



RiversideCA.gov/Census2020

APRIL 1, 2020





Everyone Counts.




It Means \$80 Billion in California and \$675 Billion Nationally.

2010 Census **Less Than**
70%
Response Rate in Our Region

= **\$1 BILLION**
of **LOST** federal funding to the region during the decade



2020 Will Be Easier Than Ever.



It's About Fair Representation.

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St. Michael's Housing Development

P19-0507 (Conditional Use Permit), P19-0508 (Design Review)

Community & Economic Development Department

Planning Commission
Agenda Item: 2
February 6, 2020

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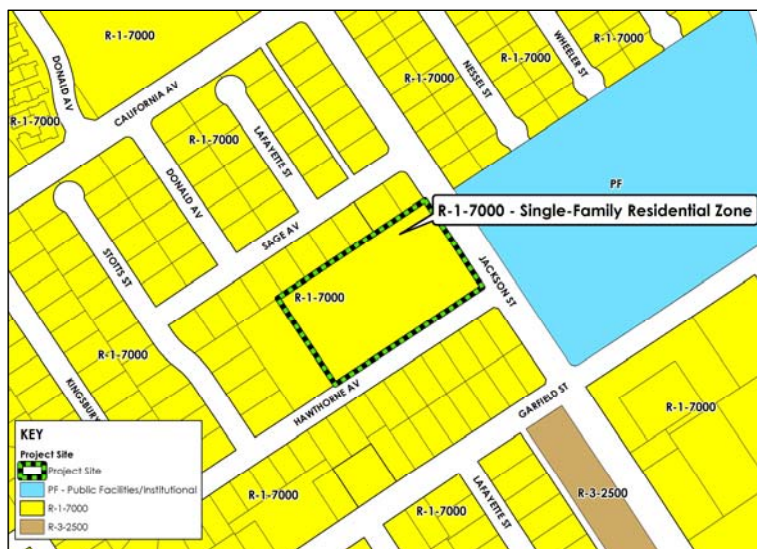
LOCATION MAP



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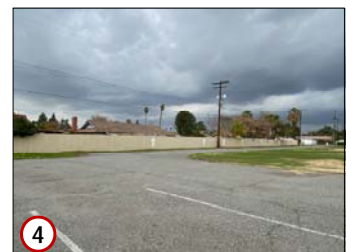
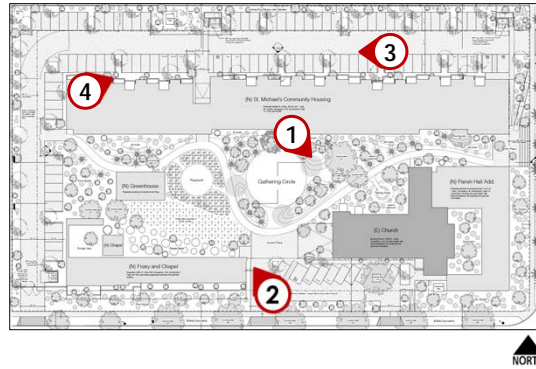
ZONING MAP



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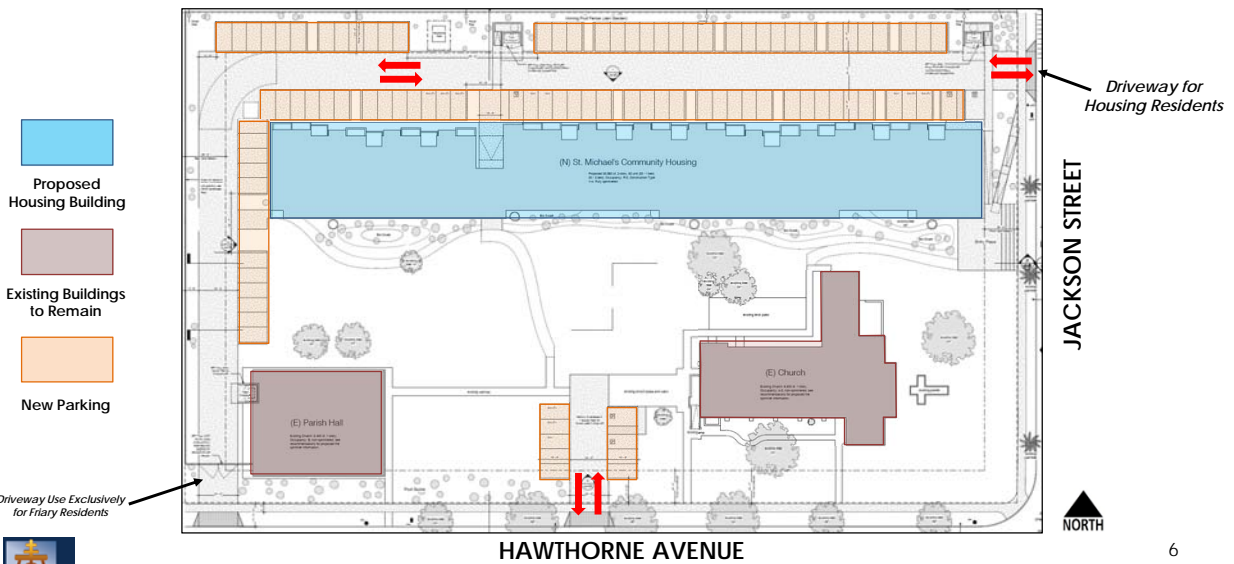
EXISTING SITE PHOTOS



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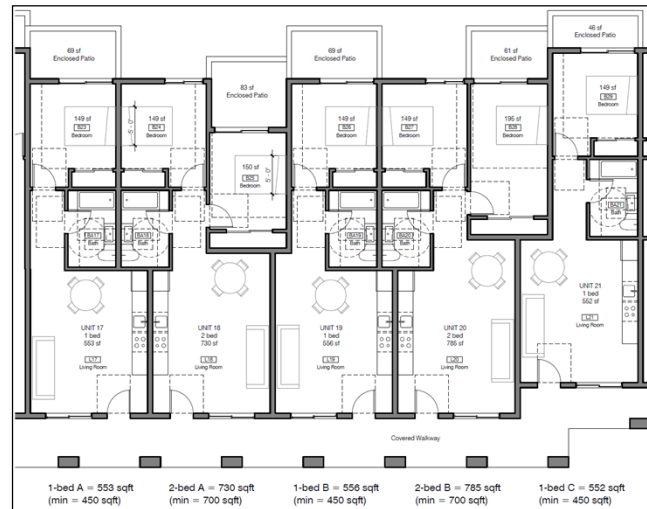
SITE PLAN – PHASE I



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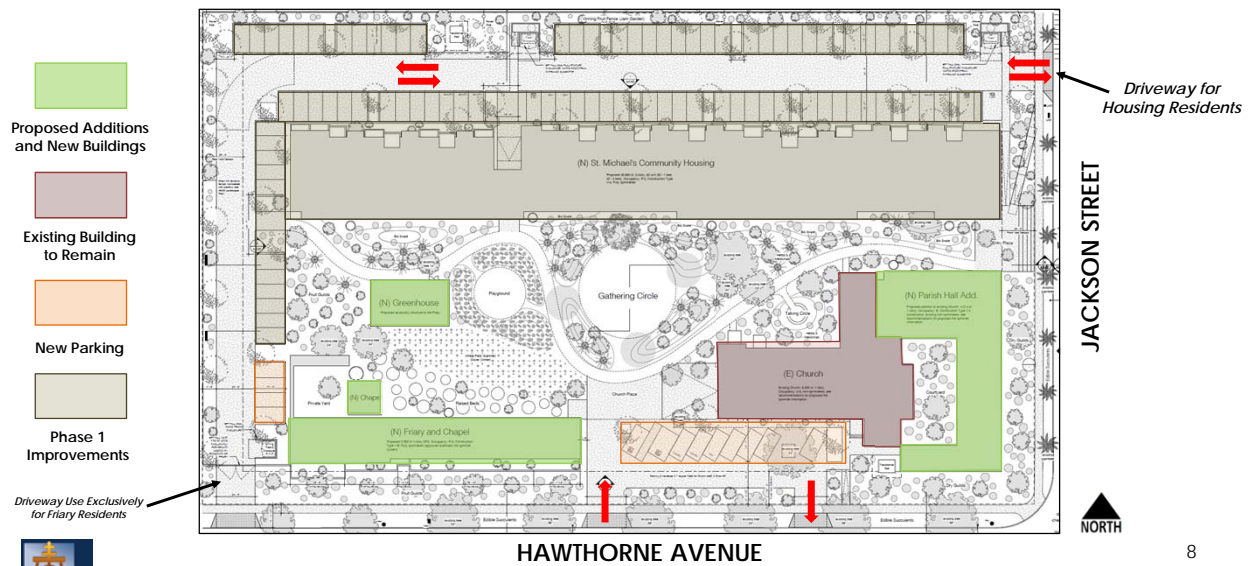
FLOOR PLANS – DWELLING UNITS



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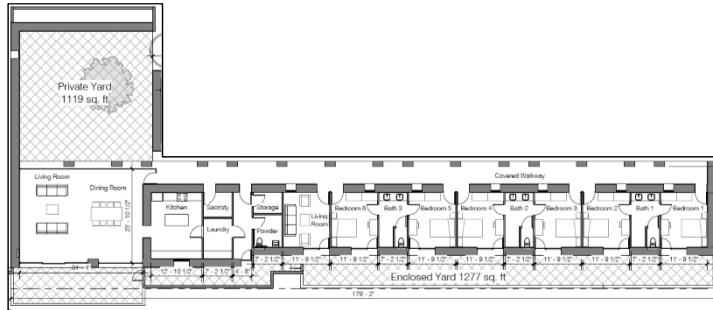
SITE PLAN – PHASE II



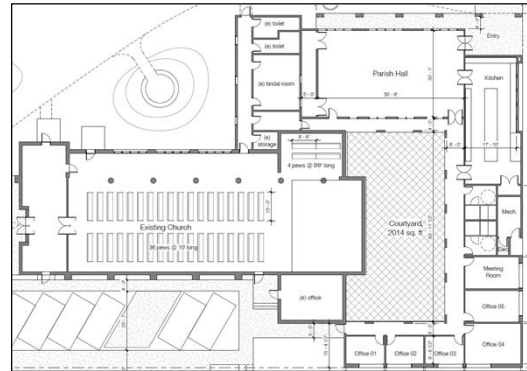
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FLOOR PLANS – CHURCH AND FRIARY



FRIARY



CHURCH



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BUILDING ELEVATIONS



West - Interior



East (Jackson Street)



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BUILDING ELEVATIONS



North



South (Hawthorne Avenue)



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CONCEPTUAL LANDSCAPE PLAN – PHASE I



HAWTHORNE AVENUE



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CONCEPTUAL LANDSCAPE PLAN – PHASE II



HAWTHORNE AVENUE

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RECOMMENDATIONS

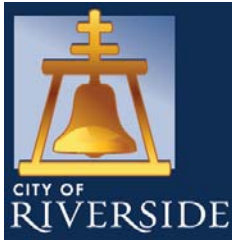
That the Planning Commission:

- **DETERMINE** this project is exempt from the California Environmental Quality Act (CEQA) Guidelines pursuant to Section 15332 (In-Fill Development Projects) as this project will not have a significant effect on the environment; and
- **APPROVE** Planning Cases P19-0507 (Conditional Use Permit) and P19-0508 (Design Review), based on the findings and subject to the recommended conditions included in the staff report.



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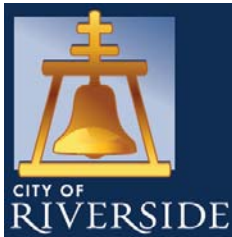


St. Michael's Housing Development

P19-0507 (Conditional Use Permit), P19-0508 (Design Review)

Housing Authority

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St. Michael's Housing Development

P19-0507 (Conditional Use Permit), P19-0508 (Design Review)

Housing Authority

- **Developer negotiated Ground Lease with Church**
 - Housing site controlled by Developer, not Church.
- **Submitted funding application in late 2018**
 - Authority funds contingent on developer completing Project funding.

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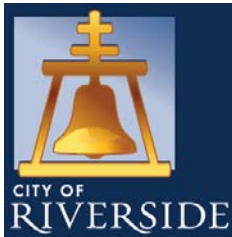
St. Michael's Housing Development

P19-0507 (Conditional Use Permit), P19-0508 (Design Review)

Housing Authority

- **Housing Authority Approval – May of 2019**
 - Provision of Much Needed Workforce Housing
 - \$2,000,000 loan for 55 years
 - \$40,000/unit investment
 - No Church projects funded

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GENERAL PLAN MAP

(FOR REFERENCE ONLY)

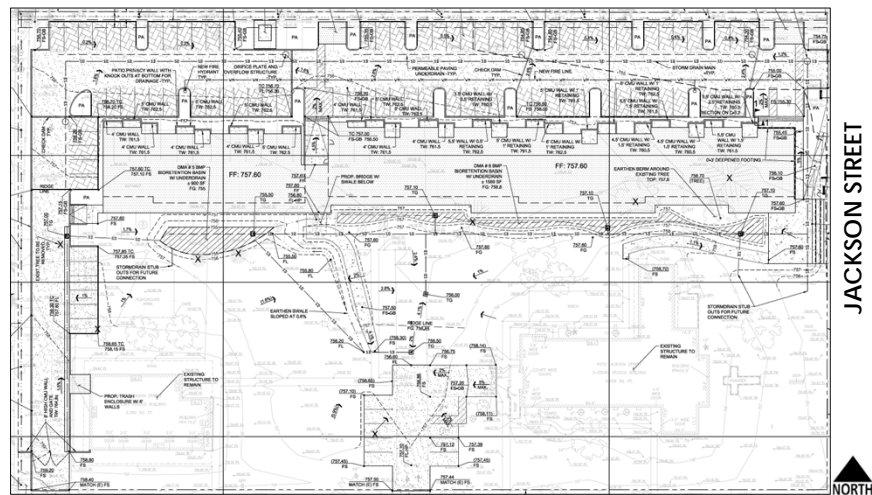


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GRADING PLAN – PHASE I

(FOR REFERENCE ONLY)

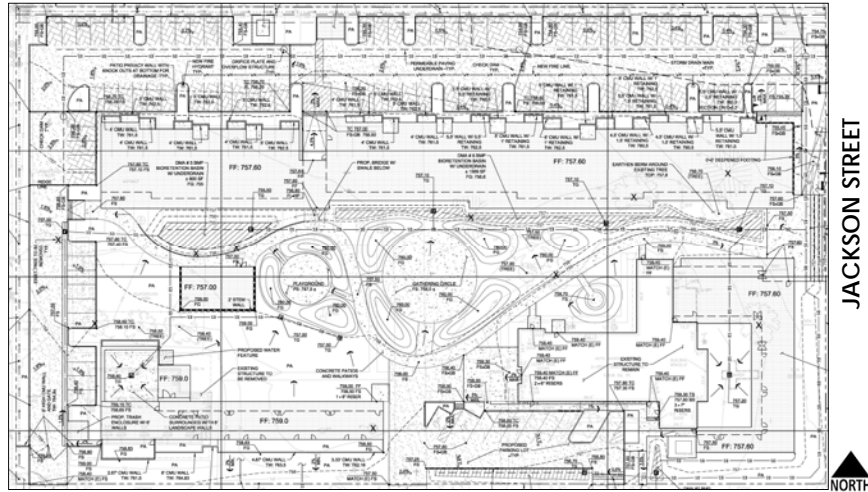


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GRADING PLAN – PHASE II

(FOR REFERENCE ONLY)



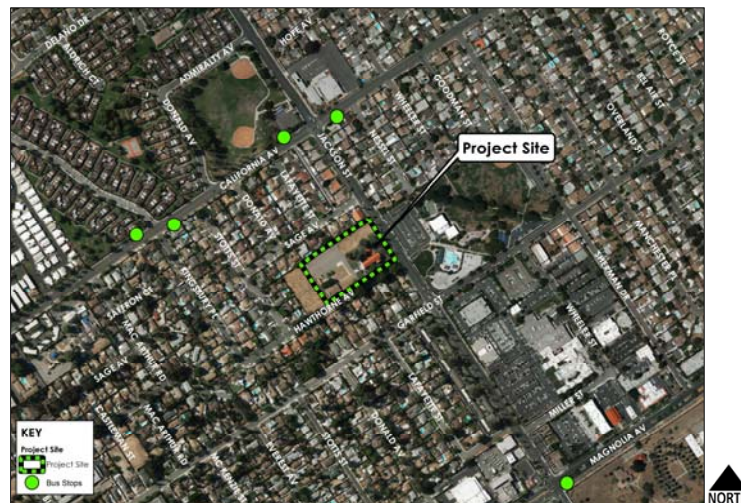
HAWTHORNE AVENUE

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NEARBY BUS STOPS

(FOR REFERENCE ONLY)



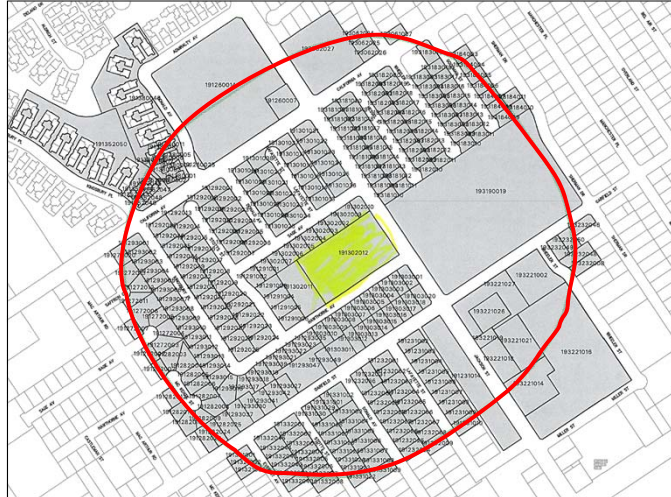
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NOTICING RADIUS MAP

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1,000-Ft.
Noticing Radius



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