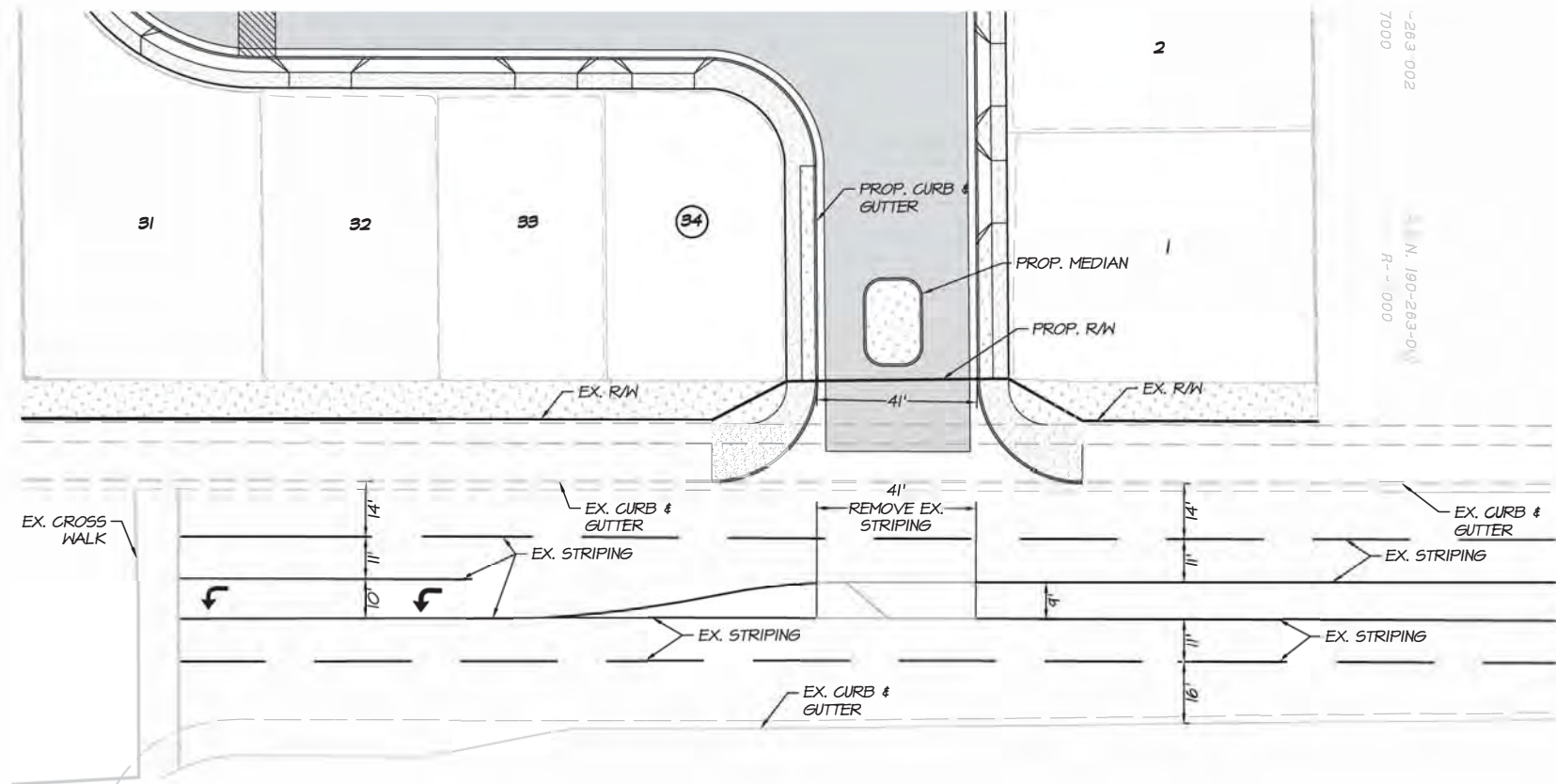
* NOTE: DRIVABLE SURFACE WILL BE MAINTAINED IN THIS AREA TO ACCOMMODATE FIRE DEPARTMENT ACCESS. TYPICALLY A WEATHERABLE SURFACE SUCH AS DG OR EQUAL AS APPROVED BY THE FIRE DEPARTMENT.



TRACT 31632 WAYMAN STREET FIRE AND TRASH ACCESS EXHIBIT
PREPARATION DATE: JULY 2019

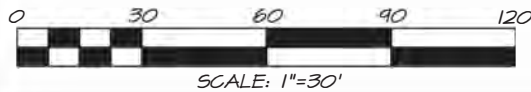
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Civil Engineering · Surveying · Planning
6879 Airport Drive, Riverside, CA 92504
Tel:(951) 688-0241 · Fax:(951) 688-0599

TRACT 37632 - LANE AND STRIPING EXHIBIT



LEGEND

EX. CENTER STRIPING	=====	REMOVE STRIPING	=====
EX. LANE STRIPING	=====	CENTERLINE	-----
PROP. CURB & GUTTER	=====		
EX. CURB & GUTTER	=====		
EX. CROSS WALK	=====		
PROP. R/W	=====		



TRACT 37632 LANE AND STRIPING EXHIBIT
PREPARATION DATE: JULY 2019

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