

3RD & VINE  
BUILDING  
RENOVATION

3280 VINE ST.,  
RIVERSIDE, CALIFORNIA 92501

broeske architects  
& associates, inc.

4344 latham street, suite 100  
riverside, ca 92501-1773  
ph. (951) 300 1866  
fx. (951) 300 1868



PROJECT DATA

SCOPE OF WORK: DEMOLITION OF EXISTING NON-LOAD BEARING INTERIOR PARTITIONS, CEILINGS, PLUMBING & ELECTRICAL FIXTURES.

OWNER / APPLICANT

CORMAN LEIGH CO.  
32823 TEMECULA PARKWAY,  
TEMECULA, CA. 92592  
CONTACT: RICK SCOTT  
PH: (951)-491-6020

ARCHITECT / PLAN PREPARER

BROESKE ARCHITECTS & ASSOCIATES, INC.  
ATTN: JAMES L. BROESKE  
4344 LATHAM ST., SUITE 100  
RIVERSIDE, CA. 92501  
(951) 300-1866 ph. (951) 300-1868 fax  
jlb@broeskearchitects.com

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- A1.1 EXISTING SITE PLAN / PROJECT DATA
- A2.1 BASEMENT FLOOR PLAN
- A2.2 FIRST FLOOR PLAN
- A2.3 SECOND FLOOR PLAN
- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS

SITE / BUILDING DATA

SITE INFORMATION:

ADDRESS: 3280 VINE ST., RIVERSIDE CA., 92501  
APN: 213-060-027

EXIST. BUILDING AREAS:

TOTAL BUILDING AREA : 28,755 SQ. FT.  
SITE AREA : .49 ACRES 21,344 SQ. FT.

EXIST. OCCUPANCY TYPE: S-1 ( STORAGE )

F-1 ( MODERATE HAZARD FABRICATION )  
B ( OFFICE )

USE : VACANT

CONSTRUCTION TYPE: II-B

ALL WORK SHALL COMPLY WITH:

2016 CALIFORNIA HISTORICAL BUILDING CODE

PROJECT  
LOCATION

VICINITY MAP

N.T.S.

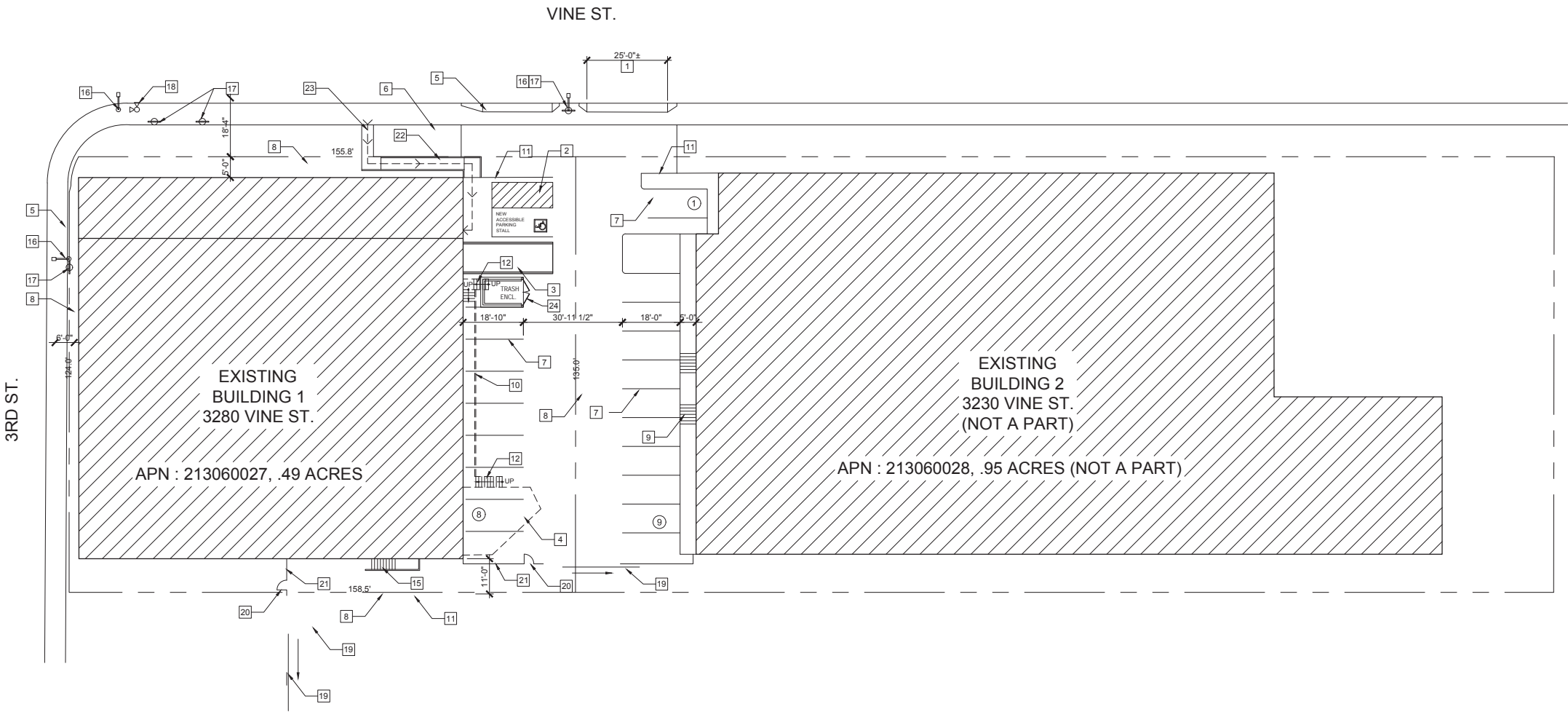


OCCUPANCY LOAD CALCULATIONS					
	OCCUPANCY	AREA IN SQ. FT.	OCCUPANCY TYPE	LOAD FACTOR (Per CBC Table 1004.1.1)	# OF EXITS REQ. (Per CBC Table 10.15.1)
BASEMENT	WAREHOUSE	13,440	S-2	500	27
TOTAL		13,440			27
FIRST FLOOR	FABRICATION	8,275	F-2	100	83
	OFFICE	3,200	B	100	32
TOTAL		11,475			115
SECOND FLOOR	OFFICE	3,840	B	100	39
TOTAL		3,840			39
BUILDING TOTAL		28,755			181

NOTE: ACCESS TO, AND EGRESS FROM, BUILDINGS FOR PERSONS WITH DISABILITIES SHALL BE PROVIDED UNDER FUTURE TENANT IMPROVEMENT PLANS AS SPECIFIED IN C.B.C. CHAPTER 11B.

NOTE :

NO ADDITIONAL PARKING REQ'D. FOR  
EQUIVALENT USE OF EXISTING SPACE,  
1 ADDITIONAL PARKING STALL ADDED



SITE PLAN KEYNOTES:

- 1 EXIST. DRIVEWAY ENTRANCE
- 2 NEW ACCESSIBLE PARKING STALL
- 3 EXIST. CONC. RAMP
- 4 EXIST. RAISED CONC LOADING DOCK TO BE REMOVED
- 5 EXIST. SIDEWALK
- 6 EXIST. LANDSCAPE AREA
- 7 EXISTING PARKING STALLS
- 8 EXIST. PROPERTY LINE
- 9 EXIST. ENTRANCE STAIRS
- 10 EXIST. WALKWAY ABOVE TO BE REMOVED
- 11 EXIST. TUBULAR STEEL FENCE TO BE REMOVED
- 12 EXIST. ENTRANCE STAIRS TO BE REMOVED
- 13 EXIST. RAISED WALKWAY TO BE REMOVED
- 14 EXIST. RAISED CONC. LOADING DOCK TO BE REMOVED
- 15 NEW STAIRS
- 16 EXIST. LIGHT POLE
- 17 EXIST. POWER POLE
- 18 EXIST. FIRE HYDRANT
- 19 EXIST. VEHICLE GATE
- 20 EXIST. PEDESTRIAN GATE
- 21 EXIST. TUBULAR STEEL FENCE
- 22 NEW CONCRETE RAMP
- 23 ACCESSIBLE PATH OF TRAVEL FROM PUBLIC R.O.W.
- 24 NEW TRASH ENCLOSURE



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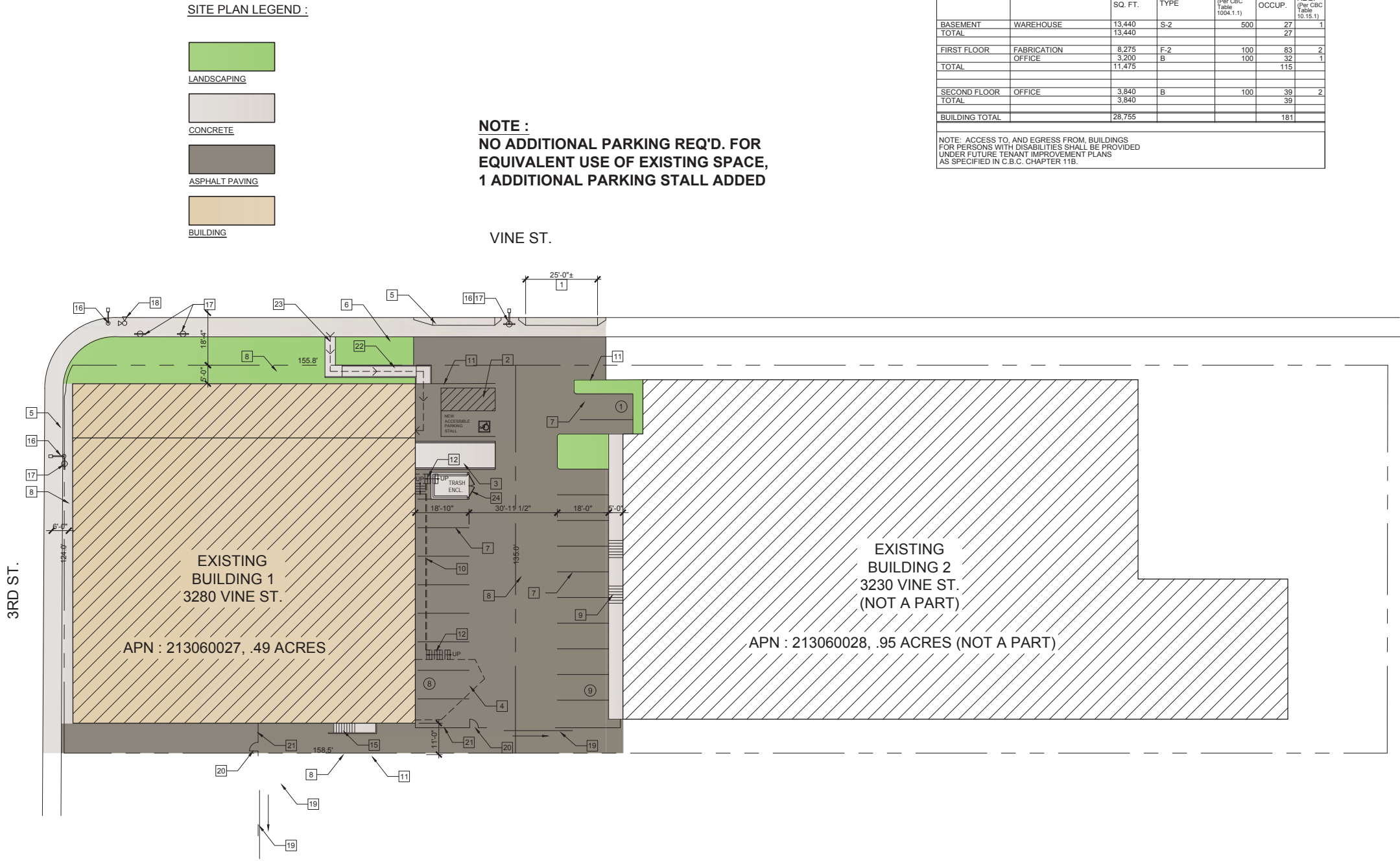
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DRAWN BY	• GMH
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SCALE	• AS NOTED
REVISIONS	△

SHEET TITLE

SITE PLAN

SHEET NO.

A1.1



SITE PLAN KEYNOTES:

- |   |   |   |
|---|---|---|
| 1 EXIST. DRIVEWAY ENTRANCE                      | 10 EXIST. WALKWAY ABOVE TO BE REMOVED             | 19 EXIST. VEHICLE GATE                          |
| 2 NEW ACCESSIBLE PARKING STALL                  | 11 EXIST. TUBULAR STEEL FENCE TO BE REMOVED       | 20 EXIST. PEDESTRIAN GATE                       |
| 3 EXIST. CONC. RAMP                             | 12 EXIST. ENTRANCE STAIRS TO BE REMOVED           | 21 EXIST. TUBULAR STEEL FENCE                   |
| 4 EXIST. RAISED CONC LOADING DOCK TO BE REMOVED | 13 EXIST. RAISED WALKWAY TO BE REMOVED            | 22 NEW CONCRETE RAMP                            |
| 5 EXIST. SIDEWALK                               | 14 EXIST. RAISED CONC. LOADING DOCK TO BE REMOVED | 23 ACCESSIBLE PATH OF TRAVEL FROM PUBLIC R.O.W. |
| 6 EXIST. LANDSCAPE AREA                         | 15 NEW STAIRS                                     | 24 NEW TRASH ENCLOSURE                          |
| 7 EXISTING PARKING STALLS                       | 16 EXIST. LIGHT POLE                              |   |
| 8 EXIST. PROPERTY LINE                          | 17 EXIST. POWER POLE                              |   |
| 9 EXIST. ENTRANCE STAIRS                        | 18 EXIST. FIRE HYDRANT                            |   |

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PROJECT LOCATION

VICINITY MAP

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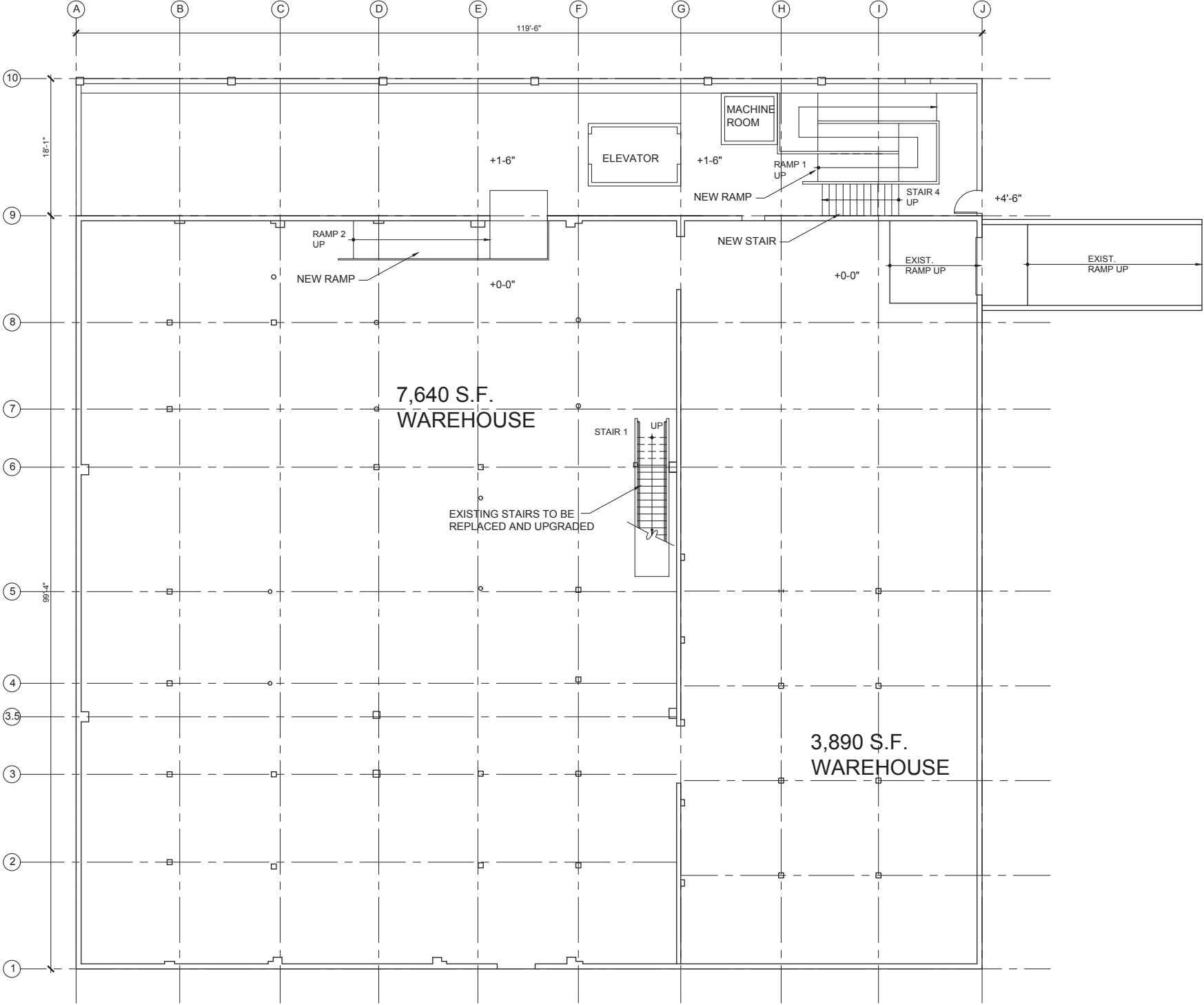
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SHEET TITLE

SITE PLAN

SHEET NO.

A1.1



NEW FLOOR PLAN - BASEMENT

1/8"=1'-0"



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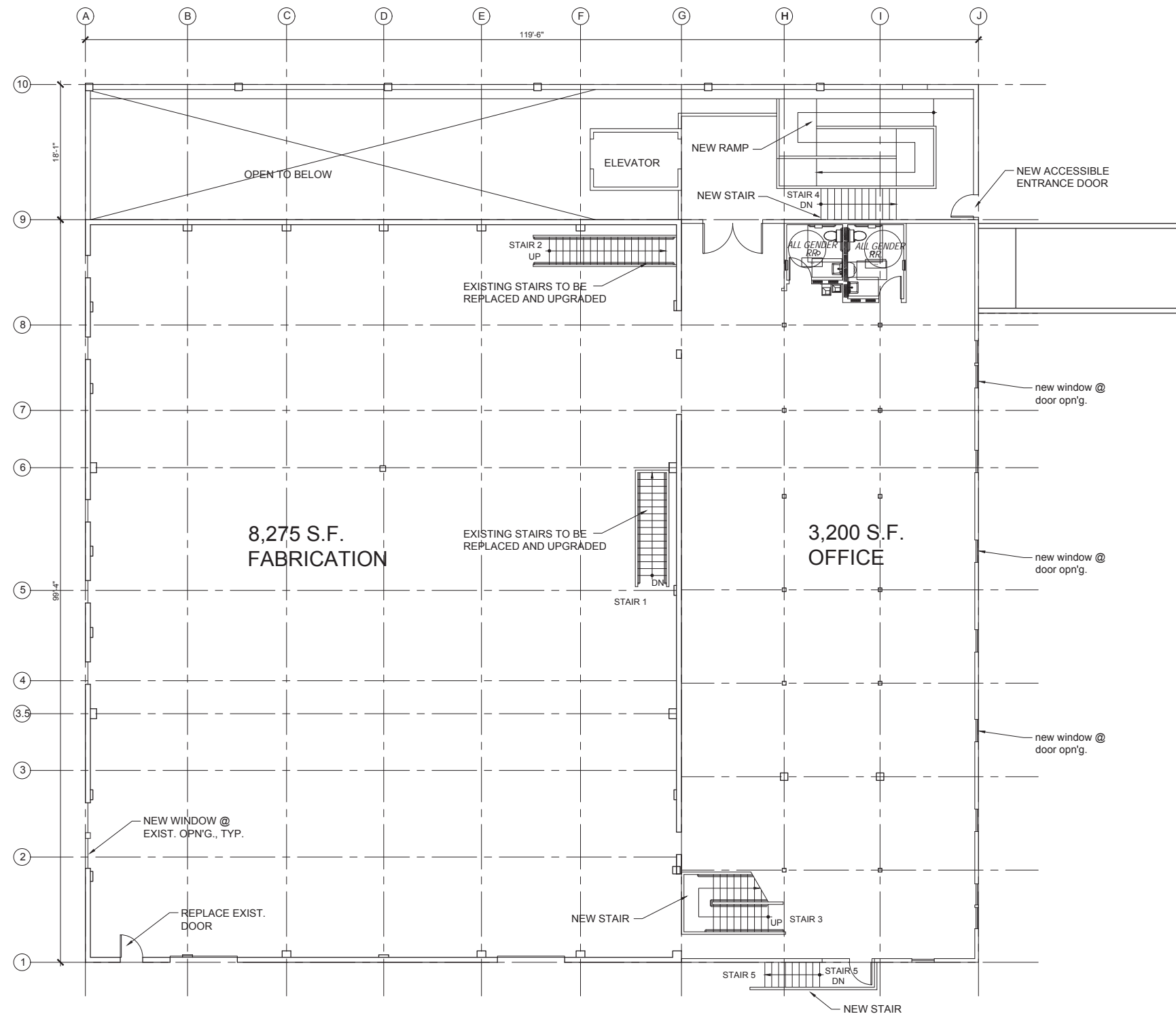
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SHEET TITLE

NEW FLOOR PLAN  
- BASEMENT

SHEET NO.

A2.4



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# 3RD & VINE BUILDING RENOVATION

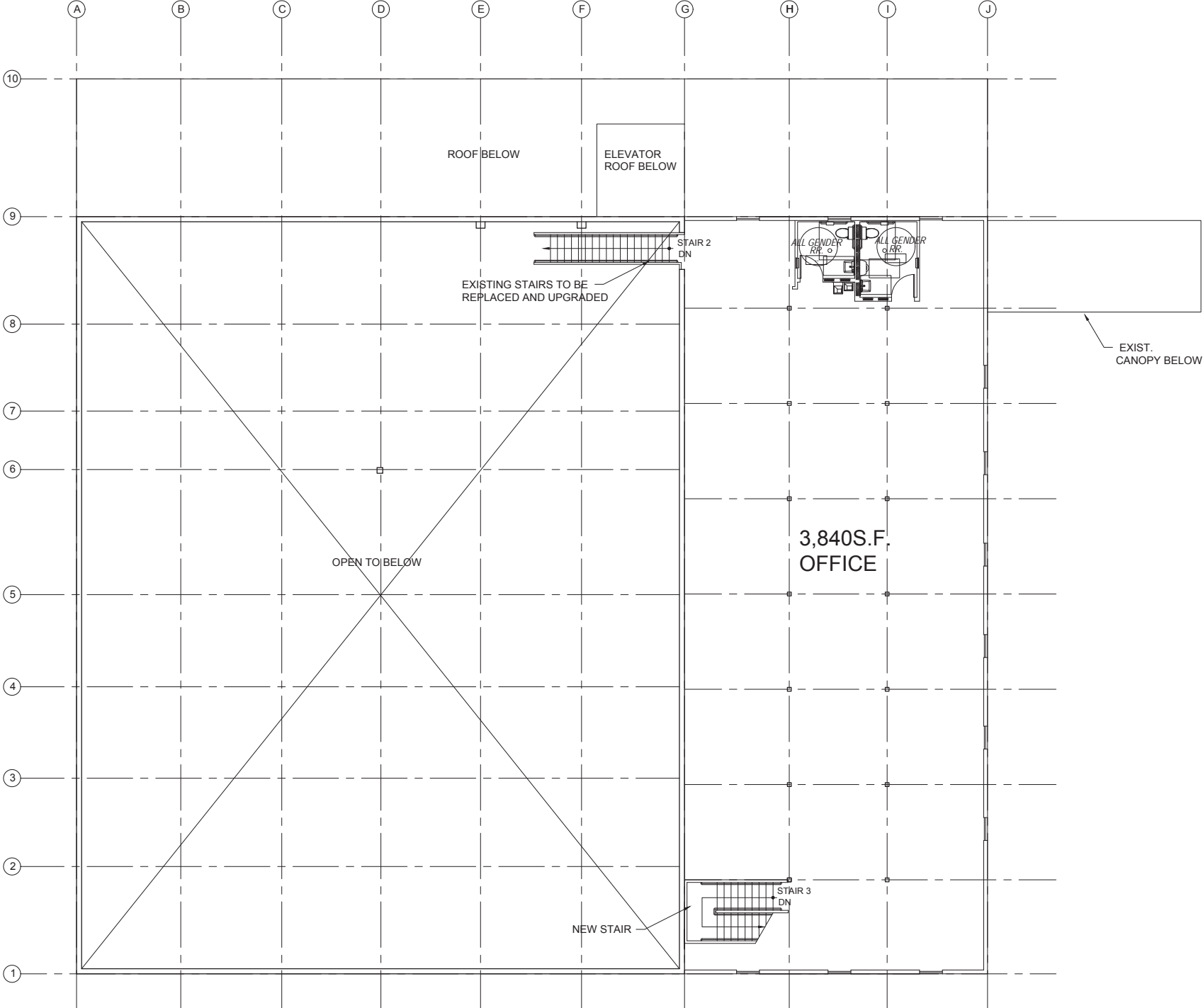
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SHEET TITLE  
NEW FLOOR PLAN  
- FIRST FLOOR  
SHEET NO.

A2.5



NEW FLOOR PLAN - SECOND FLOOR

1/8"=1'-0"



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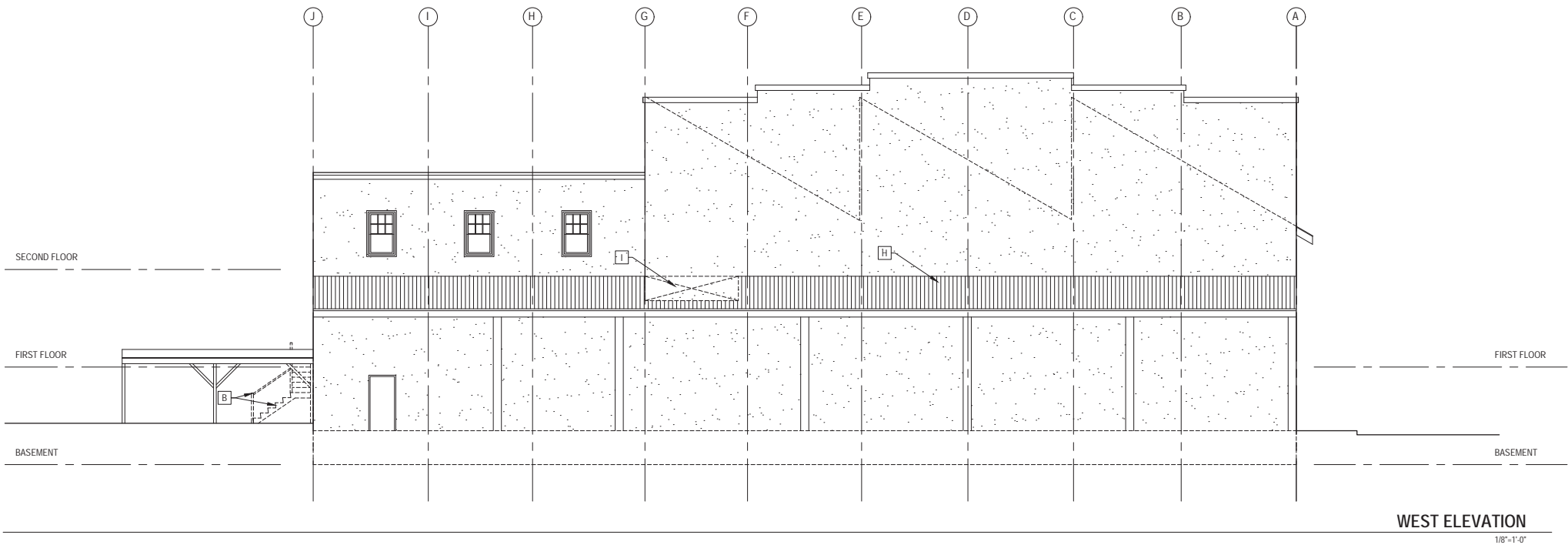
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SHEET TITLE  
NEW FLOOR PLAN  
- SECOND FLOOR

SHEET NO.  
A2.6



## ELEVATIONS - DEMOLITION KEYNOTES

- [A]** (E) CONC. PLATFORM TO BE REMOVED
- [B]** (E) STAIR TO BE REMOVED
- [C]** (E) STAIR / LANDING TO BE REMOVED
- [D]** (E) DOOR TO BE REMOVED, INFILL TO MATCH ADJACENT SURFACE WHERE REQ'D.
- [E]** (E) METAL RAILING TO BE REMOVED
- [F]** (E) WOOD WALKWAY TO BE REMOVED
- [G]** (E) PLYWD. @ EXIST. WINDOW OPNG. TO BE REMOVED
- [H]** EXIST. RIBBED MTL ROOF TO BE REMOVED
- [I]** CUT OPNG. FOR NEW ELEVATOR @ EXIST. MTL. ROOF
- [J]** (E) WOOD DOORS TO BE REMOVED
- [K]** (E) MTL. ROLL-UP DOOR TO BE REMOVED

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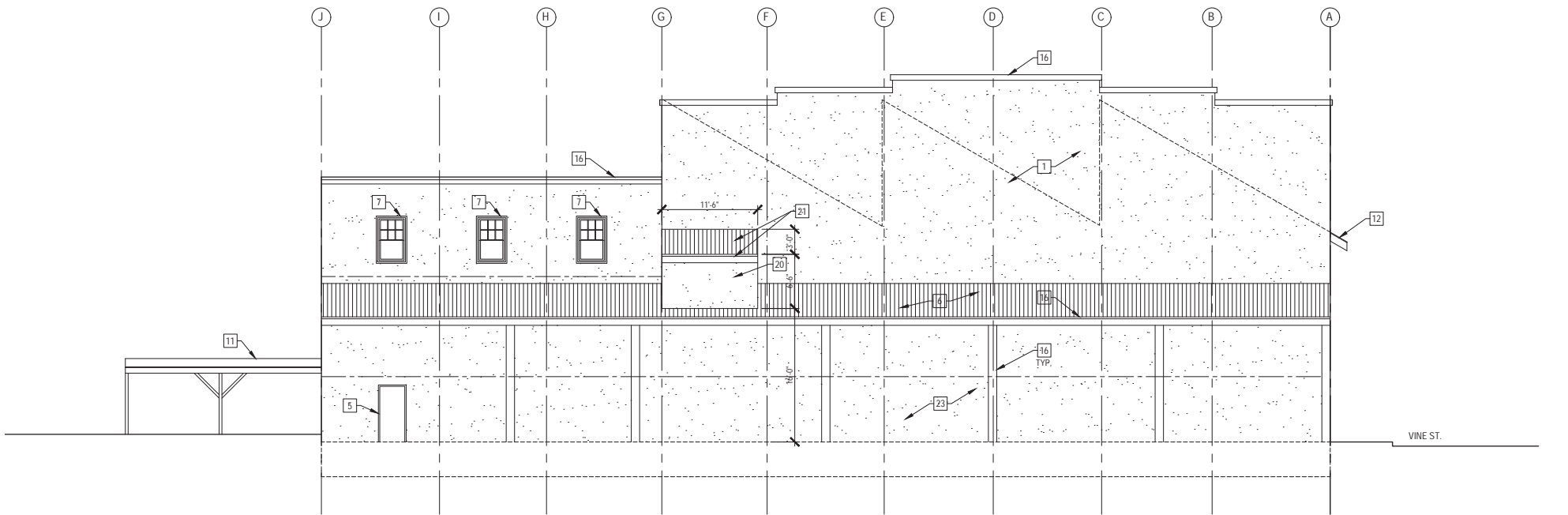
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SHEET TITLE

EXTERIOR ELEVATIONS  
- DEMOLITION

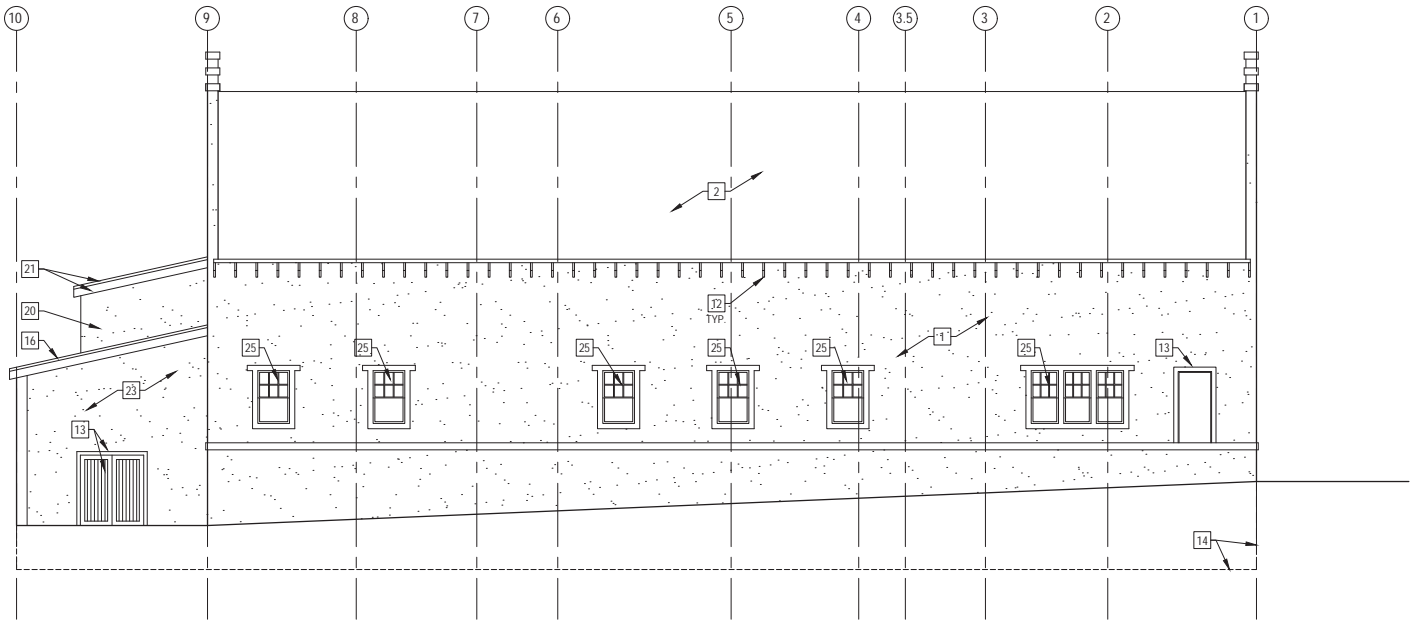
SHEET NO.

A3.1-DEMO



WEST ELEVATION

1/8"=1'-0"



SOUTH ELEVATION

1/8"=1'-0"

ELEVATIONS KEYNOTES

- 1 (E) CONCRETE, PAINT
- 2 (E) ROOF
- 3 NOT USED
- 4 (E) ROLL-UP DOOR
- 5 (E) ( NON-OPERABLE ) HOLLOW METAL DOOR, PAINT
- 6 (N) RIBBED MTL. ROOF TO MATCH EXIST.
- 7 (E) WINDOW TO BE REMAIN
- 8 (E) DOOR TO BE REPLACED, MATCH EXISTING
- 9 (N) METAL STAIRS & RAILING
- 10 (N) HOLLOW METAL DOOR & FRAME
- 11 (E) CANOPY / TRELLIS TO BE REPAIRED AS REQ'D.
- 12 (E) WOOD RAFTERS, PAINT
- 13 (E) NEW ( NON-OPERABLE ) WOOD DOORS & FRAME TO MATCH EXIST., PAINT
- 14 FLOOR / WALL LINE BEYOND
- 15 LINE OF FINISHED SURFACE
- 16 (E) WOOD TRIM, PAINT
- 17 NOT USED
- 18 NOT USED
- 19 (N) WD. DOOR w/ GLAZING TO MATCH EXISTING
- 20 (N) ELEVATOR TOWER, FINISH TO MATCH EXISTING
- 21 (N) ELEVATOR TOWER ROOF AND TRIM TO MATCH EXISTING
- 22 (N) WINDOW AND TRIM TO MATCH EXISTING
- 23 (E) CEMENT PLASTER of C.M.U. , PAINT
- 24 (N) CEMENT PLASTER @ EXIST. DOOR OPNG.
- 25 (N) FIBERGLASS WINDOWS TO MATCH EXIST.



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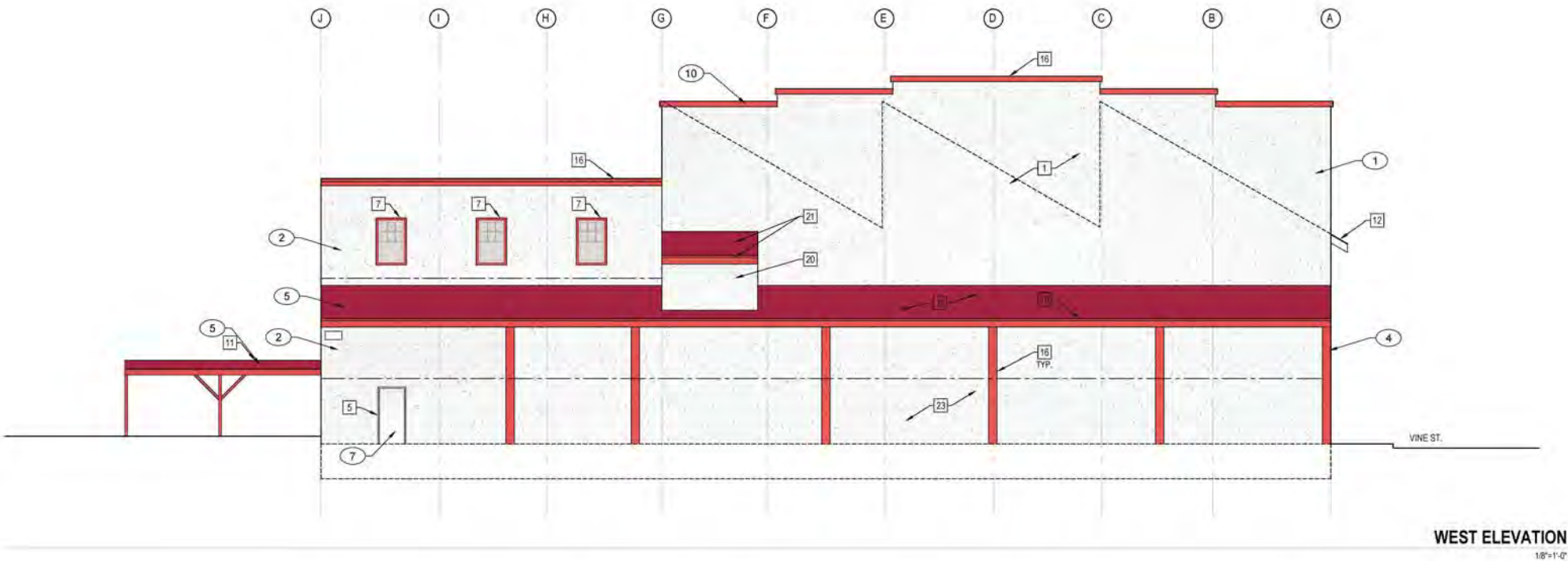
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EXTERIOR ELEVATIONS

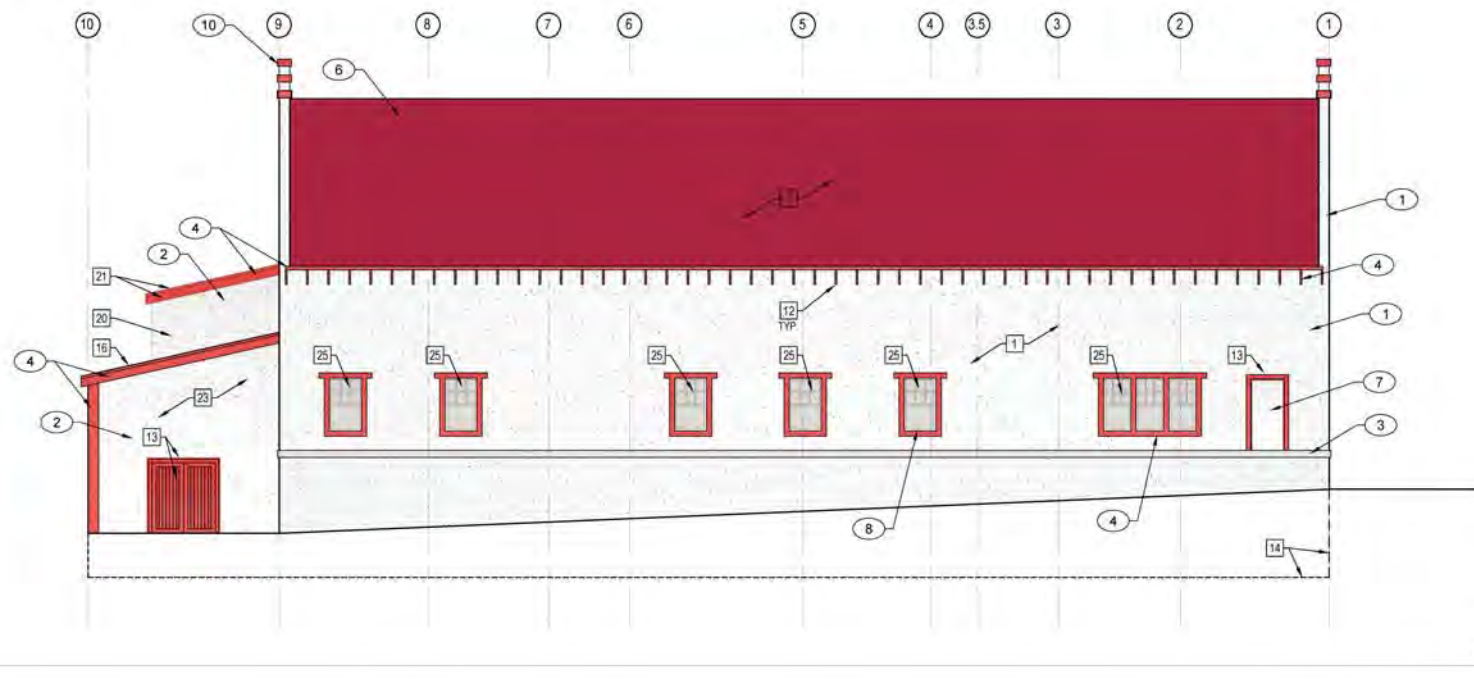
SHEET NO.

A3.1





ELEVATIONS KEYNOTES	
1	(E) CONCRETE, PAINT
2	(E) ROOF
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4	(E) ROLL-UP DOOR
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6	(N) RIBBED MTL. ROOF TO MATCH EXIST.
7	(E) WINDOW TO BE REMAIN
8	(E) DOOR TO BE REPLACED, MATCH EXISTING
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25	(N) FIBERGLASS WINDOWS TO MATCH EXIST.



PAINT COLORS / MATERIALS KEY	
1	POURED CONCRETE - BUILDING EXTERIOR COLOR - DUNN EDWARDS "CHALKY" (# DEC793)
2	CEMENT PLASTER - BUILDING EXTERIOR COLOR - DUNN EDWARDS "CHALKY" (# DEC793)
3	POURED CONCRETE - FLOOR BAND COLOR - DUNN EDWARDS "CHALKY" (# DEC793)
4	WOOD TRIM & FRAMING COLOR - DUNN EDWARDS "RED REVIVAL" (# DEA154)
5	RIBBED METAL ROOF - MICELROY MEGA RIB COLOR - COLONIAL RED
6	EXISTING BUILT UP ROOF TO REMAIN COLOR - MAROON
7	WOOD / HOLLOW METAL DOORS - BUILDING EXTERIOR COLOR - DUNN EDWARDS "CHALKY" (# DEC793)
8	VINYL WINDOWS COLOR - WHITE
9	METAL ROLL-UP DOORS COLOR - GRAY
10	CONCRET PARAPET CAP COLOR - DUNN EDWARDS "RED REVIVAL" (# DEA154)



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# 3RD & VINE BUILDING RENOVATION

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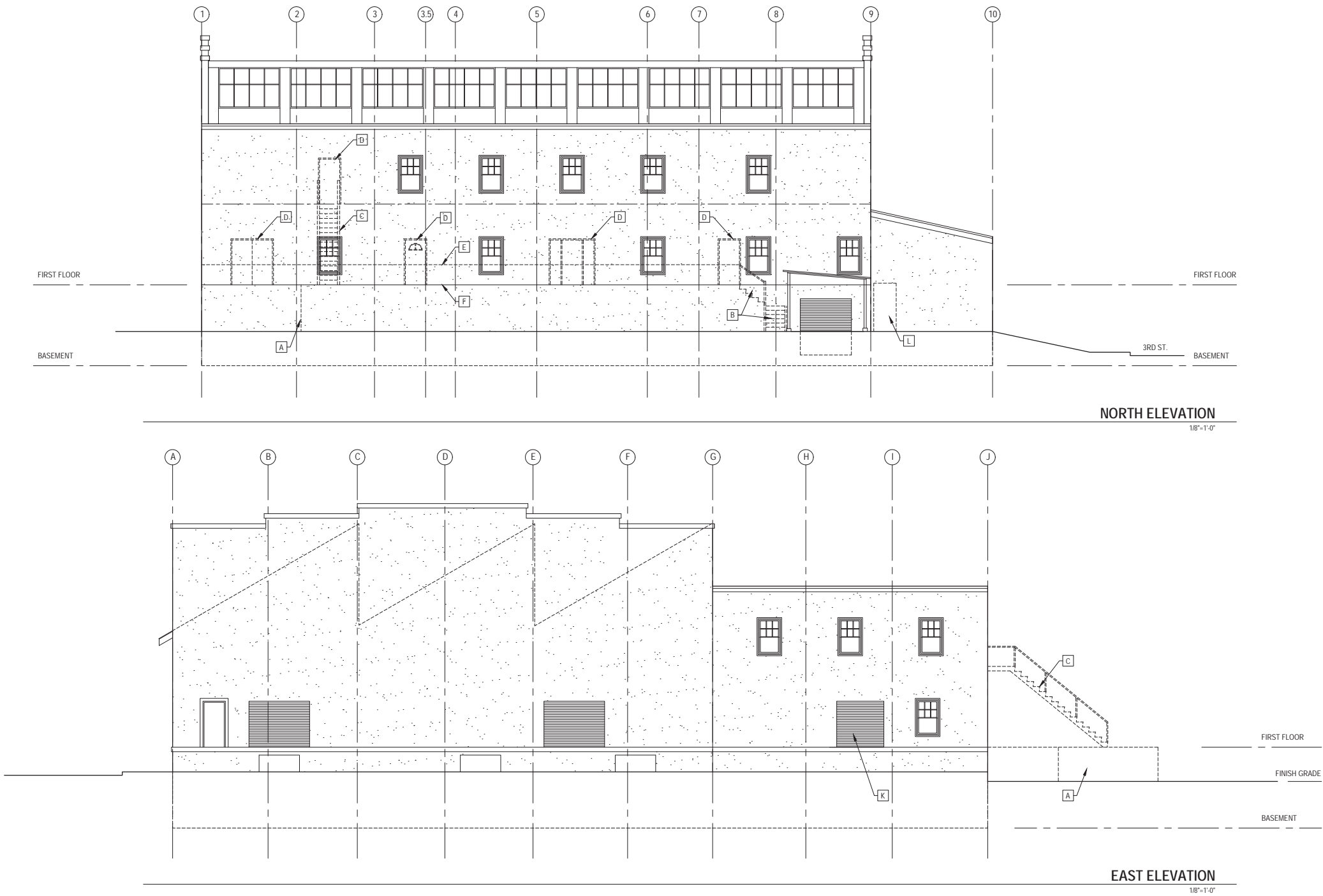
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SHEET TITLE  
EXTERIOR ELEVATIONS

SHEET NO.

A3.1





ELEVATIONS - DEMOLITION KEYNOTES	
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<b>B</b>	(E) STAIR TO BE REMOVED
<b>C</b>	(E) STAIR /LANDING TO BE REMOVED
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<b>E</b>	(E) METAL RAILING TO BE REMOVED
<b>F</b>	(E) WOOD WALKWAY TO BE REMOVED
<b>G</b>	(E) PLYWD. @ EXIST. WINDOW OPNG. TO BE REMOVED
<b>H</b>	EXIST. RIBBED MTL ROOF TO BE REMOVED
<b>I</b>	CUT OPNG. FOR NEW ELEVATOR @ EXIST. MTL. ROOF
<b>J</b>	(E) WOOD DOORS TO BE REMOVED
<b>K</b>	(E) MTL. ROLL-UP DOOR TO BE REMOVED
<b>L</b>	CUT OPNG. FOR NEW DOOR

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LICENSED ARCHITECT  
JAMES L. BROESKE  
No. C009174  
Ren. 11-30-2019  
STATE OF CALIFORNIA

CONSULTANTS

3RD & VINE  
BUILDING  
RENOVATION

3280 VINE ST. RIVERSIDE, CA. 92501

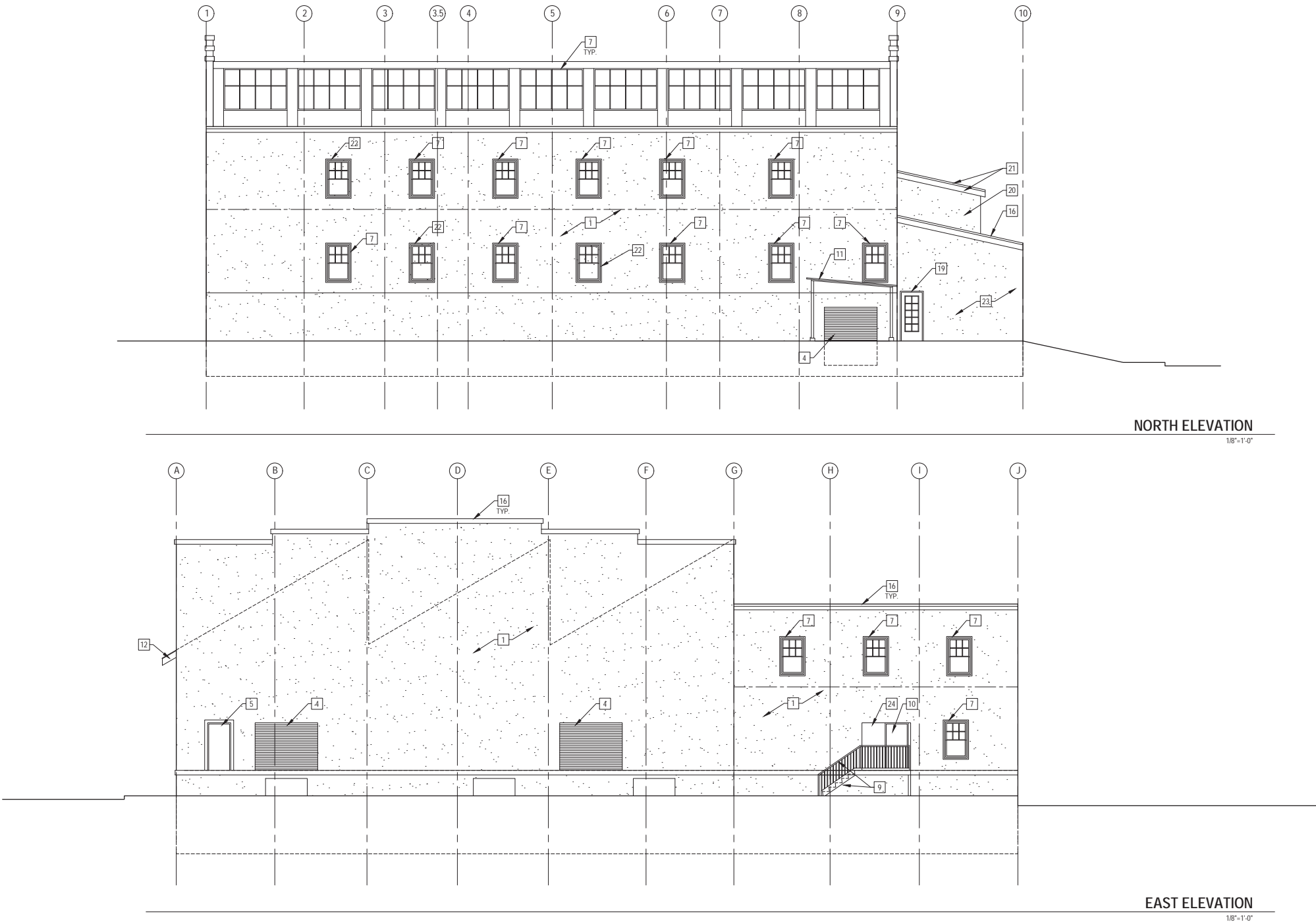
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REVISIONS	△

SHEET TITLE

EXTERIOR ELEVATIONS  
- DEMOLITION

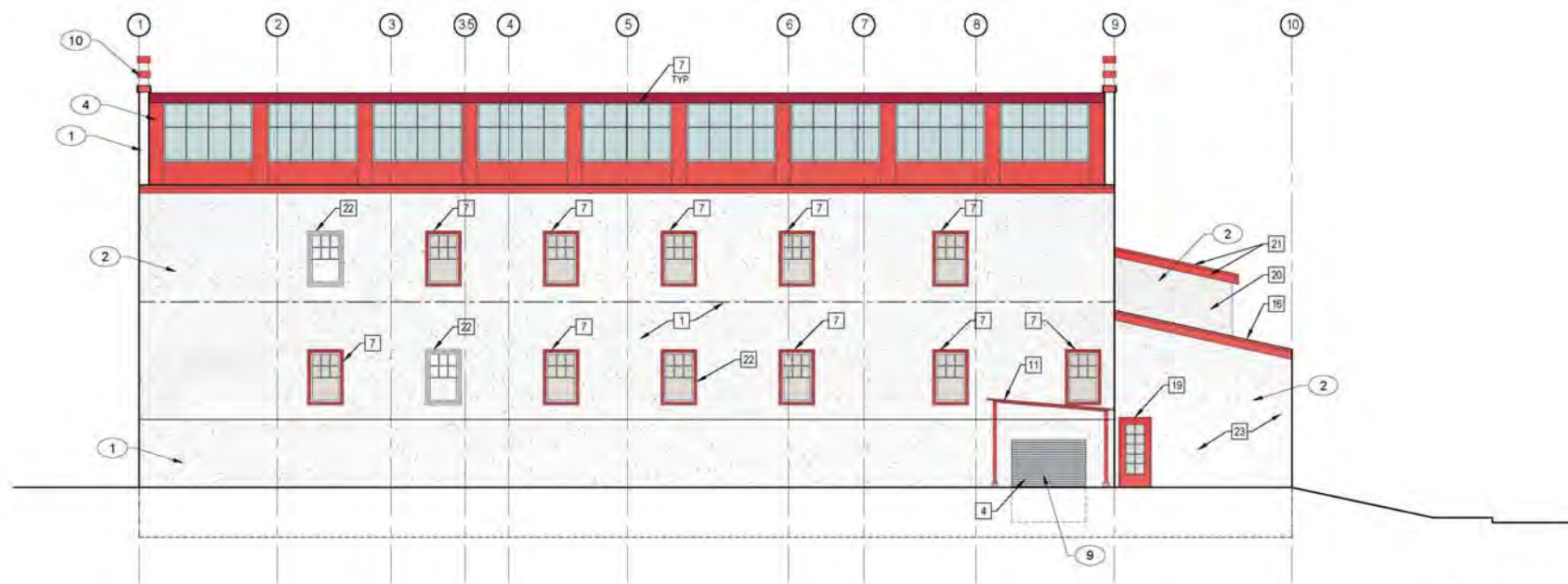
SHEET NO.

A3.2-DEMO



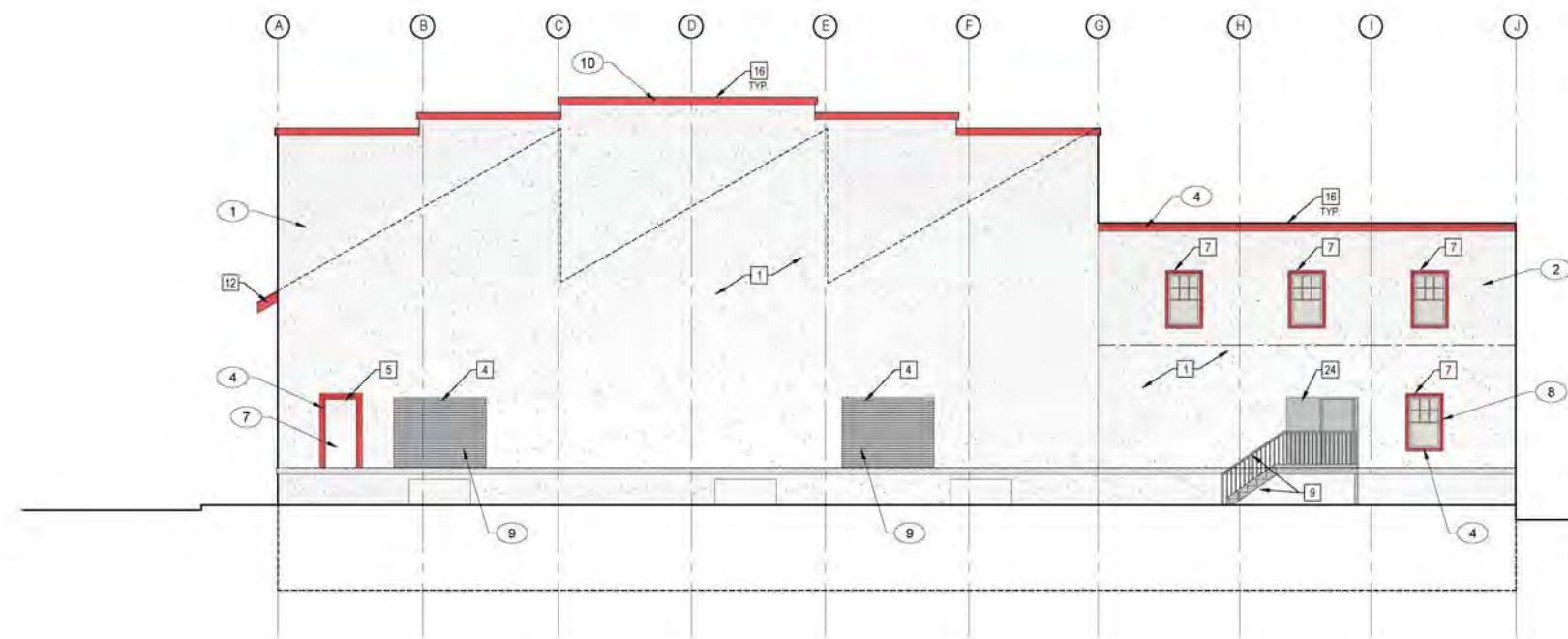
#### ELEVATIONS KEYNOTES

- 1 (E) CONCRETE, PAINT
- 2 (E) ROOF
- 3 NOT USED
- 4 (E) ROLL-UP DOOR
- 5 (E) ( NON-OPERABLE ) HOLLOW METAL DOOR, PAINT
- 6 (N) RIBBED MTL. ROOF TO MATCH EXIST.
- 7 (E) WINDOW TO BE REMAIN
- 8 (E) DOOR TO BE REPLACED, MATCH EXISTING
- 9 (N) METAL STAIRS & RAILING
- 10 (N) HOLLOW METAL DOOR & FRAME
- 11 (E) CANOPY / TRELLIS TO BE REPAIRED AS REQ'D.
- 12 (E) WOOD RAFTERS, PAINT
- 13 (E) NEW ( NON-OPERABLE ) WOOD DOORS & FRAME TO MATCH EXIST. , PAINT
- 14 FLOOR / WALL LINE BEYOND
- 15 LINE OF FINISHED SURFACE
- 16 (E) WOOD TRIM, PAINT
- 17 NOT USED
- 18 NOT USED
- 19 (N) WD. DOOR w/ GLAZING TO MATCH EXISTING
- 20 (N) ELEVATOR TOWER, FINISH TO MATCH EXISTING
- 21 (N) ELEVATOR TOWER ROOF AND TRIM TO MATCH EXISTING
- 22 (N) WINDOW AND TRIM TO MATCH EXISTING
- 23 (E) CEMENT PLASTER of C.M.U. , PAINT
- 24 (N) CEMENT PLASTER @ EXIST. DOOR OP'NG.
- 25 (N) FIBERGLASS WINDOWS TO MATCH EXIST.



NORTH ELEVATION

1/8"=1'-0"



EAST ELEVATION

1/8"=1'-0"

# ELEVATIONS KEYNOTES

- 1 (E) CONCRETE, PAINT
- 2 (E) ROOF
- 3 NOT USED
- 4 (E) ROLL-UP DOOR
- 5 (E) (NON-OPERABLE) HOLLOW METAL DOOR, PAINT
- 6 (N) RIBBED MTL. ROOF TO MATCH EXIST.
- 7 (E) WINDOW TO BE REMAIN
- 8 (E) DOOR TO BE REPLACED, MATCH EXISTING
- 9 NOT USED
- 10 NOT USED
- 11 (E) CANOPY / TRELLIS TO BE REPAIRED AS REQ'D
- 12 (E) RAFTERS, PAINT
- 13 (E) NEW (NON-OPERABLE) WOOD DOORS & FRAME TO MATCH EXIST. PAINT
- 14 FLOOR / WALL LINE BEYOND
- 15 LINE OF FINISHED SURFACE
- 16 (E) WOOD TRIM, PAINT
- 17 NOT USED
- 18 NOT USED
- 19 (N) WD. DOOR w/ GLAZING TO MATCH EXIST.
- 20 (N) ELEVATOR TOWER. FINISH TO MATCH EXISTING
- 21 (N) ELEVATOR TOWER ROOF AND TRIM TO MATCH EXISTING
- 22 (N) WINDOW AND TRIM TO MATCH EXISTING
- 23 (E) CEMENT PLASTER @ C.M.U. PAINT
- 24 (N) CEMENT PLASTER @ EXIST. DOOR OPNG.
- 25 (N) FIBERGLASS WINDOWS TO MATCH EXIST.

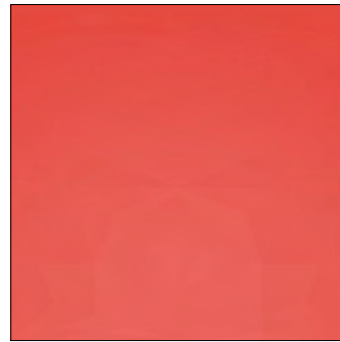
## PAINT COLORS / MATERIALS KEY

- 1 POURED CONCRETE - BUILDING EXTERIOR COLOR - DUNN EDWARDS "CHALKY" (# DEC793)
- 2 CEMENT PLASTER - BUILDING EXTERIOR COLOR - DUNN EDWARDS "CHALKY" (# DEC793)
- 3 POURED CONCRETE - FLOOR BAND COLOR - DUNN EDWARDS "CHALKY" (# DEC793)
- 4 WOOD TRIM & FRAMING COLOR - DUNN EDWARDS "RED REVIVAL" (# DEA154)
- 5 RIBBED METAL ROOF - MICELROY MESA RIB COLOR - COLONIAL RED
- 6 EXISTING BUILT UP ROOF TO REMAIN COLOR - MAROON
- 7 WOOD / HOLLOW METAL DOORS - BUILDING EXTERIOR COLOR - DUNN EDWARDS "CHALKY" (# DEC793)
- 8 VINYL WINDOWS COLOR - WHITE
- 9 METAL ROLL-UP DOORS COLOR - GRAY
- 10 CONCRET PARAPET CAP COLOR - DUNN EDWARDS "RED REVIVAL" (# DEA154)





PAINT : SHERWIN WILLIAMS  
- CHALKY ( DEC793 )



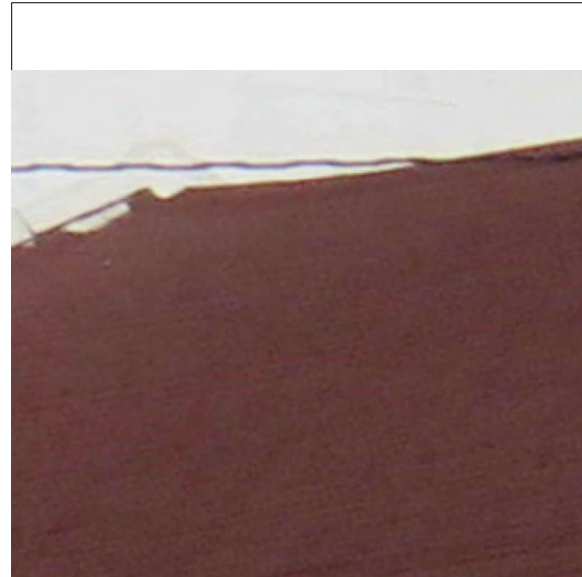
PAINT : SHERWIN WILLIAMS  
- RED REVIVAL ( DEA154 )

MATERIAL LIST :

1. POURED CONCRETE - COLOR : CHALKY
2. CEMENT PLASTER - COLOR : CHALKY
3. POURED CONCRETE FLOOR BAND - COLOR : CHALKY
4. WOOD TRIM & FRAMING - COLOR : RED REVIVAL
5. RIBBED METAL ROOF - COLOR : COLONIAL RED
6. BUILT-UP ROOF, EXIST. TO REMAIN - COLOR : MAROON
7. WOOD / HOLLOW METAL - COLOR : CHALKY
8. VINYL WINDOWS - COLOR : WHITE
9. METAL ROLL-UP DOORS , EXIST. TO REMAIN - COLOR : GRAY
10. CONCRETE PARAPET CAP - COLOR : RED REVIVAL
11. METAL STAIRS & RAILINGS - COLOR GRAY



VINYL WINDOWS



BUILT-UP ROOF ( EXISTING )



METAL ROOF



METAL ROLL-UP DOORS

## MATERIALS COLOR BOARD #1



PAINT : SHERWIN WILLIAMS  
- CHALKY ( DEC793 )



PAINT : SHERWIN WILLIAMS  
- RED REVIVAL ( DEA154 )

MATERIAL LIST :

1. POURED CONCRETE - COLOR : CHALKY
2. CEMENT PLASTER - COLOR : CHALKY
3. POURED CONCRETE FLOOR BAND - COLOR : CHALKY
4. WOOD TRIM & FRAMING - COLOR : RED REVIVAL
5. RIBBED METAL ROOF - COLOR : COLONIAL RED
6. BUILT-UP ROOF, EXIST. TO REMAIN - COLOR : MAROON
7. WOOD / HOLLOW METAL - COLOR : CHALKY
8. VINYL WINDOWS - COLOR : WHITE
9. METAL ROLL-UP DOORS , EXIST. TO REMAIN - COLOR : GRAY
10. CONCRETE PARAPET CAP - COLOR : RED REVIVAL
11. METAL STAIRS & RAILINGS - COLOR GRAY



METAL STAIRS & RAILINGS



VINYL WINDOW



WOOD DOOR



**MATERIALS COLOR BOARD #2**