

GENERAL NOTES

1. Information contained in these documents which describe or locate existing site and built elements, is based on information (drawings, notes, surveys, etc.) supplied by the owner and/or its consultants, and limited site observation. The contractor/subcontractor shall verify all dimensions and finish conditions applicable to the work described herein.
2. The contractor is to survey existing site conditions as required for coordination of the City of Riverside with existing utilities and their connections. Where discrepancies are found, the contractor shall advise the owner and the architect.
3. Larger scale drawings shall have precedence over those of smaller scale. Where discrepancies are found between the architectural drawings and those of other consultants, the architectural drawings shall generally be assumed to govern.
4. Dimensions shall have precedence over any other dimensions.
5. Dimensions are to finished surfaces unless otherwise noted.
6. Details not shown are to be similar in character to those detailed. Where specific dimensions, details or design intent cannot be determined, obtain clarification from the owner before proceeding with the work.
7. All drawings & notes are complementary and what is called for by any one will be as binding as if called for by all.
8. The contractor shall be responsible for providing all work and materials in conformance with any code or codes of federal, state, county or municipally having jurisdiction over such work. All applicable requirements in these regulations shall be followed the same as if noted on the drawings.
9. The contractor shall provide public protection as required per governing agency and code requirements. Contractor shall be responsible for installing any temporary shoring and bracing to insure the safety of the work.
10. Contractor shall coordinate all mechanical, plumbing, electrical, sprinklers and architectural work.
11. Where work or equipment is indicated N.C. such work and/or equipment shall be provided by others. Contractor shall coordinate and cooperate to effect such installation.
12. The contractor shall coordinate all requirements of the authorities having jurisdiction for sidewalks, driveways, curbs, gutters, streetside, easements, utilities, fences, signs, barricades, etc. Adjacent to the property, and shall obtain all necessary permits and approvals.
13. The contractor shall take protection measures that will be utilized during construction to protect adjoining and nearby properties, public and private from noise, dust, dirt, fire hazards and potential problems caused by such constructions.
14. If the contractor anticipates at any time that requirements of the state, district, city, or any violation of, applicable laws, codes, regulations and ordinances, he shall not proceed with in question, except at his own risk, until architect has been notified in writing and written determination is made by the architect.
15. Property and premises lines adjacent to the building shall be established in the field by a California licensed surveyor and a survey report shall be submitted to the inspector prior to foundation inspection.
16. Disinfectant means shall be effectively isolated from each other to prevent galvanic action.
17. Welding to be done on this project shall be performed by welders certified by the building department for structural and light-gauge steel.
18. Contractor shall provide access panels as required by plumbing, mechanical, and other trades, and as required by codes, location, and types to be approved by the owner.
19. Future center improvements require separate building permits.
20. Contractor shall construct all wood stud framing to match exact profiles of walls, reveals, etc. shown on these drawings.
21. This document, the ideas, and the designs incorporated herein, as an instrument of professional service, is the property of Escher GuneWardena and is to be used only in connection with any project without the written authorization of the architect.
22. Refer to original permit documents for additional notes. Where conflicts occur work shall be constructed to the more restrictive code in effect see note 9 above.
23. All new and existing retaining walls shall be waterproofed. Provide damp-proofing for all walls below grade that enclose usable space.
24. CMT
25. CMT
26. Contact coordinate with contractor shall be protected with heavy modified blumspun panel.
27. Shop Drawings: (A) shop drawings shall be submitted for all equipment and materials which must interface and coordinate with others, whether detailed or not; (B) shop drawings shall be submitted in a minimum of 3 copies.
28. Upon completion of work of construction areas to be left broom clean and free from debris.
29. Where completed or partially completed work is discovered to be in violation with applicable laws, codes, regulations and ordinances, contractor shall be required to remove that work from the project and replace such work with all new complying work at an additional cost to owner.
30. Substitutions: (A) reference to makes, brands, models, etc. is to establish the type and quality desired; substitution of acceptable equivalents will be permitted if approved by the architect and/or owner prior to bid (unless noted otherwise)

31. Temporary Facilities: (A) the contractor shall provide a material storage area adjacent to the area of construction. Location shall be coordinated with the owner. (B) the contractor shall make provision for the collection and disposal of construction waste. (C) the contractor shall coordinate such use with the owner prior to connection. (D) the contractor shall provide temporary barricades to separate construction areas for public safety around entire perimeter of construction area.
32. Waterproofing: (A) all waterproofing details shall be submitted to and reviewed by a waterproofing consultant hired by the owner, prior to construction. (B) waterproofing contractor shall accept all substrates prior to installation of their products. (C) ungrouted or screw nails are required for all plywood decks which have a dew-toe or similar applied waterproofing membrane. (D) details from specific manufacturer included in the details to be considered generic. All details shall be confirmed with the manufacturer prior to ordering materials.
33. The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities, power poles, pull boxes, transformers, vaults, pumps, valves, meters, handwheels, etc. or to the location of the hook-up. The construction shall not be within ten feet of any such lines whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
34. In new construction smoke detectors shall receive their primary power source from the building wiring and shall be equipped with backup battery and low battery signal. Smoke detectors shall be located in each sleeping room & hallway or area giving access to a sleeping room, and in each stair and basement for dwellings with more than one story.
35. Provide an approved spark arrester for the chimney of a fireplace, stove or barbecue.
36. Provide a 70-inch high non-discoloring wall adjacent to shower and approved shatter-resistant materials for shower enclosure.
37. Provide fire sprinklers throughout. The sprinkler system shall be approved by plumbing division prior to installation.
38. A grading bond is required for projects involving over 250 squareyards of soil in hillside grading areas.

ENERGY NOTES

- 1) Insulating material shall be certified by the manufacturer to comply with the California Quality Standards for Insulating Material.
- 2) All insulating material shall comply with the flame spread and smoke density requirements of C-9100, 1997 uniform building code.
- 3) Manufactured doors and windows shall be certified and labeled in compliance with the appropriate international standards listed in the energy requirements.
- 4) Site-constructed doors and windows, exterior doors, and openings in the building envelope shall be caulked, gasketed, weatherstripped or otherwise sealed, except the leaded doors or windows, and untempered glass doors.
- 5) Caulk and seal around all window and door frames and between wall plates and floors and between exterior wall panels.
- 6) Caulk around all plumbing and electrical penetrations into the building envelope.
- 7) All shading devices shall be installed prior to the issuance of the certificate of occupancy.
- 8) Provide ultra flush water closets for all new construction. Existing shower heads and toilets shall be replaced with low water consumption.
- 9) Provide rain gutters and convey rain water to the street.

STORMWATER BEST MANAGEMENT PRACTICES

- 1) A wet weather erosion control plan (WWEEP), utilizing sediment and erosion control bumps, for projects that will leave disturbed soil during the rainy season (October 1 to April 1) is required. The WWEEP must be prepared for projects that have already broken ground, not less than 30 days prior to the beginning of each rainy season during which soil will be disturbed, and implemented throughout the entire rainy season. A copy of the WWEEP shall be kept on the project site at all times beginning 30 days prior to the start of the rainy season through the end of the rainy season. For projects that will begin construction during the rainy season, the WWEEP must be available 30 days before construction commences. The WWEEP must be submitted to the Bureau of Engineering, public works for review and approval. The WWEEP is not a requirement for the issuance of a building or grading permit.
- 2) Storm water pollution control requirements for construction activities Minimum water quality protection requirements for all construction projects (certification statement)
- 2) Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes structure breakdown. It does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility, emergency construction activities required to immediately protect public health and safety, interior remodeling with no outside exposure of construction material or construction waste to storm water, mechanical permit work, or sign permit work. NPDES permit part 5 "definition"

- (A) Erosion sediments and pollutants must be retained on site and may not be transported from the site via stormflow, swales, area drains, natural drainage course or wind.
- (B) Stockpiles of earth and other construction-related materials must be protected from being transported from the site by wind or water.
- (C) Fuels, oils, solvents and other toxic materials must be stored in accordance with their labeling and not to contaminate the soil nor the surface waters. All approved toxic storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- (D) Non-harm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site.
- (E) Excess of waste concrete may not be washed into the public way or any drainage system. Provisions shall be made to retain concrete wastes on site until they can be appropriately disposed of or recycled.
- (F) Trash and construction-related solid wastes must be deposited into a covered receptacle to prevent contamination of rain water and dispersal by wind.
- (G) Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public ways. Accidental dispositions must be swept up immediately and may not be washed down by rain or by any other means.

SECURITY NOTES

- 1) All pin-type door hinges accessible from outside shall have non-removable hinge pins. Hinges shall have min. 1/4" dia. steel pin with 1/4" min. protection. The strike plate for levers and holding device for projecting dead bolts in wood construction shall be secured to the joints and wall framing with screws no less than 5-1/2" long.
- 2) Provide dead bolts with hardened inserts, deadlocking latch with key-operated lock on exterior. Locks must be operable from inside without key, special knowledge or special effort (each not required in B, F, and G occupancies).
- 3) Straight dead bolts shall have a min. throw of 1" and an embedment of not less than 5/8" and a hook-shaped or an expanding lag deadbolt shall have a minimum throw of 3/4".
- 4) The use of a locking system which consists of a deadlocking bolt operated by a door knob and a deadbolt operated by a non-removable transducer which is independent of the deadlocking latch and which must be separately operated shall not be considered as a system which requires special knowledge or effort when used in dwelling units. The door knob and the transducer which operates the deadbolt shall not be separated by more than 8 inches.
- 5) Sliding doors shall be provided with a device in the upper channel of the moving panel to prohibit raising and lowering of the moving panel in the closed or open position.
- 6) Sliding glass doors shall be equipped with locking devices and shall be so constructed and installed that they remain intact and engaged when subjected to the tests specified in 91.617.2.2.
- 7) Metal or wooden overhead or sliding doors shall be secured with a cylinder lock, padlock with a minimum 3/8" diameter hardened steel shackle and bolted, hardened steel hasps, metal slide board, bolt or equivalent device unless secured electrically operated.
- 8) Metal pin guards at top and bottom of metal accordion door or off-type doors and cylinder locks or padlocks. Cylinder guards shall be installed on all cylinder locks whenever the cylinder projects beyond the face of the door or is otherwise accessible to prying tools.
- 9) Gasket: closed openings within 48" of the door lock when the door is in the closed position, shall be of fully tempered glass or approved burglarly resistant material, or shall be protected by metal bars, screens or grilles having a maximum opening of 2". The provisions of this section shall not apply to viewports or windows which do not exceed 2' in their greatest dimensions.
- 10) Viewports: other operable windows shall be provided with substantial locking devices.
- 11) Sliding windows shall be provided with a device in the upper channel of the moving panel to prohibit raising and lowering of the moving panel in the closed or partially open position.
- 12) Sliding windows shall be equipped with locking devices and shall be so constructed and installed that they remain intact and engaged when subjected to the tests specified in 91.617.2.2.
- 13) Any release for metal bars, grilles or similar devices constructed to preclude human entry that are installed shall be located on the inside of the adjacent room and at least 24 inches from the closed opening through such metal bars, grilles or similar devices that exceeds two inches in any dimension.
- 14) Openings other than doors or glazed openings: all other openings must be protected by metal bars or grilles with openings of not less than 6" in one dimension.

DRAWING INDEX

Sheet List	
A-00	Cover Sheet
A-02	Site Photos and Material Board
A-10	Survey Notes
A-11	Survey
A-12	Survey
A-100	Plot Plan - Phase 1
A-101	Site Plan - Phase 1
A-102	Roof Plan - Phase 1
A-103	Fence and Wall Plan - Phase 1
A-200	Floor Plan - St. Michael's Community Housing Plans
A-300	Site Sections
A-400	Elevations - Site Elevations
A-401	Elevations - Building Elevations
A-402	Elevations - Enlarged
A-501	Summer Winter Entrance Plaza Rendering
A-502	Community Housing Exterior Renderings
A-600	Landscape Plan
A-601	Landscape Plant List and Legend
B-101	Building Code Analysis
C-1.0	Civil - Conceptual Grading and Preliminary Utility Plan
C-2.0	Civil - Conceptual Grading and Preliminary Utility Plan
C-3.0	Civil - Conceptual Grading and Preliminary Utility Plan
C-3.1	Civil - Conceptual Grading and Preliminary Utility Plan
C-3.2	Civil - Conceptual Grading and Preliminary Utility Plan
C-4.0	Civil - Conceptual Grading and Preliminary Utility Plan

PROJECT INFORMATION

PROJECT ADDRESS: 4070 Jackson Street, Riverside, CA 92503	
LEGAL DESCRIPTION: Assessor's Parcel No. (APN): Recorded Book/Page: Subdivision Name: Lot/Parcel:	
191930212 PM 7632 PM 15068 2	
ZONE: R-1-7000	
ZONING SETBACKS: Front Yard: Side Yard:	
20' 25'	
BUILDING HEIGHT: Max. Envelope Height Limit:	
35	FT
Proposed Building Heights: Community Housing: Parish Hall Addition: Friary and Chapel: Green House:	
28 17 32 17.5	FT FT FT FT
BUILDING AREAS: Gross Area: St. Michael's Church (existing): Parish Hall (existing): Community Housing (new):	
6,303 3,288 35,008	SF SF SF
COMMON SPACE AREA:	
31,031	SF
PRIVATE SPACE AREA:	
1,766	SF
PARKING: Required: Provided:	
81 96	
LOT AREA:	
155,944	SF
LOT COVERAGE (% Max): Max Allowable: Building footprint: Therefore, lot coverage = (13.6%)	
155,944 21,226	SF SF
EARTHWORK SUMMARY: General Cut: General Fill: Net Fill:	
590 4,670 4,080	CY CY CY
CONSTRUCTION TYPE: Community Housing: Type V-A, Fully Sprinklered Parish Hall Addition and Existing Church: Type V-A, existing Non Sprinklered, see recommendations Friary and Chapel: Type V-B, Fully Sprinklered Green House: Type V-B, Non-sprinklered	
OCCUPANCY: Community Housing: R-2 Parish Hall Addition and Existing Church: A-3 and B Friary and Chapel: R-3 Green House: Misc. U	
FIRE ZONE: Not in a High Fire Area	
HARDSCAPE COMPUTATIONS TOTAL:	
55,190	SF
SCOPE OF WORK DESCRIPTION Two New Residential Buildings, One Greenhouse, One Chapel, One Addition/Remodel & New Landscaping with Parking Lot.	

PROJECT DIRECTORY

OWNER INFORMATION: Bishop John H. Taylor Episcopal Diocese of Los Angeles Cathedral Center of St. Paul 840 Echo Park Avenue Los Angeles, California 90026 Tel: 213.682.2040	
ARCHITECT: Escher GuneWardena Architecture 815 Silver Lake Boulevard Los Angeles, California 90026 Tel: 323.665.9100, Fax: 323.665.9103	
GEOTECHNICAL ENGINEER: ENGE INC. 6 Morgan Suite 162 Irvine, CA 92618 Tel: 949.529.3479	
MEP ENGINEER: BTU Engineers 1230 Rossmore Ave., Suite 300 Marlborough Beach, California 90266 Tel: 310.684.5020	
TRAFFIC ENGINEER: Escho Traffic Planning 10835 Santa Monica Blvd., Suite 202 Los Angeles, California 90025 Tel: 310.470.4870	
CIVIL ENGINEER: Ware Malcolm 915 Wilshire Blvd., Suite 2150 Los Angeles, California 90017 Tel: 310.903.4000	
CODE CONSULTANT: VCA CONSULTANTS 1845 W Orangewood Ave., Ste. 210 Orange, California 92668 Tel: 714.383.4700	
SURVEYOR: Partner Engineering and Science, Inc. 1761 E Garvey Avenue, Santa Ana, CA 92705 Tel: 714.703.4656	
LANDSCAPE DESIGNER: Ivette Solor Gardens 4703 Townsend Avenue Los Angeles, CA 90041 Tel: 323.547.6335	

ABBREVIATIONS

A.F.F. @ C.H. C.H.O.B. C.H.T.O.B. CONC. EQ. ED. HT INT. NR T.B.D. TYP. SF U.N.O. W/ F.S. T.W. VF	ABOVE FINISH FLOOR AT CEILING HEIGHT CEILING HEIGHT BOTTOM OF BEAM CEILING HEIGHT TOP OF BEAM CENTER LINE CONCRETE EQUAL EXISTING INTERIOR NEW NON-RATED TO BE DETERMINED TYPICAL SQUARE FEET UNLESS NOTED OTHERWISE WITH FINISHED SURFACE TOP OF WALL VERIFY IN FIELD
--	---

SYMBOL LEGEND

Section Ref. Sheet No.	MAJOR SECTION REFERENCE
Section No.	INTERIOR ELEVATION REFERENCE
FINISH ELEVATION	
DETAIL REFERENCE	
REVISION NUMBER	
WINDOW MARK	
DOOR NUMBER	
CURTAIN WALL PANEL NUMBER	

drawn by: Author
scale: As indicated
issue date: 07/21/16
plot date: 12/16/2019
6:12:19 PM

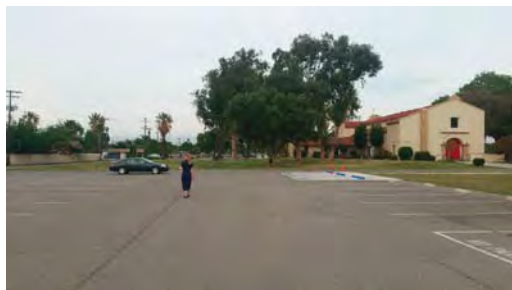
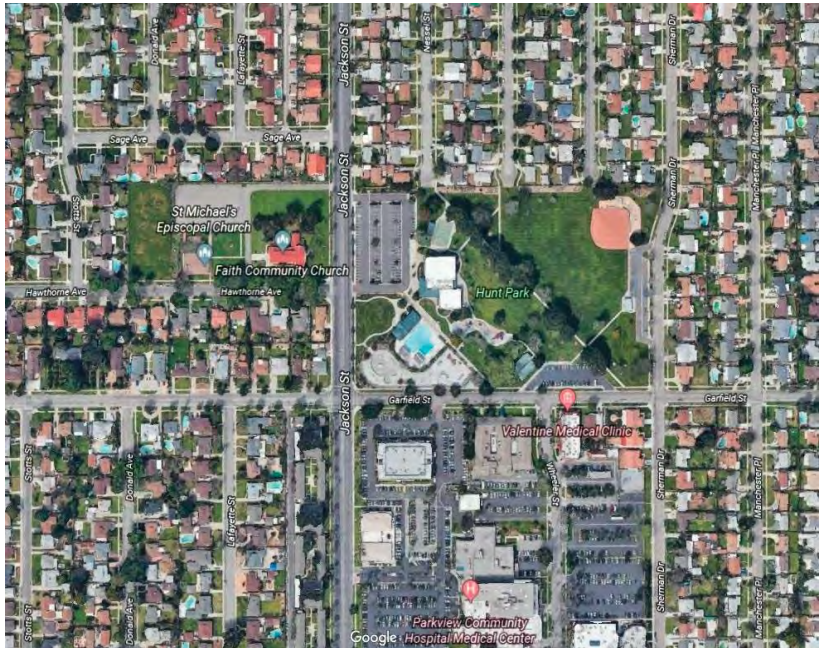
A0-00



Vicinity Map
1:1250

Phase 1 Diagram
N.T.S.

SITE PHOTOS



MATERIAL BOARD



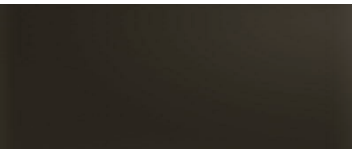
Roofing - Sand Color Bitumen Membrane



Columns and Patio Walls - Gray Brown CMU



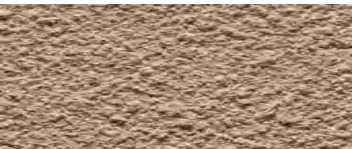
Exterior Wood Doors - Oak Finish Wood



Window Frames and Railings - Matte Bronze



Exterior Wood Means and Rifters - Medium Stain CLT



Exterior Walls - Heavy Dash Plaster Finish

Revision/	Date/	By
1. REVIEW POST CONSTRUCTION		

Escher
GuneWardena
Architecture

St. Michael's - Riverside
4070 Jackson St.
Riverside, CA 92503

Site Photos and Material Board

drawn by: Author
checked by: Checker
scale:
issue date: 06/28/19
plot date: 12/26/2019
2:19:41 PM

A0-02

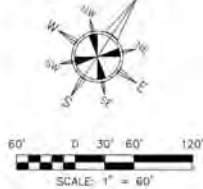
NO PART OF THIS DRAWING SHALL BE COPIED OR USED IN CONNECTION WITH ANY WORK OTHER THAN THE SPECIFIED PROJECT FOR WHICH IT HAS BEEN PREPARED WITHOUT THE WRITTEN CONSENT OF ESCHER GUNEWARDENA ARCHITECTURE, INC.

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF ESCHER GUNEWARDENA ARCHITECTURE, INC.

COPYRIGHT © ESCHER GUNEWARDENA ARCHITECTURE, INC.



VICINITY MAP



MONUMENT NOTES	
(A)	FOUND SPIKE & WASHER STAMPED "RIVERSIDE CITY SURVEY"
(B)	FOUND 1" IRON PIPE AND KILLBUREL TAG
(C)	FOUND 1" IRON PIPE AND TAG STAMPED "S 8932"
(D)	FOUND LEAD TACK & TAG STAMPED "TRCE 23864"
(E)	FOUND 1" IRON PIPE, NO TAG
(F)	FOUND LEAD TACK & TAG
(G)	FOUND LEAD TACK & TAG SET IN WALL STAMPED "S 3225"

SURVEYOR'S NOTES	
1	● - INDICATES FOUND MONUMENT AS NOTED HEREON
2	SURVEYOR MAKES NO GUARANTEE FOR ANY NON-VISIBLE RIGHTS-OF-WAY OR EASEMENTS NOT DISCLOSED IN THE BELOW REFERENCED TITLE REPORT
3	BEARINGS AND DISTANCES SHOWN MEASURED AND RECORDED (CALCULATED) PER TRACT NO. 15, 548, UNLESS OTHERWISE NOTED
4	SEW - SEARCHED FOR MONUMENT, FOUND NOTHING SET FORWARD
5	P.T.S. - PRELIMINARY TITLE REPORT
6	() - INDICATES RECORDED DATA PER TRACT NO. 15,568
7	() - INDICATES SURVEYOR'S COMMENT

FLOOD ZONE	
BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THE SUBJECT PROPERTY LIES IN ZONE "X" ACCORDING TO FEMA FLOOD MAP NO. 060650715G FOR THE CITY OF RIVERSIDE (COMMUNITY NO. 060360) WITH AN EFFECTIVE DATE OF AUGUST 26, 2006 AND IS NOT IN A FLOOD ZONE AREA.	

MISCELLANEOUS NOTES

(N1) THERE IS DIRECT ACCESS TO THE SUBJECT PROPERTY VIA JACKSON STREET AND HAWTHORNE AVENUE, BOTH BEING DESIGNATED PUBLIC RIGHT-OF-WAYS.

(N2) THE POSTED ADDRESS ON THE SITE IS 4070 JACKSON STREET, CITY OF RIVERSIDE, CALIFORNIA.

(N3) AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE SURFACE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.

(N4) AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF THE SUBJECT PROPERTY BEING USED AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.

(N5) AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF ANY RECENT CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION ON EVIDENCE OF ANY RECENT STREET OR SIDEWALK CONSTRUCTION REPAIRS.

(N6) THE PROPERTY SURVEYED AND SHOWN HEREON IS THE SAME LAND DESCRIBED IN COMMONWEALTH LAND TITLE COMPANY PRELIMINARY REPORT ORDER NO. 00750431-919-40C-KSE, DATED AS OF NOVEMBER 15, 2018 AT 7:30 A.M.

(N7) NO CEASEMENTS, GRAVE SITES, OR BURIAL GROUNDS ARE LOCATED ON THE PROPERTY.

(N8) THE PROPERTY IS LOCATED AT THE EASTERLY CORNER OF THE INTERSECTION OF HAWTHORNE AVENUE AND JACKSON STREET.

(N9) PROFESSIONAL LIABILITY INSURANCE POLICY OBTAINED BY THE SURVEYOR IN THE MINIMUM AMOUNT OF \$1,000,000.00 TO BE IN EFFECT THROUGHOUT THE CONTRACT TERM. CERTIFICATE OF INSURANCE TO BE FURNISHED UPON REQUEST.

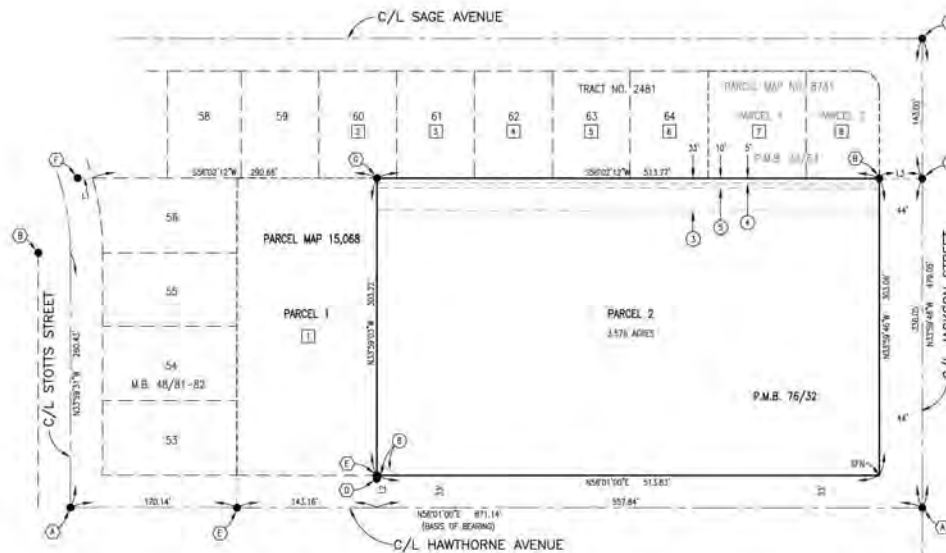
(N10) THE PROPERTY AREA IS 185,746 S.F. OR 3.578 ACRES.

(N11) PARKING COUNT BASED ON DESIGNATED DRIVE SPOTS ONLY.

PARKING		
REGULAR	HANDICAP	TOTAL
75	3	78

(N12) A ZONING REPORT OR LETTER HAS NOT BEEN PROVIDED AT THIS TIME.

(N13) ON THE DATE OF OUR FIELD SURVEY THERE WERE NO MARKERS OBSERVED INDICATING THE LOCATION OF A WELLHEAD CONDITION.



ADJACENT OWNERSHIP TABLE			
PROPERTY NO.	ASSESSOR'S PARCEL NO.	ADDRESS	OWNER
1	191-302-011	NONE DISCLOSED	CLOEY ANDERSON
2	191-302-006	9174 SAGE AVE	JORGE EMERSONIS ZAMORA, MARIA ALEXANDRA T.
3	191-302-005	9154 SAGE AVE	JOSE A. MEZA, DIVYA RIGA
4	191-302-004	9154 SAGE AVE	DANIE M. B. REILY SCOTT HILTON
5	191-302-003	9144 SAGE AVE	GILBERT L. & JANE L. JENKINS
6	191-302-002	9134 SAGE AVE	CELALE & CHRISTINA J. GROSS
7	191-302-001	9124 SAGE AVE	JOHN T. CERASOLI & WESTLAW ENTERPRISES INC.
8	191-302-010	9114 SAGE AVE	CHANG WING & SHI JI CHAU

LINE TABLE		
LINE	BEARING	LENGTH
L1	N04°01'06"E	19.84'
L2	S03°59'03"W	33.00'
L3	S58°00'14"W	44.00'

BENCHMARK	
CITY OF RIVERSIDE BENCHMARK:	
POINT ID: 74-23	
DATUM: NAVD83	
ELEVATION: 760.51 FEET	
DESCRIPTION: NAIL AND CITY ENGINEER TAG IN THE MOST NORTHERLY CATCH BASIN WING OF THE EASTERLY CORNER OF JACKSON STREET AND CHAPPEL STREET.	

LEGAL DESCRIPTION	
ALL THIS CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:	
PARCEL 2 OF PARCEL MAP NO. 15,068, IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 76, PAGE 32 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.	
ASSESSOR'S PARCEL NUMBER: 191-302-012-8	

BASIS OF BEARINGS	
THE BASIS OF BEARINGS FOR THIS SURVEY IS BASED ON THE CENTERLINE OF HAWTHORNE AVENUE BEING HELD AS NORTH S67°01'00" EAST AS SHOWN ON PARCEL MAP 15,068 AS PER MAP RECORDED IN BOOK 76, PAGE 32 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.	

EXCEPTIONS TO COVERAGE IN TITLE COMMITMENT	
EXCEPTION ITEMS A, B, C, E, F AND G THROUGH 11, INCLUSIVE, ARE NOT SURVEY MATTERS AND ARE NOT SHOWN HEREON	
(1) - REMOTES PLOTTED HEREON	
(2) EASEMENT FOR RIGHT OF ENTRY UPON AND RIGHT OF WAY OVER SAID LAND FOR ALL WATER PIPES, DITCHES, OTHER CONDUITS THAT MAY BE REQUIRED BY THE RIVERSIDE WATER COMPANY AND RIGHTS INCIDENTAL THEREOF.	
(3) EASEMENT FOR ROADWAY PURPOSES AND RIGHTS INCIDENTAL THEREOF AS RESERVED IN A DOCUMENT RECORDED FEBRUARY 1, 1958 IN BOOK 186, PAGE 500 OF OFFICIAL RECORDS.	
(4) EASEMENT FOR PUBLIC UTILITIES AND RIGHTS INCIDENTAL THEREOF GRANTED TO CITY OF RIVERSIDE & MUNICIPAL CORPORATION, AS GRANTED IN A DOCUMENT RECORDED MARCH 29, 1991 AS INSTRUMENT NO. 24809 OF OFFICIAL RECORDS.	
(5) EASEMENT FOR DRAINAGE DITCH PURPOSES AND RIGHTS INCIDENTAL THEREOF AS GRANTED IN A DOCUMENT RECORDED MARCH 14, 1980 AS INSTRUMENT NO. 48672 OF OFFICIAL RECORDS.	
(6) EASEMENT FOR SIDEWALK, RAMP, PARKWAY IMPROVEMENTS AND RIGHTS INCIDENTAL THEREOF AS GRANTED IN A DOCUMENT RECORDED MARCH 14, 1981 AS INSTRUMENT NO. 48653 OF OFFICIAL RECORDS.	

UTILITY NOTE	
THE LOCATIONS OF UTILITIES ARE SHOWN HEREON BY OBSERVED EVIDENCE TOGETHER WITH EVIDENCE FROM PLANS OBTAINED FROM THE CITY OF COMPTON, UTILITY COMPANIES AND/OR CLIENT AND SURFACE MARKINGS INDICATING THE LOCATION OF UNDERGROUND UTILITY LINES, IF ANY.	

ALTA/NSPS LAND TITLE SURVEY

4070 JACKSON STREET,
RIVERSIDE, CALIFORNIA

PARTNER PROJECT NUMBER 15-242745.1

CERTIFICATION

TO COMMONWEALTH LAND TITLE INSURANCE COMPANY, SAINT MICHAELS UT, PARTNER ENGINEERING AND SCIENCE, INC.:

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6A, 6B, 7A, 7B, 7C, 8, 9, 10A, 11, 12, 13, 14, 15, 16, 17, 18, 19 AND 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON APRIL 12, 2019.

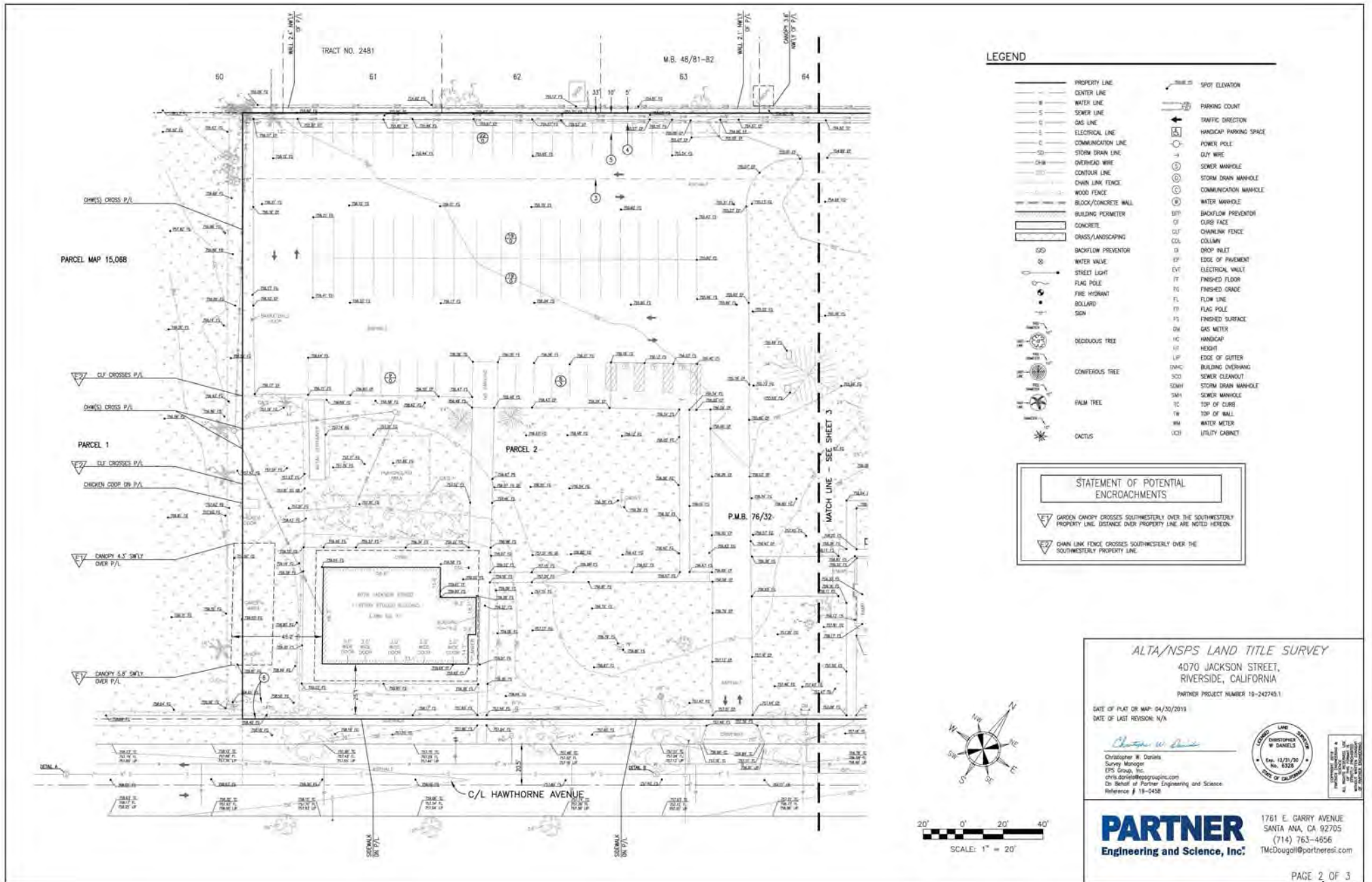
DATE OF PLAN OR MAP: APRIL 30, 2019
DATE OF LAST REVISION: N/A

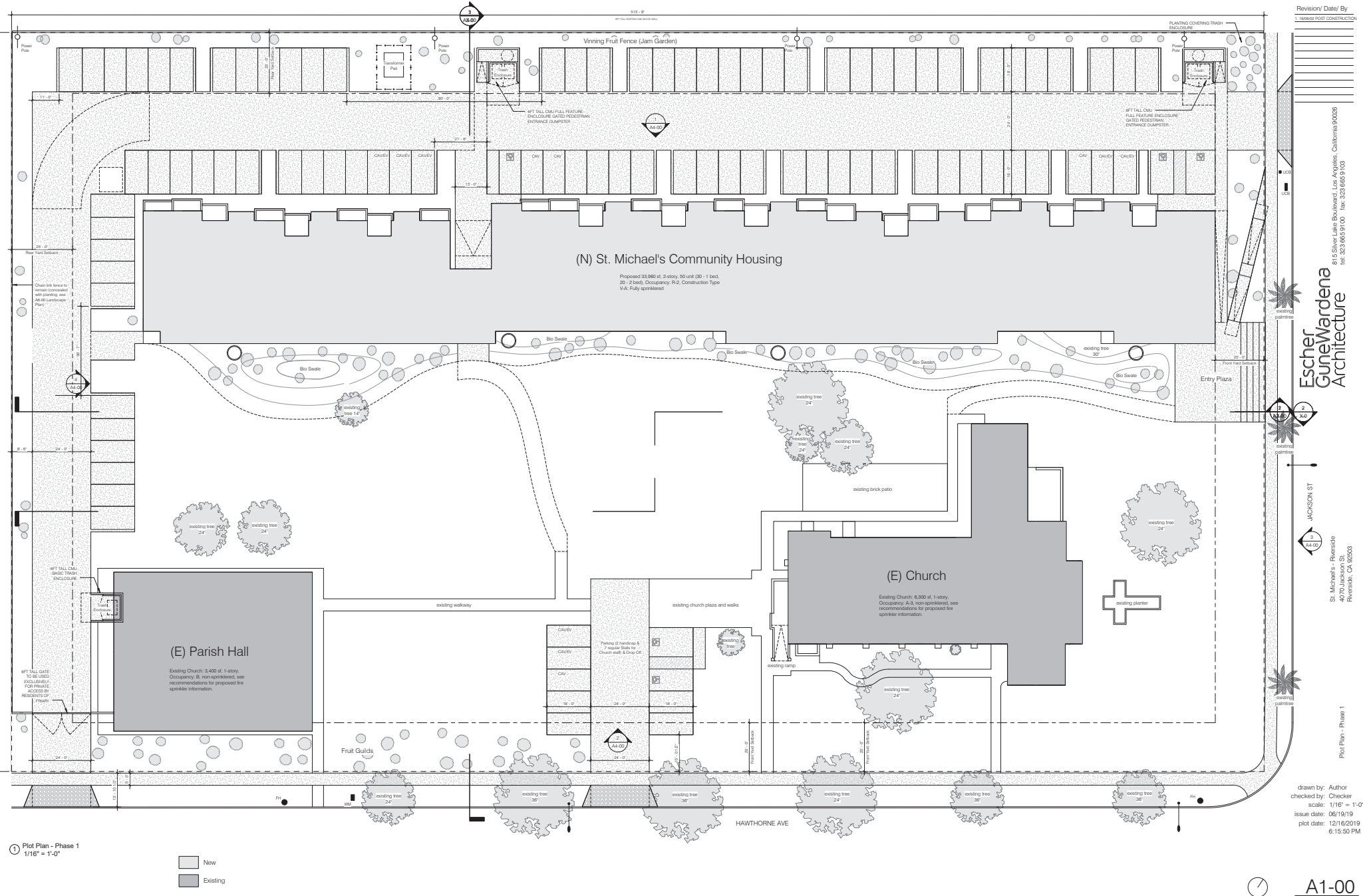
Christopher N. Daniels
Survey Manager
EPS Group, Inc.
cndaniels@epsgroupinc.com
On Behalf of Partner Engineering and Science
Witnessed: 4-18-2019

LAND SURVEYOR
CHRISTOPHER N. DANIELS
Exp. 12/31/20
No. 8326
STATE OF CALIFORNIA

PARTNER
Engineering and Science, Inc.

1761 E. GARRY AVENUE
SANTA ANA, CA 92705
(714) 763-4656
McDougal@partneresi.com





① Plot Plan - Phase 1
1/16" = 1'-0"

Legend:
New
Existing

Revision/ Date/ By
1. REVISION POST CONSTRUCTION

Escher GuneWardena Architecture
814 Silver Lake Boulevard, Los Angeles, California 90026
tel. 323.665.9100 fax. 323.665.9103

St. Michael's - Riverside
407 Jackson St.
Riverside, CA 92503

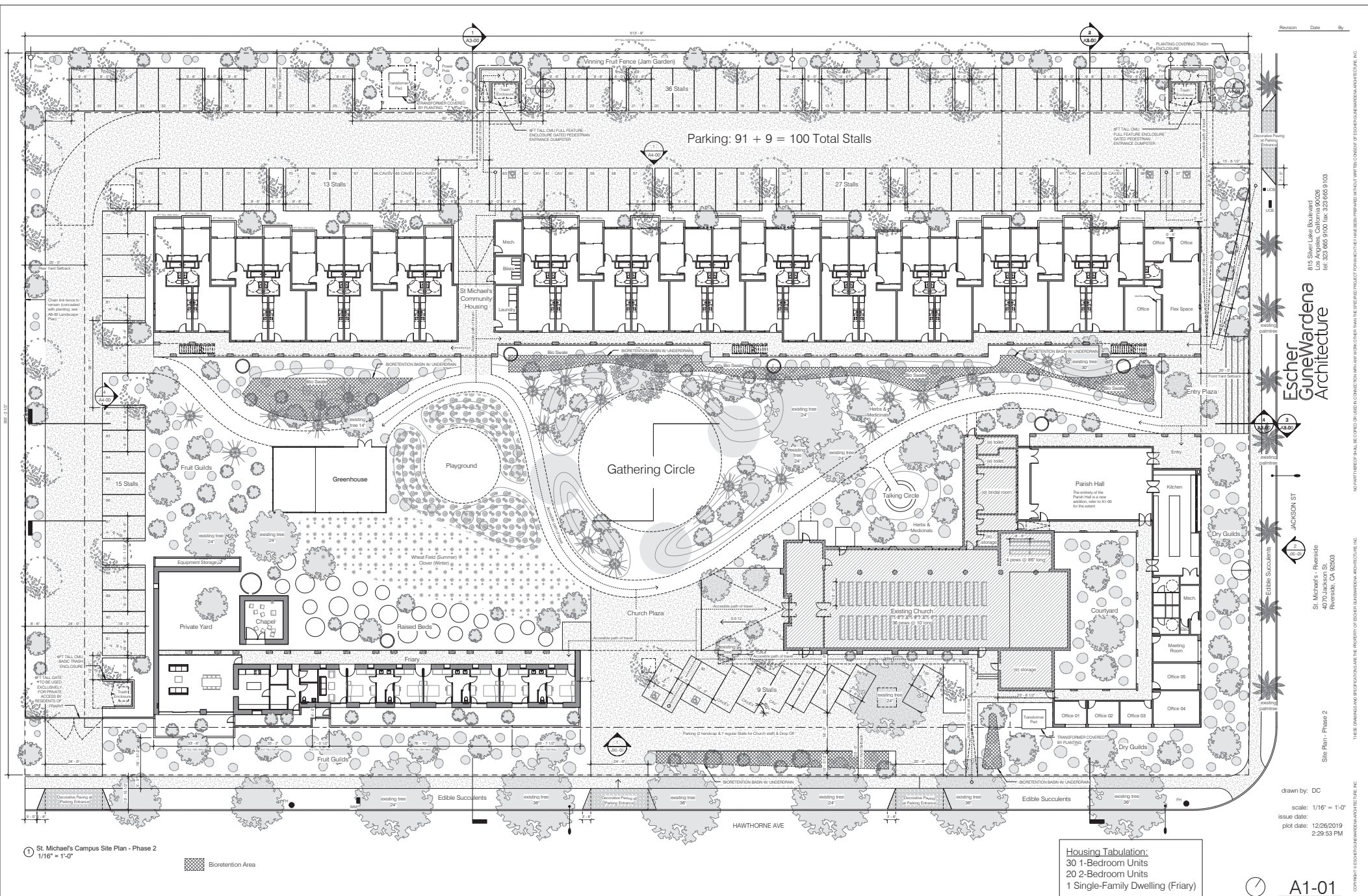
Plot Plan - Phase 1

drawn by: Author
checked by: Checker
scale: 1/16" = 1'-0"
issue date: 06/19/19
plot date: 12/16/2019 6:15:50 PM

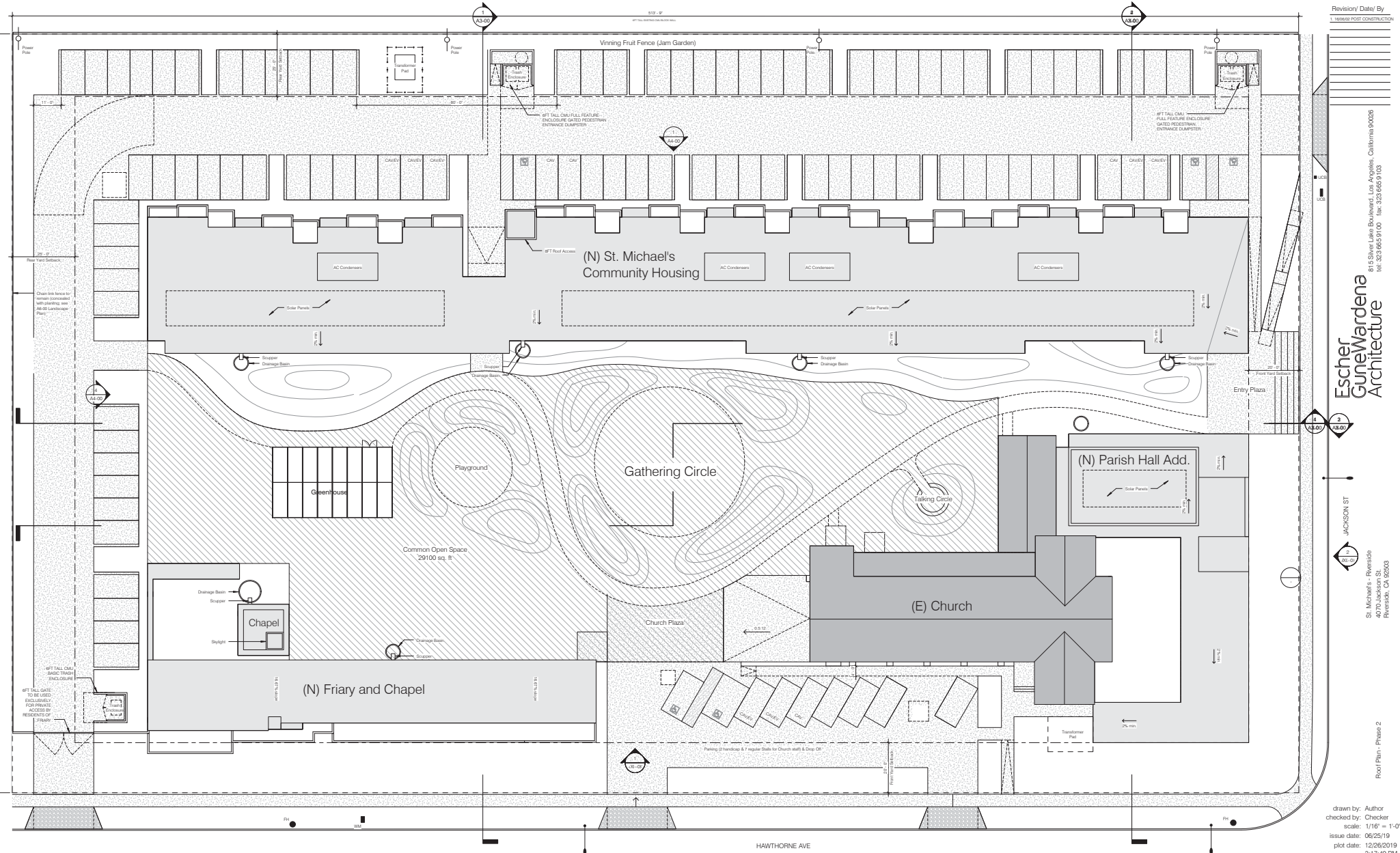
A1-00

P19-0507 (CUP) & P19-0508 (DR), Exhibit 7 - Project Plans

P19-0507 (CUP) & P19-0508 (DR), Exhibit 7 - Project Plans



P19-0507 (CUP) & P19-0508 (DR), Exhibit 7 - Project Plans



① Roof Plan - Phase 2
1/16" = 1'-0"

New
 Existing
 Common Open Space

drawn by: Author
checked by: Checker
scale: 1/16" = 1'-0"
issue date: 06/25/19
plot date: 12/06/2019
3:17:49 PM

Revision/ Date/ By

1. REVIEWED POST CONSTRUCTION

Escher GuneWardena Architecture

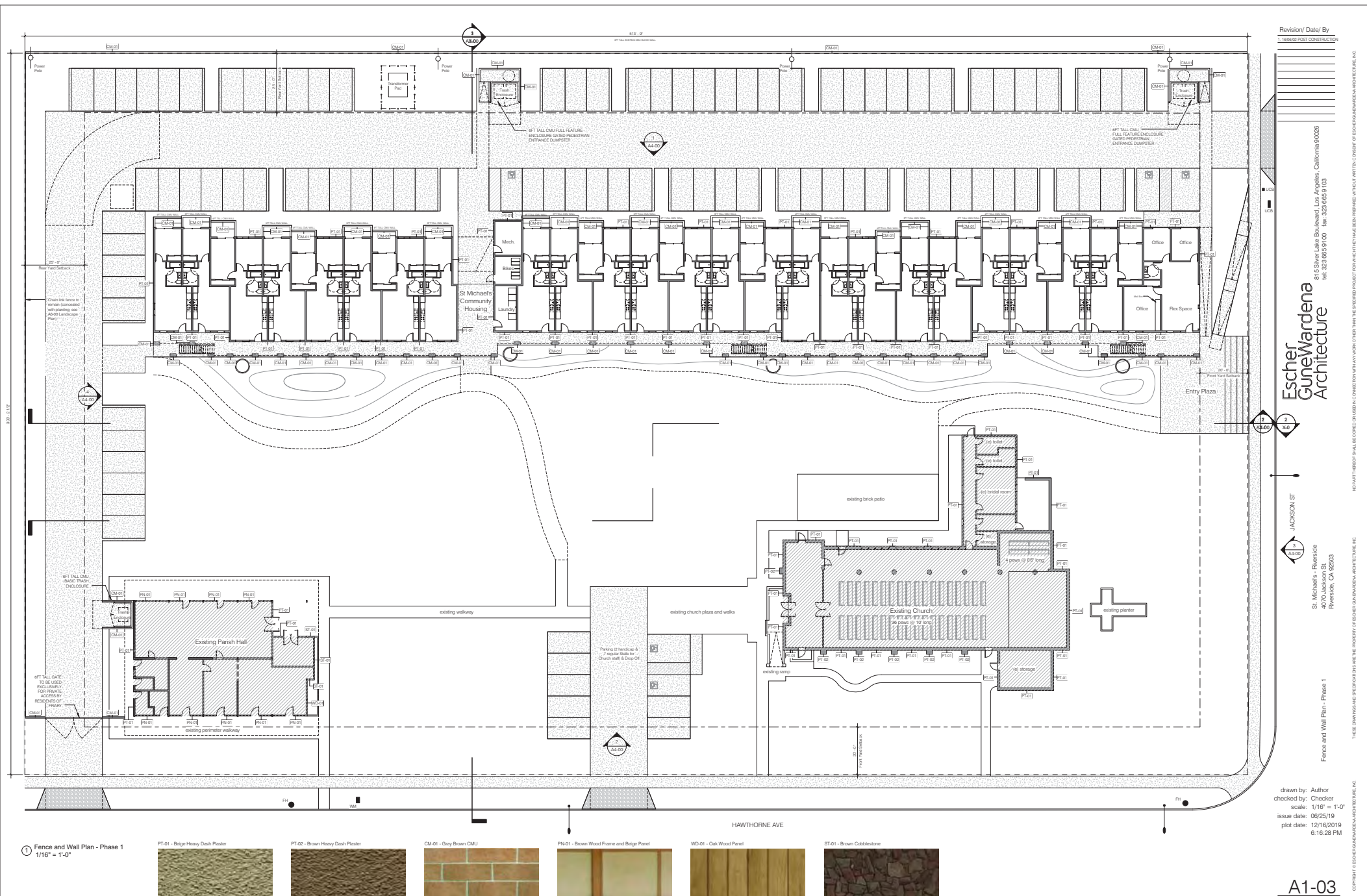
814 Silver Lake Boulevard, Los Angeles, California 90026

tel: 323.665.9100 fax: 323.665.9103

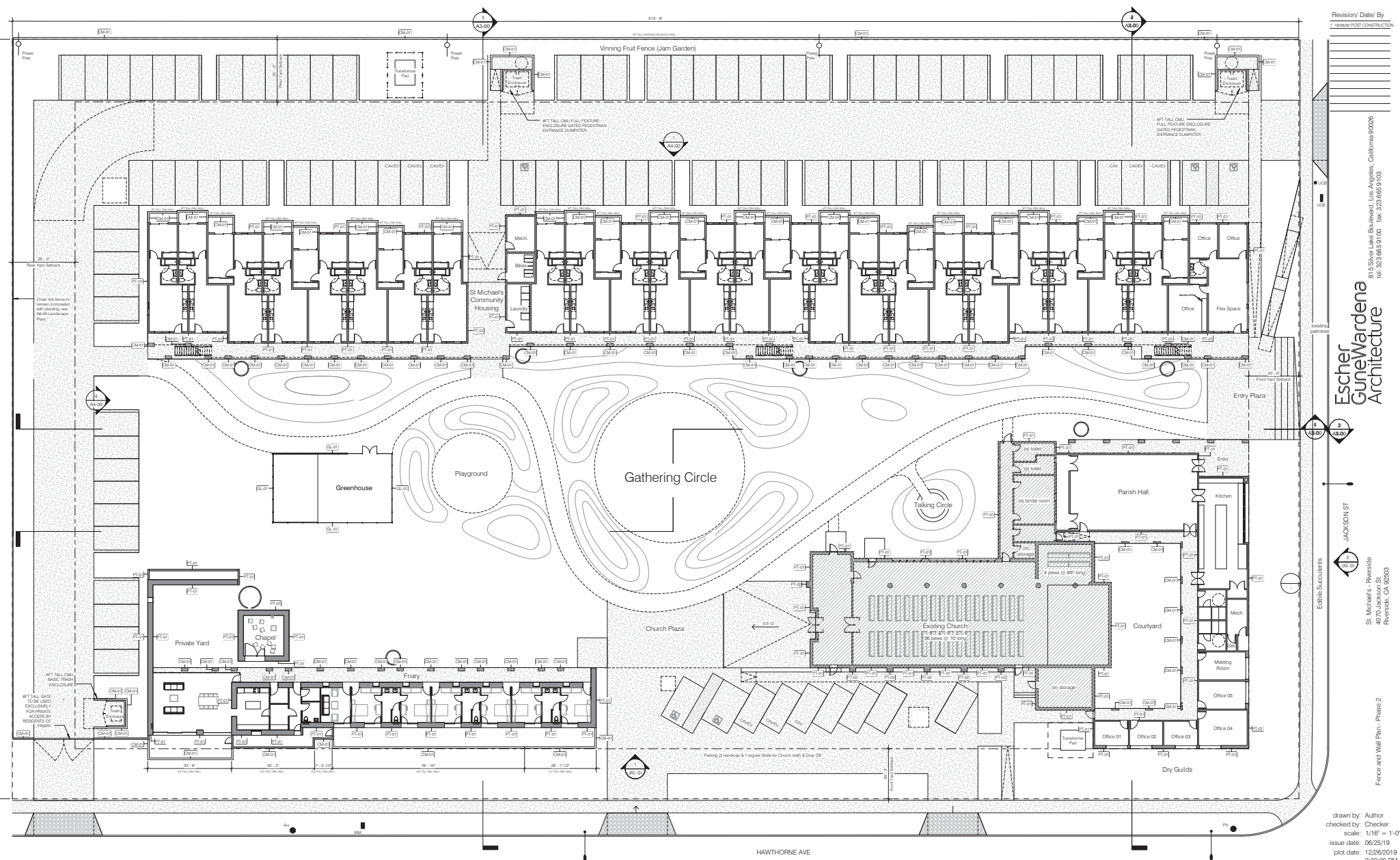
NO PART HEREOF SHALL BE COPIED OR USED IN CONNECTION WITH ANY WORK OTHER THAN THE SPECIFIED PROJECT FOR WHICH IT HAS BEEN PREPARED WITHOUT THE WRITTEN CONSENT OF ESCHER GUNEWARDENA ARCHITECTURE, INC.

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF ESCHER GUNEWARDENA ARCHITECTURE, INC.

P19-0507 (CUP) & P19-0508 (DR), Exhibit 7 - Project Plans



P19-0507 (CUP) & P19-0508 (DR), Exhibit 7 - Project Plans



① Fence and Wall Plan - Phase 2
1/16" = 1'-0"

PT-01 - Beige Heavy Dash Plaster

PT-02 - Brown Heavy Dash Plaster

CM-01 - Gray Brown CMU

GL-01 - Polycarbonate Sheet

Revision/ Date/ By
1. REVISION POST CONSTRUCTION

Escher GueWardena
Architecture

814 Silver Lake Boulevard, Los Angeles, California 90026
Tel. 323.665.9100 Fax. 323.665.9103

St. Michael's - Riverside
407 Jackson St.
Riverside, CA 92503

Fence and Wall Plan - Phase 2

drawn by: Author
checked by: Checker
scale: 1/16" = 1'-0"
issue date: 06/25/19
plot date: 12/26/2019
2:30:20 PM

A1-03

NO PART OF THIS DRAWING SHALL BE COPIED OR USED IN CONNECTION WITH ANY WORK OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT HAS BEEN PREPARED WITHOUT THE WRITTEN CONSENT OF ESCHER GUEWARDENA ARCHITECTURE, INC.

THIS DRAWING AND SPECIFICATIONS ARE THE PROPERTY OF ESCHER GUEWARDENA ARCHITECTURE, INC.

Copyright © ESCHER GUEWARDENA ARCHITECTURE, INC.

P19-0507 (CUP) & P19-0508 (DR), Exhibit 7 - Project Plans

Unit Schedule: St Michael's Community Housing

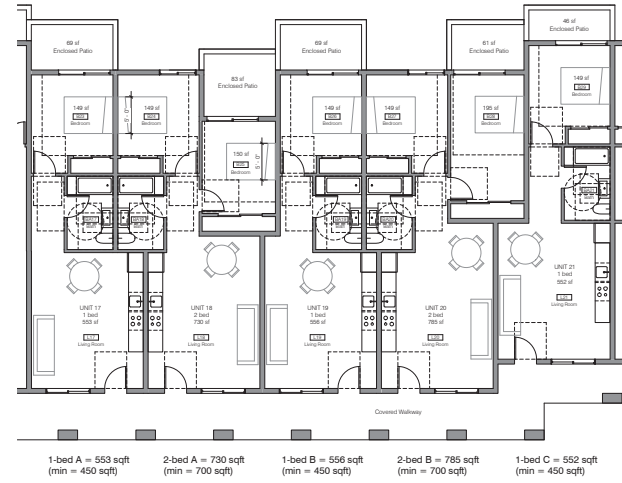
Unit #	Total Area	# Bedrms	Outdoor Area
1	552 sf	1	41 sf
2	550 sf	1	46 sf
3	765 sf	2	61 sf
4	565 sf	1	46 sf
5	720 sf	2	83 sf
6	560 sf	1	46 sf
7	725 sf	2	83 sf
8	561 sf	1	46 sf
9	553 sf	1	41 sf
10	565 sf	1	46 sf
11	719 sf	2	83 sf
12	561 sf	1	46 sf
13	728 sf	2	83 sf
14	554 sf	1	46 sf
15	730 sf	2	83 sf
16	610 sf	1	46 sf
17	553 sf	1	69 sf
18	730 sf	2	83 sf
19	556 sf	1	69 sf
20	784 sf	2	61 sf
21	552 sf	1	46 sf
22	719 sf	2	83 sf
23	565 sf	1	46 sf
24	733 sf	2	83 sf
25	552 sf	1	

Unit #	Total Area	# Bedrms	Outdoor Area
26	550 sf	1	
27	765 sf	2	30 sf
28	565 sf	1	
29	720 sf	2	30 sf
30	560 sf	1	
31	725 sf	2	30 sf
32	561 sf	1	
33	553 sf	1	
34	565 sf	1	
35	719 sf	2	30 sf
36	561 sf	1	
37	728 sf	2	30 sf
38	554 sf	1	
39	730 sf	2	30 sf
40	610 sf	1	
41	553 sf	1	
42	730 sf	2	30 sf
43	556 sf	1	
44	784 sf	2	30 sf
45	552 sf	1	
46	719 sf	2	30 sf
47	565 sf	1	
48	733 sf	2	30 sf
49	569 sf	1	
50	552 sf	1	

Summary:

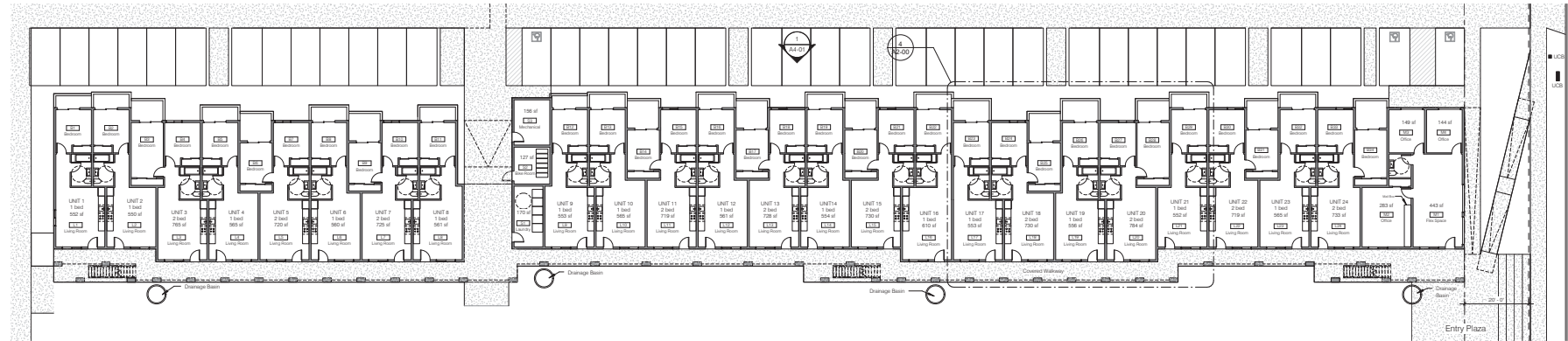
Avg Area of 1-Bed Unit:	561 sf
Avg Area of 2-Bed Unit:	735 sf

Total Private Space Area (Outdoor Area): 1,766 sq. ft.



4 Enlarged Plan - Community Housing Units
1/8" = 1'-0"

2 St. Michael's Community Housing Level 02
1/16" = 1'-0"



1 St. Michael's Community Housing Level 01
1/16" = 1'-0"

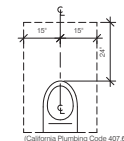
FIRE PROTECTION

1. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM (R313, 12.21A17(i))
2. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
3. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. (R314)
4. SMOKE ALARMS SHALL BE INTERCONNECTED AND RECEIVE POWER FROM BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP AND TEST BUTTON. (R314)
5. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EACH LEVEL.

1. ALL BATHROOMS AND WATER CLOSETS SHALL HAVE MECHANICAL VENTILATION CAPABLE OF 50CFM EXHAUSTED DIRECTLY TO THE OUTSIDE.

1. ALL GLAZING SHALL BE SAFETY GLAZING CONFORMING TO HUMAN IMPACT LOADS OF SECTION R308.3

6. ALL CONSTRUCTION WASTE MUST BE HANDLED BY A CITY OF RIVERSIDE CERTIFIED HAULER.



Total Private Space Area (Parish Hall and Friary): 4,410 sq. ft

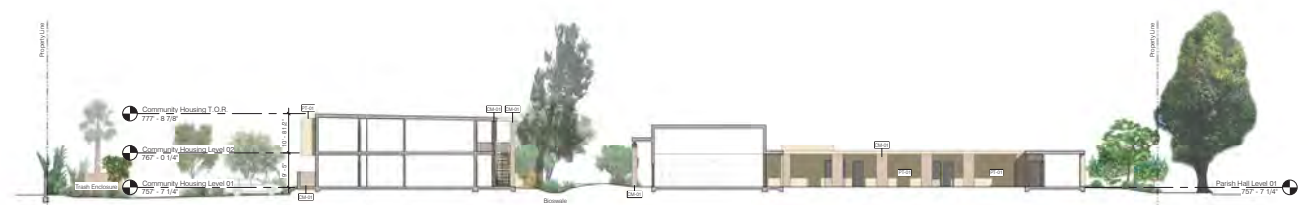




④ Site Section Longitudinal - North
1/16" = 1'-0"



③ Site Section Longitudinal - South
1/16" = 1'-0"



② Site Section Transverse - Parish
1/16" = 1'-0"



① Site Section Transverse
1/16" = 1'-0"

Refer to A1-03 for material color and type legend

Escher
GueWardena
Architecture

818 Silver Lake Boulevard
Los Angeles, California 90028
Tel: 323 665 9100 Fax: 323 665 9103

St. Michael's - Riverside
4070 Jackson St.
Riverside, CA 92503

Site Sections

drawn by: Author
scale: 1/16" = 1'-0"
issue date: 07/21/16
plot date: 12/26/2019
2:30:48 PM

A3-00



④ Site Elevation - West
1/16" = 1'-0"



③ Site Elevation - East
1/16" = 1'-0"



② Site Elevation - South
1/16" = 1'-0"



① Site Elevation - North
1/16" = 1'-0"

Refer to A1-03 for material color and type legend

**Escher
GueWardena
Architecture**

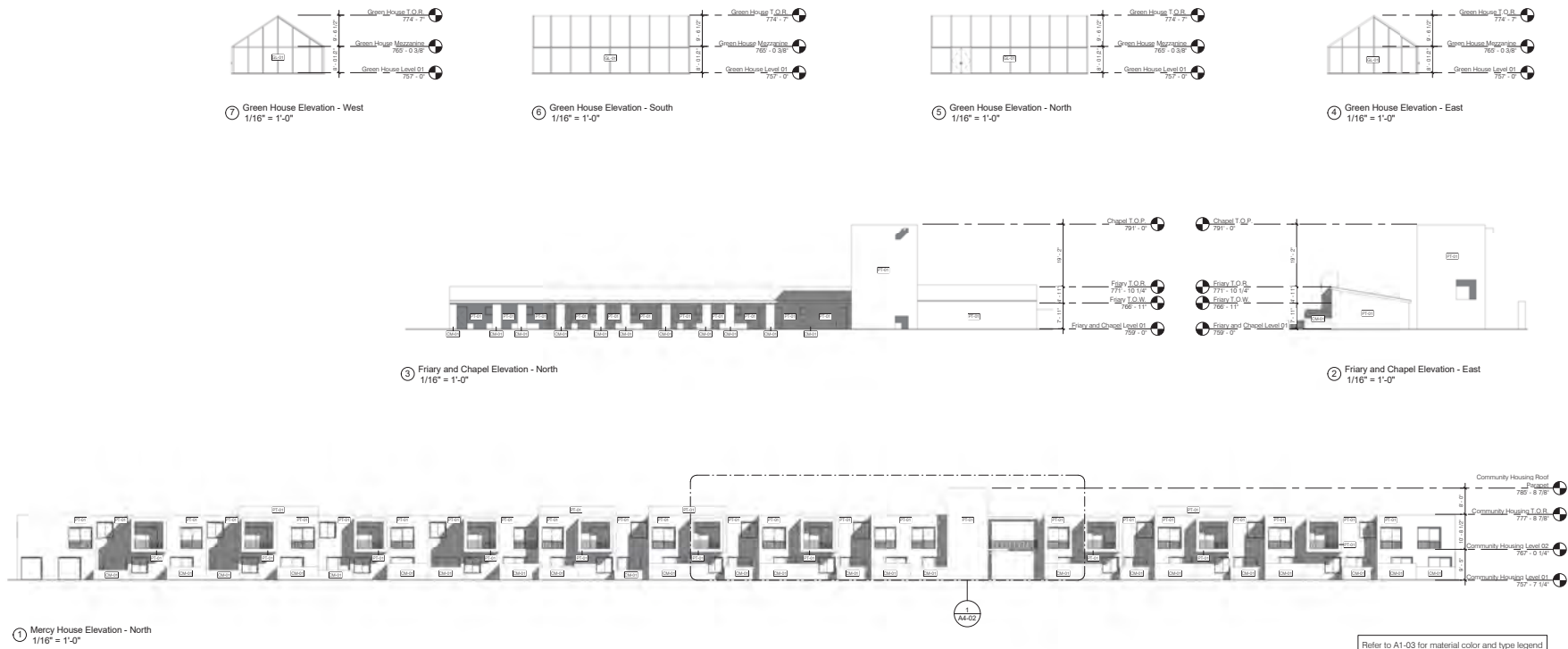
818 Silver Lake Boulevard
Los Angeles, California 90028
Tel: 323.665.9100 Fax: 323.665.9103

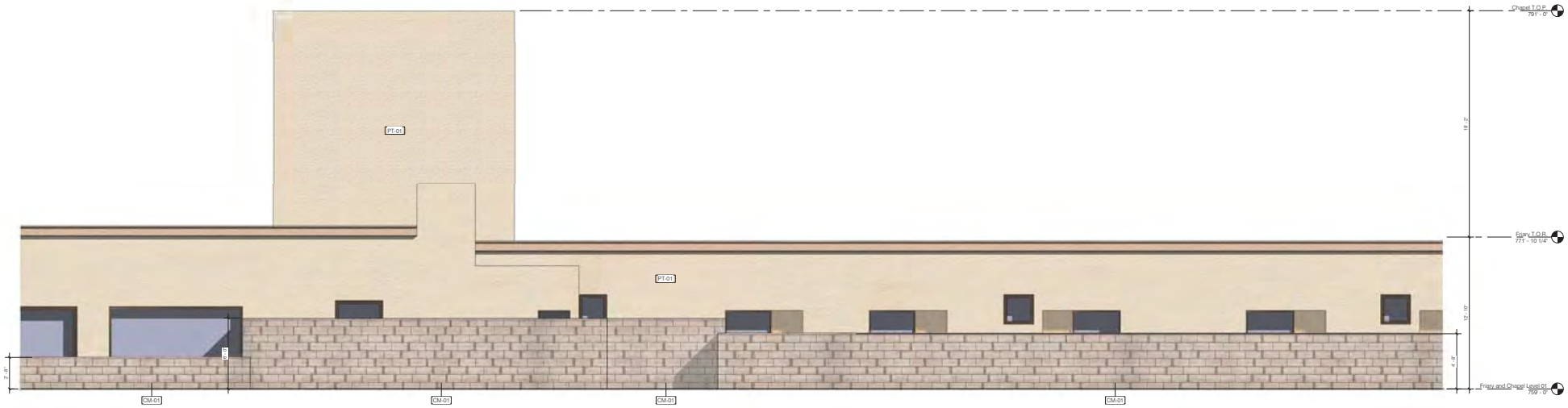
St. Michael's - Riverside
4070 Jackson St.
Riverside, CA 92503

Elevations - Site Elevations

drawn by: Author
scale: 1/16" = 1'-0"
issue date: 07/21/16
plot date: 12/26/2019
2:30:59 PM

A4-00





① Callout of Friary Elevation - South
1/4" = 1'-0"



② CMU Pattern
1" = 1'-0"

Revision	Date	By
1	12/26/2019	POST CONSTRUCTION

Escher GueWardena
Architecture
814 Silver Lake Boulevard, Los Angeles, California 90026
Tel: 323.665.9100 Fax: 323.665.9103

St. Michael's - Riverside
4070 Jackson St.
Riverside, CA 92503

Elevations - Enlarged

drawn by: Author
checked by: Checker
scale: As indicated
issue date: 12/26/19
plot date: 2:31:28 PM

A4-03



Summer

View from entrance plaza towards bio swale, collecting rain water and planted with native flora to show the passage of the seasons. New parish hall on the left, housing on the right.



Winter

Revision/	Date/	By
1. REVIEW POST CONSTRUCTION		

Escher
GuneWardena
Architecture

814 Silver Lake Boulevard, Los Angeles, California 90026
tel. 323.665.9100 fax. 323.665.9103

St. Michael's - Riverside
4070 Jackson St.
Riverside, CA 92503

Summer Winter Entrance Plaza Rendering

drawn by: Author
checked by: Checker
scale:
issue date: 06/26/19
plot date: 12/26/2019
2:31:30 PM

A5-01



View of urban farm towards gathering circle and greenhouse. Existing church of St. Michael's, Franciscan friary and chapel on the left, bio swale and housing on the right



View of urban farm towards wheat field and existing church of St. Michael's. Aquaponics greenhouse, housing, gathering circle on the left, raised beds and Franciscan friary on the right.

drawn by: Author
scale:
issue date: 07/01/19
plot date: 12/26/2019
2:31:33 PM

Campus Interior Renderings

St. Michael's - Riverside
4070 Jackson St.
Riverside, CA 92503

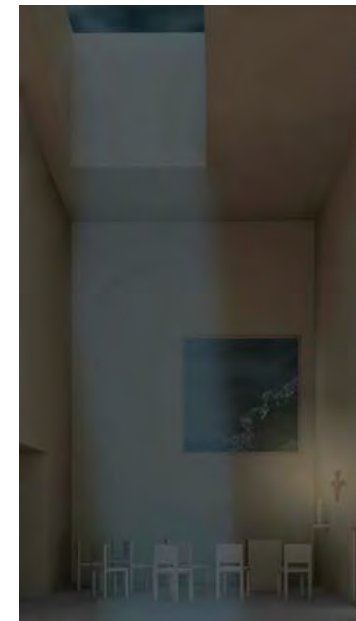
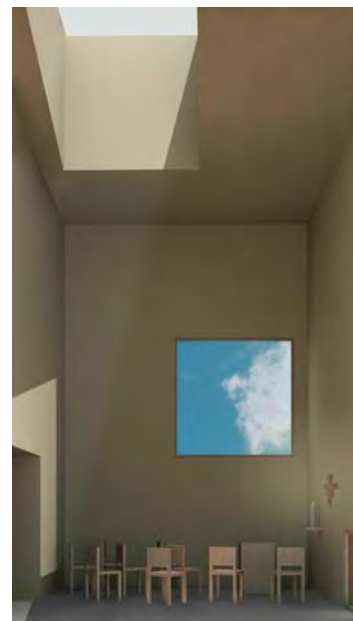
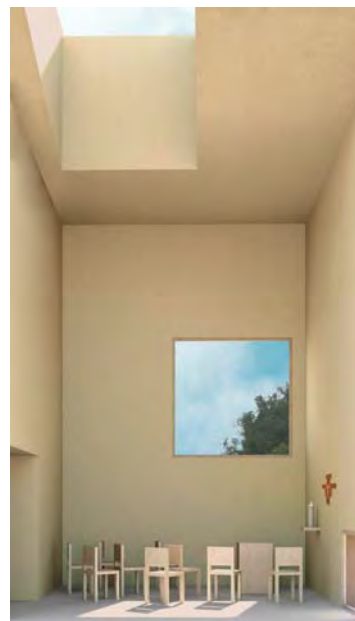
Escher
GuneWardena
Architecture
818 Silver Lake Boulevard
Los Angeles, California 90028
tel: 323 665 9100 fax: 323 665 9103

Revision Date By

A5-03

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF ESCHER GUNEWARDENA ARCHITECTURE, INC.

NO PART OF THIS DRAWING SHALL BE COPIED OR USED IN CONNECTION WITH ANY WORK OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT HAS BEEN PREPARED WITHOUT THE WRITTEN CONSENT OF ESCHER GUNEWARDENA ARCHITECTURE, INC.



Dusk (Lauds)

Noon (Little Office)

Evening (Vespers)

Night (Compline)

Interior of chapel of St. Francis with light conditions during the different hours of prayer

[illegible]

**Escher
Günewardena
Architecture**
815 Silver Lake Boulevard, Los Angeles, California 90026
tel: 323.665.9100 fax: 323.665.9103

St. Michael's - Riverside
4070 Jackson St.
Riverside, CA 92503

Chapel Interior Renderings

drawn by: Author
checked by: Checker
scale:
issue date: 07/01/19
plot date: 12/26/201
2:31:39 P

A5-04