IRRIGATION HYDROZONES:

- HYDRO-ZONE 1 - Common Landscape Areas - Enhanced Plant Palette - Sub Surface Irrigation - 44,301 s.f.
- HYDRO-ZONE 2 - Water Quality Planting in Basin - Water Conserving Plant Palette - Overhead Spray - 7,394 s.f.
- HYDRO-ZONE 3 - Turf - 2,103 s.f.
- SPECIAL LANDSCAPE AREA - Active Turf Area at Central Green- 7,074 s.f.

TOTAL LANDSCAPE AREA: 60,872 s.f.

WATER CONSERVATION FEATURES

THE FOLLOWING MEASURES WILL BE INCORPORATED INTO THE PROJECT TO CONSERVE WATER:

1. Installation of automatic 'smart' irrigation controller with rain-sensor.
2. The use of low precipitation/low angle irrigation spray heads.
3. The use of low water consuming plants.
4. Soil amendment to achieve good soil moisture retention.
5. Mulching to reduce evapotransporation from the root zone.
6. Installation of automatic irrigation system to provide deep-root watering to trees is required.

WATER CONSERVATION STATEMENT

PURPOSE: To provide the maintenance staff a mechanical device to distribute water and ensure plant survival in the most efficient manner and within a time frame that least interferes with the activities of the community.

The Irrigation system for each hydrozone will be automatic and incorporate low volume drip emitters, bubblers and high efficiency low angle spray heads at turf only. Drip irrigation systems may be employed where considered to be effective and feasible. Irrigation valves shall be separated to allow for the systems operation in response to orientation and exposure.

Planting will be designed to enhance the visual character of the site and the architectural elements. Plants shall be grouped with similar water, climatic and soil requirements to conserve water and create a drought responsive landscape.

Each hydrozone consists of moderate to low water consuming plants. In areas of moderate water consuming plants the shall be properly amended to retain moisture for healthy growth and to conserve water.

Plant Material within each hydrozone shall be specified in consideration of north, south, east and west exposures.

Soil shall be prepared and amended to provide for maximum moisture retention and percolation. Planted beds shall be mulched to retain soil moisture and reduce evapotransporation.

To avoid wasted water, the controls will be overseen by a flow monitor that will detect any broken sprinkler heads to stop that station's operation, advancing to the next workable station. In the event of pressure supply line breakage, it will completely stop the operation of the system. All material will be nonferrous, with the exception of the brass piping into and out of the backflow units. All work will be in the best acceptable manner in accordance with applicable codes and standards prevailing in the industry.

WATER USE CLASSIFICATION of LANDSCAPE SPECIES (WUCOLS):

WUCOLS, Water Use Classification of Landscape Species, is a University of California Cooperative Extension Publication and is a guide to the water needs of landscape plants.

CROP FACTOR	PERCENT OF ETo
H - HIGH	70% - 90%
M - MEDIUM	40% - 60%
L - LOW	10% - 30%
VL - VERY LOW	< 10%

WATER EFFICIENT LANDSCAPE WORKSHEET

Reference Evapotranspiration (ETo) 56.40 ETAF for MAWA 0.55 (Residential)

Hydrozone # /Planting Description[1]	Plant Factor (PF)	Irrigation Method[2]	Irrigation Efficiency (IE)[3]	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)[4]
Regular Landscape Areas							
1 Common Areas -Low	0.30	drip	0.81	0.37	44,653	16,538	578,306
2 Water Quality Basin -Medium	0.40	spray	0.75	0.53	7,394	3,943	137,895
3 Turf -High	0.70	spray	0.75	0.93	2,103	1,963	68,635
				Totals	54,150	22,444	784,836
Special Landscape Areas							
Active Turf Area				1.00	7,074	7,074	247,364
				Totals	7,074	7,074	247,364
						ETWU Total	1,032,200
					Maximum Allowed Water Allowance (MAWA)[5]		1,208,786

[1]Hydrozone #/Planting Description
E.g.
1.) front lawn
2.) low water use plantings
3.) medium water use planting

[2]Irrigation Method
overhead spray
or drip

[3]Irrigation Efficiency
1.75 for spray head
1.81 for drip

[4]ETWU (Annual Gallons Required)
= Eto x 0.62 x ETAF x Area
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

[5]MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + (1-ETAF) x SLA)]
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

Regular Landscape Areas

Total ETAF x Area	22,444
Total Area	54,150
Average ETAF	**0.41**

All Landscape Areas

Total ETAF x Area	29,518
Total Area	61,224
Sitewide ETAF	**0.48**

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

Eto data for: city of Riverside
from: MWELO Appendix A 5/9/2019

RIVERPOINTE - RIVERSIDE, CA

HYDROZONE PLAN - L.6

PASSCO PACIFICA

JULY 17, 2019

0 15 30 60

MJS LANDSCAPE ARCHITECTURE

P18-0970, -0971, -0972, -0973, -0974, -0975, Exhibit 6 - Project Plans

EXTERIOR LIGHTING LEGEND

SYMBOL	TYPE/TECHNIQUE:	LOCATION:
	BOLLARD	COMMON AREA WALKWAYS
	POLE LIGHT	PRIVATE STREETS
	DOWN LIGHT	MOUNTED ON OVERHEAD PAVILLION AT CENTRAL GREEN
	PALM TREE UPLIGHT	ENTRY DRIVE & CENTRAL GREEN

LIGHTING CONCEPT:

THE OUTDOOR LIGHTING CONCEPT IS TO PROVIDE LEVELS OF LIGHTING SUFFICIENT TO MEET SAFETY AND ORIENTATION NEEDS.

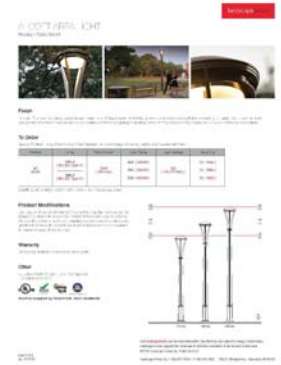
WITHIN PUBLIC AREAS LIGHTING WILL BE WARM COLORED AND UNOBTRUSIVE. LIGHT SOURCES WILL BE LED 4000K - 6000K.

LIGHTING SOURCES FOR THE LANDSCAPE AND PAVED AREAS WILL BE CONCEALED AND THE LIGHTING INDIRECT NOT VISIBLE FROM A PUBLIC VIEWPOINT. LIGHT SOURCES SHOULD BE DIRECTED SO THAT IT DOES NOT FALL OUTSIDE THE AREA TO BE LIGHTED.

ALL EXTERIOR SURFACE AND ABOVE-GROUND MOUNTED FIXTURES WILL BE SYMPATHETIC AND COMPLIMENTARY TO THE ARCHITECTURAL THEME.

BOLLARD

POLE LIGHT



DOWN LIGHT

PALM TREE UPLIGHT

RIVERPOINTE - RIVERSIDE, CA

LANDSCAPE LIGHTING PLAN - L.7

PASSCO PACIFICA

JULY 17, 2019

MJS LANDSCAPE ARCHITECTURE

P18-0970, -0971, -0972, -0973, -0974, -0975, Exhibit 6 - Project Plans

PROJECT SUMMARY:

COMMON OPEN SPACE:

REQUIRED COMMON OPEN SPACE =
500 SF / UNIT x 56 UNITS = 28,000 SF

PROVIDED COMMON OPEN SPACE =
29,073 SF (SEE LETTERED LOTS TABLE)
(DETENTION BASIN NOT INCLUDED)

PRIVATE OPEN SPACE:

REQUIRED PRIVATE OPEN SPACE =
200 SF / UNIT x 56 UNITS = 11,200 SF

PROVIDED PRIVATE OPEN SPACE =
AVERAGE 270 SF / UNIT = 14,586 SF

DETENTION BASIN:

DETENTION BASIN = 7,681 SF

TOTAL = 51,340 SF

OPEN SPACE:

COMMON OPEN SPACE (29,073 SF)

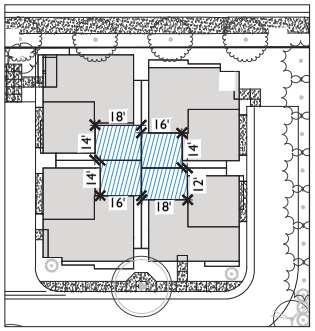
PRIVATE OPEN SPACE (14,586 SF)

LETTERED LOTS

A	OPEN SPACE	8,190 SF
B	OPEN SPACE	13,082 SF
C	DETENTION BASIN (not included in common open space)	7,681 SF
D	OPEN SPACE	474 SF
E	OPEN SPACE	432 SF
F	OPEN SPACE	432 SF
G	OPEN SPACE	586 SF
H	OPEN SPACE	475 SF
I	OPEN SPACE	475 SF
J	OPEN SPACE	474 SF
K	OPEN SPACE	465 SF
L	OPEN SPACE	474 SF
M	OPEN SPACE	3,052 SF
N	OPEN SPACE	462 SF
TOTAL OPEN SPACE = 36,754 SF		

NUMBERED LOTS

LOT #	SQUARE FOOTAGE	LOT #	SQUARE FOOTAGE
1	750 SF	29	216 SF
2	631 SF	30	216 SF
3	224 SF	31	252 SF
4	253 SF	32	224 SF
5	216 SF	33	228 SF
6	224 SF	34	238 SF
7	224 SF	35	252 SF
8	253 SF	36	224 SF
9	224 SF	37	228 SF
10	216 SF	38	238 SF
11	288 SF	39	252 SF
12	216 SF	40	224 SF
13	216 SF	41	228 SF
14	216 SF	42	280 SF
15	216 SF	43	322 SF
16	208 SF	44	252 SF
17	252 SF	45	273 SF
18	288 SF	46	280 SF
19	216 SF	47	308 SF
20	216 SF	48	234 SF
21	216 SF	49	260 SF
22	216 SF	50	294 SF
23	216 SF	51	350 SF
24	216 SF	52	280 SF
25	210 SF	53	240 SF
26	216 SF	54	280 SF
27	216 SF	55	350 SF
28	216 SF	56	294 SF
TOTAL OPEN SPACE = 14,586 SF			



PRIVATE OPEN SPACE TYPICAL DIMENSIONS

RIVERPOINTE - RIVERSIDE, CA

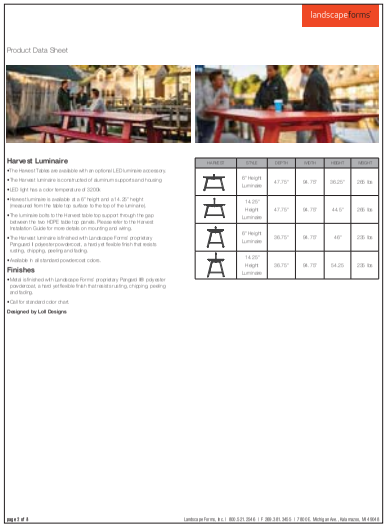
OPEN SPACE PLAN - L.8

PASSCO PACIFICA

JULY 17, 2019

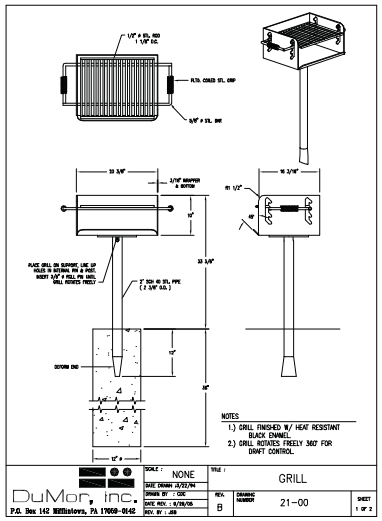
MJS LANDSCAPE ARCHITECTURE

P18-0970, -0971, -0972, -0973, -0974, -0975, Exhibit 6 - Project Plans



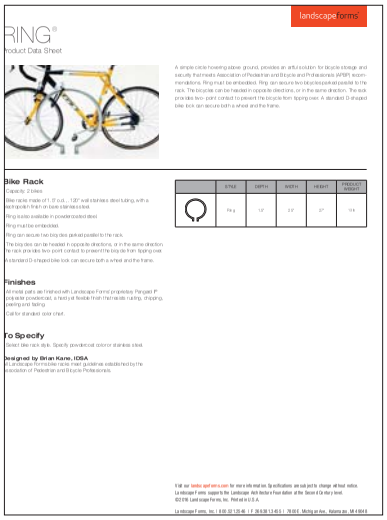
PICNIC TABLE

TRASH RECEPTACLE & BENCH



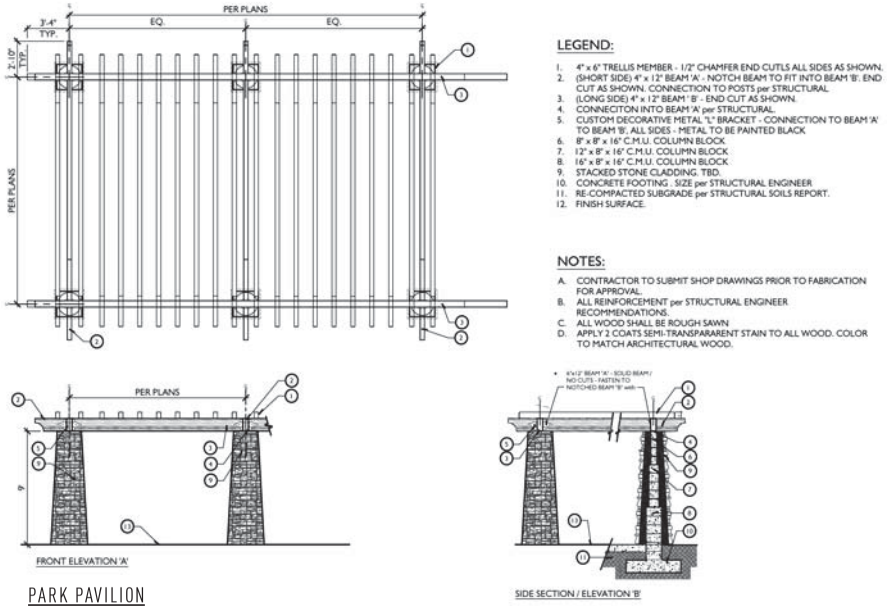
PEDESTAL GRILL

BBQ ASH URN



BIKE RACK

PARK TABLES



PARK PAVILION

3B - CRAFTSMAN
COLOR PALETTE: B3

2A - SPANISH
COLOR PALETTE: A2

3C - FARMHOUSE
COLOR PALETTE: C3

2B - CRAFTSMAN
COLOR PALETTE: B2

3XA - SPANISH
COLOR PALETTE: A1

JURUPA AVE

SCALE: 1/4" = 1'-0"

RIVERPOINTE

RIVERSIDE, CA

February 26, 2019

DESIGN DEVELOPMENT STREET SCENE

IDEArc

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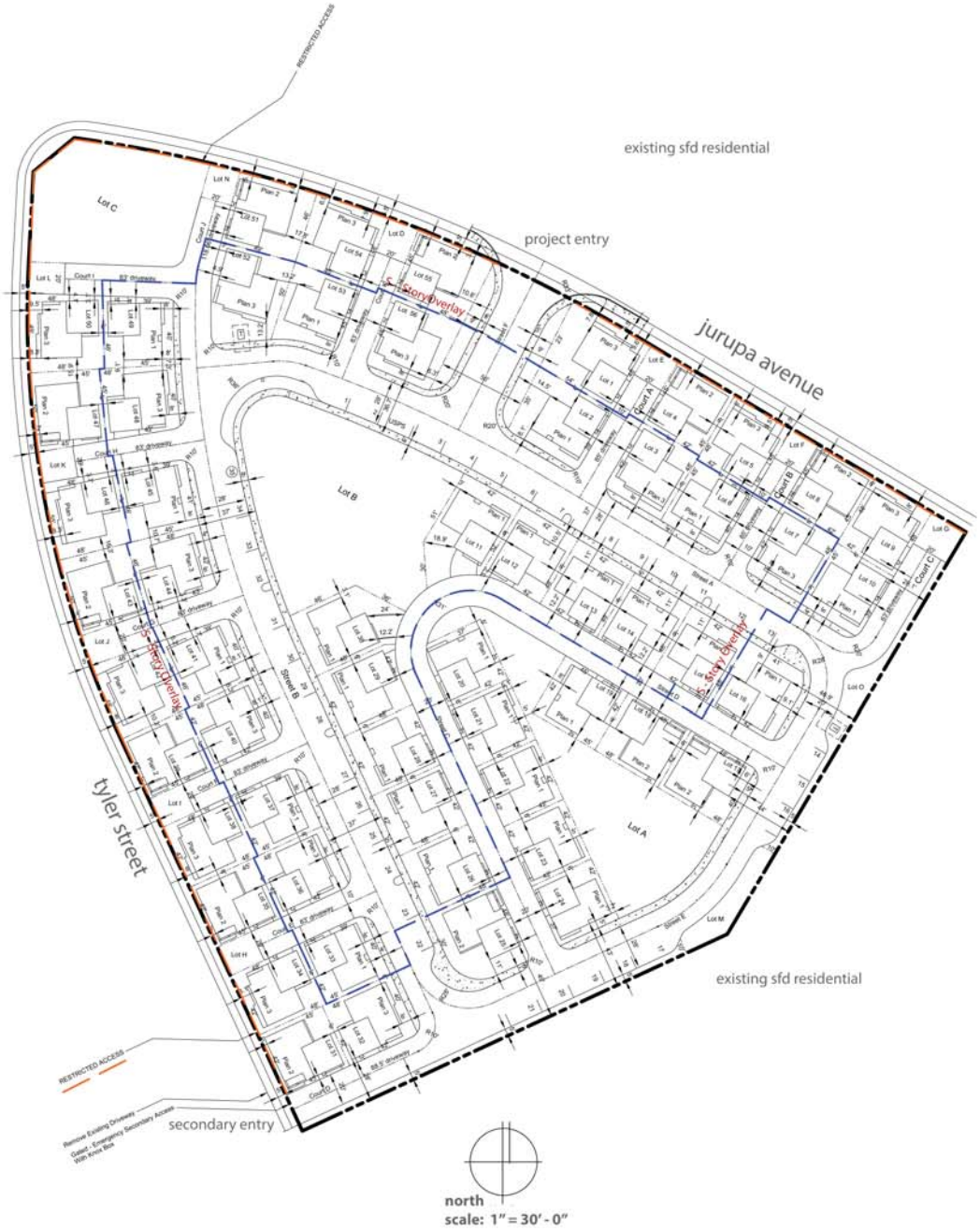
A00

P18-0970, -0971, -0972, -0973, -0974, -0975, Exhibit 6 - Project Plans



PROJECT SUMMARY:

PROJECT AREA: +/- 7.07 GROSS ACRES
DENSITY: +/- 7.92 LOTS PER ACRE
NUMBER OF RESIDENTIAL LOTS: **56**

AVERAGE RESIDENTIAL LOT AREA = 2,071 SF

RESIDENTIAL LOT COVERAGE = 2.66 ACRES PER 38%

COMMON OPEN SPACE = 28,031 SF
PRIVATE OPEN SPACE = 14,319 SF
DETENTION BASIN = 7,681 SF

PARKING SUMMARY:

REQUIRED: 112 ENCLOSED Parking Spaces
19 Guest Spaces
131 TOTAL

PROVIDED: 112 ENCLOSED Parking Spaces
35 Guest Spaces
1 USPS Space
148 TOTAL

*Note:
Per Section 19.780/.060 of the Riverside Municipal Code. Planned Residential Development require:
- Two (2) fully enclosed (garage) spaces/dwelling unit
- One (1) guest space per three (3) dwelling units

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RIVERPOINTE

RIVERSIDE, CA

ARCHITECTURAL SITE PLAN

July 10, 2019

IDEArc ARCHITECTURE
17848 SKY PARK CIRCLE, SUITE D
IRVINE, CA 92614
949.863.9000

AS1

RIVERPOINTE

RIVERSIDE, CA

May7, 2019

AREA PLAN

AS2

IDEArc ARCHITECTURE

17848 SKY PARK CIRCLE, SUITE D

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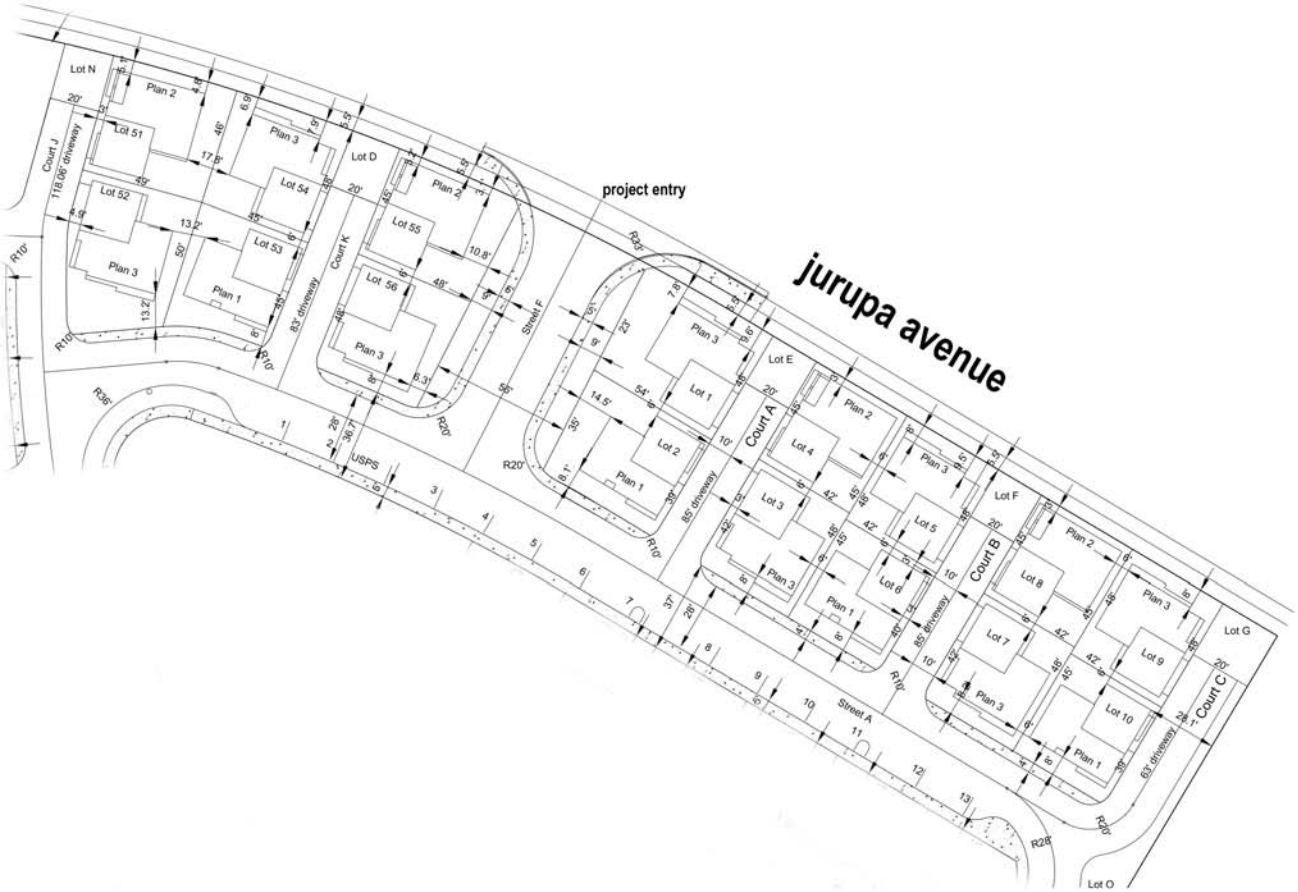

north
scale: 1" = 20' - 0"

RIVERPOINTE

RIVERSIDE, CA

May 7, 2019

AREA 1 PLAN

AS3

IDEArc ARCHITECTURE

17848 SKY PARK CIRCLE, SUITE D

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north
scale: 1" = 20' - 0"

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RIVERPOINTE

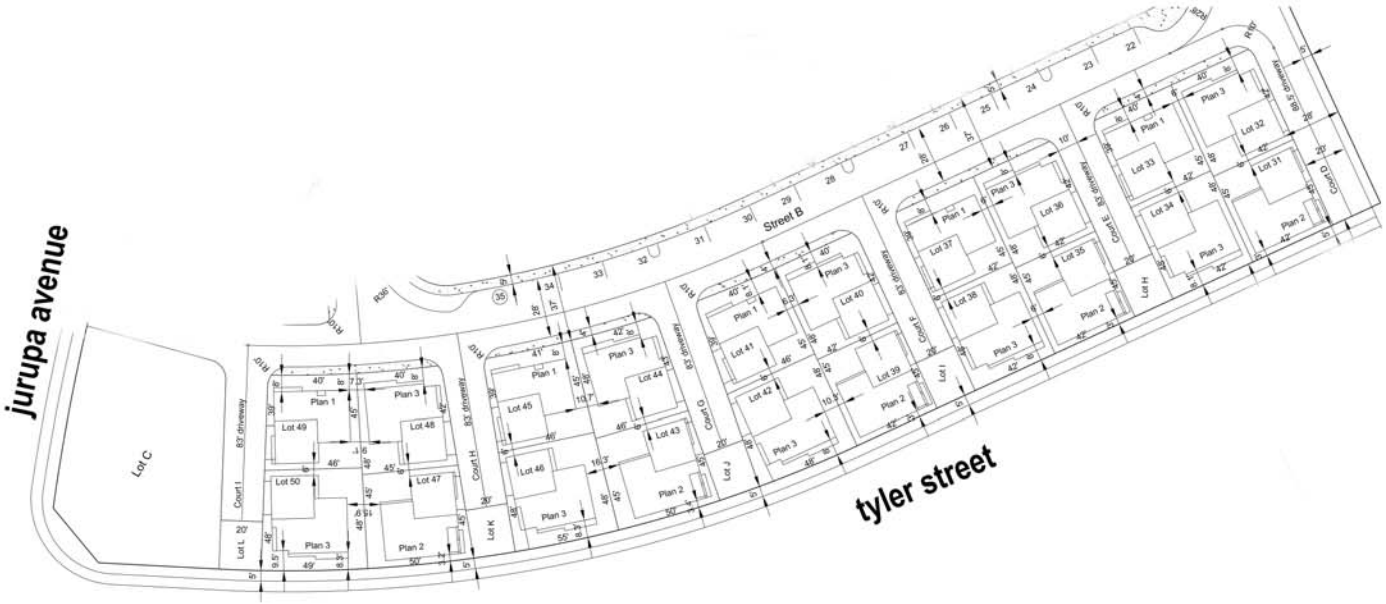
RIVERSIDE, CA

AREA 2 PLAN

May 7, 2019

IDEArc ARCHITECTURE
17848 SKY PARK CIRCLE, SUITE D
IRVINE, CA 92614
949.863.9000

AS4



north
scale: 1" = 20' - 0"

RIVERPOINTE

RIVERSIDE, CA

AREA 3 PLAN

May 7, 2019

PASSCO

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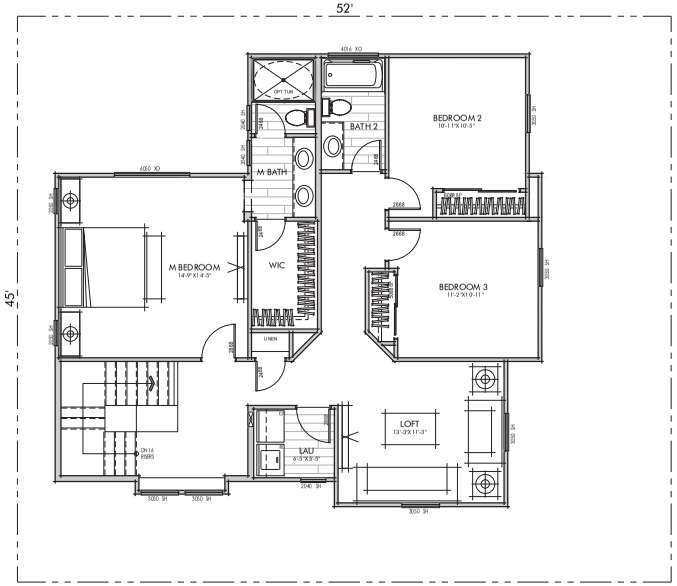
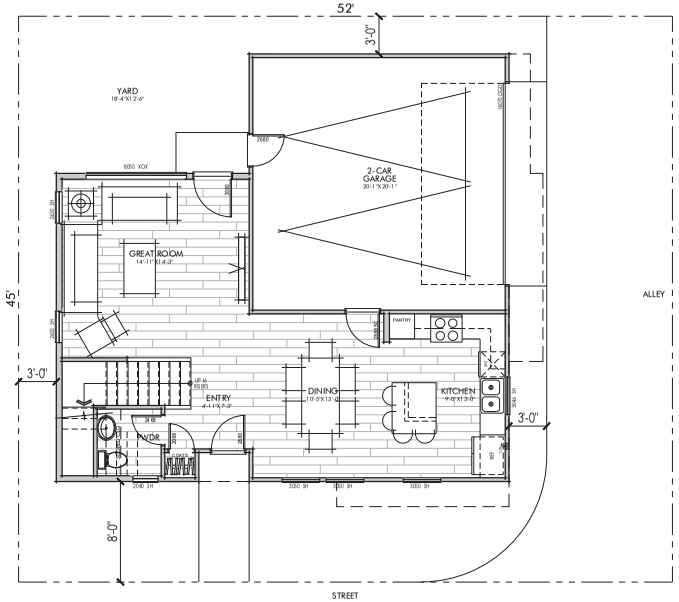
IDEArc ARCHITECTURE

17848 SKY PARK CIRCLE, SUITE D

AS5



SECOND FLOOR



FIRST FLOOR

Floor Area: Plan 1

LIVING AREA:

FIRST FLOOR LIVING:	651.3 SQ. FT.
SECOND FLOOR LIVING:	1080.8 SQ. FT.
TOTAL LIVING AREA:	1732 SQ. FT.

OTHER AREAS:

GARAGE:	418 SQ. FT.
COVERED PORCH:	9 SQ. FT.

PLAN 1
1,732 SQFT
3 BED/2.5 BATH

SCALE: 1/4" = 1'-0"

RIVERPOINTE

RIVERSIDE, CA

February 26, 2019

DESIGN DEVELOPMENT FLOOR PLANS

A01

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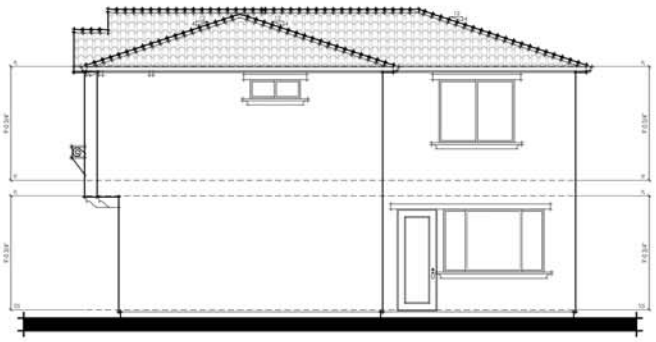
Pacifica Investments

IDEArc ARCHITECTURE
17848 SKY PARK CIRCLE, SUITE D
IRVINE, CA 92614
(949) 863-6056

1A - STREET (SPANISH)
(FRONT)

1A - ALLEY (SPANISH)
(RIGHT)



1A - REAR (SPANISH)

1A - LEFT (SPANISH)

PLAN 1

SCALE: 1/4"=1'-0"

RIVERPOINTE

RIVERSIDE, CA

February 26, 2019

DESIGN DEVELOPMENT ELEVATIONS

A02

IDEArc ARCHITECTURE

17848 SKY PARK CIRCLE, SUITE D
IRVINE, CA 92614
(949) 863-1050

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1B - STREET (CRAFTSMAN)
(FRONT)

1B - ALLEY (CRAFTSMAN)
(RIGHT)

1B - REAR (CRAFTSMAN)

1B - LEFT (CRAFTSMAN)

PLAN 1

SCALE: 1/4"=1'-0"

RIVERPOINTE

RIVERSIDE, CA

February 26, 2019

DESIGN DEVELOPMENT ELEVATIONS

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IDEArc ARCHITECTURE

17848 SKY PARK CIRCLE, SUITE D
IRVINE, CA 92614
(949) 863-1050

A03

1C - STREET (FARMHOUSE)
(FRONT)

1C - ALLEY (FARMHOUSE)
(RIGHT)

1C - REAR (FARMHOUSE)

1C - LEFT (FARMHOUSE)

PLAN 1

SCALE: 1/4"=1'-0"

RIVERPOINTE

RIVERSIDE, CA

February 26, 2019

DESIGN DEVELOPMENT ELEVATIONS

A04

IDEArc ARCHITECTURE

17848 SKY PARK CIRCLE, SUITE D
IRVINE, CA 92614
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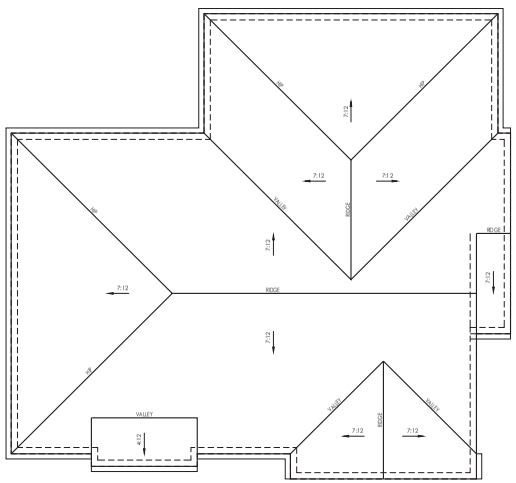
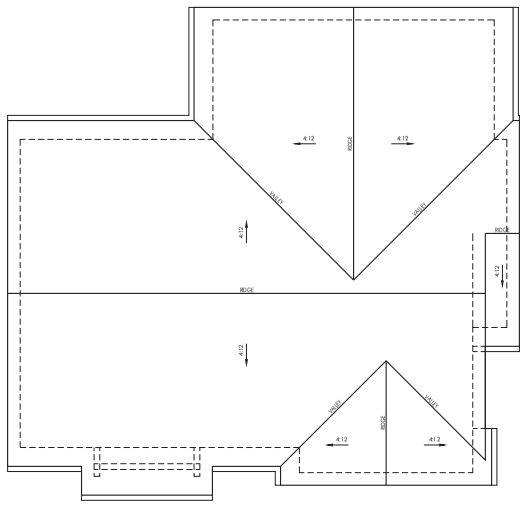
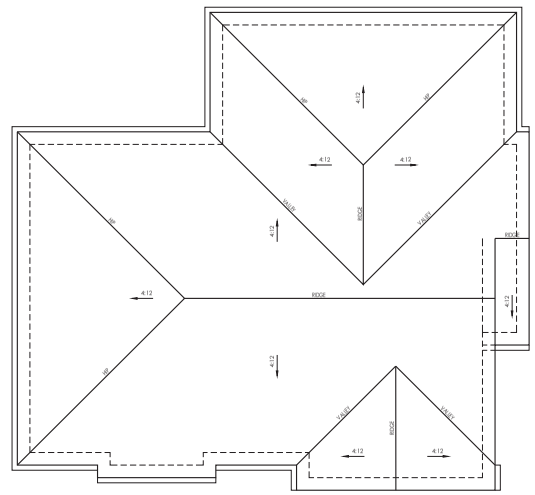


1C - FARMHOUSE



1B - CRAFTSMAN



1A - SPANISH

PLAN 1

SCALE: 1/4" = 1'-0"

RIVERPOINTE

RIVERSIDE, CA

February 26, 2019

DESIGN DEVELOPMENT ROOF PLAN

A05

IDEArc ARCHITECTURE
17848 SKY PARK CIRCLE, SUITE D
IRVINE, CA 92614
(949) 863-6056

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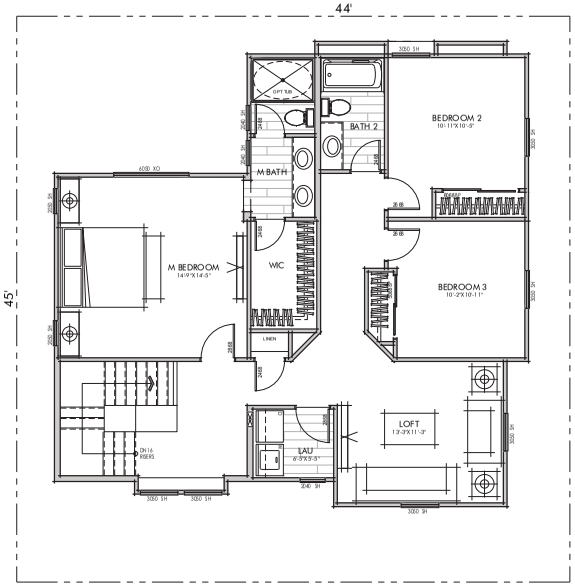
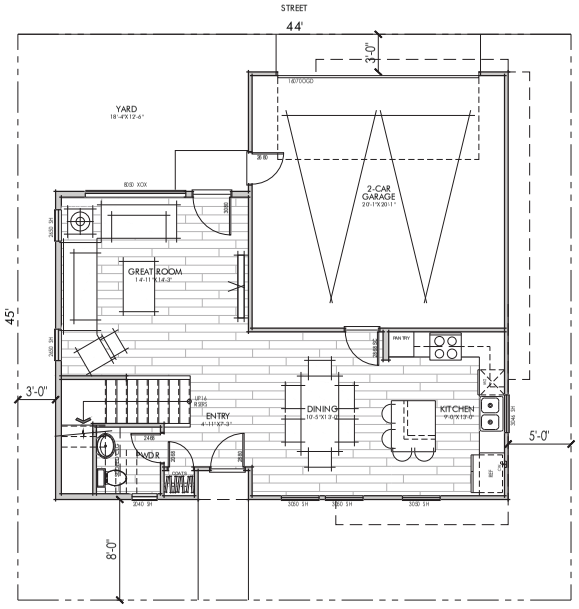
Pacifica Investments



SECOND FLOOR



FIRST FLOOR

Floor Area: Plan 1S

LIVING AREA:

FIRST FLOOR LIVING:	651.3 SQ. FT.
SECOND FLOOR LIVING:	1069.3 SQ. FT.
TOTAL LIVING AREA:	1721 SQ. FT.

OTHER AREAS:

GARAGE:	418 SQ. FT.
COVERED PORCH:	9 SQ. FT.

PLAN 1S
1,721 SQFT
3 BED/2.5 BATH

SCALE: 1/4" = 1'-0"

RIVERPOINTE

RIVERSIDE, CA

February 26, 2019

DESIGN DEVELOPMENT FLOOR PLANS

PASSCO

Pacifica Investments

IDEArc ARCHITECTURE

17848 SKY PARK CIRCLE, SUITE D
IRVINE, CA 92614
(949) 863-6056

A06

1S-A - STREET (SPANISH)
(FRONT)

1S-B - STREET (CRAFTSMAN)
(FRONT)

1S-C - STREET (FARMHOUSE)
(FRONT)

PLAN 1S

SCALE: 1/4"=1'-0"

RIVERPOINTE

RIVERSIDE, CA

February 26, 2019

DESIGN DEVELOPMENT ELEVATIONS

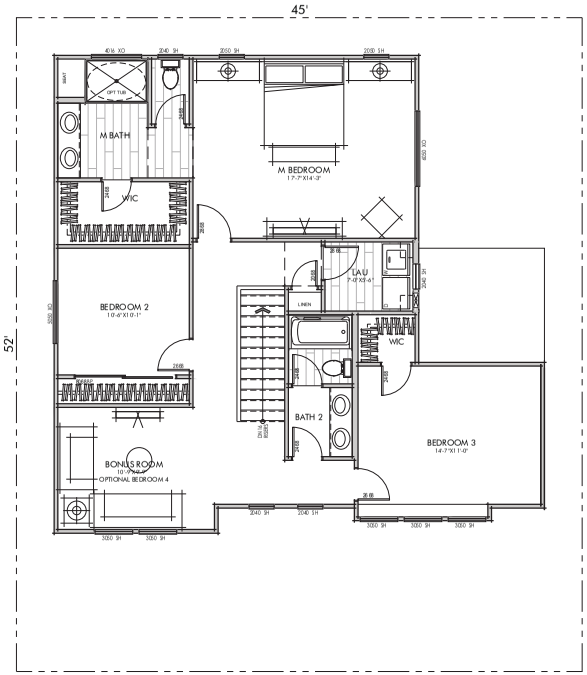
IDEArc ARCHITECTURE

17848 SKY PARK CIRCLE, SUITE D
IRVINE, CA 92614
(949) 474-6056

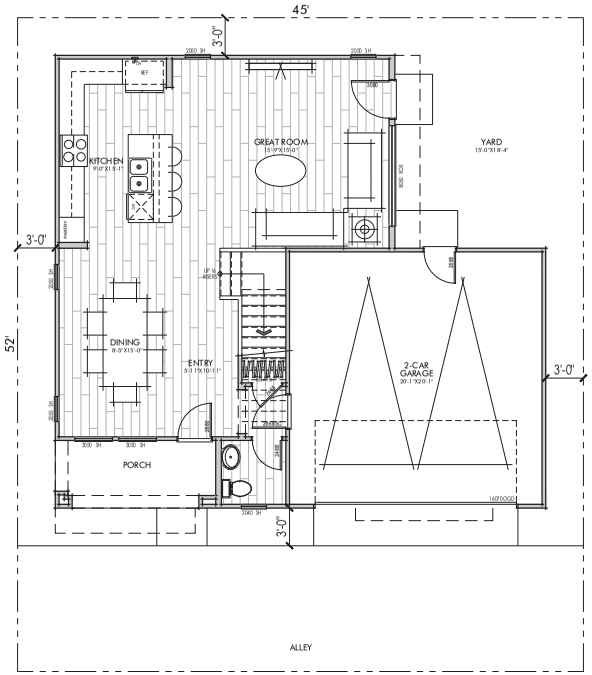
PASSCO

Pacifica Investments

A07



SECOND FLOOR



FIRST FLOOR

Floor Area: Plan 2

LIVING AREA:

FIRST FLOOR LIVING:	732.8 SQ. FT.
SECOND FLOOR LIVING:	1160.1 SQ. FT.
TOTAL LIVING AREA:	1893 SQ. FT.

OTHER AREAS:

GARAGE:	419 SQ. FT.
COVERED PORCH:	69 SQ. FT.

PLAN 2
1,893 SQFT
3 BED/2.5 BATH

SCALE: 1/4" = 1'-0"

RIVERPOINTE

RIVERSIDE, CA

February 26, 2019

DESIGN DEVELOPMENT FLOOR PLANS

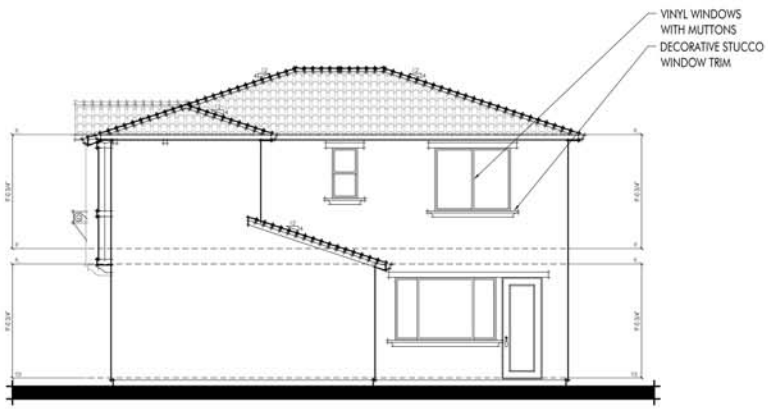
A08

PASSCO

Pacifica Investments

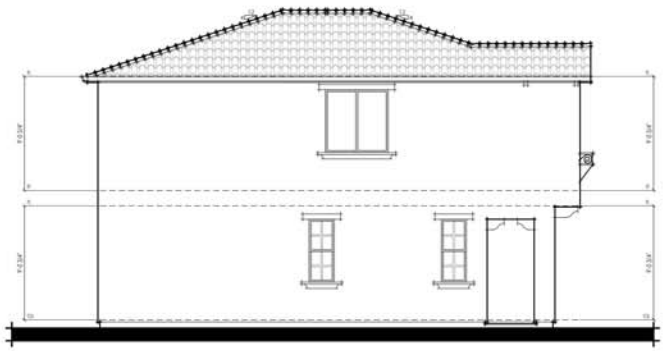
IDEArc ARCHITECTURE
17848 SKY PARK CIRCLE, SUITE D
IRVINE, CA 92614
(949) 863-6056

2A - ALLEY (SPANISH)
(FRONT)



2A - RIGHT (SPANISH)

2A - REAR (SPANISH)



2A - LEFT (SPANISH)

PLAN 2

SCALE: 1/4"=1'-0"

RIVERPOINTE

RIVERSIDE, CA

February 26, 2019

DESIGN DEVELOPMENT ELEVATIONS

PASSCO
Pacifica Investments

IDEArc ARCHITECTURE
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