



4350 La Sierra Avenue

Riverside, CA



Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

17083
10/24/19

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Developer:



Contact: Zoe Kranemann

Business: (909) 204-3462

www.nationalcore.org

National Core

9421 Haven Ave.

Rancho Cucamonga, Ca 91730

Architect:



Contact: Jeff Addison

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Irvine, Ca 92614

Landscape:



Contact: Ryan Skolny

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10221-A Trademark

Rancho Cucamonga, Ca 91730

Civil:



Contact: Richard Reaves

Business: (951) 688-0241

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Adkan Engineers

6879 Airport Drive

Riverside, Ca 92504

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P19-0410, P19-0411, & P19-0412, Exhibit 5 - Project Plans



Site Summary:

Zoning: R-1-7000 Planned Residential Development (Ch. 11.780)
Benchmark Density: 7.3 Dwelling Units per Acre
Site Acreage: 3.74
Site Benchmark Density: 7.3 Du/Ac x 3.74 ac = 27.30 Units

Total Density Bonus for Affordable Component:

Increase of 25% density from benchmark density if 20% of the units in the project are sold to low income households (Ch. 11.545.020 B.1.)
 Benchmark Density plus density bonus: 7.3 Du/Ac + 25% Bonus = 9.125 Du/Ac
 Total Site Density with density bonus: 9.125 Du/Ac x 3.74 Ac = 34.13 Units
 Affordable Units provided: 7 Homes (34 Homes x 20% = 7)

Total Site Area:		3.74 Acres		
Total Homes:		34 (1 and 2 Story)*		
Plan	S.F.	Type	# On site	Percentage
1	1,827	3 Br, 2 Bath	4	12%
2	1,911	4 Br, 2.5 Bath	13	38%
3	1,903	3 Br, 2.5 Bath	8	24%
4	2,173	4-5 Br, 3 Bath, Loft/Opt. Br 5	9	26%
Total			34	100%

Net Density: 9 Homes / Acre
Common Open Space: 34 Homes X 500 S.F. = 17,000 Required
 17,459 Provided
Private Open Space: 34 Homes X 200 S.F. = 6,800 Required
 25,810 Provided
 * Including 7 Affordable Homes, location TBD.

NOTE:
 REFER TO CONCEPTUAL GRADING PLAN AND TENTATIVE TRACT MAP FOR UTILITY EQUIPMENT AND WQMP FACILITIES
 REFER TO CONCEPTUAL LANDSCAPE MASTER PLAN FOR DECORATIVE PAVING AND LOCATIONS

Parking:

Required: Fully Enclosed (Garage) Spaces: 2 Spaces per Home
 Guest Parking: 1 Space per 3 Dwelling Units
 34 Homes x 2 = 68 Garage Spaces Required
 34 Homes x 0.33 = 11.2 = 12 Guest Spaces Required
 80 Total Spaces Required (2.4:1) Overall

Provided: Fully Enclosed: 34 Homes x 2 = 68 Garage Spaces
 Head in Guest 4
 Parallel Guest 13
 85 Total Spaces Provided (2.5:1) Overall



General Notes:
 1. Site plan is for conceptual purposes only.
 2. Site plan must be reviewed by planning, building, and fire departments for code compliance.
 3. Base information per parcel map.
 4. Civil engineering verify all setbacks and grading information.
 5. Building footprints may change due to the final design elevation style.
 6. Open space area is subject to change.
 7. Building setbacks are measured from property lines to building foundation lines.
 8. Fire hydrant foot locations to be determined by civil.
 9. Minimum 1" water meters required by fire.

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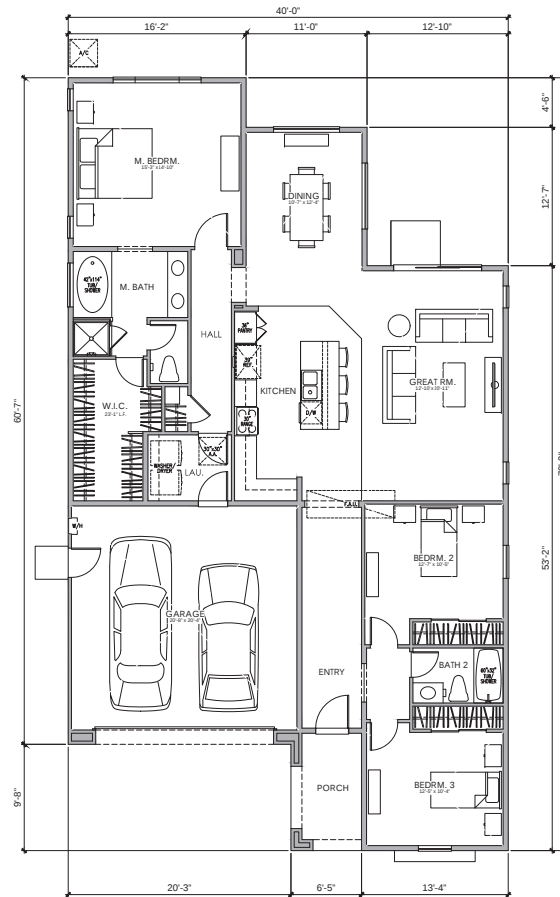
SITE PLAN

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 A-1

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FLOOR PLAN
 PLAN 1 "A"
 3 BEDROOM, 2 BATH

AREA TABULATION	
CONDITIONED SPACE	
FLOOR AREA	1,827 SQ. FT.
TOTAL DWELLING	1,827 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	430 SQ. FT.
PORCH "A"	68 SQ. FT.
PORCH "B"	38 SQ. FT.



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FRONT



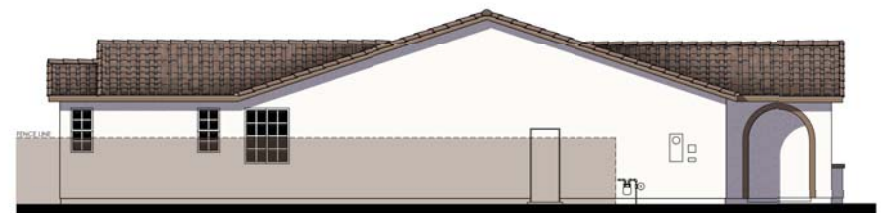
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MATERIALS LEGEND

ROOF:	CONCRETE "S" TILE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
GABLE:	DECORATIVE VENT
WALL:	STUCCO
WINDOWS:	VINYL
TRIM:	STUCCO OVER RIGID FOAM
FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL



REAR



LEFT

COLOR SCHEME 1
PLAN 1 "A"
SPANISH ELEVATION



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FRONT



RIGHT

MATERIALS LEGEND

ROOF: CONCRETE FLAT TILE
 FASCIA: 2x6 WOOD
 BARGE: 2x6 WOOD
 GABLE: BOARD AND BATTENS SIDING
 KNEE BRACES AND OUTLOOKERS
 WALL: STUCCO/ STONE VENEER
 WINDOWS: VINYL WITH DIVIDED LITES
 TRIM: STUCCO OVER RIGID FOAM
 FRONT DOOR: FIBERGLASS
 GARAGE DOOR: METAL SECTIONAL
 SHUTTERS: DECORATIVE FOAM
 WINDOW TRIM SHOWN DASHED SHALL
 OCCUR ON LOTS REQUIRING ENHANCEMENT



REAR



LEFT

COLOR SCHEME 3
 PLAN 1 "B"
 BUNGALOW ELEVATION



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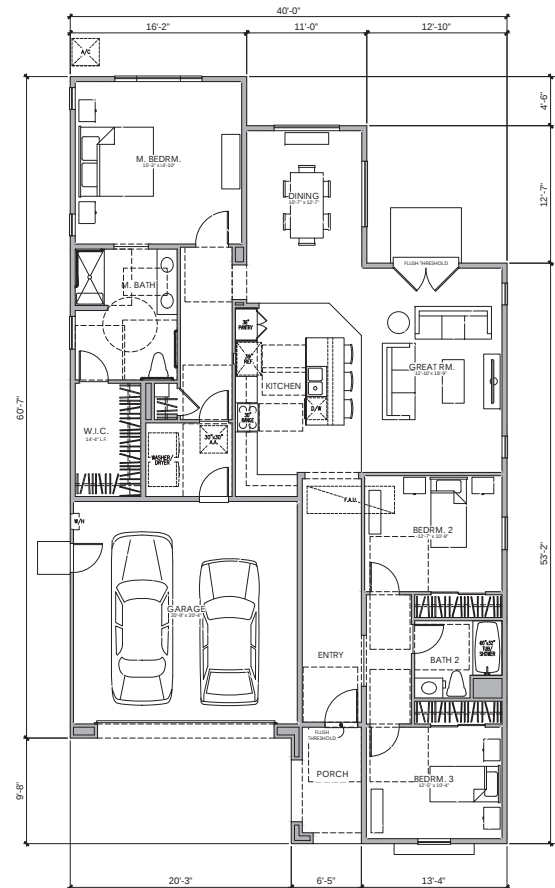
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MOBILITY NOTES

1. ACCESSIBLE POWDER ROOM ON THE MAIN LEVEL (WATER CLOSET IS ACCESSIBLE, LAVATORY IS ACCESSIBLE - NOT A PEDESTAL, DOORWAY IS ACCESSIBLE AND THERE IS TURN-AROUND SPACES)
2. LAUNDRY EQUIPMENT IS ACCESSIBLE. IF IN A ROOM OR CLOSET THE DOORWAYS FOR THE LAUNDRY EQUIPMENT HAS THE APPROACH CLEARANCE (60" ON THE PULL SIDE) FOR THE DOOR. LAUNDRY EQUIPMENT IN THE GARAGE WORKS WELL, BUT THE SLAB FOR THE GARAGE NEEDS TO BE FLUSH WITH THE INTERIOR OF THE HOUSE.
3. KITCHENS SHALL BE DESIGNED WITH:
 - o COUNTERTOPS AT MAXIMUM 34" AFF
 - o ALL ELECTRICAL OUTLETS AND SWITCHES MUST BE WITHIN ACCESSIBLE REACH RANGE (24" MEASURED FROM THE FACE OF THE OBSTRUCTION - COUNTER OR APPLIANCE), SOME OUTLET LOCATIONS MAY NEED TO BE FACE MOUNTED IN THE CABINET
 - o RANGE SHALL BE PLACED SIDE BY SIDE WITH A 30" MINIMUM WIDTH WORK SURFACE.
 - o RANGE HOOD SHALL BE WIRED TO A WALL SWITCH, LOCATE THIS IN FRONT OF THE 30" WORK SURFACE
 - o DISHWASHER MUST BE PLACED SIDE BY SIDE WITH THE KITCHEN SINK (THE OPEN DOOR MAY NOT ENCROACH ON THE CLEAR FLOOR SPACE REQUIRED FOR THE KITCHEN SINK)
 - o KITCHEN SINK AND 30" WORK SURFACE SHALL HAVE A REMOVABLE SINK BASE (OR SHALL BE OPEN)
 - o UPPER CABINETS SHALL BE LOCATED SO THAT THE TOP OF THE LOWER SHELF IS NO HIGHER THAN 46" AFF
 - o 50% OF THE SHELF STORAGE SPACE SHALL BE WITHIN ACCESSIBLE REACH RANGE (15" TO 46"). (D RECOMMEND USING A PANTRY AND MAKING ALL PANTRY SHELVING BETWEEN 15" AND 46" PULL OUT SHELVING. ARCHITECT SHALL PROVIDE A CALCULATION SHOWING HOW THE 50% SHELF STORAGE SHALL BE ACHIEVED.
4. ALL INTERIOR PASSAGE DOORS AT GRADE SHALL BE ACCESSIBLE (32" MINIMUM WIDTH) WITH ACCESSIBLE APPROACHES (18" STRIKE SIDE CLEARANCE ON THE PULL EXTENDING 60" FROM THE FACE OF THE DOOR).
5. PATIO DOORS SHALL HAVE ADA COMPLIANT THRESHOLDS (SLIDING DOOR THRESHOLDS DO NOT WORK).
6. MAIN ENTRY DOORS AND PATIO DOORS SHALL BE SLOPED NO GREATER THAN 2%
7. MAIN ENTRY DOORS SHALL CONNECT TO THE EXTERIOR PATH OF TRAVEL, ALL SITE AMENITIES, AND THE PUBLIC WAY.

PLAN 1X MAY OCCUR AT LOT 31



FLOOR PLAN
PLAN 1X "A"
3 BEDROOM, 2 BATH

AREA TABULATION

CONDITIONED SPACE	
FLOOR AREA	1,827 SQ. FT.
TOTAL DWELLING	1,827 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	430 SQ. FT.
PORCH	68 SQ. FT.



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PLAN 1X MAY OCCUR AT LOT 31

FRONT



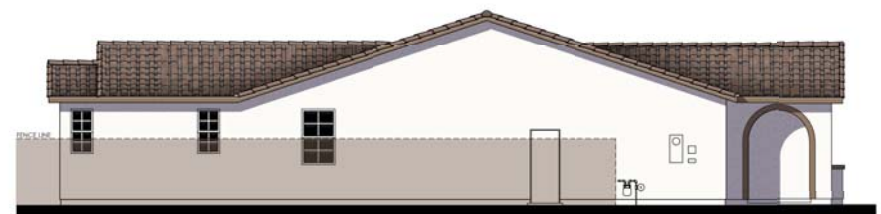
RIGHT

MATERIALS LEGEND

ROOF: CONCRETE "S" TILE
FASCIA: 2x6 WOOD
BARGE: 2x6 WOOD
GABLE: DECORATIVE VENT
WALL: STUCCO
WINDOWS: VINYL
TRIM: STUCCO OVER RIGID FOAM
FRONT DOOR: FIBERGLASS
GARAGE DOOR: METAL SECTIONAL



REAR



LEFT

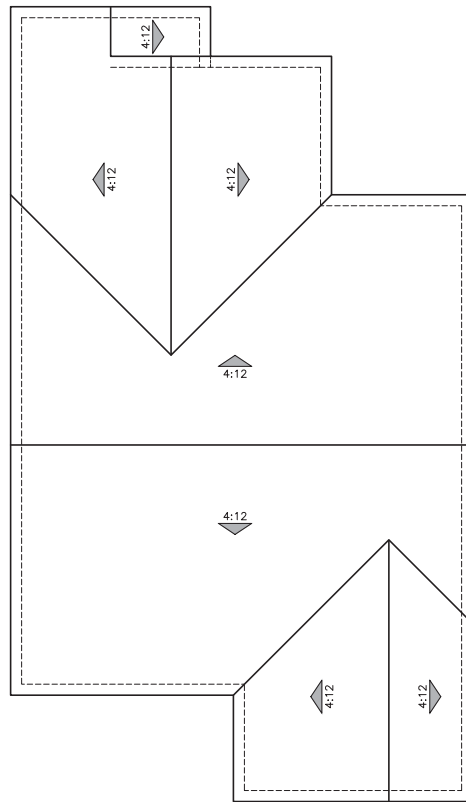
COLOR SCHEME 1
PLAN 1X "A"
SPANISH ELEVATION



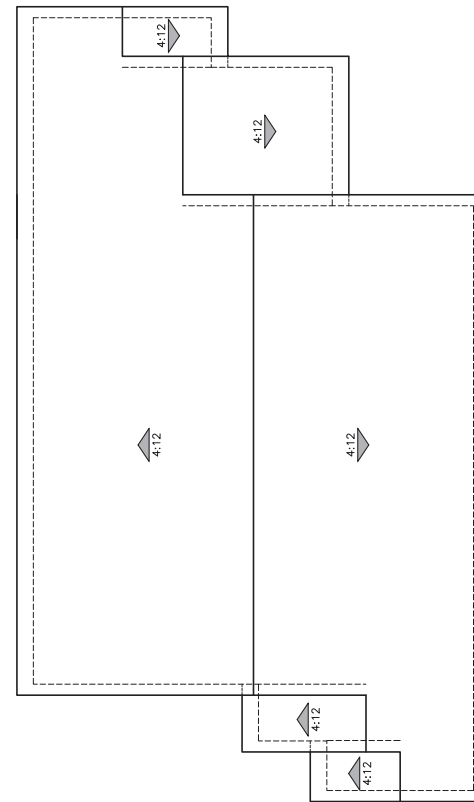
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"A" - SPANISH



"B" - BUNGALOW

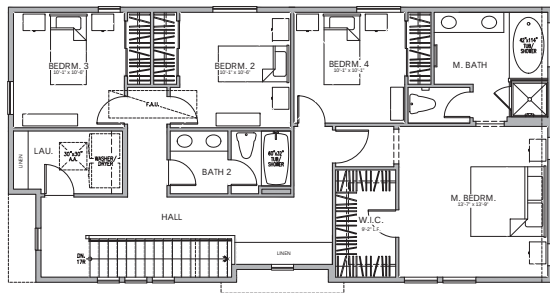
ROOF PLANS
PLAN 1
3 BEDROOM, 2 BATH



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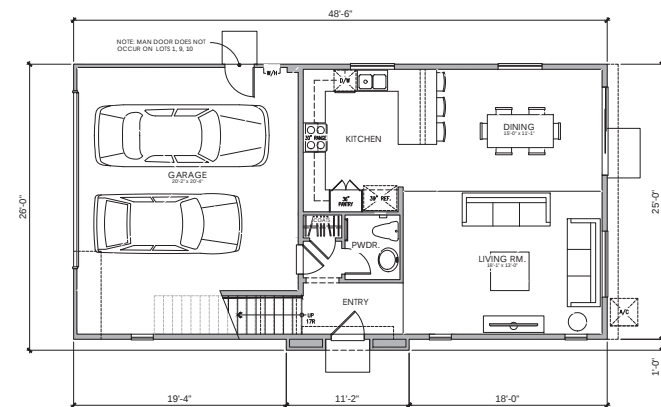
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SECOND FLOOR PLAN

FLOOR PLAN
PLAN 2 "A"
4 BEDROOM, 2.5 BATH



FIRST FLOOR PLAN

AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR AREA	717 SQ. FT.
SECOND FLOOR AREA	1,194 SQ. FT.
TOTAL DWELLING	1,911 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	495 SQ. FT.



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FRONT



RIGHT

MATERIALS LEGEND

ROOF: CONCRETE "S" TILE
 FASCIA: 2x6 WOOD
 BARGE: 2x6 WOOD
 GABLE: DECORATIVE VENT
 WALL: STUCCO
 WINDOWS: VINYL
 TRIM: STUCCO OVER RIGID FOAM
 FRONT DOOR: FIBERGLASS
 GARAGE DOOR: METAL SECTIONAL



REAR



LEFT

COLOR SCHEME 2
 PLAN 2 "A"
 SPANISH ELEVATION

0 2 4 8 12



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RIGHT

2-A2

COLOR SCHEME 2
PLAN 2 "A"
 SPANISH ENHANCED ELEVATION

2-A2



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FRONT



RIGHT



REAR

MATERIALS LEGEND

ROOF: CONCRETE FLAT TILE
 FASCIA: 2x6 WOOD
 BARGE: 2x6 WOOD
 GABLE: BOARD AND BATTENS SIDING
 KNEE BRACES AND OUTLOOKERS
 WALL: STUCCO/ STONE VENEER
 WINDOWS: VINYL WITH DIVIDED LITES
 TRIM: STUCCO OVER RIGID FOAM
 FRONT DOOR: FIBERGLASS
 GARAGE DOOR: METAL SECTIONAL
 SHUTTERS: DECORATIVE FOAM
 WINDOW TRIM SHOWN DASHED SHALL
 OCCUR ON LOTS REQUIRING ENHANCEMENT



LEFT

COLOR SCHEME 4 PLAN 2 "B" BUNGALOW ELEVATION



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RIGHT

COLOR SCHEME 4
 PLAN 2 "B"
 BUNGALOW ENHANCED ELEVATION



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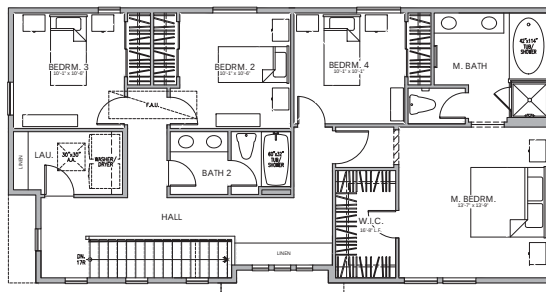
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MOBILITY NOTES

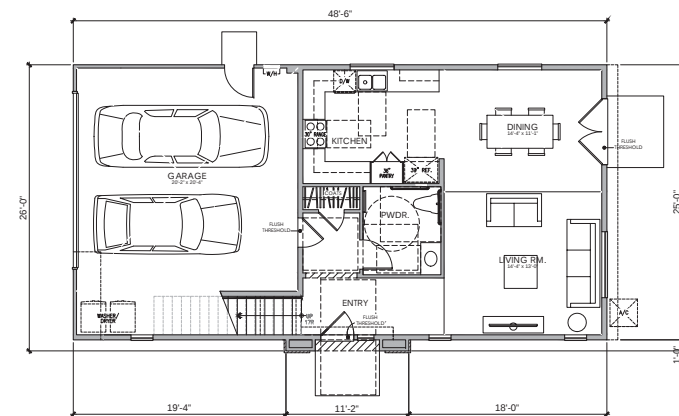
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3. KITCHENS SHALL BE DESIGNED WITH:
 - o COUNTERTOPS AT MAXIMUM 34" AFF
 - o ALL ELECTRICAL OUTLETS AND SWITCHES MUST BE WITHIN ACCESSIBLE REACH RANGE (24" MEASURED FROM THE FACE OF THE OBSTRUCTION - COUNTER OR APPLIANCE), SOME OUTLET LOCATIONS MAY NEED TO BE FACE MOUNTED IN THE CABINET
 - o RANGE SHALL BE PLACED SIDE BY SIDE WITH A 30" MINIMUM WIDTH WORK SURFACE.
 - o RANGE HOOD SHALL BE WIRED TO A WALL SWITCH, LOCATE THIS IN FRONT OF THE 30" WORK SURFACE
 - o DISHWASHER MUST BE PLACED SIDE BY SIDE WITH THE KITCHEN SINK (THE OPEN DOOR MAY NOT ENCROACH ON THE CLEAR FLOOR SPACE REQUIRED FOR THE KITCHEN SINK)
 - o KITCHEN SINK AND 30" WORK SURFACE SHALL HAVE A REMOVABLE SINK BASE (OR SHALL BE OPEN)
 - o UPPER CABINETS SHALL BE LOCATED SO THAT THE TOP OF THE LOWER SHELF IS NO HIGHER THAN 48" AFF
 - o 50% OF THE SHELF STORAGE SPACE SHALL BE WITHIN ACCESSIBLE REACH RANGE (15" TO 48"), TO RECOMMEND USING A PANTRY AND MAKING ALL PANTRY SHELVING BETWEEN 15" AND 48" PULL OUT SHELVING. ARCHITECT SHALL PROVIDE A CALCULATION SHOWING HOW THE 50% SHELF STORAGE SHALL BE ACHIEVED.
4. ALL INTERIOR PASSAGE DOORS AT GRADE SHALL BE ACCESSIBLE (32" MINIMUM WIDTH) WITH ACCESSIBLE APPROACHES (18" STRIKE SIDE CLEARANCE ON THE PULL EXTENDING 60" FROM THE FACE OF THE DOOR).
5. PATIO DOORS SHALL HAVE ADA COMPLIANT THRESHOLDS (SLIDING DOOR THRESHOLDS DO NOT WORK).
6. MAIN ENTRY DOORS AND PATIO DOORS SHALL BE SLOPED NO GREATER THAN 2%
7. MAIN ENTRY DOORS SHALL CONNECT TO THE EXTERIOR PATH OF TRAVEL, ALL SITE AMENITIES, AND THE PUBLIC WAY.

PLAN 2X MAY OCCUR AT LOT 19



SECOND FLOOR PLAN

FLOOR PLAN
PLAN 2X "B"
4 BEDROOM, 2.5 BATH



FIRST FLOOR PLAN

AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR AREA	717 SQ. FT.
SECOND FLOOR AREA	1,194 SQ. FT.
TOTAL DWELLING	1,911 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	495 SQ. FT.



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PLAN 2X MAY OCCUR AT LOT 19

FRONT



RIGHT



REAR

MATERIALS LEGEND

ROOF: CONCRETE FLAT TILE
FASCIA: 2x6 WOOD
BARGE: 2x6 WOOD
GABLE: BOARD AND BATTENS SIDING
KNEE BRACES AND OUTLOOKERS
WALL: STUCCO/STONE VENEER
WINDOWS: VINYL WITH DIVIDED LITES
TRIM: STUCCO OVER RIGID FOAM
FRONT DOOR: FIBERGLASS
GARAGE DOOR: METAL SECTIONAL
SHUTTERS: DECORATIVE FOAM
WINDOW TRIM SHOWN DASHED SHALL
OCCUR ON LOTS REQUIRING ENHANCEMENT



LEFT

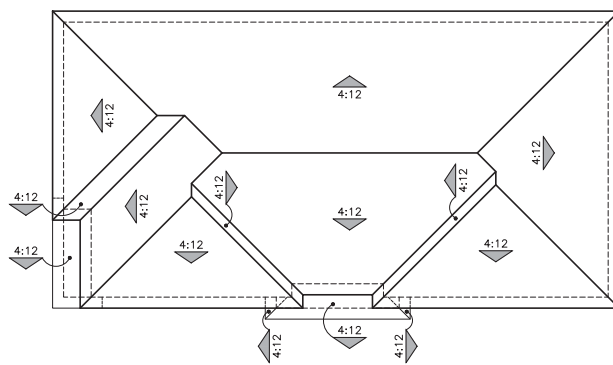
COLOR SCHEME 4
PLAN 2X "B"
BUNGALOW ELEVATION



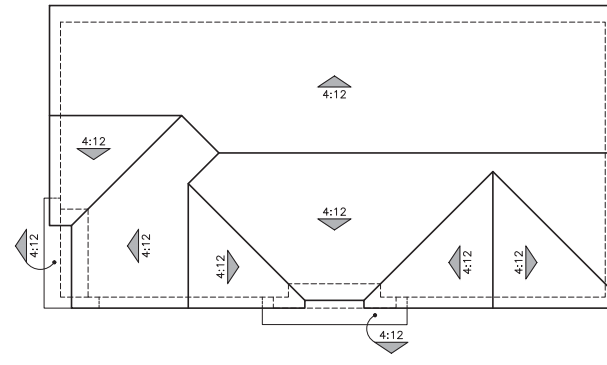
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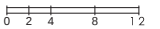


"A" - SPANISH



"B" - BUNGALOW

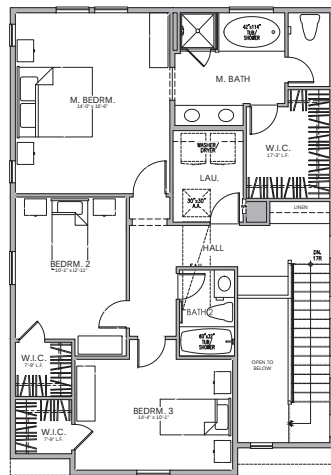
ROOF PLANS
PLAN 2
4 BEDROOM, 2.5 BATH



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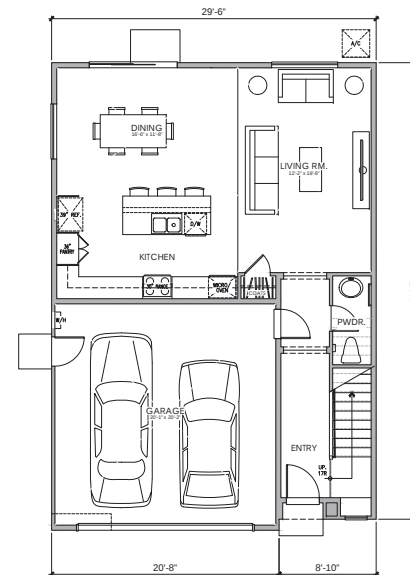
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SECOND FLOOR PLAN

FLOOR PLAN
PLAN 3 "A"
3 BEDROOM, 2.5 BATH



FIRST FLOOR PLAN

AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR AREA	812 SQ. FT.
SECOND FLOOR AREA	1,091 SQ. FT.
TOTAL DWELLING	1,903 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	420 SQ. FT.



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FRONT



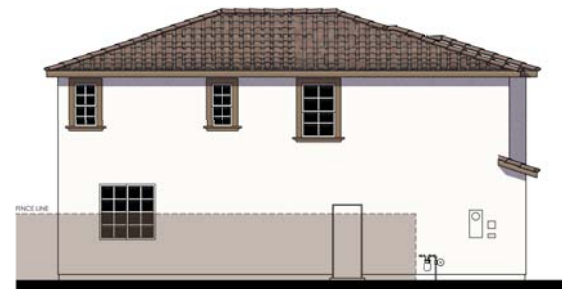
RIGHT

MATERIALS LEGEND

ROOF:	CONCRETE "S" TILE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
GABLE:	DECORATIVE VENT
WALL:	STUCCO
WINDOWS:	VINYL
TRIM:	STUCCO OVER RIGID FOAM
FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL



REAR



LEFT

COLOR SCHEME 1
PLAN 3 "A"
SPANISH ELEVATION



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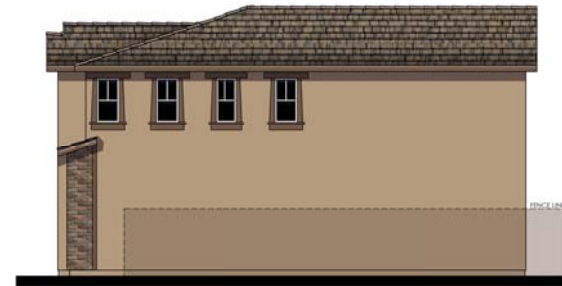
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FRONT



RIGHT



REAR

MATERIALS LEGEND

ROOF: CONCRETE FLAT TILE
 FASCIA: 2x6 WOOD
 BARGE: 2x6 WOOD
 GABLE: BOARD AND BATTENS SIDING
 KNEE BRACES AND OUTLOOKERS
 WALL: STUCCO/ STONE VENEER
 WINDOWS: VINYL WITH DIVIDED LITES
 TRIM: STUCCO OVER RIGID FOAM
 FRONT DOOR: FIBERGLASS
 GARAGE DOOR: METAL SECTIONAL
 SHUTTERS: DECORATIVE FOAM
 WINDOW TRIM SHOWN DASHED SHALL
 OCCUR ON LOTS REQUIRING ENHANCEMENT



LEFT

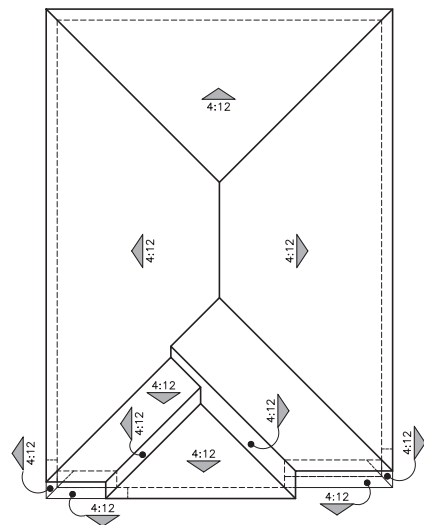
COLOR SCHEME 3 PLAN 3 "B" BUNGALOW ELEVATION



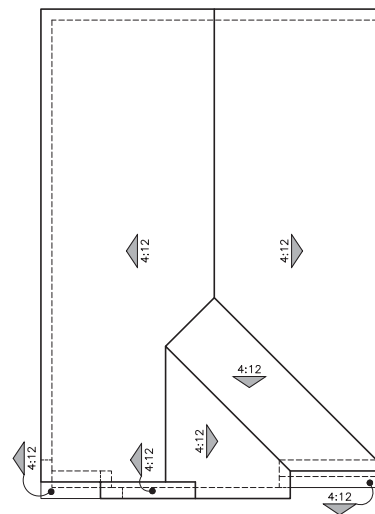
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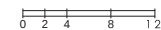


"A" - SPANISH



"B" - BUNGALOW

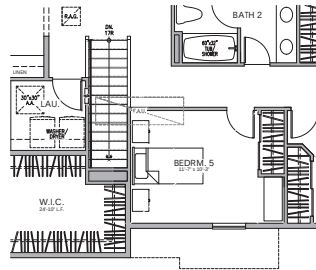
ROOF PLANS
PLAN 3
3 BEDROOM, 2.5 BATH



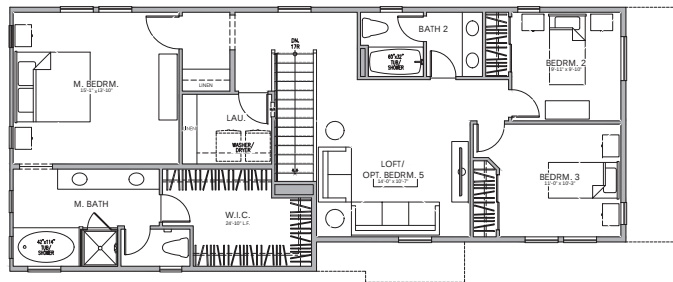
4350 La Sierra Avenue
Riverside, CA

#17083
10/24/19
A-19

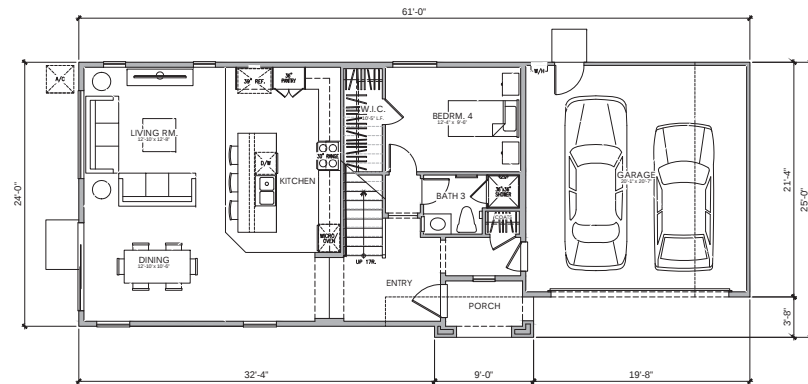
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OPT. BEDRM. 5 AT LOFT



SECOND FLOOR PLAN



FIRST FLOOR PLAN

AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR AREA	945 SQ. FT.
SECOND FLOOR AREA	1,228 SQ. FT.
TOTAL DWELLING	2,173 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	435 SQ. FT.
PORCH	41 SQ. FT.



FLOOR PLAN
PLAN 4 "A"
4 BEDROOM, 3 BATH, LOFT OR BEDRM. 5

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Refer to landscape drawings for wall, tree and shrub locations

FRONT

MATERIALS LEGEND

ROOF: CONCRETE "S" TILE
 FASCIA: 2x6 WOOD
 BARGE: 2x6 WOOD
 GABLE: DECORATIVE VENT
 WALL: STUCCO
 WINDOWS: VINYL
 TRIM: STUCCO OVER RIGID FOAM
 FRONT DOOR: FIBERGLASS
 GARAGE DOOR: METAL SECTIONAL



RIGHT



REAR

COLOR SCHEME 2
 PLAN 4 "A"
 SPANISH ELEVATION



LEFT

0 2 4 8 12



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REAR

COLOR SCHEME 2
PLAN 4 "A"
 SPANISH ENHANCED ELEVATION



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Refer to landscape drawings for wall, tree and shrub locations

FRONT



RIGHT

MATERIALS LEGEND

ROOF: CONCRETE FLAT TILE
 FASCIA: 2x6 WOOD
 BARGE: 2x6 WOOD
 GABLE: BOARD AND BATTENS SIDING
 KNEE BRACES AND OUTLOOKERS
 WALL: STUCCO/ STONE VENEER
 WINDOWS: VINYL WITH DIVIDED LITES
 TRIM: STUCCO OVER RIGID FOAM
 FRONT DOOR: FIBERGLASS
 GARAGE DOOR: METAL SECTIONAL
 SHUTTERS: DECORATIVE FOAM
 WINDOW TRIM SHOWN DASHED SHALL
 OCCUR ON LOTS REQUIRING ENHANCEMENT



REAR



LEFT

COLOR SCHEME 3
PLAN 4 "B"
 BUNGALOW ELEVATION



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REAR

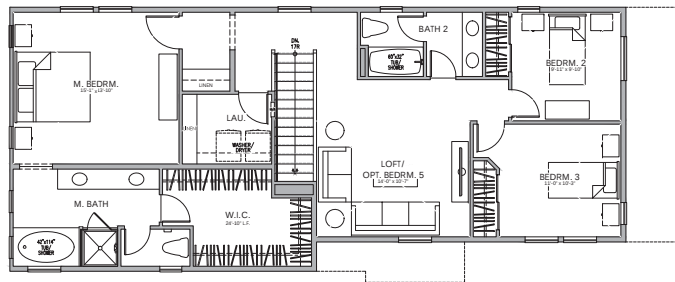
COLOR SCHEME 3
 PLAN 4 "B"
 BUNGALOW ENHANCED ELEVATION



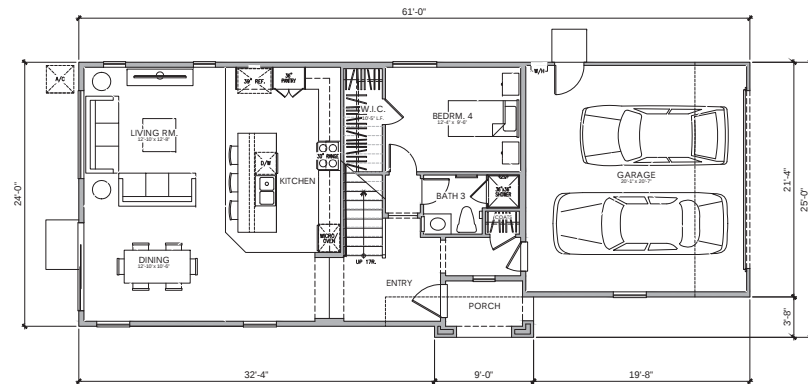
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SECOND FLOOR PLAN



FIRST FLOOR PLAN

FLOOR PLAN
PLAN 4X "A"
4 BEDROOM, 3 BATH, LOFT OR BEDRM. 5

AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR AREA	945 SQ. FT.
SECOND FLOOR AREA	1,228 SQ. FT.
TOTAL DWELLING	2,173 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	435 SQ. FT.
PORCH	41 SQ. FT.



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Refer to landscape drawings for wall, tree, and shrub locations
PLAN 4X "A" OCCURS AT LOT 24

FRONT



RIGHT

MATERIALS LEGEND

ROOF:	CONCRETE "S" TILE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
GABLE:	DECORATIVE VENT
WALL:	STUCCO
WINDOWS:	VINYL
TRIM:	STUCCO OVER RIGID FOAM
FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL



REAR



LEFT

COLOR SCHEME 2
PLAN 4X "A"
SPANISH ELEVATION



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Refer to landscape drawings for wall, tree, and shrub locations
PLAN 4X "B" OCCURS AT LOT 25

FRONT



RIGHT

MATERIALS LEGEND

ROOF: CONCRETE FLAT TILE
FASCIA: 2x6 WOOD
BARGE: 2x6 WOOD
GABLE: BOARD AND BATTENS SIDING
KNEE BRACES AND OUTLOOKERS
WALL: STUCCO/ STONE VENEER
WINDOWS: VINYL WITH DIVIDED LITES
TRIM: STUCCO OVER RIGID FOAM
FRONT DOOR: FIBERGLASS
GARAGE DOOR: METAL SECTIONAL
SHUTTERS: DECORATIVE FOAM
WINDOW TRIM SHOWN DASHED SHALL
OCCUR ON LOTS REQUIRING ENHANCEMENT



REAR



LEFT

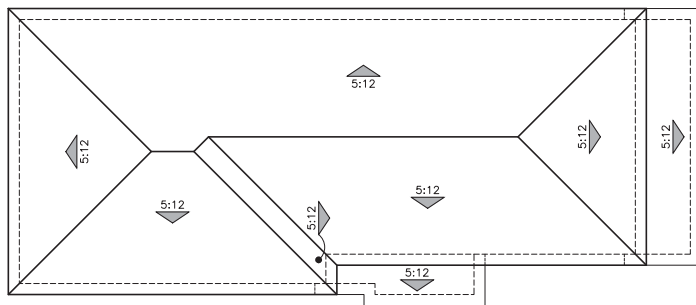
COLOR SCHEME 3
PLAN 4X "B"
BUNGALOW ELEVATION



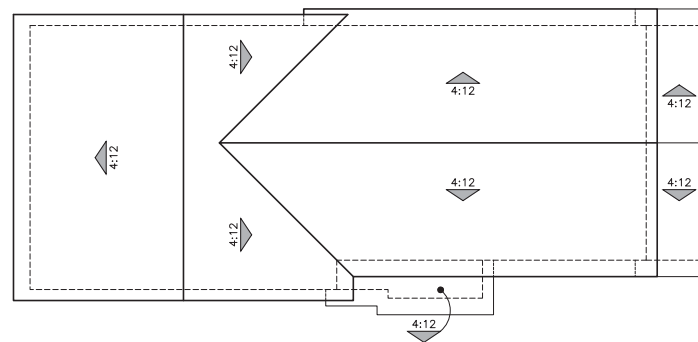
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A-27

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"A" - SPANISH



"B" - BUNGALOW

ROOF PLANS

PLAN 4

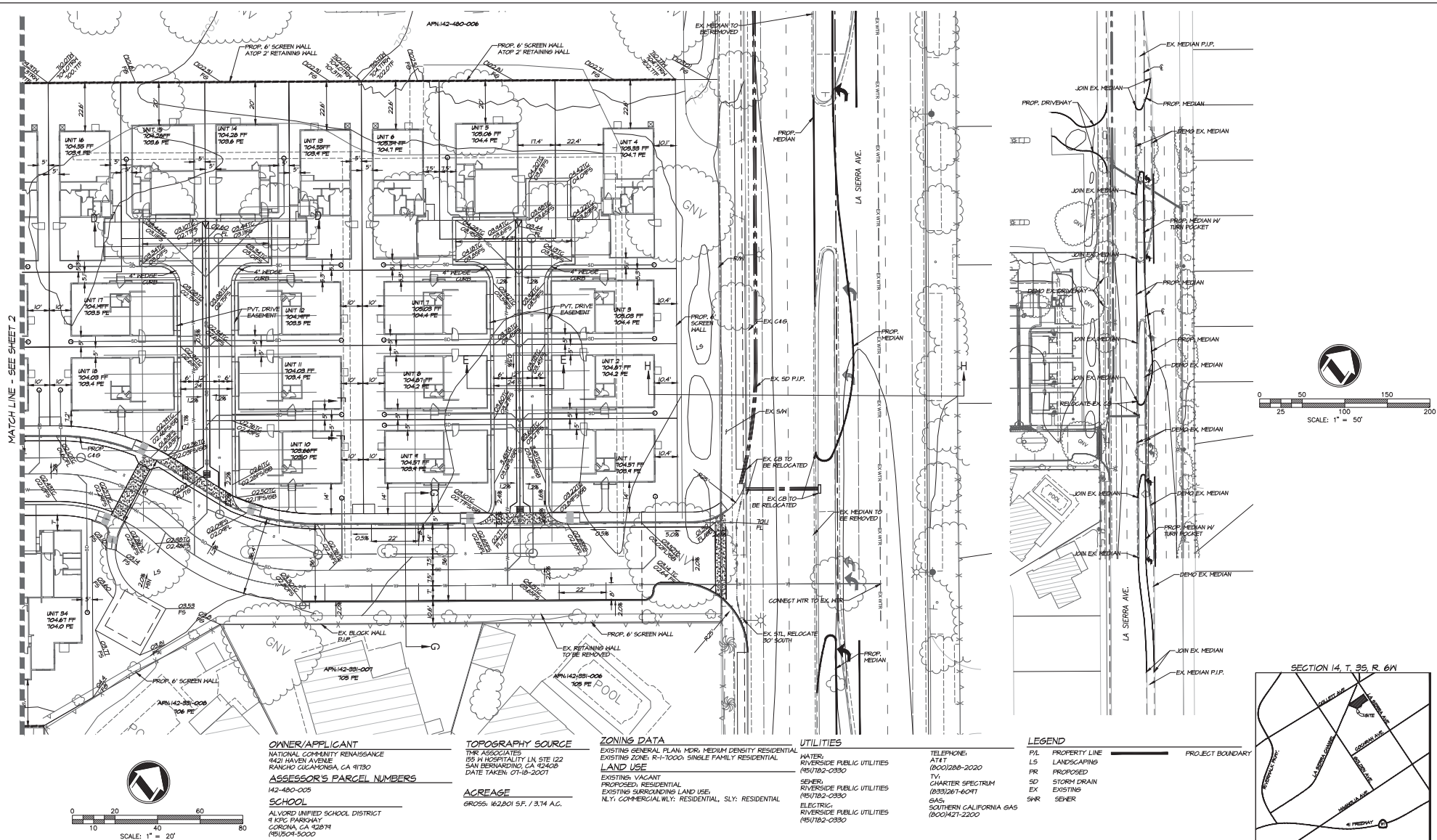
4 BEDROOM, 3 BATH, LOFT OR BEDRM. 5



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LA SIERRA SFR

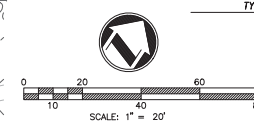
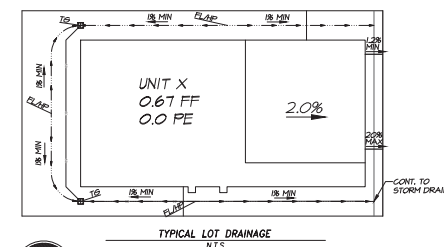
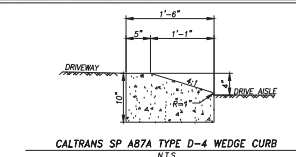
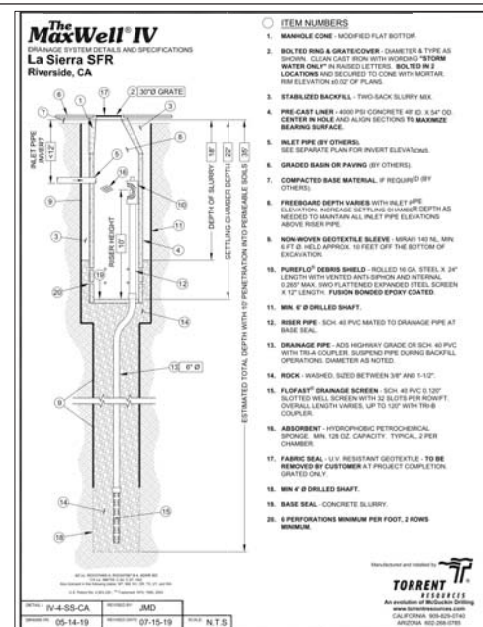
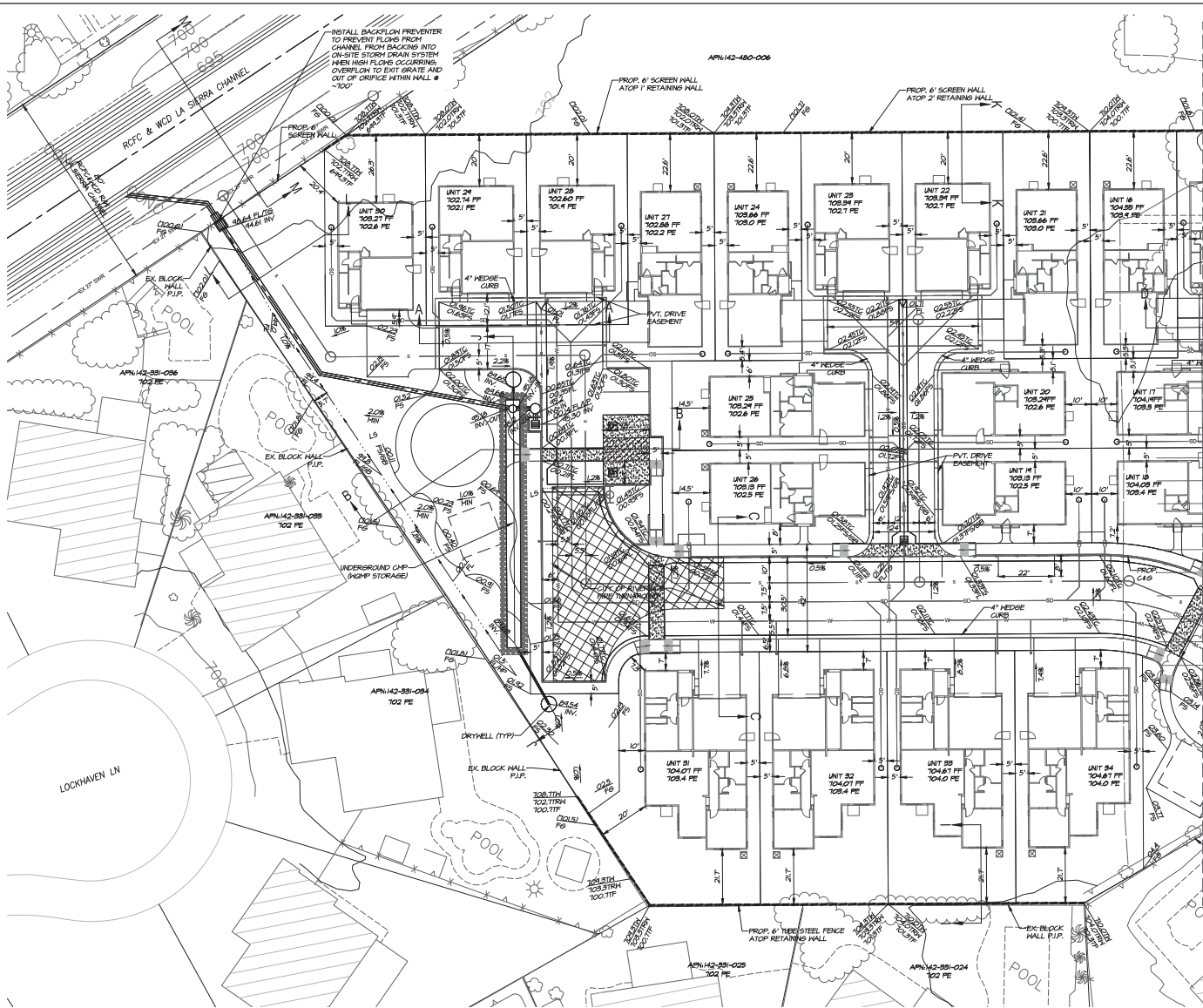
RIVERSIDE, CA

CONCEPTUAL GRADING PLAN

NATIONAL COMMUNITY RENAISSANCE
9421 HAVEN AVENUE RANCHO CUCAMONGA, CA 91730

SHEET 1 OF 3

P19-0410, P19-0411, & P19-0412, Exhibit 5 - Project Plans



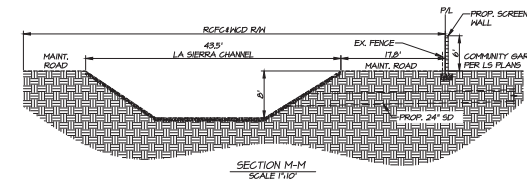
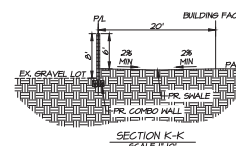
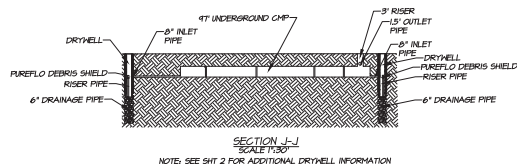
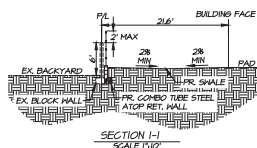
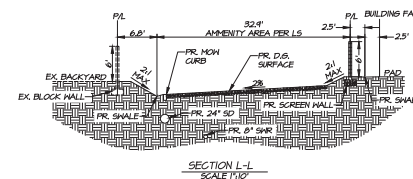
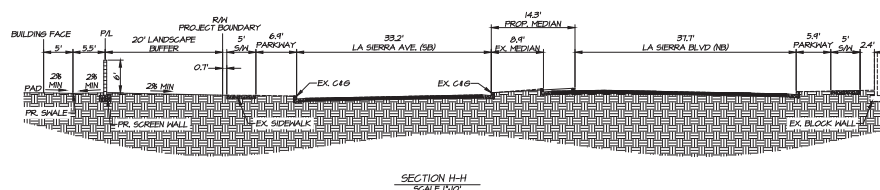
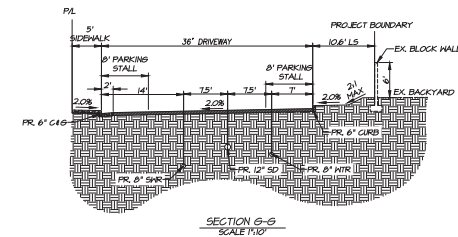
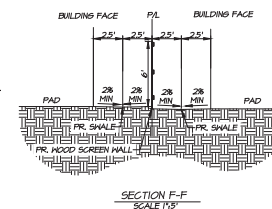
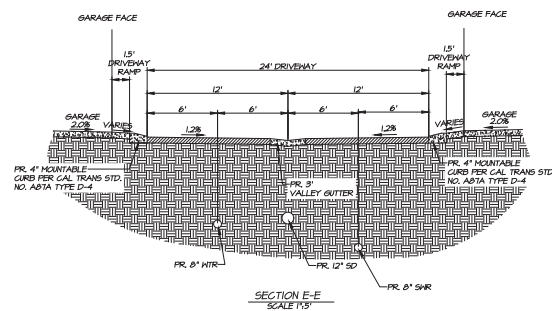
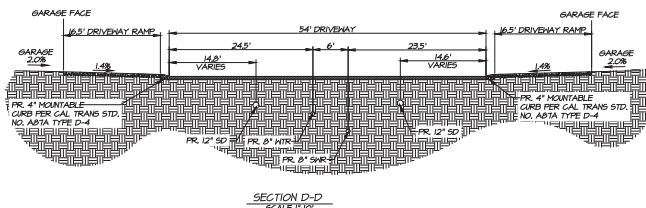
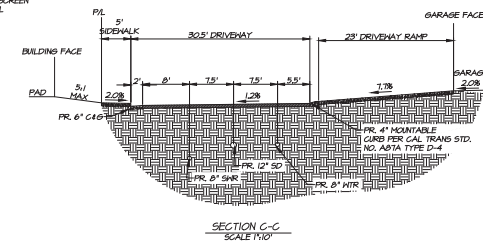
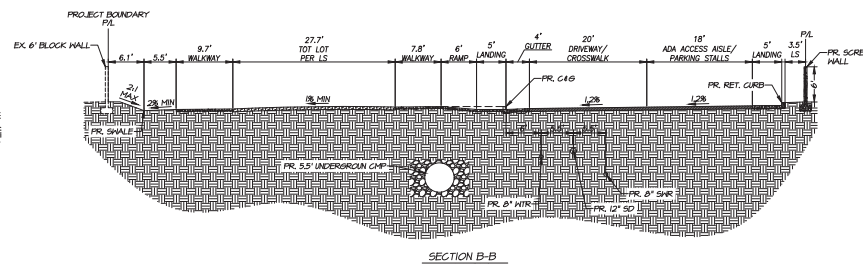
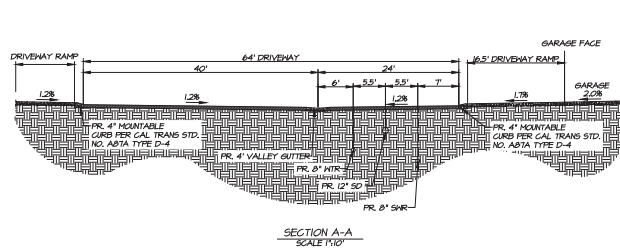
LA SIERRA SFR
NATIONAL COMMUNITY RENAISSANCE
 9421 HAVEN AVENUE RANCHO CUCAMONGA, CA 91730

RIVERSIDE, CA

CONCEPTUAL GRADING PLAN

SHEET 2 OF 3

PLANS PREPARED BY
adkan
ENGINEERS
 Civil Engineering • Surveying • Planning
 6975 Airport Drive, Riverside, CA 92504
 Tel: (951) 688-0241 Fax: (951) 688-0599
 FOR NATIONAL COMMUNITY RENAISSANCE
 SCALE: AS NOTED DATE: 7/20/19



LA SIERRA SFR

RIVERSIDE, CA

NATIONAL COMMUNITY RENAISSANCE
9421 HAVEN AVENUE RANCHO CUCAMONGA, CA 91730

CROSS SECTIONS

SHEET 3 OF 3

PLANS PREPARED BY:
adkan
ENGINEERS
Civil Engineering • Surveying • Planning
6879 Airport Drive, Riverside, CA 92504
Tel:(951) 688-0241•Fax:(951) 688-0599

FOR: NATIONAL COMMUNITY RENAISSANCE	W.O. 954
SCALE: AS NOTED	DATE: 7/2

TENTATIVE TRACT MAP 37754

IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

OWNER/APPLICANT NATIONAL COMMUNITY RENAISSANCE 9421 WINDY AVENUE RIVERSIDE, CA 92504 (951) 688-0241	CIVIL ENGINEER adkan 6871 ARBENT DRIVE RIVERSIDE, CA 92504 (951) 688-0241	ASSESSORS PARCEL NUMBERS 142-480-005
--	---	--

LEGAL DESCRIPTION
REAL PROPERTY IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

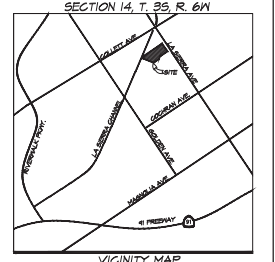
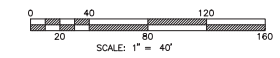
TENTATIVE TRACT SUMMARY	UTILITY PURVEYORS
TOTAL AREA GROSS (ACRES) 3.74	WATER: CITY OF RIVERSIDE
EXISTING ZONING: R-1-10000	SEWER: CITY OF RIVERSIDE
EXISTING LAND USE: 645	SOCIAL GAS: SOUTHERN CALIFORNIA EDISON
PROPOSED LAND USE: 3372 SF	ELECTRICITY: ALVORD UNITED SCHOOL DISTRICT
MINIMUM LOT SIZE: 3363 SF	
AVERAGE LOT SIZE: 1200 AC	
PROPOSED DENSITY PER GROSS ACREAGE: 34	
NO. OF RESIDENTIAL LOTS: 84	
ZONING OF SUBDIVISION PROPERTY: R-1-10000	
LAND USE OF SUBDIVISION PROPERTY: 9 EPC PARKWAY	
AVERAGE NATURAL SLOPE: 0.2%	

SITE SUMMARY
ZONING: R-1-10000 PLANNED RESIDENTIAL DEVELOPMENT (CAL. R-10)
BENCHMARK DENSITY: 13 DENS/UNIT PER ACRE
SITE ACREAGE: 3.74 ACRES
SITE BENCHMARK DENSITY: 13 DENS/AC X 3.74 AC = 21.50 UNITS
TOTAL DENSITY BONUS FOR AFFORDABLE COMPONENT: INCREASE AT 25% DENSITY FROM BENCHMARK DENSITY IF 20% OF THE UNITS IN THE PROJECT ARE SOLD TO LOW INCOME HOMEOWNERS (CAL. HB 6000) BU
BENCHMARK DENSITY PLUS DENSITY BONUS: 13 DENS/AC + 25% BONUS = 4125 DENS/AC
TOTAL SITE DENSITY WITH DENSITY BONUS: 4125 DENS/AC X 3.74 AC = 341 UNITS
AFFORDABLE UNITS PROVIDED: 7 HOMES (34 HOMES X 21% = 7)

- PROJECT NOTES**
- ALL IMPROVEMENTS SHALL BE PER SCHEDULE "A" SUBDIVISION ORDINANCE 460.
 - THOMAS BROS. GUIDE PAGE 74 D1 ET.
 - ALL LOT SLOPES SHALL BE 2:1 RATIO AND FILL SLOPES 2:1, UNLESS OTHERWISE NOTED.
 - SETBACKS OF SLOPES TO PROPERTY LINES SHALL CONFORM TO THE CITY OF RIVERSIDE MUNICIPAL CODE AND ANY VARIANCES APPROVED AND LISTED IN THE PROJECT SPECIFIC CONDITIONS OF APPROVAL.
 - ALL WATER QUALITY FOR THIS TRACT IS BEING MITIGATED BY ON-SITE INFILTRATION BMPs AND OFF-SITE BMPs.
 - THIS TENTATIVE MAP INCLUDES THE ENTIRE CONTIGUOUS OWNERSHIP OF THE LAND DIVIDER.
 - PROPERTY IS IN A HIGH FLOODPLAIN.
 - PROPERTY IS IN A HIGH LIQUEFACTION AREA.
 - PROPERTY IS IN A SEISMICALLY ACTIVE AREA.
 - PROPERTY CONTAINS NO KNOWN HILLS.
 - PROPERTY IS NOT IN A FAULT ZONE.
 - PROPERTY IS NOT ON A PAUL T. ZONE.
 - PROPERTY IS NOT IN A FIRE HAZARD ZONE.
 - SANITARY SEWER SYSTEM PROPOSED FOR PROJECT SITE.
 - SETBACKS TO ALL SITE BOUNDARIES SHALL COMPLY WITH THE CITY OF RIVERSIDE MUNICIPAL CODE AND ANY VARIANCES APPROVED AND LISTED IN THE PROJECT SPECIFIC CONDITIONS OF APPROVAL.

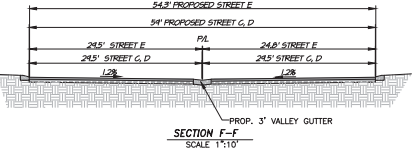
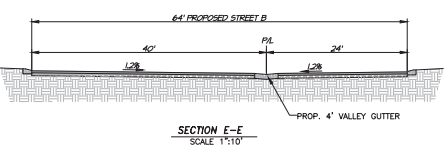
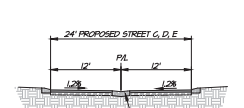
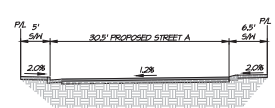
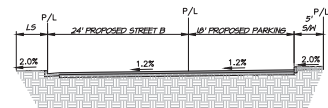
EASEMENT NOTES:

LEGEND	
TRACT BOUNDARY	CL = CENTER LINE
LOT LINE	PL = PROPERTY LINE
CENTER LINE	R/W = RIGHT OF WAY
FLON DIRECTION	O/S = OPEN SPACE
	N.A.P. = NOT A PART
	PROPOSED
	SD = STORM DRAIN
	SWR = SEWER
	NTR = WATER



LOT SUMMARY TABLE			
LOT NO.	Area (SF)	LOT NO.	Area (SF)
1	3228	18	3321
2	2588	19	2120
3	2610	20	3200
4	5266	21	3022
5	4043	22	2844
6	3771	23	2844
7	2544	24	3021
8	2512	25	3184
9	3238	26	3348
10	2470	27	3164
11	2512	28	2448
12	3204	29	2444
13	3016	30	2425
14	2844	31	4471
15	2844	32	4471
16	3022	33	4441
17	3200	34	4774
TOTAL NET		14094	
		2.8 ACRES	

O.S. LOT SIZES	
LOT NO.	LOT SIZE (SF)
35	10710
36	5822
37	4041
PRIVATE STREET A 22043	
DRIVEWAY B 7184	
TOTAL NET 49766	
1.1 ACRES	



REVISIONS	
DATE	DESCRIPTION

TENTATIVE TRACT NO. 37754
PREPARATION DATE: MAY 2019
adkan
ENGINEERS
Civil Engineering • Surveying • Planning
6871 Ardent Drive, Riverside, CA 92504
Tel: (951) 688-0241 • Fax: (951) 688-0589

PLANT PALETTE:

TREES & VINES

	MULTI-TRUNK SPECIMEN TREE		
<i>Schinus molle</i>	•	California Pepper Tree	
	DECIDUOUS CANOPY TREE		
<i>Platanus racemosa</i>	•	California Sycamore	
	MOTORCOURT CANOPY TREE		
<i>Hymenoporus flavum</i>	•	Sweetshade Tree	
<i>Callistemon citrinus</i>	•	Bottle Tree	
	INTERIOR STREET TREE		
<i>Lophostemon confertus</i>	•	Brisbane Box	
<i>Magnolia grandiflora</i> 'Samuel Sommer'	•	Southern Magnolia	
	SMALL FLOWERING ACCENT TREE		
<i>Lagerstroemia indica</i> 'Tuscarora'	•	Crape Myrtle	
	EVERGREEN SCREENING TREE MASS		
<i>Pinus eldarica</i>	•	Afghan Pine	
	CITRUS TREE & ESPALIER		
<i>Cercis canadensis</i> 'Forest Pansy'	•	Forest Pansy Redbud	
	VINES		
<i>Campsis radicans</i> 'Flava'	•	Yellow Trumpet Creeper	
	STREET TREES		
	STREET TREES TO MATCH EXISTING TREES		

SHRUBS

	<i>Aloe striata</i>	•	Coral Aloe
	<i>Bulbine frutescens</i>	•	Bulbine
	<i>Callistemon viminalis</i> 'Little John'	•	Little John Bottlebrush
	<i>Dianella revoluta</i> 'Little Rev'	•	Little Rev Flax Lily
	<i>Leymus condensatus</i> 'Canyon Prince'	•	Canyon Prince Wild Rye
	<i>Leucophyllum frutescens</i> 'Lynn's Legacy'	•	Lynn's Legacy Sage
	<i>Nandina domestica</i> 'Sienna Sunrise'	•	Sienna Sunrise Nandina
	<i>Podocarpus elongatus</i> 'Monmal'	•	Ice Blue Cape yellowwood
	<i>Prunus caroliniana</i> 'Monus'	•	Bright N' Tight Carolina Laurel
	<i>Rhamnus californica</i> 'Mound San Bruno'	•	Coffeeberry
	<i>Rosa floribunda</i> 'Iceberg'	•	Iceberg Rose
	<i>Rosmarinus officinalis</i> 'Tuscan Blue'	•	Tuscan Blue Rosemary
	<i>Salvia leucantha</i>	•	Mexican Bush Sage

GROUND COVER

<i>Achillea x. 'Moonshine'</i>	•	Yarrow
<i>Baccharis pilularis</i> 'Pigeon Point'	•	Dwarf Coyote Bush
<i>Rosmarinus officinalis</i> 'Prostratus'	•	Prostrate Rosemary
<i>Trachelospermum jasminoides</i>	•	Star Jasmine
<i>Senecio serpens</i>	•	Blue Chalksticks

TURF AREA

	Hybrid bermuda sod
---	--------------------

FEATURE LEGEND:

- 1 NATURAL GRAY CONCRETE SIDEWALK.
- 2 NATURAL GRAY MEDIUM BROOM FINISH CONCRETE WALKWAY.
- 3 NATURAL GRAY MEDIUM BROOM FINISH CONCRETE WALKWAY TO UNIT ENTRY.
- 4 TOT-LOT WITH CHILDREN PLAY EQUIPMENT WITH ARTIFICIAL TURF PLAY SURFACE.
- 5 PRIVATE DRIVEWAY TO GARAGE.
- 6 COMMUNITY OUTDOOR GYM AREA.
- 7 ENHANCED AND SCORED ACID ETCHED NATURAL GRAY CONCRETE.
- 8 ARBOR STRUCTURE AT ENTRY TO COMMUNITY OUTDOOR GYM AREA.
- 9 OVERHEAD STRUCTURE AT BBQ PICNIC AREA.
- 10 CLUSTER MAILBOXES.
- 11 CONCRETE STEP PADS TO BACKYARD.
- 12 WQMP UNDERGROUND WATER STORAGE BASIN PER CIVIL ENGINEER'S PLANS.

WALL NOTE:

REFER TO SHEET LC-3 FOR CONCEPTUAL WALL LAYOUT.

WATER EFFICIENT LANDSCAPE WORKSHEET

Residential Landscape Projects

Reference ET_o for the area: ET_o = 56.4

Estimated Total Water Use (ETWU):

ETWU is calculated using the following formula: $ETWU = (ET_o) (A) (ETAF) (LAI)$, where ETAF is ETAF in PFI/100

Hydrozone # / Planting Description	Plant Factor (PFI)	Irrigation Method	Irrigation Efficiency (%)	ETAF (PFI/100)	Landscape Area (sq. ft.)	ETAF x Landscape Area	Estimated Total Water Use (ETWU) in gallons/year
Regular Landscape Areas							
1421 - Low Shrub	0.5	Dripline	0.81	0.25	7,846	1,962	65,105
1422 - Moderate Shrub	0.5	Dripline	0.81	0.25	17,884	10,880	379,765
1423 - High Turf	0.5	My Rotated	0.75	1.07	1,132	1,207	42,223
1424 - Moderate Trees	0.5	Bubbler	0.81	0.52	2,400	1,461	51,869
					Total	28,695	15,411
Estimated Total Water Use in gallons per year: ETWU Total							15,411
Maximum Annual Water Allowance in gallons per year: MAWA Total							551,316
MAWA calculation: $(ET_o) (A) (ETAF) (LAI) = (1-ETAF) \times SLP$							MAWA - ETWU
							12,421

ETAF Calculations:

Regular Landscape Areas	
Total ETAF x Area	15,411
Total Area	28,695
Average ETAF	0.54

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas.

CONCEPTUAL LANDSCAPE MASTER PLAN LEGEND

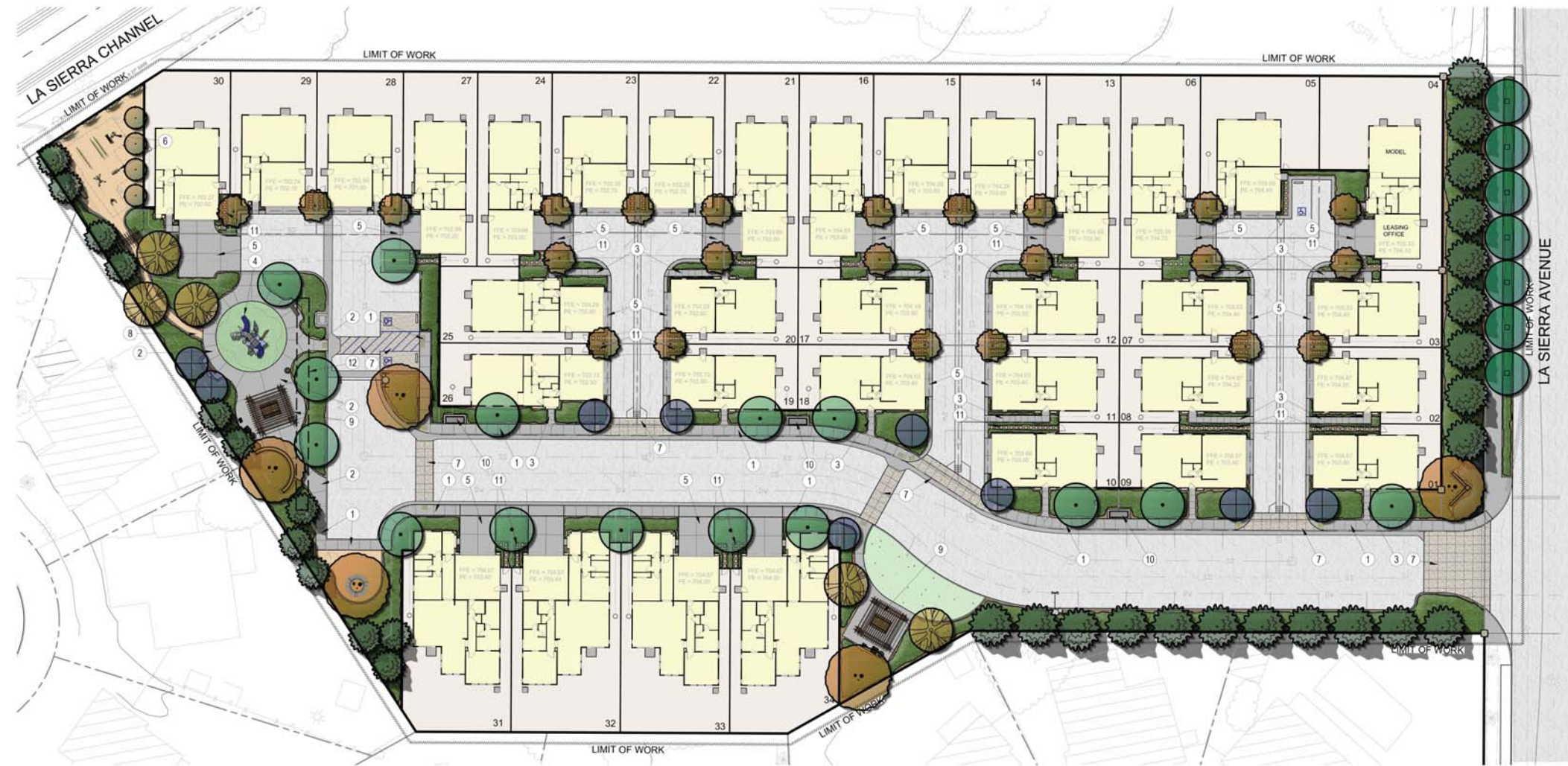
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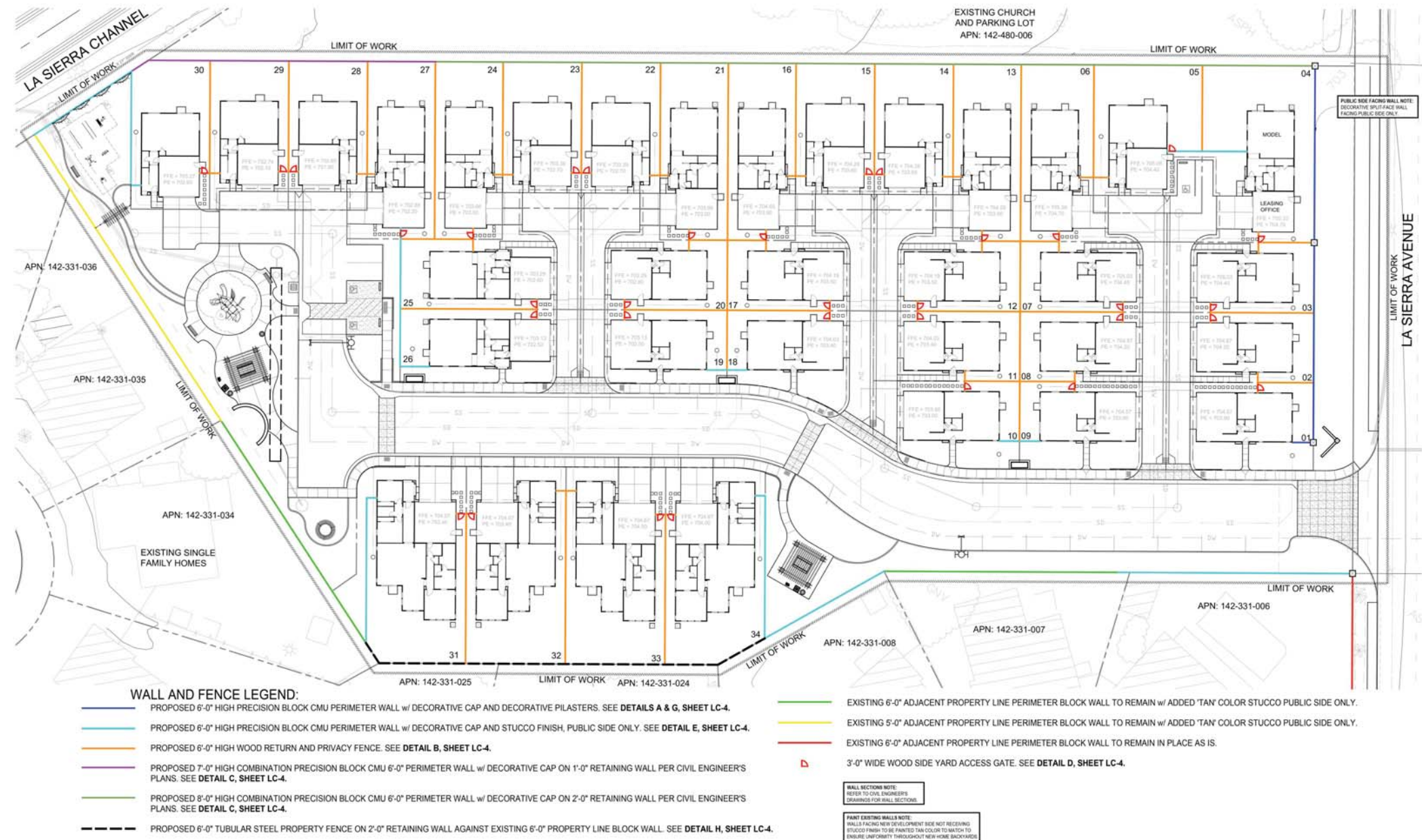




CONCEPTUAL LANDSCAPE MASTER PLAN

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CONCEPTUAL WALL AND FENCE PLAN

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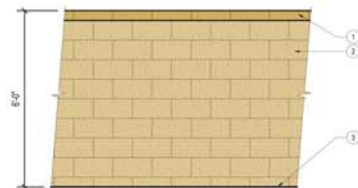
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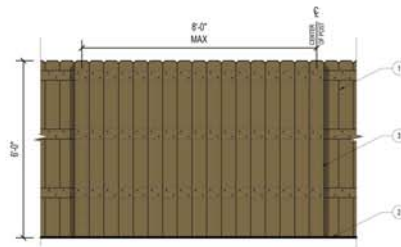


SCALE: 1" = 20'
DATE: OCTOBER 2019
ADG JOB #: 1903.1



- LEGEND:**
1. 6" x 4" x 16" SPLIT FACE DECORATIVE CAP, TAN COLOR.
 2. 6" x 8" x 16" PRECISION BLOCK CMU, TAN COLOR.
 3. FINISH GRADE.

A 6'-0" PRECISION BLOCK WALL
SCALE: 1/2" = 1'-0"



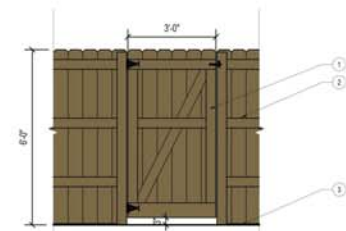
- LEGEND:**
1. 6'-0" HIGH WOOD PRIVACY FENCE, BROWN COLOR. ALTERNATE "GOOD SIDE" TO BALANCE AESTHETIC BENEFIT BETWEEN NEIGHBORS.
 2. FINISH GRADE.
 3. GALVANIZED SQUARE POST.

B 6'-0" HIGH WOOD PRIVACY FENCE
SCALE: 1/2" = 1'-0"



- LEGEND:**
1. 6" x 8" x 16" PRECISION BLOCK CMU PRIVACY WALL, TAN COLOR.
 2. 6" x 4" x 16" SPLIT FACE DECORATIVE CAP, TAN COLOR.
 3. 6" x 8" x 16" PRECISION BLOCK CMU RETAINING WALL, TAN COLOR.
 4. FINISH GRADE.

C COMBO RETAINING / PRIVACY WALL
SCALE: 1/2" = 1'-0"



- LEGEND:**
1. 3'-0" WIDE WOOD SIDE YARD GATE, BROWN COLOR.
 2. 6'-0" HIGH WOOD PRIVACY FENCE, BROWN COLOR.
 3. FINISH GRADE.

D 3'-0" WOOD SIDE YARD GATE
SCALE: 1/2" = 1'-0"



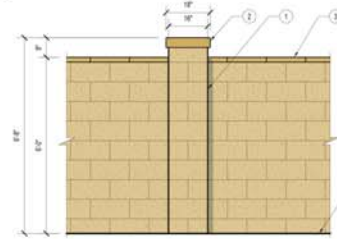
- LEGEND:**
1. 6" x 4" x 16" SPLIT FACE DECORATIVE CAP, TAN COLOR.
 2. 6" x 8" x 16" PRECISION BLOCK CMU WITH TAN COLOR STUCCO FINISH PUBLIC SIDE ONLY.
 3. FINISH GRADE.

E 6'-0" PRECISION WALL w/ STUCCO
SCALE: 1/2" = 1'-0"



- LEGEND:**
1. 6" x 4" x 16" SPLIT FACE DECORATIVE CAP, TAN COLOR.
 2. 6" x 8" x 16" PRECISION BLOCK CMU WITH TAN COLOR STUCCO FINISH PUBLIC SIDE ONLY.
 3. FINISH GRADE.

F 5'-0" PRECISION WALL w/ STUCCO
SCALE: 1/2" = 1'-0"



- LEGEND:**
1. 16" SQ. SPLIT FACE COLUMN, TAN COLOR CMU.
 2. 6" THICK PRECISION COLUMN CAP, TAN COLOR.
 3. ADJACENT CMU WALL WITH CAP.
 4. FINISH GRADE.

G 6'-8" SPLIT-FACE COLUMN WITH CAP
SCALE: 1/2" = 1'-0"



- LEGEND:**
1. TUBULAR STEEL PROPERTY FENCE, BLACK COLOR.
 2. NATURAL COLOR POUR-IN-PLACE CONCRETE RETAINING WALL PER CIVIL ENGINEER'S PLANS.
 3. EXISTING PRECISION CMU BLOCK WALL, PAINT NEW HOMEOWNER SIDE TAN COLOR.
 4. FINISH GRADE.

H COMBO RETAINING / PRIVACY WALL
SCALE: 1/2" = 1'-0"

CONCEPTUAL WALL AND FENCE DETAILS

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SCALE: 1/2" = 1'-0"



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OPEN SPACE LEGEND:

- USABLE PRIVATE BACKYARD SPACE - 25,810 SF
- EXCLUDED PRIVATE SIDE YARD SPACE - 11,731 SF
- EXCLUDED STREET FRONTAGE OPEN SPACE - 5,400 SF
- USABLE COMMON LANDSCAPE OPEN SPACE - 11,155 SF
- USABLE COMMON NON-LANDSCAPE OPEN SPACE - 6,304 SF
- EXCLUDED OPEN SPACE - 14,757 SF (NOT INCLUDED IN TOTAL)

SITE AREA TOTAL -
162,914 SF - 3.74 ACRE
100%

USABLE BACKYARD PRIVATE OPEN SPACE -
25,810 SF - 0.14 ACRE
15.8%

USABLE NON-LANDSCAPE COMMON AREA TOTAL -
6,304 SF - 0.14 ACRE
3.8%

USABLE LANDSCAPE COMMON AREA TOTAL -
11,155 SF - 0.25 ACRE
6.8%

TOTAL USABLE OPEN SPACE -
17,459 SF - 0.4 ACRE
10.7%

OPEN SPACE EXHIBIT

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SCALE: 1" = 20'



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SCALE: 1" = 20'
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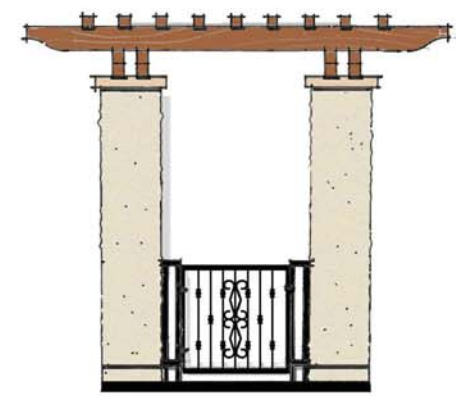
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PLAY EQUIPMENT / TOT LOT



PREFABRICATED CRAFTSMAN OVERHEAD SHADE STRUCTURE



WOOD AND STUCCO TRELLIS ARBOR WITH GATE



OUTDOOR EXERCISE EQUIPMENT



ADA COMPLIANT DECORATIVE CONCRETE PICNIC TABLE



CHARCOAL BBQ



STEEL POWDER COATED BENCH AND TRASH RECEPTACLE



ENHANCED CONCRETE OPTIONS



NATURAL GRAY CONCRETE



STABILIZED DECOMPOSED GRANITE

EQUIPMENT, MATERIALS, AND FINISHES BOARD

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