



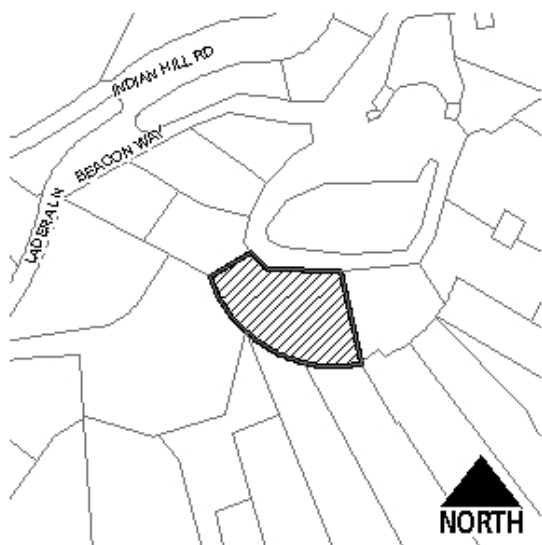
Community & Economic Development Department
3900 Main Street, Riverside, CA 92522 | Phone: (951) 826-5371 | RiversideCA.gov

Planning Division

CULTURAL HERITAGE BOARD MEETING DATE: OCTOBER 16, 2019
AGENDA ITEM NO.: 3

PROPOSED PROJECT

<i>Case Numbers</i>	P19-0487 (Certificate of Appropriateness)		
<i>Request</i>	To consider a Certificate of Appropriateness for the after-the-fact demolition, replacement of the single-family residence main level and two-car garage, and expansion of the basement, listed as a non-contributing structure of the Mount Rubidoux Historic District.		
<i>Applicant</i>	Jim Broeske of Broeske Architects & Associates, Inc. on Behalf of Randall Neal		
<i>Project Location</i>	4674 Beacon Way, situated on the south side of Beacon Way between Ladera Lane and Redwood Drive		
<i>APN</i>	207-033-033		
<i>Ward</i>	1		
<i>Neighborhood</i>	Downtown		
<i>Historic District</i>	Mount Rubidoux Historic District		
<i>Historic Designation</i>	Not Applicable		
<i>Staff Planner</i>	Scott Watson, Historic Preservation Officer 951-826-5507 swatson@riversideca.gov		



RECOMMENDATIONS

Staff Recommends that the Cultural Heritage Board:

1. **DETERMINE** that the project is exempt from the California Environmental Quality Act (CEQA) review pursuant to Sections 15302 (Replacement or Reconstruction), 15331 (Historic Resource Restoration/Rehabilitation), and 15303 (New Construction or Conversion of Small Structures), as it constitutes the replacement of a single family residence compatible with the historic resource (Historic District), which is consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties; and
2. **APPROVE** Planning Case P19-0487 (Certificate of Appropriateness), based on the findings outlined and summarized in the staff report and subject to the recommended conditions (Exhibit 1).

BACKGROUND

The subject 0.49 acre property was developed in 1961 with a 1,340 square foot, one-story, Mid-Century Ranch style residence that included a basement and a 251 square foot two-car garage, connected to the residence by a porch. The property, located within the Mount Rubidoux Historic District, is surrounded by single-family residences. The Mount Rubidoux Historic District is bounded by Redwood Drive to the east, Indian Hill Road to the northwest, and Mount Rubidoux Drive to the southeast (Exhibits 2 and 3).

Records indicate the design of the residence is not attributed to a notable architect or builder. The residence is not associated with any persons or events significant in local, state or national history. The Mid-Century Ranch style of architecture is common throughout the City of Riverside. As such, the residence was not eligible for designation as a City Landmark or Structure of Merit and is listed as a non-contributor to the Mount Rubidoux Historic District, where examples of Craftsman Bungalow, Spanish-Mediterranean Revival, and Period Revival (Tudor and Norman Revivals) architectural styles are predominant.

Unpermitted Demolition

On September 3, 2019, staff became aware that the main level of the residence had been demolished without the necessary permits and approvals, and immediately began an investigation. The demolition and reconstruction of the main level of the residence was scheduled to be considered by the Cultural Heritage Board (CHB) on September 18, 2019. As additional time was needed to investigate the unpermitted demolition, the Cultural Heritage Board approved staff's request for a continuance to the October 16, 2019 meeting.

At the request of the CHB at the September 18, 2019 meeting, staff evaluated the potential application of Moratorium Section 20.40.060 of Title 20. This Section of Title 20 only applies to Cultural Resources defined in Title 20 as follows:

" Cultural Resources means improvements, natural features, sites, cultural landscapes, or other objects, which may reasonably be of scientific, aesthetic, educational, cultural, architectural, social, political, military, historical or archaeological significance. This includes designated cultural resources, eligible cultural resources, and contributing features to Historic Districts and Neighborhood Conservation Areas.

As this property is a non-contributor to a Historic District, and is not individually significant, it does not constitute a Cultural Resource and this Section of Title 20 does not apply.

Please note, the active investigation related to the Code case continues among the various City Departments to determine the remedies consistent with Section 20.40.050 of Title 20, and penalties for violations to other Titles of the Riverside Municipal Code.

PROJECT DESCRIPTION

The applicant is requesting approval of a Certificate of Appropriateness for after-the-fact demolition of the existing residence's main level (street level), replacement of the main level single-story residence and the garage, and expansion of the basement.

The proposed main level single-story residence consists of the original 1,340 square feet and a 707 square foot addition on the east side of the residence, totaling 2,047 square feet. The floor plan has an irregular configuration, similar to the existing residence's building footprint. The proposal includes increasing the two-car garage in area by 197 square feet for a total area of 448 square feet. An 826 square foot addition is proposed on the northeast side of the basement. Basement improvements will be below the street level and will not be visible.

The design of the residence consists of a modern interpretation of the Farmhouse Ranch architectural style. The residence and garage include a combination of gable, shed, and pent

standing seam metal roofs, painted black. Fenestration includes fixed and single-hung wood clad, fiberglass-framed windows, painted black. A variety of materials are proposed including shiplap and vertical board siding, painted white, and stone veneer on the basement level that will be brown and gray colors. Access to the site will be provided from the existing driveway. Existing retaining walls facing Beacon Way and along the west side of the residence will be protected in place.

PROJECT ANALYSIS

FACTS FOR FINDINGS

Pursuant to Chapter 20.25.050 of Title 20 (Cultural Resources) of the Riverside Municipal Code, the Cultural Heritage Board and Historic Preservation Officer must make applicable findings of specific standards when approving or denying a Certificate of Appropriateness. Staff was able to make the applicable findings for the project as follows:

<i>Chapter 20.25.050 – Principles and Standards of Site Development and Design Review</i>			
<i>The application proposal is consistent or compatible with the architectural period and the character-defining elements of the historic building.</i>	N/A	Consistent	Inconsistent
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Facts: <ul style="list-style-type: none"> This finding is not applicable, because the existing residence is not a historic building. 			
<i>The application proposal is compatible with existing adjacent or nearby Cultural Resources and their character-defining elements.</i>	N/A	Consistent	Inconsistent
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Facts: <ul style="list-style-type: none"> The proposed residence will continue to be a non-contributing structure of the Mount Rubidoux Historic District. It has been designed in a modern interpretation of the Farmhouse Ranch style, consistent with the contemporary styles of other non-contributing structures within the historic district, including Mid-Century Modern, California Ranch, and other styles from the 1970s and 1980s. The proposed residence uses materials consistent with those found throughout the Mount Rubidoux Historic District including siding and stone cladding. 			
<i>The colors, textures, materials, fenestration, decorative features and details, height, scale, massing and methods of construction proposed are consistent with the period and/or compatible with adjacent Cultural Resources.</i>	N/A	Consistent	Inconsistent
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Facts: <ul style="list-style-type: none"> The proposed residence features shiplap and vertical board siding and stone cladding, which are also found in the historic district. Residences throughout the Historic District are clad in a variety of materials including brick, stone, stucco, and wood siding. The proposed residence is consistent with the materials of adjacent Cultural Resources. The proposed residence is one-story in height with a basement, matching the height, scale, and massing of the recently demolished residence. The residences adjacent to the subject property are two- and three-stories in height. The proposed project is consistent with the height, scale, and massing of the adjacent Cultural Resources. 			

Chapter 20.25.050 – Principles and Standards of Site Development and Design Review			
<i>The proposed change does not adversely affect the context considering the following factors: grading; site development; orientation of buildings; off-street parking; landscaping; signs; street furniture; public areas; relationship of the project to its surroundings.</i>	N/A	Consistent	Inconsistent
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Facts: <ul style="list-style-type: none"> The proposed residence and garage will be situated in the same location of the recently demolished residence; thereby, not changing the residence's relationship to other properties within the historic district. 			
<i>The proposed change does not adversely affect an important architectural, historical, cultural or archaeological feature or features.</i>	N/A	Consistent	Inconsistent
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Facts: <ul style="list-style-type: none"> The recently demolished residence was not designated as a historic resource; therefore, historic, architectural, or cultural features will not be impacted. The site has been previously developed and only a small amount of excavation is proposed; therefore, it is unlikely for the project to impact any archaeological features. 			
<i>The application proposal is consistent with the Citywide Residential Historic District Design Guidelines and the separate guidelines for each Historic District.</i>	N/A	Consistent	Inconsistent
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Facts: <ul style="list-style-type: none"> The proposed project was analyzed for consistency with the Mount Rubidoux Historic District Guidelines, which include: <ul style="list-style-type: none"> New construction should suggest the design principles of the historic district, including size, scale, proportion, color and materials. New designs should allow for an awareness of modern technology and material usage, but in a manner sensitive to surrounding historic structures. New buildings are encouraged to be compatible and complementary with their immediate neighbors and the entire Mount Rubidoux Historic District. Consistency with the Mount Rubidoux Historic District Guidelines includes: <ul style="list-style-type: none"> The proposed single story residence with a basement will not be out scale and proportion because residences throughout the historic district are larger in scale and vary in height between one-, two-, and three-stories. The materials of the proposed residence include shiplap and vertical board siding and stone cladding, consistent with the variety of materials in the historic district, which consist of brick, stone, stucco, and wood siding. The proposed residence features a modern interpretation of Mid-Century Farmhouse Ranch style, and is compatible with the contemporary styles, Mid-Century Modern and 1970s vernacular, of the immediately adjacent residences. Additionally, the proposed residence uses similar exterior finish materials as the adjacent residences, specifically wood siding. <p>Because of the architectural style and use of materials, similar to those found throughout the historic district, the proposed residence will be compatible with the immediate neighboring residences.</p>			

<i>Chapter 20.25.050 – Principles and Standards of Site Development and Design Review</i>			
<i>The application proposal is consistent with the Principles of the Secretary of the Interior's Standards for the Treatment of Historic Properties.</i>	N/A	Consistent	Inconsistent
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Facts: <ul style="list-style-type: none"> The proposed project is consistent with the Standards for Rehabilitation, as follows: <ul style="list-style-type: none"> The existing residence is not designated as a historic resource; therefore, no historic material will be removed. The proposed residence will be compatible with other residences throughout the district in terms of scale, massing, and use of material, but will be differentiated from other residences in the district by using a contemporary interpretation of an architectural style found in the historic district. 			

AUTHORIZATION AND COMPLIANCE SUMMARY

Regulatory Codes	Consistent	Inconsistent
<p><i>Historic Preservation Code Consistency (Title 20)</i></p> <p>The proposed project is consistent with section 20.25.050 of the City of Riverside Municipal Code because the project is compatible with other residences throughout the historic district in terms of style, scale, massing, and material.</p> <ul style="list-style-type: none"> The historic district is comprised of one-, two-, and three-story single-family residences. The proposed residence is one-story with a basement level, and therefore compatible with the scale of other residences in the historic district. The California Ranch, Mid-Century Modern, and 1970s contemporary styles are present throughout the historic district. The proposed residence is a modern interpretation of the Farmhouse Ranch style, and therefore compatible with the residences in the historic district. The proposed residence features wood siding and stone finishes, which are found throughout the district. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p><i>Zoning Code Consistency (Title 19)</i></p> <p>The proposed residence complies with the development standards of the Zoning Code. As a matter of information, a Variance (VR-0011-601) for the substandard front yard setback was granted in 1961 for this site. The proposed residence and garage comply with the previously approved Variance.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

ENVIRONMENTAL REVIEW

The replacement of a single family residence, compatible with the historic resource (Historic District) and consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties, is categorically exempt from the provisions of the California Environmental Quality Act (CEQA), pursuant to Sections 15302 (Replacement or Reconstruction) of the CEQA Guidelines, 15331 (Historical Resource Restoration/Rehabilitation), and 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines.

PUBLIC NOTICE AND COMMENTS

Public notices were mailed to property owners adjacent to the site. As of the writing this report, Staff has received one phone call in opposition and one email in support of the project.

Comment: The comment in opposition was received from the property owner at 3587 Mount Rubidoux Drive. He expressed concerns that the increased square footage of the new residence will affect the privacy in his rear yard.

Response: The proposed residence meets the rear yard setback and lot coverage required in the R-1-7000 – Single-Family Residential Zone. Additionally, as the proposed project will replace the recently demolished residence, no impacts to privacy are anticipated.

APPEAL INFORMATION

Actions by the Cultural Heritage Board, including any environmental finding, may be appealed to the Land Use Committee within ten calendar days after the decision. Appeal filing and processing information may be obtained from the Planning Department Public Information Section, 3rd Floor, City Hall.

EXHIBITS LIST

1. Staff Recommended Conditions of Approval
2. Aerial Photo/Location
3. Mt. Rubidoux Historic District Map
4. Project Plans (Site Plan, Demolition Plan, Floor Plan, Demolition Elevations, Proposed Elevations, Color Elevations, Materials Board)
5. Photos (Site and Surrounding Properties)

Prepared by: Scott Watson, Historic Preservation Officer

Reviewed by: Patricia Brenes, Principal Planner

Approved by: Mary Kopaskie-Brown, City Planner



CITY OF RIVERSIDE

COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT PLANNING DIVISION

EXHIBIT 1 – STAFF RECOMMENDED CONDITIONS OF APPROVAL

PLANNING CASE: P19-0487

MEETING DATE: October 16, 2019

CASE SPECIFIC CONDITIONS

1. **Prior to any further approvals or permits being issued, the investigation of the illegal demolition must be complete, including all violations to the Riverside Municipal Code and other applicable State regulations, and all fines and penalties paid.**

Prior to Issuance of Grading Permit:

2. A 40-scale precise grading plan shall be submitted to Public Works and include the following:
 - a. Hours of construction and grading activity are limited to between 7:00 a.m. and 7:00 p.m. weekdays and 8:00 a.m. and 5:00 p.m. Saturdays. No construction noise is permitted on Sundays or Federal Holidays;
 - b. Compliance with City adopted interim erosion control measures;
 - c. Compliance with any applicable recommendations of qualified soils engineer to minimize potential soil stability problems;
 - d. Include a note requiring the developer to contact Underground Service Alert at least 48 hours prior to any type of work within pipeline easement; and
 - e. Identification of location, exposed height, material and finish of any proposed retaining walls.

During Grading and Construction Activities:

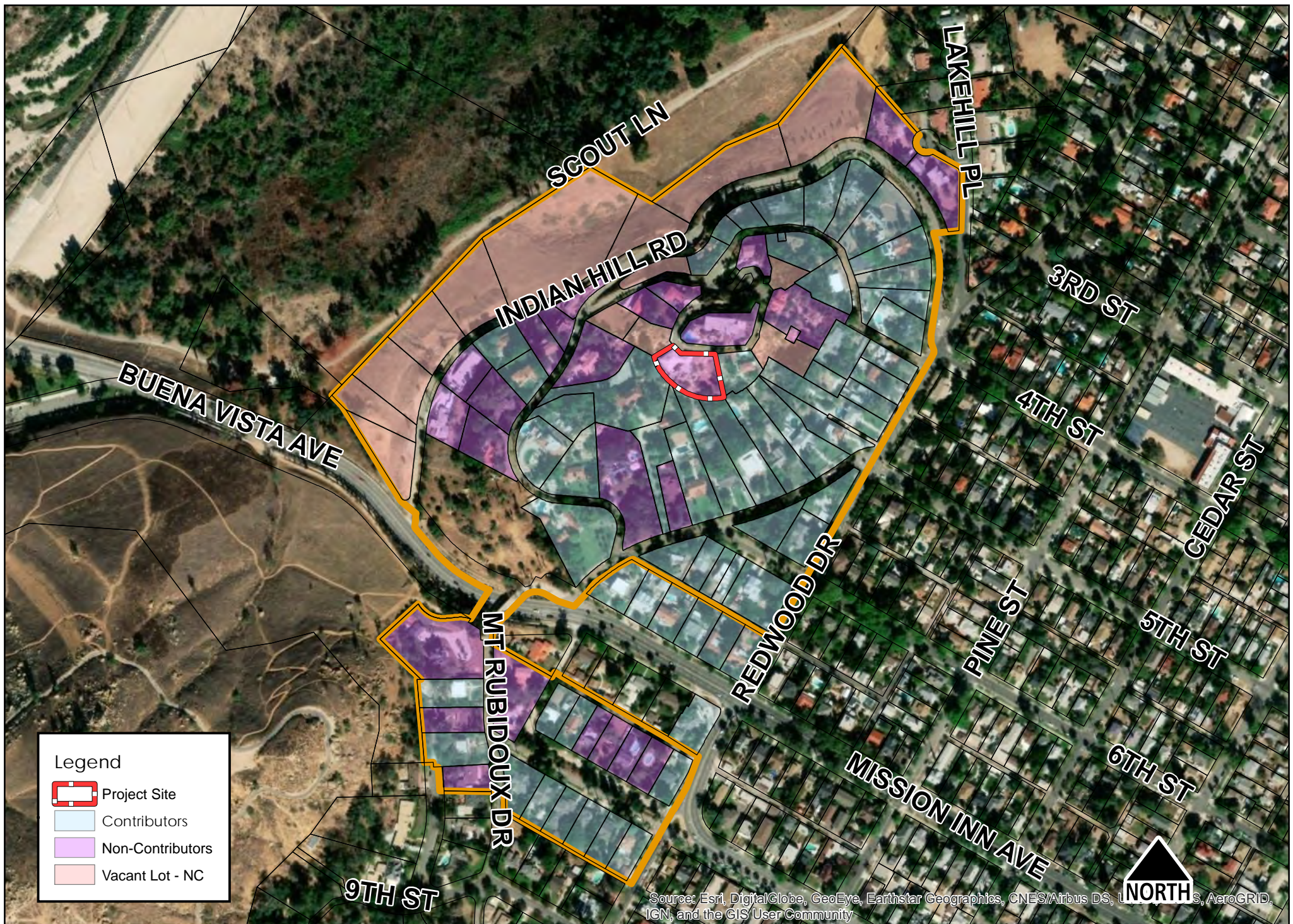
3. Construction and operation activities on the property shall be subject to the City's Noise Code (Title 7), which limits construction noise to 7:00 a.m. to 7:00 p.m. weekdays, and 8:00 a.m. to 5:00 p.m. Saturdays. No construction noise is permitted on Sundays or federal holidays.
4. The Construction Contractor shall place all stationary construction equipment so that emitted noise is directed away from sensitive receptors nearest the proposed project site.
5. The Construction Contractor shall locate equipment staging in areas that will create the greatest distance between construction-related noise sources and noise-sensitive receptors nearest the proposed project site during all project construction.
6. To reduce construction related particulate matter air quality impacts of the proposed project the following measures shall be required:
 - a. The generation of dust shall be controlled as required by the AQMD;
 - b. Trucks hauling soil, dirt or other emissive materials shall have their loads covered with a tarp or other protective cover as determined by the City Engineer;
 - c. The project contractors shall equip all construction equipment, fixed or mobile, with properly operating and maintained mufflers consistent with manufacturers' standards;






- d. Sweep streets at the end of the day if visible soil material is carried onto adjacent paved public roads;
 - e. Wash off trucks and other equipment leaving the site;
 - f. Keep disturbed/loose soil moist at all times;
 - g. Suspend all grading activities when wind speeds exceed 25 miles per hour; and
 - h. Enforce a 15 mile per hour speed limit on unpaved portions of the construction site.
7. The applicant shall be responsible for erosion and dust control during construction phases of the proposed project.
8. To reduce diesel emissions associated with construction, construction contractors shall provide temporary electricity to the site to eliminate the need for diesel-powered electric generators, or provide evidence that electrical hook ups at construction sites are not cost effective or feasible.

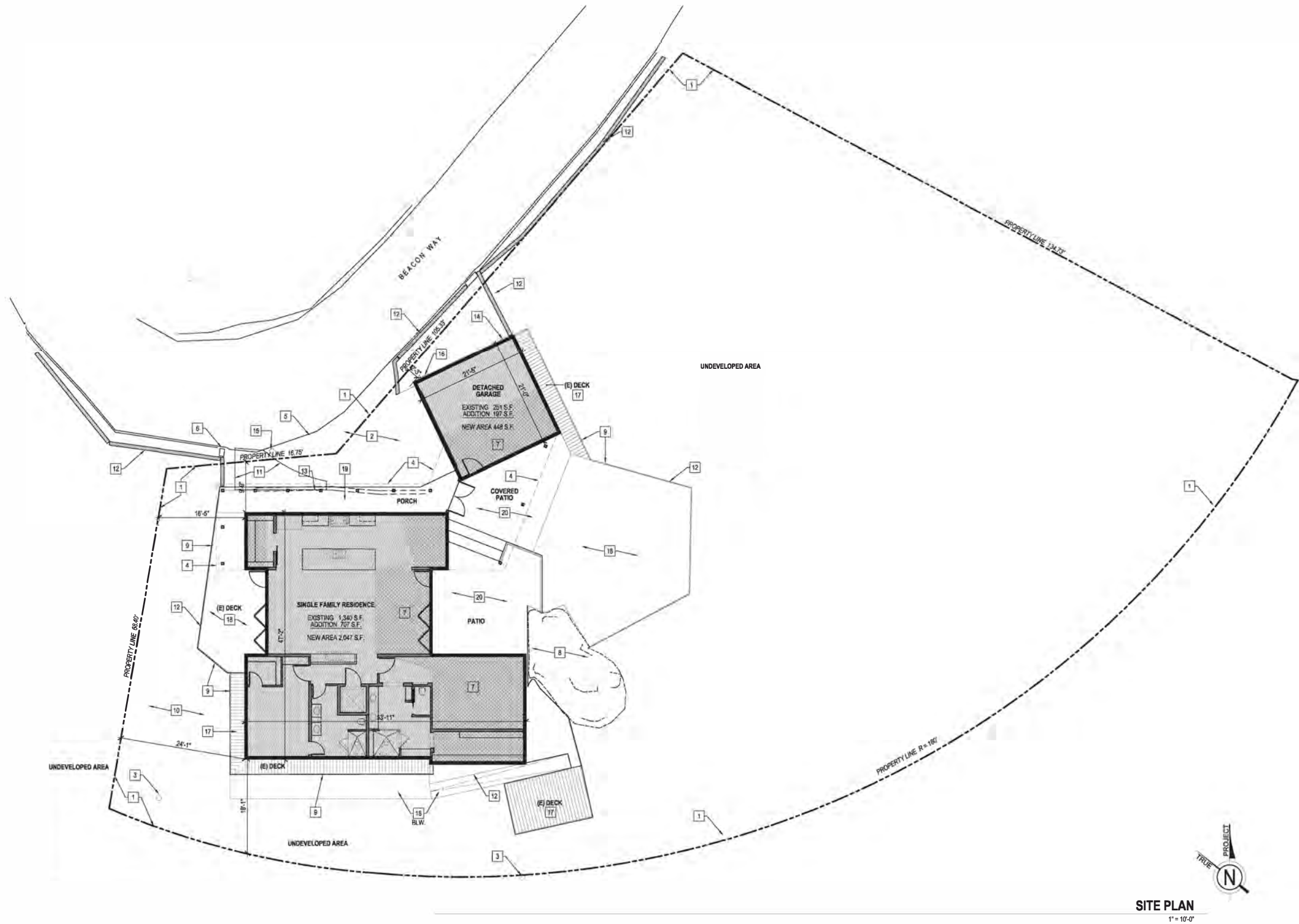
GENERAL CONDITIONS

- 1. There is a one year time limit in which to secure the necessary building permits required by this Certificate of Appropriateness. Approval will one year following the payment of all fines and penalties.
- 2. The project must be completed in accordance with the Cultural Heritage Board's approval, including all conditions listed below. Any subsequent changes to the project must be approved by the Cultural Heritage Board or the Cultural Heritage Board staff.
- 3. This approval for the Certificate of Appropriateness is for design concept only and does not indicate the project has been thoroughly checked for compliance with all requirements of law. As such, it is not a substitute for the formal building permit plan check process, and other changes may be required during the plan check process.
- 4. The granting of this Certificate of Appropriateness shall in no way exclude or excuse compliance with all other applicable rules and regulations in effect at the time this permit is exercised.





SITE PLAN KEYNOTES						SITE LEGEND	GENERAL NOTES	SITE DATA
1 (E) PROPERTY LINE	9 (E) GUARDRAIL	17 (E) METAL DECK - NEW FINISH MATERIAL SELECTED BY OWNER	 RESIDENCE & GARAGE  HATCHED AREA INDICATES ADDITION TO THE HOUSE & GARAGE - CONTRACTOR TO PREPARE AREA FOR EXPANSION CONSTRUCTION - SEE PLANS  CONCRETE PAVING  GRAVEL / SANDBACKFILL  EXISTING METAL DECK	1. CONTRACTOR SHALL PROPERLY DISPOSED OF ALL CONSTRUCTION DEBRIS AND DISCARDED MATERIALS. 2. CONTRACTOR TO VERIFY CONDITIONS OF EXISTING ITEMS TO REMAIN. G.N. TO NOTIFY ARCHITECT OF INADEQUATE CONDITIONS. 3. CONTRACTOR TO VERIFY ALL DIMENSIONS. 4. ALL ITEMS TO REMAIN MUST BE PROTECTED IN PLACE DURING CONSTRUCTION U.N.O. HARDSCAPE AND LANDSCAPE DESIGN WILL BE BY OTHER, NOT PART OF SCOPE OF WORK.	BUILDING'S ADDRESS: 4674 BEACON WAY, RIVERSIDE, CA. 92501 ASSESSOR'S PARCEL NUMBER : 207-033-033-3 SITE AREA: 474,421 SQ. FT. (0.45 ACRES) ZONING: RESIDENTIAL EXISTING LAND USE: RESIDENTIAL			
2 (E) DRIVE-WAY CONCRETE PAVING - PATCH & REPAIR AS NEEDED	10 (E) LANDSCAPE	18 (E) CONCRETE PAVING - PATCH & REPAIR AS NEEDED						
3 (E) UTILITY POLE	11 (E) CMU LOW PLANTER TO BE REMOVED - EXTEND DRIVEWAY CONCRETE	19 NEW CONCRETE PAVING						
4 NEW EDGE OF ROOF ABV. - SEE ROOF PLAN	12 (E) CMU RETAINING WALL TO REMAIN	20 NEW SAND AND GRAVEL BACK FILL OF CONCRETE LID BELOW - TOP FINISH MATERIAL TO BE SELECTED BY OWNER						
5 (E) EDGE OF ASPHALT PAVING	13 (E) DECORATIVE CMU WALL TO BE REMOVED							
6 (E) MAILBOX TO BE REPLACED	14 (E) GAS METER - SEE PLUMBING PLANS							
7 (E) CONC. PAVING TO BE REMOVED - PREPARE AREA FOR NEW CONSTRUCTION REFER TO EXISTING AND DEMOLITION PLAN	15 (E) WATER METER - SEE PLUMBING PLANS							
8 (E) BOULDER	16 NEW ELECTRICAL PANEL BOX - SEE ELECTRICAL PLANS							



broeske architects
& associates, inc.

4344 latham street, suite 100
riverside, ca 92501-1773
ph. (951) 300 1866
fx. (951) 300 1868



CONSULTANTS

NEAL RESIDENCE REMODEL

4674 BEACON WAY, RIVERSIDE, CA. 92501

THIS DRAWING AND THE DESIGN, ARRANGEMENTS, DEPICTIONS, IDEAS AND OTHER INFORMATION CONTAINED HEREIN ARE THE SOLE PROPERTY OF BROESKE ARCHITECTS & ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF BROESKE ARCHITECTS & ASSOCIATES, INC. IN PERMANENT. NO PART THEREOF SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF BROESKE ARCHITECTS & ASSOCIATES, INC. ANY CONTRACT WITH THE ABOVE DRAWING, OR ANY PART THEREOF, SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

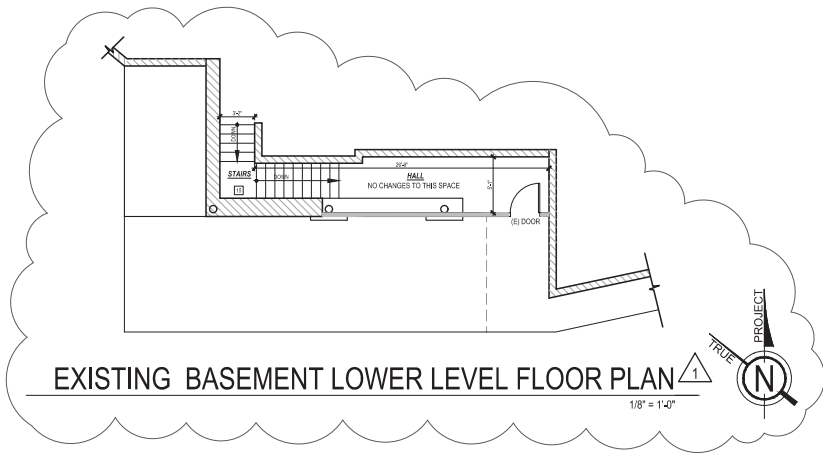
APN	207-033-033-3
JOB NO.	17-028
DATE	06/23/2019
DRAWN BY	RS
CHECKED BY	ALB
SCALE	
REVISIONS	
06/24/2019	PLAN CHECK COMMENTS

SHEET TITLE

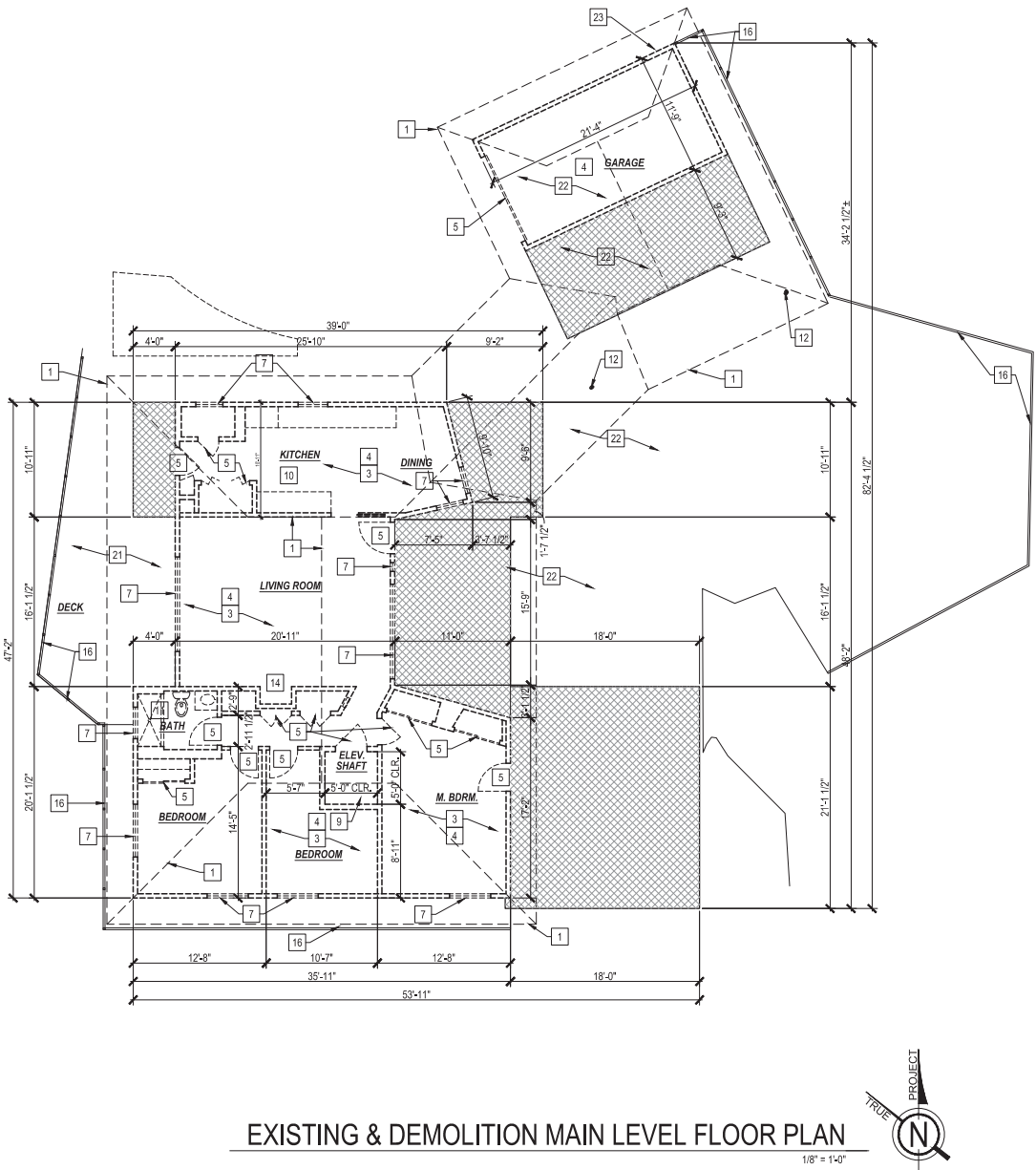
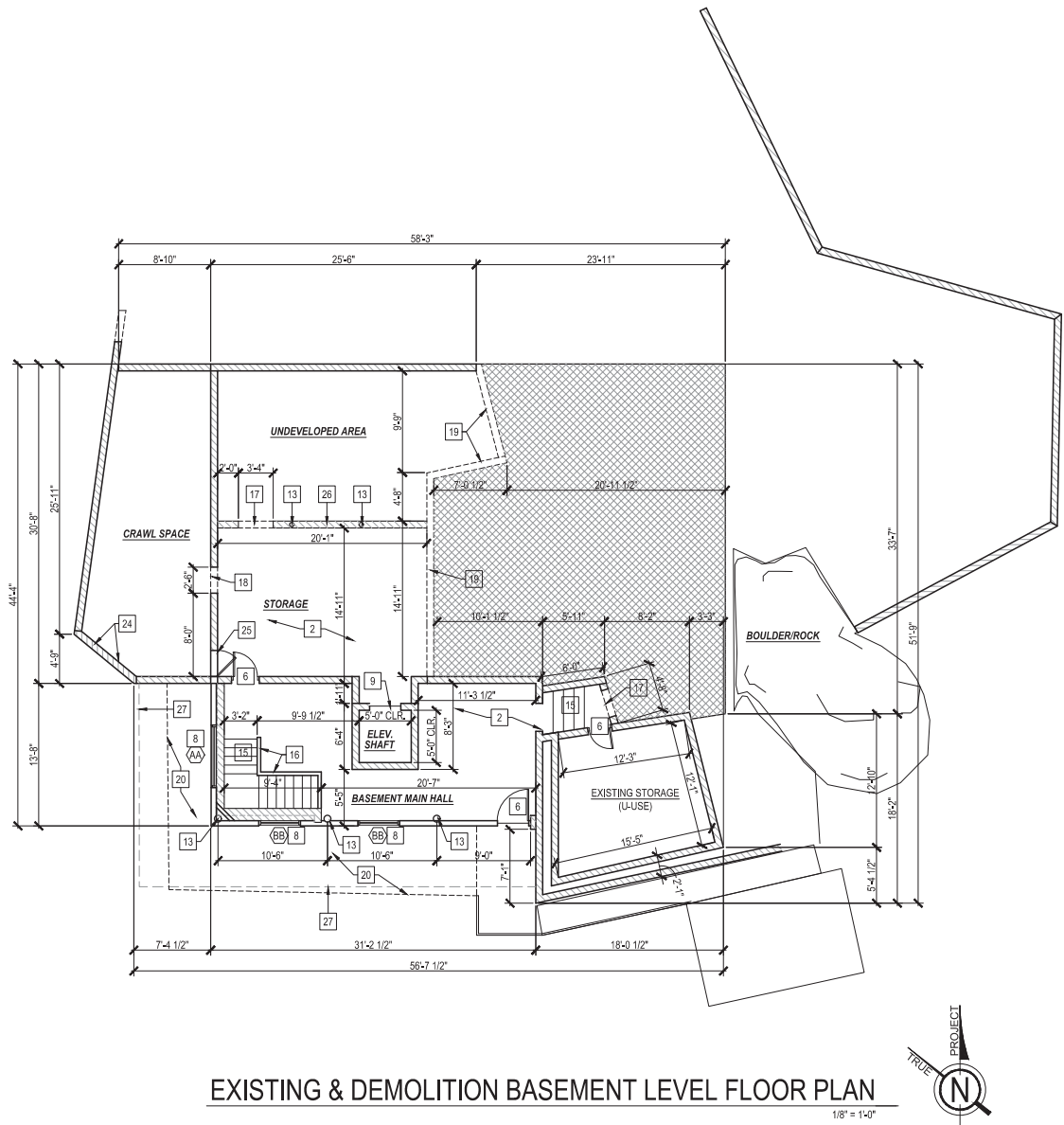
SITE PLAN

SHEET NO.

A1.1



EXISTING FLOOR PLAN LEGEND	GENERAL NOTES	EXISTING FLOOR PLAN KEYNOTES
<div>EXISTING INTERIOR WD, STUDS, WALL (FIELD VERIFY EXACT THICKNESS). NEW 5/8" GYP. BD. ON EA. SIDE (AS REQUIRED) O 1/2" PL YND. SHEATHING (WHERE OCCURS PER STRUCT. DWGS.).</div> <div>EXISTING CMU WALL - CONTRACTOR TO PATCH & REPAIR AS NEEDED</div> <div>DASHED LINES INDICATES ITEMS TO BE DEMOLISHED - U.N.O.</div> <div>HATCHED AREA INDICATES ADDITION TO THE HOUSE & GARAGE - INDICATES SITE WORK DEMOLITION AND EXCAVATION - CONTRACTOR TO PREPARE AREA FOR EXPANSION CONSTRUCTION - SEE PLANS</div>	<div>1. CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH WORK. DO NOT SCALE DRAWING TO OBTAIN DIMENSIONS. USE WRITTEN DIMENSIONS ONLY AND VERIFY IN FIELD.</div> <div>2. THIS DRAWING IN ONLY TO ASSIST IN SHOWING THE SCOPE OF DEMOLITION WORK AND IS NOT INTENDED TO INDICATE ALL DEMOLITION. CONTRACTOR SHALL REMOVE ALL EXISTING ITEMS AS REQUIRED TO COMPLETE THE JOB.</div> <div>3. CONTRACTOR TO VERIFY CONDITIONS OF EXISTING CONDITIONS AND NOTIFY ARCHITECT OF INADEQUATE CONDITIONS.</div> <div>4. CONTRACTOR SHALL ALSO CHECK AND IDENTIFY ALL EXISTING WATER, SANITARY AND ELECTRIC LINES WHICH ARE TO REMAIN AND BE PROTECTED FROM DAMAGE DURING DEMOLITION AND ALTERATION OF WORK.</div> <div>5. CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN PENETRATING EXISTING WALLS OR FLOOR SLABS SO STRUCTURAL INTEGRITY OF SUCH ELEMENTS IS NOT DEGRADED. CONTRACTOR SHALL RESTORE EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY SCOPE OF WORK. CONTRACTOR SHALL SEAL TIGHT ALL NEW PENETRATIONS IN WALLS AND FLOOR SLABS TO PRESERVE THE REQUIRED FIRE RATING INTEGRITY.</div> <div>6. PATCH AND REPAIR ALL EXISTING SURFACES DAMAGED BY DEMOLITION AND/OR INSTALLATION OF NEW WORK AND/OR UTILITIES, AS REQUIRED TO MATCH ADJACENT SURFACES AND/OR TO RECEIVE NEW SCHEDULE FINISH.</div> <div>7. WASTE MATERIALS AND RUBBISH FROM DEMOLITION OPERATION SHALL BE REMOVED FROM THE SITE. DISPOSAL OF MATERIALS WILL BE AT DISCRETION OF THE CONTRACTOR.</div> <div>8. CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN REMOVING EXISTING ITEMS THAT ARE SCHEDULED TO BE RELOCATED AND/OR REUSED. PROTECT AND STORE THESE ITEMS ON SITE.</div> <div>9. ALL ITEMS TO REMAIN MUST BE PROTECTED IN PLACE.</div> <div>10. CONTRACTOR TO REVIEW STRUCTURAL, PLUMBING, ELECTRICAL AND MECHANICAL PLANS FOR ADDITIONAL INFORMATION PRIOR TO DEMOLITION.</div>	<div>(E) ENTIRE ROOF FRAMING AND MATERIAL ASPHALT SHINGLES TO BE COMPLETELY REMOVED</div> <div>(E) CONCRETE FLOOR SLAB SHALL BE PREPARED TO RECEIVE NEW FINISHES BY GRINDING, SCRAPING, FILLING PATCHING, LEVELING, ETC AS REQUIRED</div> <div>(E) FINISH FLOOR AND FLOOR SHEATHING TO BE REMOVED. EXPOSING (E) FLOOR FRAMING BELOW - PREPARE ARE TO INSTALL NEW FRAMING AS SHOWN ON STRUCTURAL PLANS</div> <div>(E) CEILING FINISHES AND LIGHT FIXTURES TO BE REMOVED</div> <div>(E) DOOR AND FRAME TO BE REMOVED</div> <div>(E) DOOR AND FRAME TO REMAIN</div> <div>(E) WINDOW AND FRAME TO BE REMOVED</div> <div>(E) WINDOW AND FRAME TO REMAIN</div> <div>(E) ELEVATOR SHAFT TO REMAIN AT BASEMENT - FRAMING AT MAIN FLOOR PLAN TO BE REMOVED - CONTRACTOR TO PREPARE ARE FOR NEW FRAMING AT THE EXISTING LOCATION - SEE PLANS</div> <div>(E) KITCHEN CABINETS AND EQUIPMENT TO BE REMOVED</div> <div>(E) BATHROOM FIXTURES, PLUMBING AND CABINETS TO BE REMOVED</div> <div>(E) POST TO BE REMOVED</div> <div>(E) ROUND STRUCTURAL POST TO REMAIN</div> <div>(E) FIREPLACE & CHIMNEY TO BE REMOVED</div> <div>(E) STAIRS TO REMAIN</div> <div>(E) GUARDRAIL TO REMAIN</div> <div>REMOVE PORTION OF CMU WALL</div> <div>REMOVE PORTION OF CMU WALL FOR A 30" WIDE x 42" HIGH CRAWL SPACE ACCESS</div> <div>REMOVE ENTIRE CMU WALL - SEE STRUCTURAL PLANS FOR REQUIRED SHORING</div> <div>(E) METAL DECK WALKWAY TO BE REMOVED</div> <div>(E) WD. DECK W/ CONCRETE FINISH TO REMAIN - REFER TO KEYNOTE #2 ABOVE</div> <div>(E) CONCRETE SLAB TO BE REMOVED</div> <div>(E) LOCATION OF UTILITY METERS</div> <div>(E) 8"x16" OPENING AT CMU WALL FOR VENTING</div> <div>(E) CRAWL SPACE ACCESS PANEL TO REMAIN</div> <div>(E) LOW CMU WALL TO REMAIN</div> <div>(E) FLOOR LINE ABV.</div>



broeske architects
& associates, inc.



4344 latham street, suite 100
riverside, ca 92501-1773
ph. (951) 300 1866
fx. (951) 300 1868



CONSULTANTS

NEAL RESIDENCE REMODEL

4674 BEACON WAY, RIVERSIDE, CA 92501

THIS DRAWING AND THE DESIGN ARRANGEMENTS, SPECIFICATIONS, NOTES AND OTHER INFORMATION CONTAINED HEREIN CONSTITUTE UNPUBLISHED WORK OF BROESKE ARCHITECTS & ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF BROESKE ARCHITECTS & ASSOCIATES, INC. IN PERPETUITY. NO PART THEREOF SHALL BE REPRODUCED, COPIED, REPRODUCED, REPRINTED, SOLD, PUBLISHED OR OTHERWISE USED IN ANY MANNER WITHOUT THE ADVANCE EXPRESS WRITTEN CONSENT OF BROESKE ARCHITECTS & ASSOCIATES, INC.. ANY CONTACT WITH THE ABOVE DRAWING, OR ANY PART THEREOF, SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

APN:	207-033-033-3
JOB NO.	17-028
DATE	05/03/2019
DRAWN BY	RS
CHECKED BY	ALB
SCALE	

REVISIONS:
05/24/2019
PLAN CHECK COMMENTS

SHEET TITLE
EXISTING & DEMOLITION
FLOOR PLANS

SHEET NO.

A2.0



CONSULTANTS

NEAL RESIDENCE REMODEL

4674 BEACON WAY, RIVERSIDE, CA 92501

THIS DRAWING AND THE DESIGN, ARRANGEMENTS, DETAILING, REBAR AND OTHER INFORMATION CONTAINED HEREIN CONSTITUTE UNPUBLISHED WORK OF BROESKE ARCHITECTS & ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF BROESKE ARCHITECTS & ASSOCIATES, INC. IN PERPETUITY. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF BROESKE ARCHITECTS & ASSOCIATES, INC. ANY CONTRACT WITH THE ABOVE DRAWING, OR ANY PART THEREOF, SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

APN:	207-033-033-3
JOB NO.:	17-028
DATE:	05/03/2019
DRAWN BY:	RS
CHECKED BY:	JB
SCALE:	

REVISIONS:
05/24/2019
PLAN CHECK COMMENTS

SHEET TITLE

MAIN LEVEL
FLOOR PLAN

SHEET NO.

A2.1

PROPOSED FLOOR PLAN WALL LEGEND

NEW EXTERIOR 2x6 WD. STUD FRAMING WALL, W/ NEW HARDIE PANEL SIDING OR WATER RESISTIVE BARRIER O' PLYWD. SHEATHING (WHERE OCCURS PER STRUCT. DWGS.) @ EXTERIOR SIDE - SEE DETAILS 1 & 2/A7.2

2x6 STUD WALL W/ NEW THERMAL INSUL. AS REQUIRED PER ENERGY CALCULATIONS & NEW 5/8" GYP. BD. @ INSIDE FACE

2x6 STUD WALL W/ NEW THERMAL INSUL. AS REQUIRED PER ENERGY CALCULATIONS & NEW 5/8" GYP. BD. @ INSIDE FACE

2x6 STUD WALL W/ NEW THERMAL INSUL. AS REQUIRED PER ENERGY CALCULATIONS & NEW 5/8" GYP. BD. @ INSIDE FACE

2x6 STUD WALL W/ NEW THERMAL INSUL. AS REQUIRED PER ENERGY CALCULATIONS & NEW 5/8" GYP. BD. @ INSIDE FACE

NEW INTERIOR 2x4 WD. STUD FRAMING WALL FULL HT. TO STRUCT. ABV. (U.N.O.) W/ 5/8" GYP. BD. FINISH AT BOTH SIDES (U.N.O.) - SEE DETAIL 3/A7.2

2x4 STUD WALL

2x6 STUD WALL

2x6 STUD WALL W/ ACOUSTICAL INSULATION

2x4 DBL. STUD WALL - SEE DETAIL 3/A7.2

NEW 2x4 FLAT STUD FRAMED WALL AT POCKET DOOR

NEW 2x4 STUD FRAMED WALL AT SHOWER ENCLOSURE W/ NEW CEMENT BACKBOARD W/ TILE FINISH AT ENCLOSURE SIDE

NEW 2x6 STUD FRAMED WALL AT SHOWER ENCLOSURE W/ NEW CEMENT BACKBOARD W/ TILE FINISH AT ENCLOSURE SIDE

NEW 2x6 FURRING AT CMU WALL - SEE DETAIL 4/A7.2

EXISTING INTERIOR WD. STUDS - WALL FIELD VERIFY EXACT THICKNESS. NEW 5/8" GYP. BD. ON EA. SIDE (AS REQUIRED) O' 1/2" PLYWD. SHEATHING (WHERE OCCURS PER STRUCT. DWGS.)

EXISTING CMU WALL W/ PLASTER FINISH AT INTERIOR - CONTRACTOR TO PATCH & REPAIR AS NEEDED AND APPLY NEW PAINT FINISH

NEW CMU WALL (8" OR 12") - SEE STRUCT. PLANS

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS.

2. CONTRACTOR TO VERIFY CONDITIONS OF EXISTING CONDITIONS AND NOTIFY ARCHITECT OF INADEQUATE CONDITIONS.

3. ALL F.M.C. TO OCCUR AT CENTER OF DOOR JAMBS, U.N.O.

4. ALL INTERIOR CEILINGS TO BE GYP. BD. U.N.O.

5. SHOWER COMPARTMENTS AND WALLS ABV. BATH TUBS W/ INSTALL LED SHOWER INSIDE SHALL BE FINISHED W/ A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABV. THE DRAIN INLET PER C.B.C. 1210.2.3.

6. BUILT-IN TUBS W/ SHOWERS SHALL HAVE WATERPROOF JOINTS BETWEEN THE TUB & ADJ. WALL. PER C.B.C. 1210.2.4.

7. CONTRACTOR TO PROVIDE APPROPRIATE BACKING & SUPPORTS FOR ALL WALL MOUNTED SHELVEING AND COUNTER TOPS.

8. CONTRACTOR TO COORDINATE W/ OWNER FOR ALL CUSTOM FABRICATED ITEMS.

9. CONTRACTOR IS TO COORDINATE W/ OWNER AND INTERIOR DESIGNER FOR ALL INTERIOR FINISHES FOR THIS PROJECT.

10. REFER TO STRUCTURAL, ELECTRICAL, MECHANICAL, & PLUMBING PLANS FOR MORE INFORMATION NOT PROVIDED HERE.

INTERIOR ELEVATIONS KEY
- SEE SHEET A5.1 & A5.2

BASEMENT WATERPROOFING &
VAPOR BARRIER

ALL WATERPROOFING AND SLAB VAPOR BARRIERS SHOULD BE IN ACCORDANCE TO 2016 CRC. WALLS OR PORTIONS THEREOF THAT RETAIN EARTH AND ENCLOSE INTERIOR SPACES AND FLOORS BELOW GRADE SHALL BE WATERPROOFED IN ACCORDANCE WITH 2016 CRC SECTION 406.

1. CONTRACTOR TO PROVIDE XYPEX ADMIX C-600/350 NF (OR APPROVED EQUAL) TO ALL CONCRETE MIXTURE USED IN THE BASEMENT (LID, FOOTINGS, SLAB ETC) FOR WATERPROOFING.

2. CONTRACTOR TO PROVIDE A 6-MIL POLYETHYLENE VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6" SHALL BE PLACED BETWEEN THE BASE COURSE OR SUBGRADE AND THE CONCRETE FLOOR SLAB (OR APPROVED EQUAL) PER CRC R506.

3. CONTRACTOR TO PROVIDE A 60-MIL (1.5mm) SOLVENT-FREE LIQUID-APPLIED SYNTHETIC RUBBER ON ALL FOUNDATION WALLS RETAINING EARTH AND ENCLOSED INTERIOR SPACES AND FLOORS BELOW GRADE.

NEW HYDRAULIC RESIDENTIAL ELEVATOR BY ARROW LIFT (DESIGNED AND MANUFACTURED IN ACCORDANCE W/ SECTION 5.3 OF ASME A17.1-2004 SAFETY CODE FOR ELEVATORS & ESCALATORS) - TO BE INSTALL BY ARROW LIFT

NEW ELEVATOR MAIN CONTROL BOX AND POWER UNIT LOCATION - INSTALLED BY ARROW LIFT

8"X16" OPENING AT CMU WALL FOR REQUIRED VENTING AT CRAWL SPACE ABV. - CONTRACTOR TO REMOVE EXISTING 8"X16" BLOCK AND PROVIDE NEW MESH FOR SCREENING - EXACT LOCATION TO BE FIELD VERIFIED.

18x24 MIN. CRAWL SPACE ACCESS PANEL THROUGH FLOOR

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

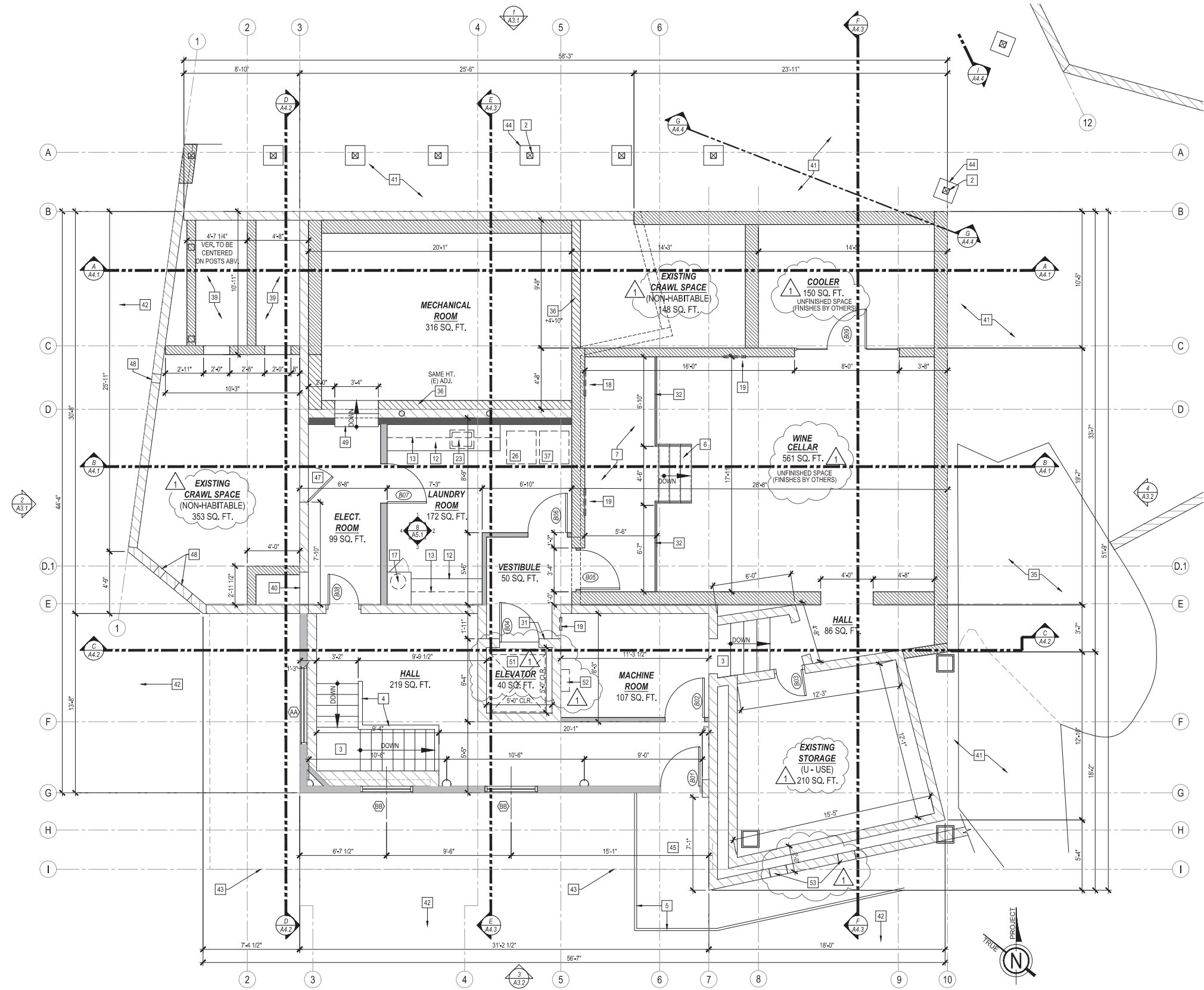
1

1

1

1

1



BASEMENT FLOOR PLAN

1/4" = 1'-0"

PROPOSED FLOOR PLAN WALL LEGEND	FLOOR PLAN KEYNOTES
<div><div></div>NEW EXTERIOR 2x6 WD. STUD FRAMING WALL W/ NEW HARDIE PANEL SIDING O/ WATER RESISTIVE BARRIER O/ PLYWD. SHEATHING (WHERE OCCURS PER STRUCT. DWGS.) @ EXTERIOR SIDE - SEE DETAILS 1 & 2/A7.2</div> <div><div></div>2x6 STUD WALL W/ NEW THERMAL INSUL. AS REQUIRED PER ENERGY CALCULATIONS & NEW 5/8" GYP. BD. @ INSIDE FACE</div> <div><div></div>2x6 STUD WALL W/ NEW 5/8" GYP. BD. @ INSIDE FACE</div> <div><div></div>2x6 STUD WALL W/ NEW HARDIE PANEL SIDING O/ WATER RESISTIVE BARRIER O/ PLYWD. SHEATHING (WHERE OCCURS PER STRUCT. DWGS.) AT BOTH SIDES.</div> <div><div></div>2x6 STUD WALL W/ NEW CEMENT BACKBOARD W/ TILE FINISH AT ENCLOSURE SIDE</div> <div><div></div>NEW INTERIOR 2x WD STUD FRAMING WALL FULL HT. TO STRUCT. ABV. (U.N.O.) W/ 5/8" GYP. BD. FINISH AT BOTH SIDES (U.N.O.) - SEE DETAIL 3/A7.2</div> <div><div></div>2x4 STUD WALL</div> <div><div></div>2x6 STUD WALL</div> <div><div></div>2x6 STUD WALL W/ ACOUSTICAL INSULATION</div> <div><div></div>2x4 DBL. STUD WALL - SEE DETAIL 3/A7.2</div> <div><div></div>NEW 2x4 FLAT STUD FRAMED WALL AT POCKET DOOR</div> <div><div></div>NEW 2x4 STUD FRAMED WALL AT SHOWER ENCLOSURE W/ NEW CEMENT BACKBOARD W/ TILE FINISH AT ENCLOSURE SIDE</div> <div><div></div>NEW 2x6 STUD FRAMED WALL AT SHOWER ENCLOSURE W/ NEW CEMENT BACKBOARD W/ TILE FINISH AT ENCLOSURE SIDE</div> <div><div></div>NEW 2x6 FURRING AT CMU WALL - SEE DETAIL 4/A7.2</div> <div><div></div>EXISTING INTERIOR WD. STUDS WALL (FIELD VERIFY EXACT THICKNESS). NEW 5/8" GYP. BD. ON EA. SIDE (AS REQUIRED) O/ 1/2" PLYWD. SHEATHING (WHERE OCCURS PER STRUCT. DWGS.).</div> <div><div></div>EXISTING CMU WALL W/ PLASTER FINISH AT INTERIOR - CONTRACTOR TO PATCH & REPAIR AS NEEDED AND APPLY NEW PAINT FINISH</div> <div><div></div>NEW CMU WALL (8" OR 12") - SEE STRUCT. PLANS</div>	<div><div>1</div>2x6 LOW WALL AT KITCHEN ISLAND - SEE DETAIL 6/A7.2</div> <div><div>2</div>STRUCTURAL 6x6 WD. POST - SEE STRUCT. PLANS</div> <div><div>3</div>(E) STAIRS TO REMAIN</div> <div><div>4</div>(E) GUARDWALL TO REMAIN</div> <div><div>5</div>(E) GUARDRAIL TO REMAIN</div> <div><div>6</div>NEW WOOD STEPS - SEE DETAIL 11/A7.2</div> <div><div>7</div>NEW WOOD FRAME LANDING AND PLATFORM</div> <div><div>8</div>BUILT-IN GAS FIREPLACE - PROVIDE GAS LINE. SEE PLUMBING PLANS</div> <div><div>9</div>MEDIA NICHE ABV. FIREPLACE - SEE DETAIL 8/A7.2</div> <div><div>10</div>ART NICHE - SEE INT. ELEVATIONS - SEE DETAIL 5/A7.2</div> <div><div>11</div>ISLAND BUILT-IN W/ BREAKFAST BAR - SEE DETAIL 6/A7.2 REFER TO INT. ELEV.</div> <div><div>12</div>BASE CABINET - REFER TO INT. ELEV.</div> <div><div>13</div>UPPER CABINET - REFER TO INT. ELEV.</div> <div><div>14</div>VANITY BASE CABINET W/ SINK</div> <div><div>15</div>SHELF(VE)S - REFER TO PLAN</div> <div><div>16</div>CUSTOM CLOSET ORGANIZERS BY OTHER</div> <div><div>17</div>BUILT-IN LAUNDRY CHUTE - SEE INT. ELEV.</div> <div><div>18</div>WALL MOUNTED RETURN AIR GRILL - WALL MOUNTED - SEE MECHANICAL PLANS</div> <div><div>19</div>WALL MOUNTED SUPPLY AIR GRILL - WALL MOUNTED - SEE MECHANICAL PLANS</div> <div><div>20</div>DISHWASHER - PROVIDE SURFACE MOUNT AIR GAP - VER. DIMENSIONS W/ MANUF.</div> <div><div>21</div>VANITY SINK - SEE PLUMBING PLANS</div> <div><div>22</div>SINK W/ GARBAGE DISPOSAL - VER. DIMENSION W/ MANUF. - SEE PLUMBING PLANS</div> <div><div>23</div>LAUNDRY SINK - PROVIDE PLUMBING. SEE PLUMBING PLANS</div> <div><div>24</div>BUILT-IN SHOWER ENCLOSURE W/ FLOOR DRAIN - WALLS & FLOOR TO HAVE WATER RESISTANT TILE (SEE GEN. NOTES BELOW) - GLASS ENCLOSURE TO BE SHATTERPROOF (TEMPERED) - SEE DETAIL 7/A7.2</div> <div><div>25</div>WALL HUNG TOILET - INSTALL PER MANUFACTURER'S RECOMMENDATIONS - SEE PLUMBING PLANS</div> <div><div>26</div>WASHER LOCATION - PROVIDE WATER AND WASTE FOR WASHER (CONTROL VALVES TO BE RECESSES IN WALL)</div> <div><div>27</div>POT FILLER FAUCET - TO BE MOUNTED +20" ABV. BURNER HEIGHT - SEE PLUMBING PLANS</div> <div><div>28</div>VENTLESS WALL RANGE HOOD ABV. BY PROLINE RANGE HOODS OR EQ.</div> <div><div>29</div>60" CLEAR SUB-ZERO REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICE MAKER</div> <div><div>30</div>BUILT-IN VENTED HOOD ABV. - VERIFY DIMS. W/ MANUF. SPECIFICATIONS - PROVIDE GAS HOOK UPS - SEE PLUMBING PLANS</div> <div><div>31</div>ELEVATOR CALL-BUTTON LOCATION - CALL BUTTON BY ARROW-LIFT</div> <div><div>32</div>NEW GUARDRAIL +36" U.N.O. - PER C.B.C. SECTION 1015 - DESIGN & STYLE BY OTHERS</div> <div><div>33</div>14"x6" G.I. SCREENED & LOUVERED AIR VENT</div> <div><div>34</div>SITE WORK - SEE SITE PLAN</div> <div><div>35</div>(E) BOULDER - CONTRACTOR TO VERIFY EXACT LOCATION - TO REMAIN</div> <div><div>36</div>NEW 8" CMU LOW WALL - SEE PLAN FOR HT.</div> <div><div>37</div>CLOTHES DRYER LOCATION W/ DRYER VENT (VENT TO OUTSIDE) - 4" MIN. DIA. - REFER TO MECHANICAL PLANS</div> <div><div>38</div>FINISH FLOOR AT EXTERIOR - SEE SITE PLAN - FLUSH CONDITION AT FOLDING DOOR PANELS</div> <div><div>39</div>CRAWL SPACE</div> <div><div>40</div>(E) CRAWL SPACE ACCESS PANEL</div> <div><div>41</div>DIRT - UNDEVELOPED AREAS - EARTH</div> <div><div>42</div>HILLSIDE / GROUND BELOW</div> <div><div>43</div>LINE OF DECK ABV.</div> <div><div>44</div>CONCRETE FOOTINGS - SEE STRUCTURAL PLANS</div> <div><div>45</div>(E) DECK WALKWAY W/ NEW FINISH - SEE SITE PLAN</div> <div><div>46</div>(E) DECK W/ CONCRETE SLAB O/ METAL DECKING - PATCH AND REPAIR AS NEEDED</div> <div><div>47</div>CRAWL SPACE ACCESS PANEL 32" WIDE x 48" HIGH</div> <div><div>48</div>(E) 8"X16" OPENING AT CMU WALL FOR VENTING - CONTRACTOR TO PROVIDE NEW MESH SCREENING</div> <div><div>49</div>NEW CONC. STEPS</div> <div><div>50</div>(E) CONC. PAVING</div> <div><div>51</div>NEW HYDRAULIC RESIDENTIAL ELEVATOR BY ARROW LIFT (DESIGNED AND MANUFACTURED IN ACCORDANCE W/ SECTION 5.3 OF ASME A17.1-2004 SAFETY CODE FOR ELEVATORS & ESCALATORS) - TO BE INSTALL BY ARROW LIFT</div> <div><div>52</div>NEW ELEVATOR MAIN CONTROL BOX AND POWER UNIT LOCATION - INSTALLED BY ARROW LIFT</div> <div><div>53</div>8"X16" OPENING AT CMU WALL FOR REQUIRED VENTING AT CRAWL SPACE ABV. - CONTRACTOR TO REMOVE EXISTING 8"X16" BLOCK AND PROVIDE NEW MESH FOR SCREENING - EXACT LOCATION TO BE FIELD VERIFIED.</div> <div><div>54</div>18x24 MIN. CRAWL SPACE ACCESS PANEL THROUGH FLOOR</div>
<div><div></div>GENERAL NOTES</div> <div>1. CONTRACTOR TO VERIFY ALL DIMENSIONS.</div> <div>2. CONTRACTOR TO VERIFY CONDITIONS OF EXISTING CONDITIONS AND NOTIFY ARCHITECT OF INADEQUATE CONDITIONS.</div> <div>3. ALL VENTED TO OCCUR AT CENTER OF DOOR JAMBES, U.N.O.</div> <div>4. ALL INTERIOR CEILINGS TO BE GYP. BD. U.N.O.</div> <div>5. SHOWER COMPARTMENTS AND WALLS ABV. BATHTUBS W/ INSTALLED SHOWER HEADS SHALL BE FINISHED W/ A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABV. THE DRAIN INLET - PER C.B.C. 1210.2.3.</div> <div>6. BUILT-IN TUBS W/ SHOWERS SHALL HAVE WATERPROOF JOINTS BETWEEN THE TUB & ADJ. WALL. PER C.B.C. 1210.2.4.</div> <div>7. CONTRACTOR TO PROVIDE APPROPRIATE BACKING & SUPPORTS FOR ALL WALL MOUNTED SHELVING AND COUNTER TOPS.</div> <div>8. CONTRACTOR TO COORDINATE W/ OWNER FOR ALL CUSTOM FABRICATED ITEMS.</div> <div>9. CONTRACTOR IS TO COORDINATE W/ OWNER AND INTERIOR DESIGNER FOR ALL INTERIOR FINISHES FOR THIS PROJECT.</div> <div>10. REFER TO STRUCTURAL, ELECTRICAL, MECHANICAL, & PLUMBING PLANS FOR MORE INFORMATION NOT PROVIDED HERE.</div>	<div><div></div>INTERIOR ELEVATIONS KEY</div> <div>SEE SHEET A5.1 & A5.2</div>
<div><div></div>BASEMENT WATERPROOFING & VAPOR BARRIER</div> <div>ALL WATERPROOFING AND SLAB VAPOR BARRIERS SHOULD BE IN ACCORDANCE TO 2016 CRC. WALLS OR PORTIONS THEREOF THAT RETAIN EARTH AND ENCLOSE INTERIOR SPACES AND FLOORS BELOW GRADE SHALL BE WATERPROOFED IN ACCORDANCE WITH 2016 CRC SECTION 406.</div> <div>1. CONTRACTOR TO PROVIDE XYPEX ADMIX C-500/C500 NF (OR APPROVED EQUAL) TO ALL CONCRETE MIXTURE USED IN THE BASEMENT (L.D. FOOTINGS, SLAB ETC) FOR WATERPROOFING.</div> <div>2. CONTRACTOR TO PROVIDE A 6-MIL POLYETHYLENE VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6" - SHALL BE PLACED BETWEEN THE BASE COURSE OR SUBGRADE AND THE CONCRETE FLOOR SLAB (OR APPROVED EQUAL) PER CRC R506.</div> <div>3. CONTRACTOR TO PROVIDE A 60-MIL (1.5mm) SOLVENT-FREE LIQUID-APPLIED SYNTHETIC RUBBER ON ALL FOUNDATION WALLS RETAINING EARTH AND ENCLOSED INTERIOR SPACES AND FLOORS BELOW GRADE.</div>	<div><div>1</div>NEW HYDRAULIC RESIDENTIAL ELEVATOR BY ARROW LIFT (DESIGNED AND MANUFACTURED IN ACCORDANCE W/ SECTION 5.3 OF ASME A17.1-2004 SAFETY CODE FOR ELEVATORS & ESCALATORS) - TO BE INSTALL BY ARROW LIFT</div> <div><div>1</div>NEW ELEVATOR MAIN CONTROL BOX AND POWER UNIT LOCATION - INSTALLED BY ARROW LIFT</div> <div><div>1</div>8"X16" OPENING AT CMU WALL FOR REQUIRED VENTING AT CRAWL SPACE ABV. - CONTRACTOR TO REMOVE EXISTING 8"X16" BLOCK AND PROVIDE NEW MESH FOR SCREENING - EXACT LOCATION TO BE FIELD VERIFIED.</div> <div><div>1</div>18x24 MIN. CRAWL SPACE ACCESS PANEL THROUGH FLOOR</div>



CONSULTANTS

NEAL RESIDENCE REMODEL

4674 BEACON WAY, RIVERSIDE, CA 92501

THIS DRAWING AND THE DESIGN, ARRANGEMENTS, SPECIFICATIONS, REBAR AND OTHER INFORMATION CONTAINED HEREIN CONSTITUTE UNPUBLISHED WORK OF BROESKE ARCHITECTS & ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF BROESKE ARCHITECTS & ASSOCIATES, INC. IN PERPETUITY. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF BROESKE ARCHITECTS & ASSOCIATES, INC. ANY CONTRACT WITH THE ABOVE DRAWING, OR ANY PART THEREOF, SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

APN:	207-033-033-3
JOB NO.:	17-028
DATE:	05/03/2019
DRAWN BY:	RS
CHECKED BY:	JB
SCALE:	

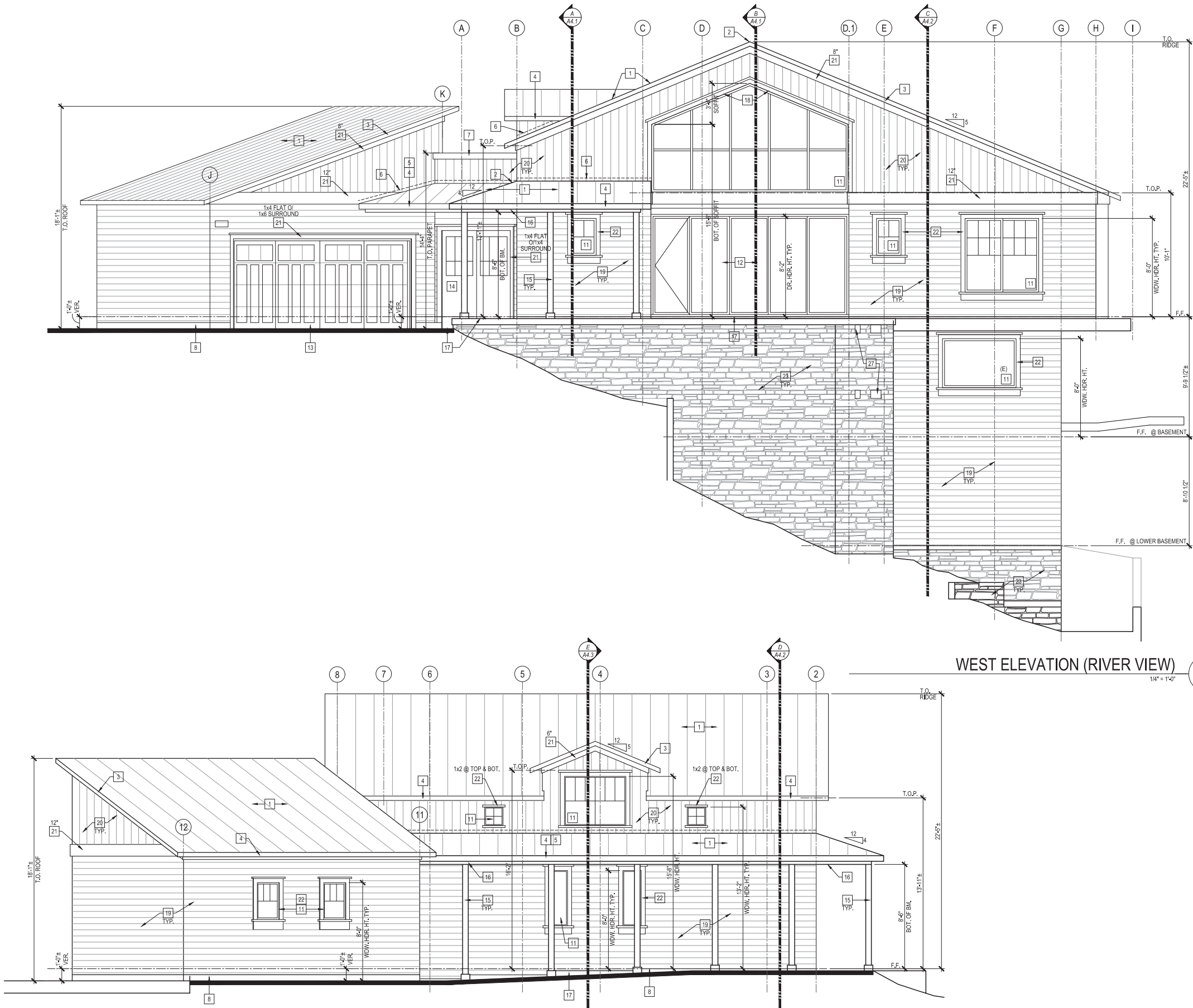
REVISIONS:
05/24/2019
PLAN CHECK COMMENTS

SHEET TITLE

BASEMENT
FLOOR PLAN

SHEET NO.

A2.2



PROPOSED EXTERIOR ELEVATIONS KEYNOTES	
1	METAL ROOF - STANDING SEAM MTL. ROOF PANELS (BY KELROY O'EO) O'WD. SHEATHING - "COOL ROOF" MATTE BLACK (SR1 26) - INSTALL PANELS PER MFR'S RECOMMENDATIONS
2	METAL RIDGE CAP
3	METAL RAKE TRIM O' 2X6 WD. BARGE BD. U.N.O.
4	METAL EAVE TRIM O' 2X6 WD. FACIA BD. U.N.O.
5	METAL GUTTER ATTACHED TO 2X6 WD. FACIA BD. U.N.O.
6	METAL G.I. FLASHING AT WALL
7	METAL COPING AT PARAPET WALL
8	G.I. DRIP SCREED - SEE DETAIL
9	14"x6" G.I. SCREENED & LOUVERED AIR VENT
10	12"x14" GABLE END LOUVERED VENT
11	WINDOW - SEE FLOOR PLAN
12	BI-FOLD GLASS PANEL DOORS W/ SWING DOOR - PER PLAN
13	SECTIONAL GARAGE DOOR - PER PLAN
14	SWING DOOR - PER PLAN
15	ROUGH SAWN 6x6 WD. POST W/ 6" BASE CAP U.N.O. - SEE FLOOR PLAN
16	STRUCTURAL WD. BEAM WRAPPED W/ 1X RESAWN WD. TRIM - SEE STRUCTURAL PLANS - SEE DETAIL
17	CONCRETE WALK WAY - SLOPE AWAY FROM WALL TO DRAIN
18	EXTERIOR SOFFIT FINISHED W/ HARDIE SOFFIT VENTED BD.
19	HARDIPLANK LAP SIDING 8" EXPOSURE - CEDARMILL FINISH
20	HARDIPLANK VERTICAL SIDING - CEDARMILL FINISH
21	HARDIE TRIMBOARD SMOOTH FINISH - SEE PLAN FOR SIZE
22	HARDIE WDW. TRIM SMOOTH FINISH - 1x4 FLAT O'1x4 SURROUND (@ TOP & SIDES) - 1x4 FLAT O'1x6 (@ BOT.) TYP. @ ALL WDW'S U.N.O.
23	STONE/ROCK FINISH APPLIED O' EXISTING CMU
24	(E) CMU RETAINING WALL TO REMAIN
25	ILLUMINATED ADDRESS PER CITY REQUIREMENTS
26	DECORATIVE EXTERIOR WALL MOUNTED LIGHT FIXTURE - SEE ELECTRICAL PLANS
27	(E) 8"x16" OPENING AT CMU WALL FOR VENTING - APPROX. LOCATION - PROVIDE NEW SCREEN MESH AT INT. SIDE

GENERAL NOTES	
1.	CONTRACTOR SHALL PROPERLY DISPOSED OF ALL CONSTRUCTION DEBRIS AND DISCARDED MATERIALS.
2.	CONTRACTOR TO VERIFY CONDITIONS OF EXISTING ITEMS TO REMAIN. C.A. TO NOTIFY ARCHITECT OF INADEQUATE CONDITIONS.
3.	CONTRACTOR TO VERIFY ALL DIMENSIONS.
4.	OWNER TO APPROVE OF ALL FINISH MATERIALS, COLOR & STYLE BEFORE APPLYING.
5.	ALL UTILITY METERS, BOXES, ETC. ARE TO BE PAINTED TO MATCH THE SURFACE THEY ARE ADJACENT TO.

broeske architects
& associates, inc.

4344 latham street, suite 100
riverside, ca 92501-1773
ph. (951) 300 1866
fx. (951) 300 1868



CONSULTANTS

NEAL RESIDENCE REMODEL

4674 BEACON WAY, RIVERSIDE, CA 92501

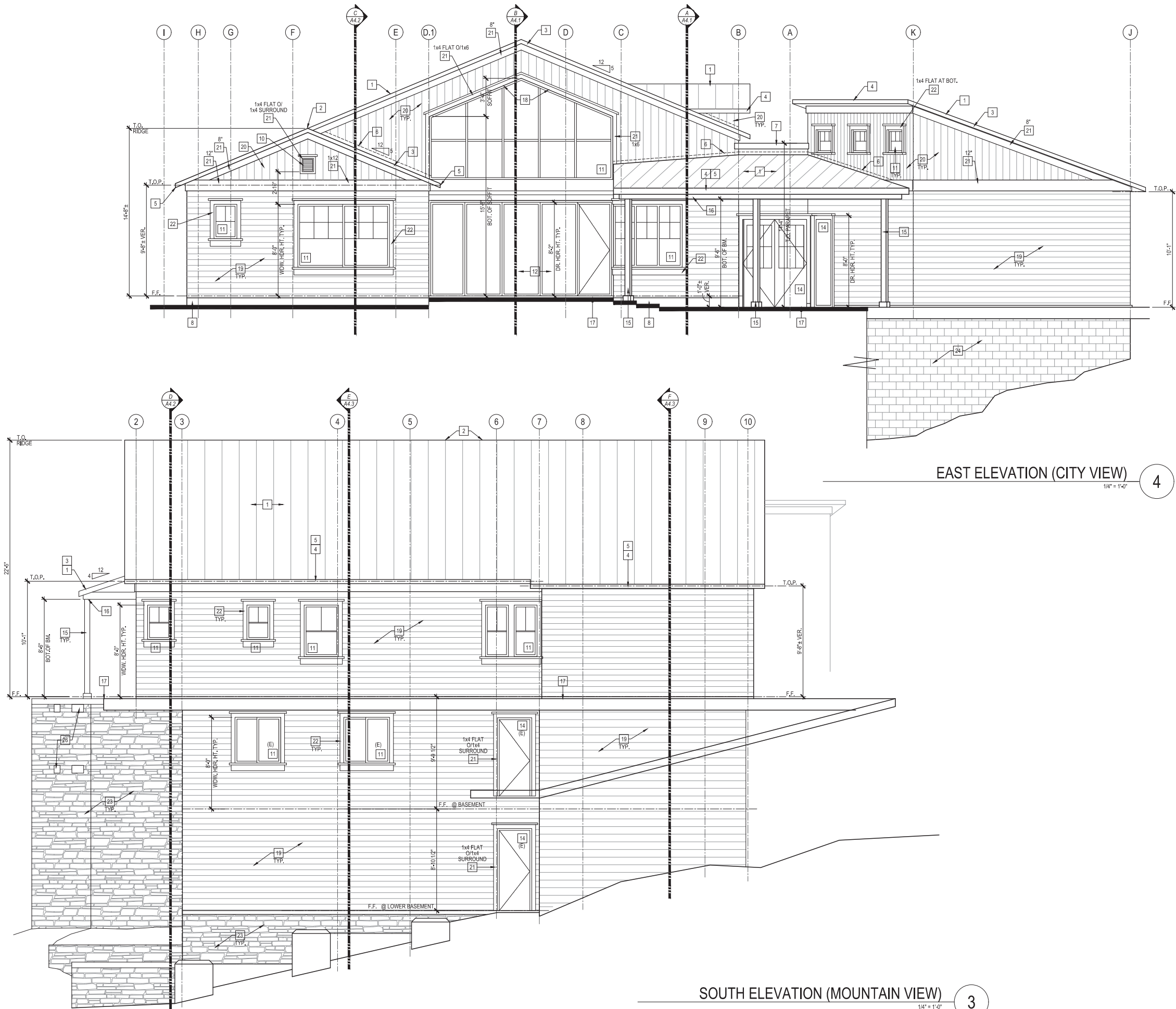
THIS DRAWING AND THE DESIGN, ARRANGEMENTS, SECTIONS, BEARS AND OTHER INFORMATION CONTAINED HEREIN CONSTITUTE UNPUBLISHED WORK OF BROESKE ARCHITECTS & ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF BROESKE ARCHITECTS & ASSOCIATES, INC. IN PERPETUITY. NO PART OF THIS DRAWING SHALL BE REPRODUCED, COPIED, REPRODUCED, REPRODUCED, PUBLISHED OR OTHERWISE USED IN ANY MANNER WITHOUT THE ADVANCE EXPRESS WRITTEN CONSENT OF BROESKE ARCHITECTS & ASSOCIATES, INC. ANY CONTACT WITH THE ABOVE DRAWING, OR ANY PART THEREOF, SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

APN:	207-033-033-3
JOB NO.	17-028
DATE	05/03/2019
DRAWN BY	RS
CHECKED BY	ALB
SCALE	
REVISIONS	
05/24/2019	PLAN CHECK COMMENTS

SHEET TITLE
EXTERIOR
ELEVATIONS

SHEET NO.

A3.1



PROPOSED EXTERIOR ELEVATIONS KEYNOTES	
1	METAL ROOF - STANDING SEAM MTL. ROOF PANELS (BY MCELROY O/EQ.) O/W.D. SHEATHING - "COOL ROOF" MATTE BLACK (SRI 26) - INSTALL PANELS PER MFR'S RECOMMENDATIONS
2	METAL RIDGE CAP
3	METAL RAKE TRIM O/ 2X6 WD. BARGE BD. U.N.O.
4	METAL EAVE TRIM O/ 2X6 WD. FACIA BD. U.N.O.
5	METAL GUTTER ATTACHED TO 2X6 WD. FACIA BD. U.N.O.
6	METAL G.I. FLASHING AT WALL
7	METAL COPING AT PARAPET WALL
8	G.I. DRIP SCREED - SEE DETAIL
9	14"x6" G.I. SCREENED & LOUVERED AIR VENT
10	12"x14" GABLE END LOUVERED VENT
11	WINDOW - SEE FLOOR PLAN
12	BIFOLD GLASS PANEL DOORS W/ SWING DOOR - PER PLAN
13	SECTIONAL GARAGE DOOR - PER PLAN
14	SWING DOOR - PER PLAN
15	ROUGH SAWN 6x6 WD. POST W/ 6" BASE CAP U.N.O. - SEE FLOOR PLAN
16	STRUCTURAL W.D. BEAM WRAPPED W/ 1X RESAWN WD. TRIM - SEE STRUCTURAL PLANS - SEE DETAIL
17	CONCRETE WALK WAY - SLOPE AWAY FROM WALL TO DRAIN
18	EXTERIOR SOFFIT FINISHED W/ HARDIE SOFFIT VENTED BD.
19	HARDIPLANK LAP SIDING 8" EXPOSURE - CEDARMILL FINISH
20	HARDIPLANK VERTICAL SIDING - CEDARMILL FINISH
21	HARDIE TRIMBOARD SMOOTH FINISH - SEE PLAN FOR SIZE
22	HARDIE WDW. TRIM SMOOTH FINISH - 1x4 FLAT O/1x4 SURROUND (@ TOP & SIDES) - 1x4 FLAT O/1x6 (@ BOT.) TYP. @ ALL WDW'S U.N.O.
23	STONE/ROCK FINISH APPLIED O/ EXISTING CMU
24	(E) CMU RETAINING WALL TO REMAIN
25	ILLUMINATED ADDRESS PER CITY REQUIREMENTS
26	DECORATIVE EXTERIOR WALL MOUNTED LIGHT FIXTURE - SEE ELECTRICAL PLANS
27	(E) 8"x16" OPENING AT CMU WALL FOR VENTING - APPROX. LOCATION - PROVIDE NEW SCREEN MESH AT INT. SIDE

GENERAL NOTES	
1.	CONTRACTOR SHALL PROPERLY DISPOSED OF ALL CONSTRUCTION DEBRIS AND DISCARDED MATERIALS.
2.	CONTRACTOR TO VERIFY CONDITIONS OF EXISTING ITEMS TO REMAIN. C/L TO NOTIFY ARCHITECT OF INADEQUATE CONDITIONS.
3.	CONTRACTOR TO VERIFY ALL DIMENSIONS.
4.	OWNER TO APPROVE OF ALL FINISH MATERIALS, COLOR & STYLE BEFORE APPLYING.
5.	ALL UTILITY METERS, BOXES, ETC. ARE TO BE PAINTED TO MATCH THE SURFACE THEY ARE ADJACENT TO.

broeske architects
& associates, inc.

4344 latham street, suite 100
riverside, ca 92501-1773
ph. (951) 300 1866
fx. (951) 300 1868



CONSULTANTS

NEAL RESIDENCE REMODEL

4674 BEACON WAY, RIVERSIDE, CA 92501

THIS DRAWING AND THE DESIGN, ARRANGEMENTS, SECTIONS, BEARS AND OTHER INFORMATION CONTAINED HEREIN CONSTITUTE UNPUBLISHED WORK OF BROESKE ARCHITECTS & ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF BROESKE ARCHITECTS & ASSOCIATES, INC. IN PERPETUITY. NO PART OF THIS DRAWING SHALL BE REPRODUCED, COPIED, REPRODUCED, REPRODUCED, PUBLISHED OR OTHERWISE USED IN ANY MANNER WITHOUT THE ADVANCE EXPRESS WRITTEN CONSENT OF BROESKE ARCHITECTS & ASSOCIATES, INC. ANY CONTACT WITH THE ABOVE DRAWING, OR ANY PART THEREOF, SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

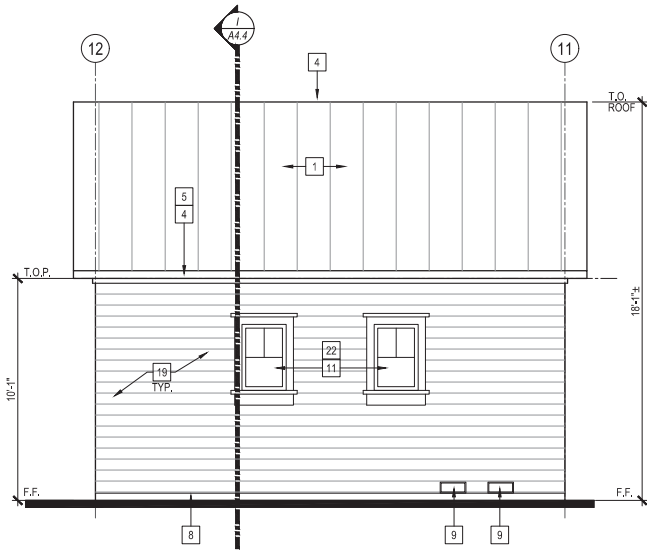
APN:	207-033-033-3
JOB NO.	17-028
DATE	05/03/2019
DRAWN BY	RS
CHECKED BY	JLB
SCALE	

REVISIONS:
06/24/2019
PLAN CHECK COMMENTS

SHEET TITLE
EXTERIOR
ELEVATIONS

SHEET NO.

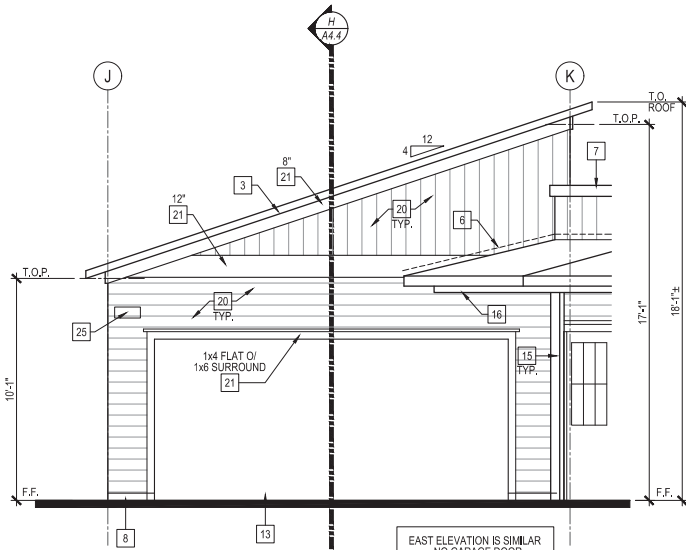
A3.2



GARAGE NORTH ELEVATION

1/4" = 1'-0"

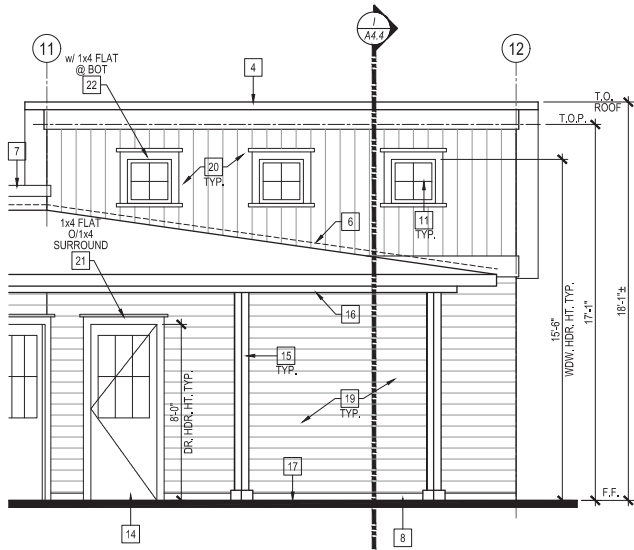
5



GARAGE WEST ELEVATION

1/4" = 1'-0"

6



GARAGE SOUTH ELEVATION

1/4" = 1'-0"

7

PROPOSED EXTERIOR
ELEVATIONS KEYNOTES

- 1 METAL ROOF - STANDING SEAM MTL. ROOF PANELS (BY MCELROY O'EQ.) O'WD. SHEATHING - "COOL ROOF" MATTE BLACK (SRI 26) - INSTALL PANELS PER MFR'S RECOMMENDATIONS
- 2 METAL RIDGE CAP
- 3 METAL RAKE TRIM O' 2X6 WD. BARGE BD. U.N.O.
- 4 METAL EAVE TRIM O' 2X6 WD. FACIA BD. U.N.O.
- 5 METAL GUTTER ATTACHED TO 2X6 WD. FACIA BD. U.N.O.
- 6 METAL G.I. FLASHING AT WALL
- 7 METAL COPING AT PARAPET WALL
- 8 G.I. DRIP SCREED - SEE DETAIL
- 9 14"x6" G.I. SCREENED & LOUVERED AIR VENT
- 10 12"x14" GABLE END LOUVERED VENT
- 11 WINDOW - SEE FLOOR PLAN
- 12 BI-FOLD GLASS PANEL DOORS W/ SWING DOOR - PER PLAN
- 13 SECTIONAL GARAGE DOOR - PER PLAN
- 14 SWING DOOR - PER PLAN
- 15 ROUGH SAWN 6x6 WD. POST W/ 6" BASE CAP U.N.O. - SEE FLOOR PLAN
- 16 STRUCTURAL WD. BEAM WRAPPED W/ 1" X RESAWN WD. TRIM - SEE STRUCTURAL PLANS - SEE DETAIL
- 17 CONCRETE WALK WAY - SLOPE AWAY FROM WALL TO DRAIN
- 18 EXTERIOR SOFFIT FINISHED W/ HARDIE SOFFIT VENTED BD.
- 19 HARDIPLANK LAP SIDING 8" EXPOSURE - CEDARMILL FINISH
- 20 HARDIPLANK VERTICAL SIDING - CEDARMILL FINISH
- 21 HARDIE TRIM/BOARD SMOOTH FINISH - SEE PLAN FOR SIZE
- 22 HARDIE WOW. TRIM SMOOTH FINISH - 1x4 FLAT O'1x4 SURROUND (@ TOP & SIDES) - 1x4 FLAT O'1x6 (@ BOT.) TYP. @ ALL WOWS U.N.O.
- 23 STONE/ROCK FINISH APPLIED O' EXISTING CMU
- 24 (E) CMU RETAINING WALL TO REMAIN
- 25 ILLUMINATED ADDRESS PER CITY REQUIREMENTS
- 26 DECORATIVE EXTERIOR WALL MOUNTED LIGHT FIXTURE - SEE ELECTRICAL PLANS
- 27 (E) 8"x16" OPENING AT CMU WALL FOR VENTING - APPROX. LOCATION - PROVIDE NEW SCREEN MESH AT INT. SIDE

GENERAL NOTES

1. CONTRACTOR SHALL PROPERLY DISPOSED OF ALL CONSTRUCTION DEBRIS AND DISCARDED MATERIALS.
2. CONTRACTOR TO VERIFY CONDITIONS OF EXISTING ITEMS TO REMAIN. C/L TO NOTIFY ARCHITECT OF INADEQUATE CONDITIONS.
3. CONTRACTOR TO VERIFY ALL DIMENSIONS.
4. OWNER TO APPROVE OF ALL FINISH MATERIALS, COLOR & STYLE BEFORE APPLYING.
5. ALL UTILITY METERS, BOXES, ETC. ARE TO BE PAINTED TO MATCH THE SURFACE THEY ARE ADJACENT TO.



CONSULTANTS

NEAL RESIDENCE
REMODEL

4674 BEACON WAY, RIVERSIDE, CA 92501

THIS DRAWING AND THE DESIGN, ARRANGEMENTS, DETAILING, BEARS AND OTHER INFORMATION CONTAINED HEREIN CONSTITUTE UNPUBLISHED WORK OF BROESKE ARCHITECTS & ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF BROESKE ARCHITECTS & ASSOCIATES, INC. IN PERPETUITY. NO PART HEREOF SHALL BE REPRODUCED, COPIED, REPRODUCED, REPRODUCED, PUBLISHED OR OTHERWISE USED IN ANY MANNER WITHOUT THE ADVANCE WRITTEN CONSENT OF BROESKE ARCHITECTS & ASSOCIATES, INC. ANY CONTRACT WITH THE ABOVE DRAWING, OR ANY PART THEREOF, SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

APN:	207-033-033-3
JOB NO.	17-028
DATE	05/03/2019
DRAWN BY	RS
CHECKED BY	JLB
SCALE	

REVISIONS:

06/24/2019

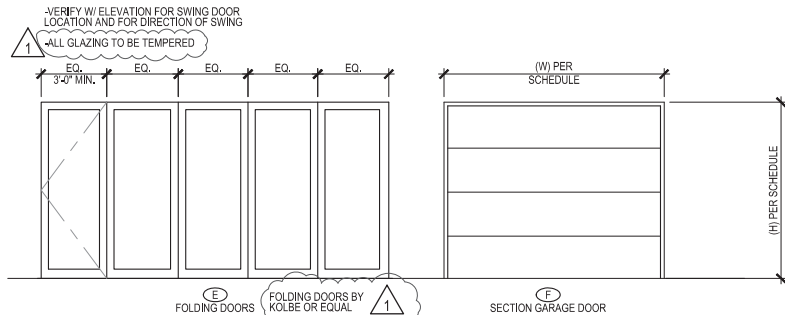
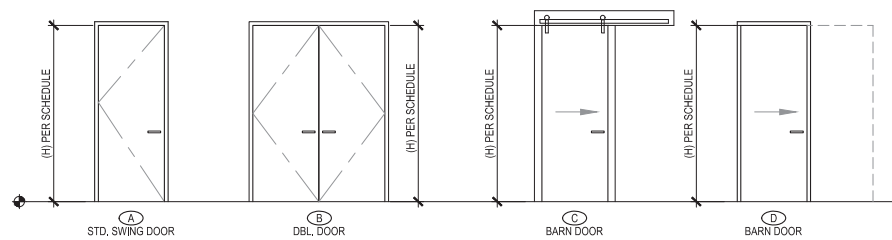
PLAN CHECK COMMENTS

SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NO.

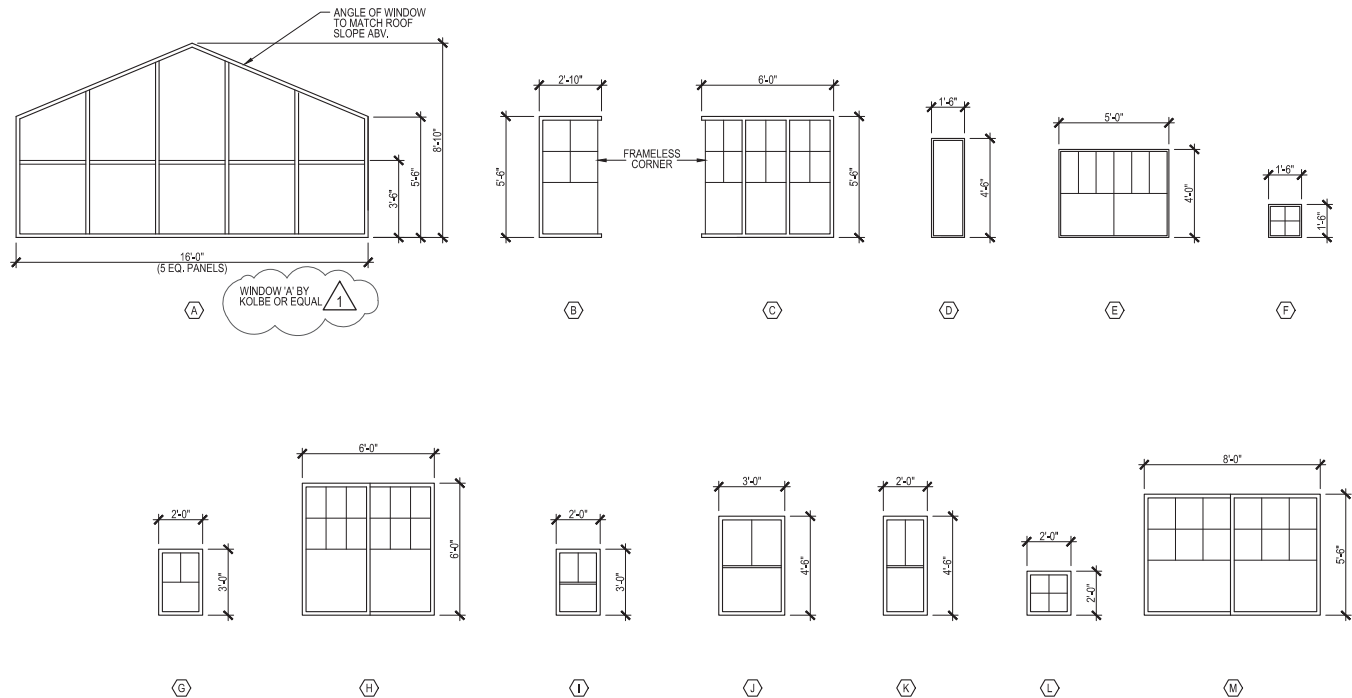
A3.3



②	SIZE	DOOR					FRAME		DETAILS					REMARKS
NO.	TYPE	W	H	THICK.	MATERIAL	FIN.	GLASS	MAT.	FIN.	HEAD	JAMB	SILL	HDWR.	
MAIN FLOOR														
101	B	6'-0"	8'-0"	1 3/4"	WD	P2	-	WD	P2	7/16.3	-	11/16.3	-	
102	E	16'-0"	8'-0"	1 3/4"	WC/FG - GL	FF	1" DUAL CLR.	WD	FF	-	-	-	-	
103	E	16'-0"	8'-0"	1 3/4"	WC/FG - GL	FF	1" DUAL CLR.	WD	FF	-	-	-	-	
104	C	3'-6"	8'-0"	1 3/8"	WD	STN	-	WD	P1	8/16.3	8/16.3	10/16.3	-	
105	A	3'-0"	8'-0"	1 3/8"	WD	STN	-	WD	P1	8/16.3	8/16.3	-	-	
106	A	2'-6"	8'-0"	1 3/8"	WD	STN	-	WD	P1	8/16.3	8/16.3	-	-	
107	A	2'-6"	8'-0"	1 3/8"	WD	STN	-	WD	P1	8/16.3	8/16.3	-	-	
108	A	2'-6"	8'-0"	1 3/8"	WD	STN	-	WD	P1	8/16.3	8/16.3	-	-	
109	A	3'-0"	8'-0"	1 3/8"	WD	STN	-	WD	P1	8/16.3	8/16.3	-	-	
110	A	3'-0"	8'-0"	1 3/8"	WD	STN	-	WD	P1	8/16.3	8/16.3	-	-	
111	D	2'-8"	8'-0"	1 3/8"	WD	P1	-	WD	P1	-	-	-	-	
112	A	3'-0"	8'-0"	1 3/4"	HC / EXT GR	STN	-	WD	P1	7/16.3	-	11/16.3	-	
113	F	16'-0"	8'-0"	1 3/8"	ALUM	FF	-	WD	P1	5/16.3	5/16.3	6/16.3	-	
BASEMENT FLOOR LEVEL														
B01	A	3'-0"	6'-8"	1 3/4"	HC / EXT GR	P2	-	WD	P2	7/16.3	-	11/16.3	-	
B02	A	3'-0"	6'-8"	1 3/8"	HC	P1	-	WD	P1	8/16.3	8/16.3	-	-	
B03	A	2'-0"	6'-8"	-	-	-	-	-	-	-	-	-	-	EXISTING
B04	A	3'-0"	6'-8"	1 3/8"	WD	P1	-	WD	P1	8/16.3	8/16.3	-	-	
B05	A	3'-0"	6'-8"	1 3/8"	WD	P1	-	WD	P1	8/16.3	8/16.3	-	-	
B06	A	3'-0"	6'-8"	1 3/8"	WD	P1	-	WD	P1	8/16.3	8/16.3	-	-	
B07	A	3'-0"	6'-8"	1 3/8"	WD	P1	-	WD	P1	8/16.3	8/16.3	-	-	
B08	A	2'-4"	6'-8"	-	-	-	-	-	-	-	-	-	-	EXISTING
B09	-	3'-0"	6'-8"	-	-	-	-	-	-	-	-	-	-	DOOR AND SIDELITES BY OTHERS

- NOTES:
1. PAINT AND STAIN COLORS TO BE SELECTED AND APPROVED BY OWNER.
 2. ACTUAL DESIGN & STYLE TO BE SELECTED BY THE OWNER U.N.O.
 3. CONTRACTOR TO COORDINATE WITH OWNER FOR ANY ADDITIONAL AND/OR SPECIAL HARDWARE REQUIRE.
 4. REFER TO ENERGY CALCULATIONS FOR ANY SPECIAL GLAZING.
 5. ALL WINDOW GLAZING TO HAVE SUNCOATMAX LOW-E GLASS COATING.
- ABBREVIATIONS LEGEND:
- ALUM. ALUMINUM
CLR. CLEAR
EXT GR EXTERIOR GRADE
FFW FACTORY FINISH / WHITE
GL GLASS
HC HOLLOW CORE
MTL METAL
- P1 PAINTED (SELECTED BY OWNER)
P2 PAINTED (SEE ELEVATION)
PH PANIC HARDWARE (PANIC EXIT BAR)
SC SELF-CLOSER (CONCEALED OVERHEAD CLOSER)
SST STAINLESS STEEL
STN STAINED
- WC/FG WOODCLAD FIBERGLASS
WD WOOD / SOLID CORE

DOOR SCHEDULE

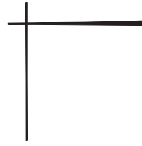


(A)	SIZE	STYLE	GLASS	FRAME	DETAILS	QUANTITY	REMARKS						
WDW.	W	H	THICK.	FIN.	TEMP.	MAT.	FIN.	HEAD	JAMB	SILL			
MAIN FLOOR													
A	16'-0"	8'-10"	FIXED	1/8"	CLR	-	WC/FG	P2	1/16.3 SIM.	4/16.3 SIM.	2/16.3 SIM.	2	
B	2'-10"	5'-6"	FIXED/CORNER	1/8"	CLR	TEMP.	WC/FG	P2	1/16.3	4/16.3 SIM.	2/16.3	1	
C	6'-0"	5'-6"	FIXED/CORNER	1/8"	CLR	-	WC/FG	P2	1/16.3	4/16.3 SIM.	2/16.3	1	
D	1'-6"	4'-6"	FIXED	1/8"	CLR	-	WC/FG	P2	1/16.3	4/16.3 SIM.	2/16.3	2	
E	5'-0"	4'-0"	FIXED	1/8"	CLR	-	WC/FG	P2	1/16.3	4/16.3 SIM.	2/16.3	1	
F	1'-6"	1'-6"	FIXED	1/4"	BLACKENED	-	WC/FG	P2	1/16.3	4/16.3 SIM.	2/16.3	2	
G	2'-0"	3'-0"	FIXED	1/8"	CLR	SEE PLAN	WC/FG	P2	1/16.3	4/16.3 SIM.	2/16.3	5	
H	6'-0"	6'-0"	SLIDER	1/8"	CLR	-	WC/FG	P2	1/16.3	4/16.3 SIM.	2/16.3	1	
I	2'-0"	3'-0"	SINGLE HUNG	1/8"	CLR	SEE PLAN	WC/FG	P2	1/16.3	4/16.3 SIM.	2/16.3	2	
J	3'-0"	4'-6"	SINGLE HUNG	1/8"	CLR	TEMP.	WC/FG	P2	1/16.3	4/16.3 SIM.	2/16.3	1	
K	2'-0"	4'-6"	SINGLE HUNG	1/8"	CLR	SEE PLAN	WC/FG	P2	1/16.3	4/16.3 SIM.	2/16.3	2	
L	2'-0"	2'-0"	FIXED	1/8"	CLR	-	WC/FG	P2	1/16.3	4/16.3 SIM.	2/16.3	3	
M	8'-0"	5'-6"	SLIDER	1/8"	CLR	-	WC/FG	P2	1/16.3	4/16.3 SIM.	2/16.3	1	
BASEMENT FLOOR LEVEL													
AA	6'-0"	4'-0"	FIXED	-	-	-	-	-	-	-	-	1	EXISTING
BB	4'-0"	4'-0"	SLIDER	-	-	-	-	-	-	-	-	2	EXISTING

- ABBREVIATIONS
- ALUM. - ALUMINUM
CLR. - CLEAR GLAZING
- P1 COLOR (SELECTED BY OWNER)
P2 COLOR (EXT. SEE ELEVATION) (INT. BY OWNER)
- WC/FG - WOODCLAD FIBERGLASS
- NOTES:
1. ALL GLASS AND GLAZING TO FULLY COMPLY WITH C.B.C. CHAPTER 24
 2. PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS, PER CBC 2406.
 3. ALL TEMPERED GLASS, AND WIRE GLASS SHALL CONFORM TO ANSI Z97.1-1975.
 4. ALL SUPPORT AND FRAMING TO FULLY COMPLY WITH C.B.C. SECTION 2403.2 GLASS SUPPORTS AND SECTION 2403.3 FRAMINGS.
 5. APPLY WEATHER PROOFING AT WINDOWS AND DOORS PER DETAIL 3/16.3.
 6. REFER TO ENERGY CALCULATIONS FOR ANY SPECIAL GLAZING
 7. ALL WINDOWS ARE MILDARDS WINDOWS OR EQUAL. U.N.O.
 8. ALL WINDOW GLAZING TO HAVE SUNCOATMAX LOW-E GLASS COATING.
 9. ALL SINGLE HUNG & SLIDER WINDOWS ARE TO BE PROVIDED W/ INSECT SCREEN.

WINDOW SCHEDULE

NEAL RESIDENCE REMODEL



NEAL RESIDENCE REMODEL
4674 BEACON WAY, RIVERSIDE, CA. 92501

AUGUST 6, 2019
broeske architects
& associates, inc.
4344 latham street, suite # 100
riverside, ca 92501-1773
ph. (951) 300-1866
fx. (951) 300-1868



EAST ELEVATION (CITY VIEW)

1/4" = 1'-0"



SOUTH ELEVATION (MOUNTAIN VIEW)

1/4" = 1'-0"

- | | | | | | |
|------|--|------|--|------|--|
| (G1) | WINDOW GLAZING:
CLEAR TINT
(FROSTED GLAZING AT
DBL. DOOR) | (M1) | METAL ROOF:
MCELROY METAL ROOF
MATTE BLACK (COOL ROOF) | (S1) | STONE VENEER:
EL DORADO STONE
YORK LIMESTONE |
| (P1) | HARDIEPLANK LAP SIDING:
SHERWIN WILLIAMS
SW7646 - FIRST STAR
(HARDIE SIDING, BOARDS &
TRIMS - POSTS & TRIMS) | (M2) | WINDOW FRAME:
BLACK | | |

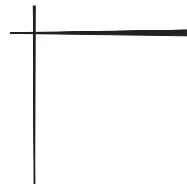
NEAL RESIDENCE REMODEL

4674 BEACON WAY, RIVERSIDE, CA. 92501

AUGUST 6, 2019

4344 latham street, suite # 100
riverside, ca 92501-1773
ph. (951) 300-1866
fx. (951) 300-1868

broeske architects
& associates, inc.



SW 7646
FIRST STAR
(SHERWIN WILLIAMS PAINT)

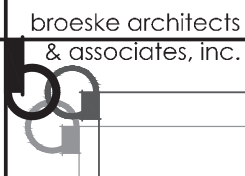


METAL COOL ROOF
MATTE BLACK
(McELROY METAL)
WINDOW FRAMES TO BE SIMILAR



VISION IMAGE FOR INSPIRATION ONLY, NOT AN IMAGE OF NEAL'S RESIDENCE

NEAL RESIDENCE REMODEL
4674 BEACON WAY, RIVERSIDE, CA. 92501



broeske architects
& associates, inc.

JUNE 26, 2019
4344 lotham street, suite # 100
riverside, ca 92501-1773
ph. (951) 300-1866
fx. (951) 300-1868

COLOR BOARD



FOLDING DOORS - BY KOLBE



WINDOWS - BY MILGARD



EL DORADO STONE
YORK LIMESTONE



FRENCH DOUBLE DOORS
W/ FROSTED GLAZING AT ENTRY (BLACK)



SECTIONAL GARAGE DOOR
(BLACK)

VISION IMAGE FOR INSPIRATION ONLY, NOT AN IMAGE OF NEAL'S RESIDENCE

COLOR BOARD

NEAL RESIDENCE REMODEL

4674 BEACON WAY, RIVERSIDE, CA. 92501

broeske architects
& associates, inc.

AUGUST 6, 2019

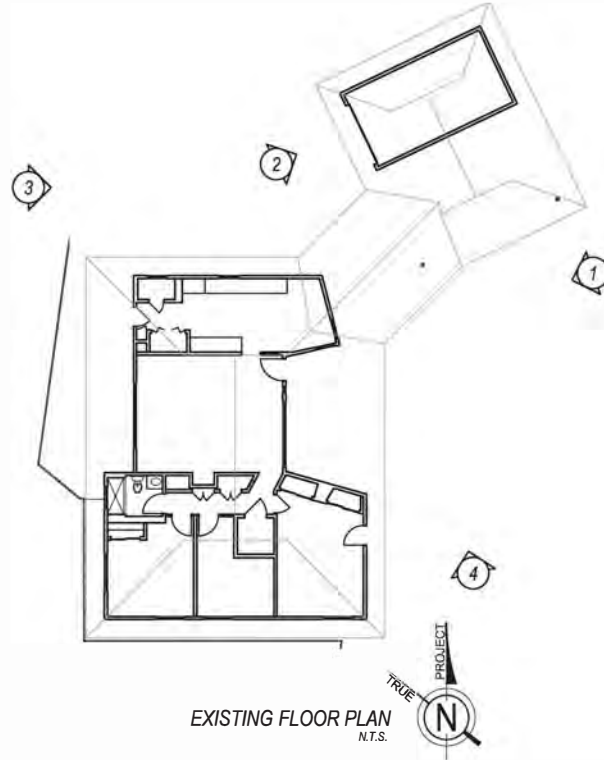
4344 latham street, suite # 100
riverside, ca 92501-1773
ph. (951) 300-1866
fx. (951) 300-1868



2



3



1



4

EXISTING ELEVATION PHOTOS

Exhibit 6 – Context Examples



Mid-Century Modern residence at 4660 Beacon Way, directly adjacent to subject property



1970s era residence at 4686 Beacon Way, directly adjacent to subject property



1970s era residence at 4686 Beacon Way, directly adjacent to subject property



1970s era residence at 4646 Beacon Way, nearby to subject property



California Ranch style residence at 3607 Mount Rubidoux Drive



View of subject property from 4671 Ladera Lane



After-the-Fact Demolition and New Construction at 4674 Beacon Way P19-0487 (COA)

Community & Economic
Development Department

Cultural Heritage Board
Agenda Item: 3
October 16, 2019

RiversideCA.gov

AERIAL LOCATION



2

RiversideCA.gov

RECENTLY DEMOLISHED RESIDENCE



3

RiversideCA.gov

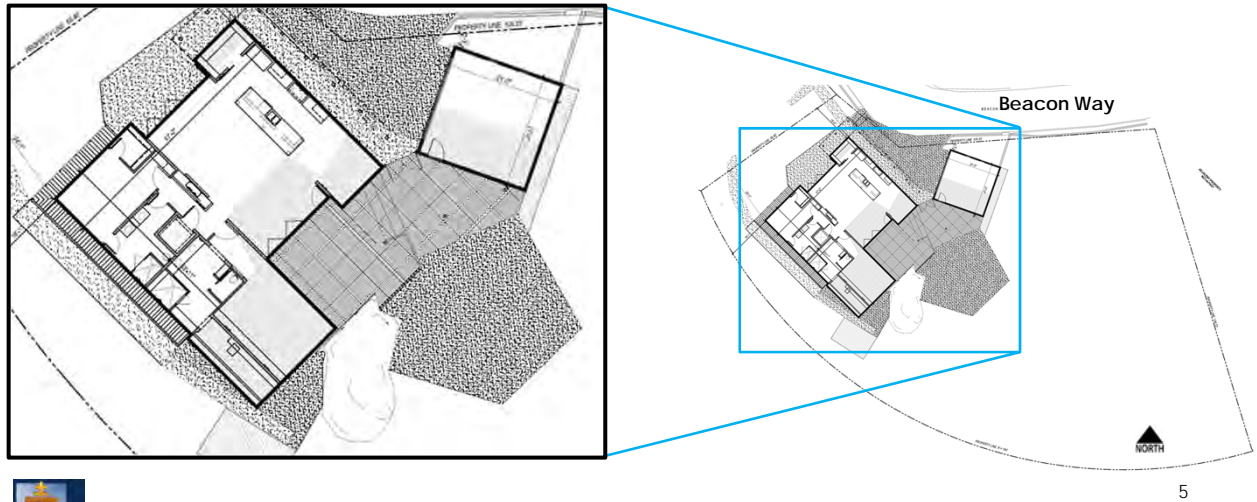
MOUNT RUBIDOUX HISTORIC DISTRICT



4

RiversideCA.gov

SITE PLAN



RiversideCA.gov

PROPOSED RESIDENCE - ELEVATIONS



North Elevation
(Facing Beacon Way)



West Elevation

6



RiversideCA.gov

PROPOSED RESIDENCE - ELEVATIONS



South Elevation



East Elevation



7

RiversideCA.gov

RECOMMENDATIONS

That the Cultural Heritage Board:

1. **DETERMINE** that the project is exempt from the California Environmental Quality Act (CEQA) review pursuant to Sections 15302 (Replacement or Reconstruction), 15331 (Historic Resource Restoration/Rehabilitation), and 15303 (New Construction or Conversion of Small Structures), as it constitutes the replacement of a single family residence compatible with the historic resource (Historic District), which is consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties; and
2. **APPROVE** Planning Case P19-0487 (Certificate of Appropriateness), based on the findings outlined and summarized in the staff report and subject to the recommended conditions.



8

RiversideCA.gov



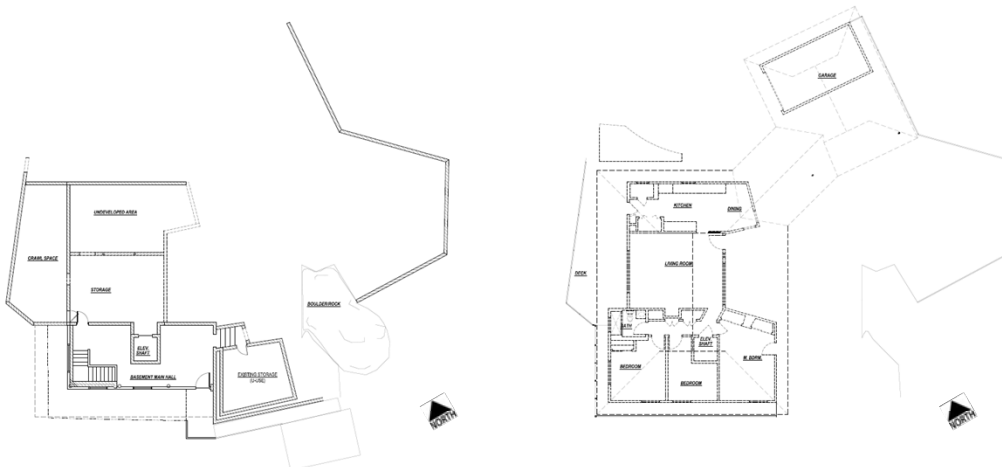
After-the-Fact Demo and New Construction at 4674 Beacon Way P19-0487 (COA)

Community & Economic
Development Department

Cultural Heritage Board
Agenda Item: 2
October 16, 2019

RiversideCA.gov

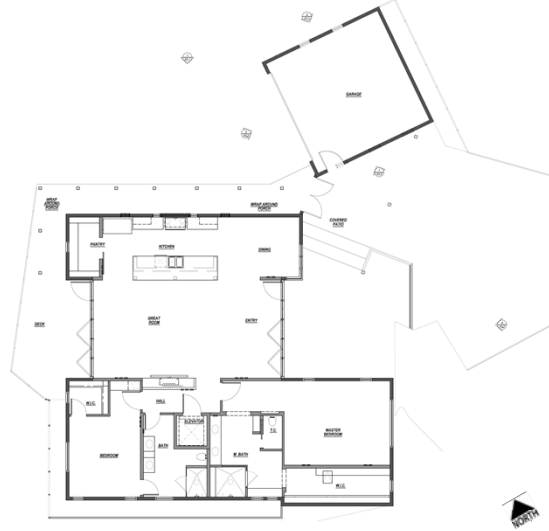
PROPOSED DEMO PLAN (FOR REFERENCE)



10

RiversideCA.gov

PROPOSED MAIN FLOOR LEVEL PLAN (FOR REFERENCE)



11

RiversideCA.gov

PROPOSED BASEMENT FLOOR LEVEL PLAN (FOR REFERENCE)



12

RiversideCA.gov