

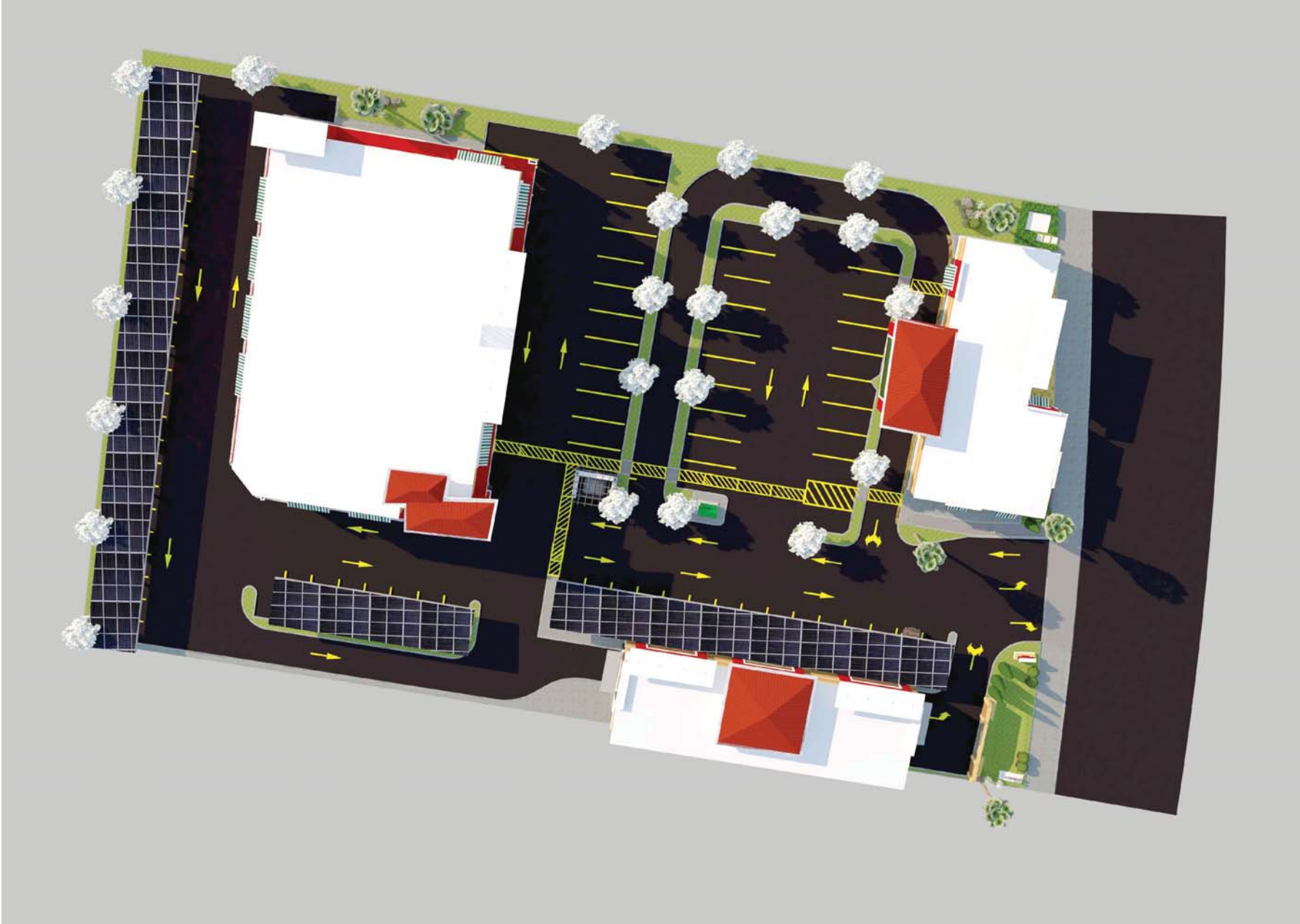
PROPOSED MIXED USE DEVELOPMENT

ECO PLAZA

10434 ARLINGTON AVENUE
RIVERSIDE, CA 92530



PERSPECTIVES



COLOR SITE PLAN

DRAWING TITLE	COVER SHEET	JOB TITLE PROPOSED MIXED USE DEVELOPMENT FOR ARLINGTON PLAZA, RIVERSIDE, CA. 92503	JOB ADDRESS 10434 RIVERSIDE AVE. RIVERSIDE, CA. 92503	JOB NO.	2019-63	DWG. NO.	T-0	REVISION NO.	0
NO.	DATE	ISSUED							
DESIGN CONCEPTS									
SHIV TALWAR, ARCHITECT AIA									
									
3340 RIVERSIDE DR. #M, CHINO, CA 91710									
TEL: 909-591-3939									
Email: designconcepts@yahoo.com									
									
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH THE ARCHITECT. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE ANY BROUGHT TO THE NOTICE OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK									

PROPOSED MIXED USE DEVELOPMENT
ECO PLAZA
10434 ARLINGTON AVENUE
RIVERSIDE, CA 92530

GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL HAVE WORKMAN'S COMPENSATION FOR ALL PERSONS WORKING ON THE JOB.
2. THE GENERAL CONTRACTOR SHALL PAY FOR ALL REQUIRED PERMITS.
3. THE GENERAL CONTRACTOR SHALL PROVIDE LIEN RELEASES FOR ALL LABOR AND MATERIALS PAID FOR PRIOR TO RECEIVING THE NEXT INSTALLATION PAYMENT.
4. ALL WORK SHALL CONFORM TO THE CODES, REGULATION AND STANDARDS OF THE GOVERNING CITY, COUNTY AND STATE AGENCIES.
5. ALL MATERIALS SHALL BE PREMIUM GRADE QUALITY THROUGHOUT. NO SUBSTITUTION OF SPECIFIED MATERIALS ALLOWED WITHOUT CONSENT FROM THE ARCHITECT.
6. THE GENERAL CONTRACTOR SHALL PROVIDE A PORTABLE SANITARY RESTROOM FACILITY WHICH SHALL BE MAINTAINED ON A REGULAR BASIS.
7. THE GENERAL CONTRACTOR SHALL PROVIDE A JOB SHACK WITH A TELEPHONE; CHAIN LINK FENCING AROUND THE SITE AND A TEMPORARY POWER POLE. THE CONTRACTOR SHALL PAY FOR ELECTRICAL POWER, WATER AND TELEPHONE CHARGES DURING CONSTRUCTION.
8. INSTALLATION OF ELECTRIC, TELEPHONE AND CABLE T.V. TO THE FACILITY SHALL BE BY CONTRACTOR.
9. NOT USED.
10. THE GENERAL CONTRACTOR SHALL REPAIR OR REPLACE ANY ITEM DAMAGED DURING THE COURSE OF CONSTRUCTION BY HIS EMPLOYEES OR SUBCONTRACTORS.

PROJECT SUMMARY

PROJECT ADDRESS:

10434 ARLINGTON AVENUE, RIVERSIDE, CA 92505
APN #: 150062008
TRACT #: 041100
LOT #: 4001
ZONING: COMMERCIAL RETAIL ZONE (CR)
LOT SIZE: 1.57 ACRE

GROSS LOT SIZE	:	68,389.0 S ² . FT.
STREET DEDICATION	:	<u>2,238.0 S². FT.</u>
NET LOT SIZE	:	66,151.0 S ² . FT.

FLOOR AREA RATIO (50%) : 33,075.6 S.F.

AREA CALCULATION			NO. OF STORY	FLOOR AREA	UNIT
BUILDING		DESCRIPTION OF USE	1	3,000	SQ. FT.
A		CAR WASH			
B		DRIVE THRU RESTAURANT	1	3,000	SQ. FT.
C		2 STORY RETAIL AND OFFICE CENTER	2		
			(GROUND FLR)	6,124	SQ. FT.
			(2ND FLOOR)	8,247	SQ. FT.
		BUILDING " C " TOTAL		14,371	SQ. FT.
		TOTAL FLOOR AREA = A+B+C		20,371	SQ. FT.

TOTAL FLOOR AREA 21,678 SF □ 33,075.0 SF (50 □ F.A.R.)

CODE ANALYSIS

APPLICABLE CODES	TYPE OF CONSTRUCTION: V6 (MERCHANT TAILOR SPRINKLER)
2016 CALIFORNIA BUILDING CODE (CBC)	
2016 CALIFORNIA MECHANICAL CODE (CMC)	
2016 CALIFORNIA PLUMBING CODE (CPC)	
2016 CALIFORNIA ELECTRICAL CODE (CEC)	
2016 CALIFORNIA GREEN BUILDING CODE (CGBC)	
2016 CALIFORNIA ENERGY REGULATIONS (CERES)	
2016 CALIFORNIA FIRE CODE (CFC)	
2016 CALIFORNIA FIRE CODE (CFC)	
REFER TO SHEET T-1: FIRE CODE ANALYSIS	
	ALLOWABLE AREA
	FIRST FLOOR RETAIL OFFICE SPACES
	SECOND FLOOR RETAIL OFFICE SPACES
	NUMBER OF STORIES
	OCCUPANCY: B (RETAIL SALES)

LEGEND:

PARKING ANALYSIS

RIVERSIDE MUNICIPAL CODE TABLE 19.580.060

PROGRAM	USE	AREA	FORMULA	RE-REQUIRED	PROVIDED
CAR WASH	-	3,000 S.F.	1/1,500 S.F. FT.	2 SPACES	2 SPACES
DRIVE THRU RESTAURANT	-	3,000	1/100 S.F. FT.	30 SPACES	30 SPACES
RESTAURANT AT RETAIL	-	2,745 S.F.	1/100 S.F. FT.	28 SPACES	28 SPACES
RETAIL / SERVICE SPACE (1ST AND FLOOR)	RETAIL / SERVICE SPACE	11,628 S.F.	1/250 S.F. FT.	47 SPACES	33 SPACES
ADA PARKING	-	-	-	107 SPACES	-
TOTAL	-	-	1 CAR/25 SPACES	(INCLUDED)	-
DEFICIENCY	-	-	-	91 SPACES	91 SPACES

ELECTRIC VEHICLE CHARGING STATION

TOTAL PARKING PROVIDED: 91
EVCS REQUIRED: 31: 91: 2:73
EVCS PROVIDED = 3
1. ELECTRICAL VEHICLE SUPPLY EQUIPMENT (EVSE) IS REQUIRED IN ALL NEW ONE AND TWO FAMILY DOWELINGS AND TOWNHOUSES WITH ATTACHED GARAGES. THE EVSE MUST CONSIST OF MINIMUM 1" CONDUIT EXTENDING FROM THE MAIN PANEL TO A JUNCTION BOX WHERE THE EVSE RECEPTACLE WILL BE PROVIDED. THE MAIN SERVICE PANEL MUST BE SIZED TO ACCOMMODATE 208/240 VOLT, 40 AMP DEDICATED BRANCH CIRCUIT.

DESIGN TEAM

ARCHITECT
DESIGN CONCEPTS
SHIV TALWAR AIA
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CHINO, CA 91710
TEL: (909) 510-0512
CONTACT: SHIV TALWAR

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MR. SUDHIR KUMAR
MR. VIKRAM KUMAR
17842 Lr The Bl. d, Ste 222
Tustin, CA 92780
TEL: 949 232 5885

OWNER

MR. SANJEEV KUMAR
MR. SUDHIR KUMAR
MR. VIKRAM KUMAR
17842 InLine Blvd., Ste 222
Tustin, CA 92780
TEL: 949 232 5885

ASSESSORS MAP



VICINITY MAP

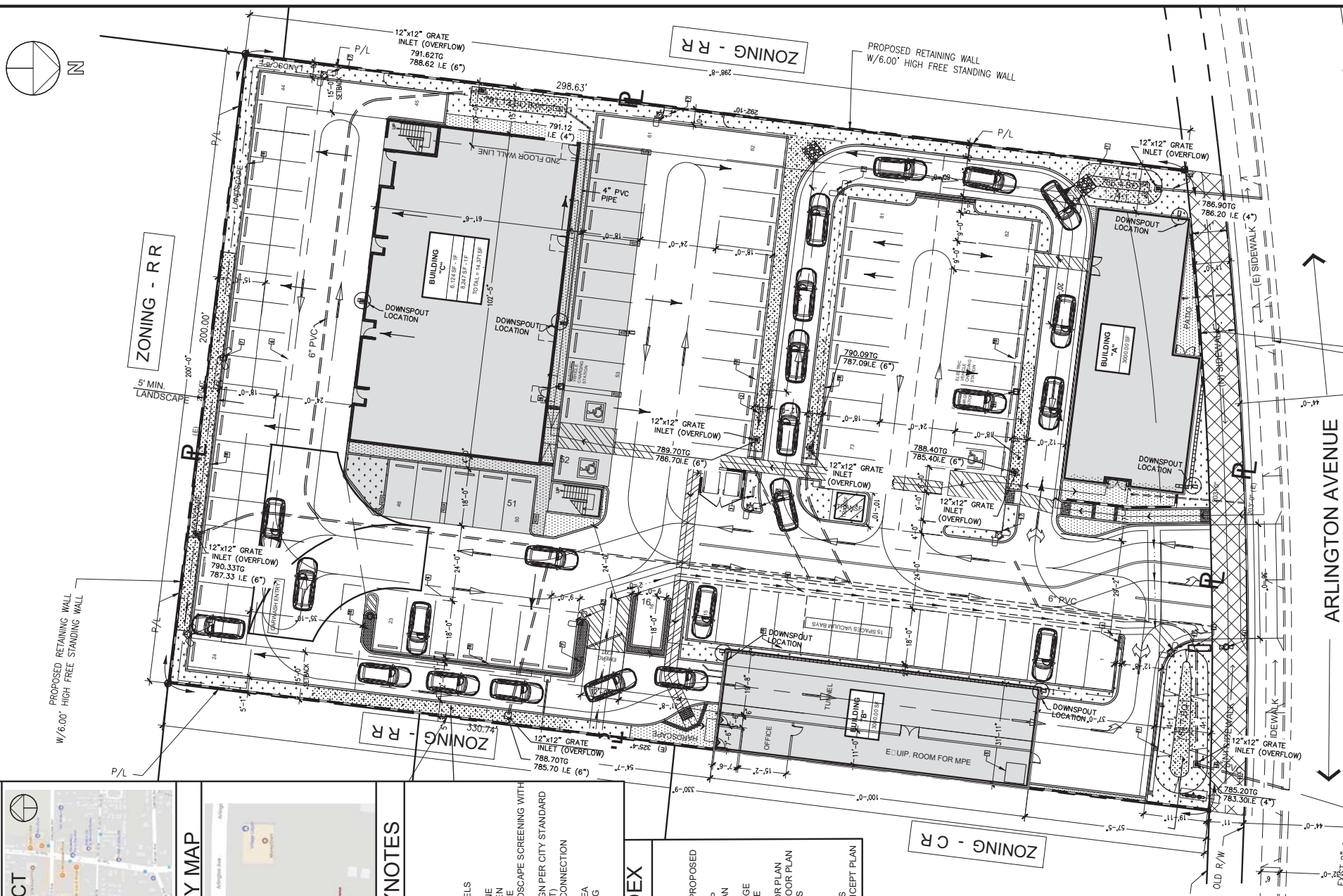


SITE KEYNOTES

- | | | | |
|------|---|------|---|
| (1) | NO ENTRY SIGN | (12) | PROPOSED MONUMENT SIGN PER CITY STANDARD
(UNDER SEPARATE PERMIT) |
| (2) | NO ENTRY SIGN | (13) | NO ELECTRICAL POINT OF CONNECTION |
| (3) | ENTRY | (14) | NO ELECTRICAL POINT OF CONNECTION |
| (4) | NO LEFT/RIGHT TURN | (15) | NO BMP INFILTRATION AREA |
| (5) | VACUUM ELEVEMENT | (16) | ELECTRIC VEHICLE PLUG |
| (6) | CANDY WITH SOLAR PANELS | (17) | NO LAMP POST |
| (7) | NO SIGNAGE | (18) | NO PAVING PAVERS |
| (8) | 18" LONG DRIVE THRU LANE | | |
| (9) | VERTICAL PLANTER SCREEN | | |
| (10) | EXISTING ELECTRICAL POLE | | |
| (11) | PROPOSED VERTICAL LANDSCAPE SCREENING WITH
WATER FEATURE | | |

DRAWING INDEX

ARCHITECTURAL:	CS	COVER SHEET
	T-1	TITLE SHEET AND PROPOSED SITE PLAN.
	TOPO-1	TOPOGRAPHIC MAP
	T-1.02	ENLARGE SITE PLAN
	T-1.03	FENCE PLAN
	C-1	GRADING FIRST PAGE
	C-2	GRADING 2ND PAGE
	A-1	RETAIL FIRST FLOOR PLAN
	A-2	RETAIL SECOND FLOOR PLAN
	A-3	RETAIL ELEVATIONS
	A-4	CARWASH FLOOR PLAN/ELEVATIONS
	A-5	DRIVE-THRU FLOOR/ELEVATIONS
	L-1	LANDSCAPING CONCEPT PLAN



ARLINGTON AVENUE

PROPOSED SITE PLAN

1"=20'-0"

DWG. NO. T-1		REVISION NO. 0	
JOB NO. 2019-63		JOB TITLE PROPOSED MIXED USE DEVELOPMENT FOR ARLINGTON PLAZA, 10434 ARLINGTON AVE., RIVERSIDE, CA. 92503	
NO.	DATE	ISSUED	DRAWING TITLE TITLE SHEET ☐ SITE ANALYSIS

SCALE: 0.047403



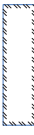
LEGEND



= LIGHT STD



= FIRE HYDRANT



= EXISTING BUILDING

= EXISTING CONTOURS

= CHAIN-LINK FENCING

= TOP OF SLOPE

= CENTERLINE

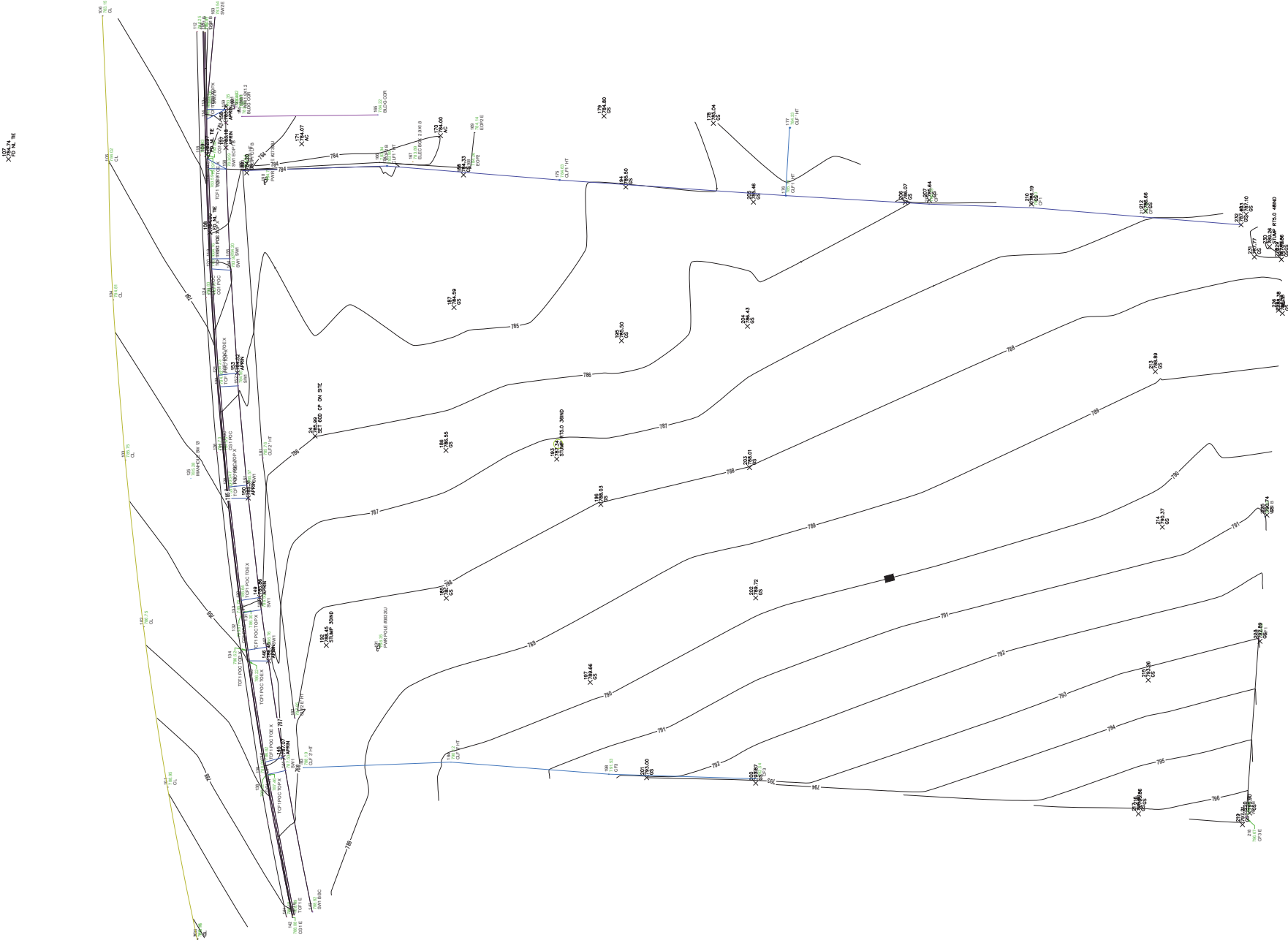
= WHEEL STOP

ASSESSOR'S PARCEL NUMBERS: #####, #####
ASSESSOR'S MAP BOOK ###, PAGE ##

PARCELS 1 AND 2 RESPECTIVELY, PARCEL MAP 11227. BOOK
122 PAGE

50-51 OF PARCEL MAPS, SAN BERNARDINO COUNTY,
CALIFORNIA.

BASIS BEARINGS: WILLOW AVENUE, N00° 07' 42" W



PREPARED BY:

EXPERT ENGINEERING
SCIENCES, INC.



CIVIL ENGINEERING
SURVEYING PLANNING

(909) 884-2159
699 NORTH ARROWHEAD AVE, SUITE 150
SAN BERNARDINO, CALIFORNIA 92401

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REVISIONS:

DESCRIPTION

DATE _____

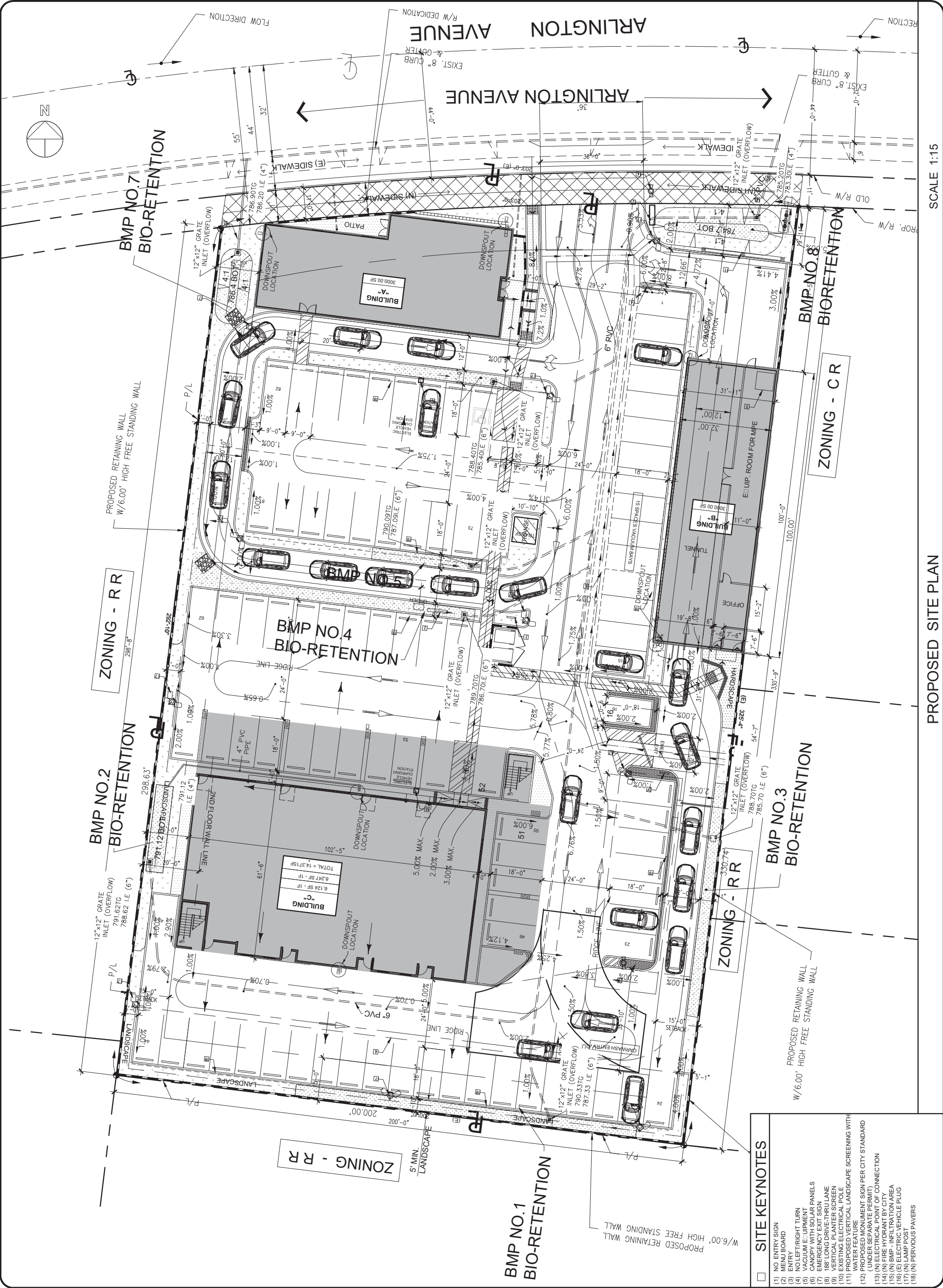
BENCH MARK

GPS VERTICAL CONTROL POINT SET IN TOP OF CURB WEST OF SITE (POINT 1). SET AT 991.35' ABOVE M.S.L. NAVD 1988

DRAWING NO.
BLOOMINGTON

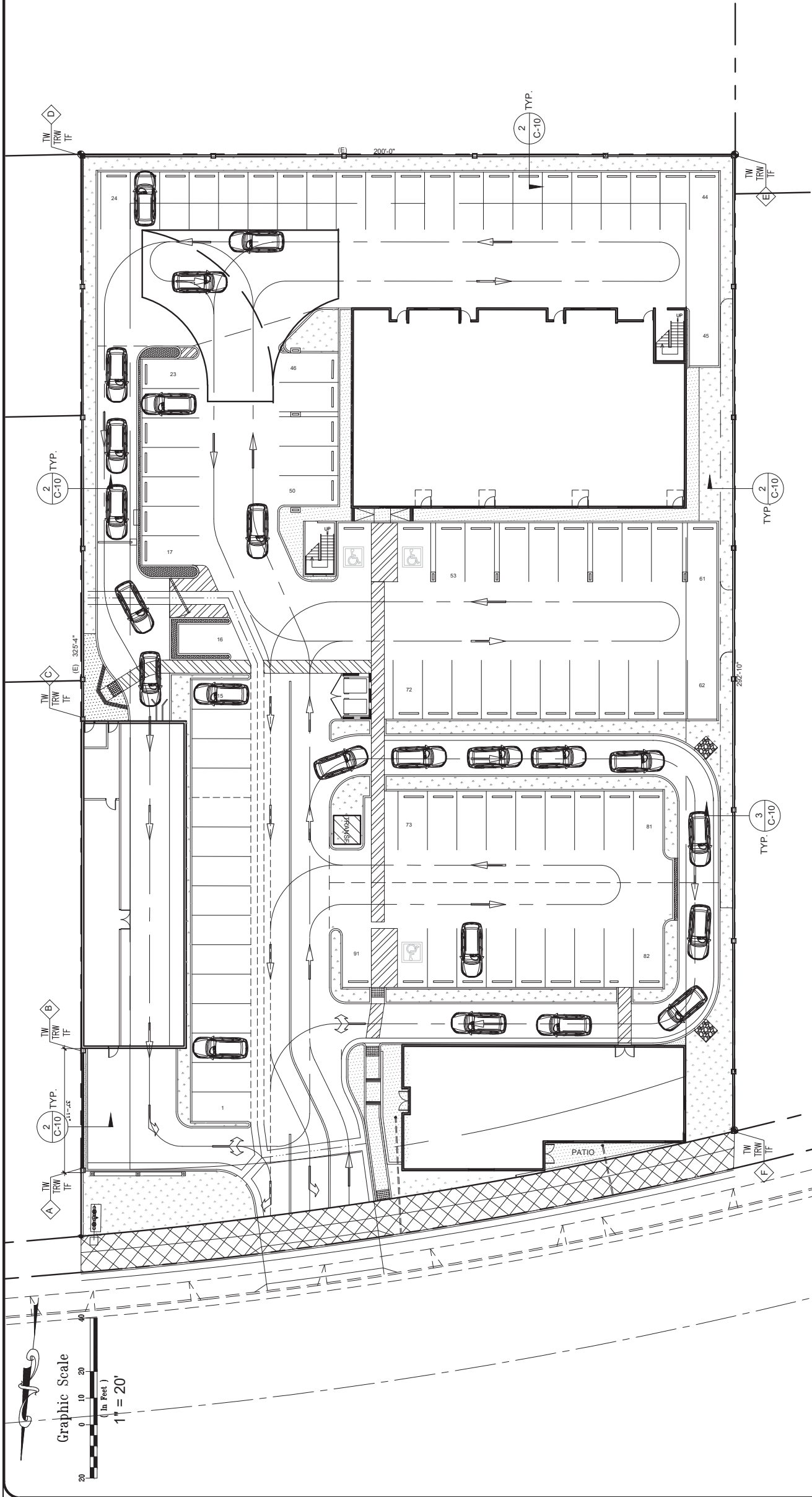
SHEET NO. T-1.01

FILE NO. BLOOMINGTON



SCALE 1:15

PROPOSED SITE PLAN



BOUNDARY WALL PLAN SCALE 1/20		BOUNDARY WALL PLAN SCALE 1/20		BOUNDARY WALL PLAN SCALE 1/20		BOUNDARY WALL PLAN SCALE 1/20	
ORICO STANDARD 8'-0" CMU SITE WALLS W/ TRENCH FOOTING FOR 110 MPH 1.5 SEC. GUST @ 50% C		ORICO STANDARD 8'-0" CMU SITE WALLS W/ TRENCH FOOTING FOR 110 MPH 1.5 SEC. GUST @ 50% C		ORICO STANDARD 8'-0" CMU SITE WALLS W/ TRENCH FOOTING FOR 110 MPH 1.5 SEC. GUST @ 50% C		ORICO STANDARD 8'-0" CMU SITE WALLS W/ TRENCH FOOTING FOR 110 MPH 1.5 SEC. GUST @ 50% C	
ORICO 8' HIGH WALL W/ 2'-0" TO 4'-0" RETAINING & TRENCH FOOTING FOR 110 MPH 1.5 SEC. GUST @ 50% C		ORICO 8' HIGH WALL W/ 2'-0" TO 4'-0" RETAINING & TRENCH FOOTING FOR 110 MPH 1.5 SEC. GUST @ 50% C		ORICO 8' HIGH WALL W/ 2'-0" TO 4'-0" RETAINING & TRENCH FOOTING FOR 110 MPH 1.5 SEC. GUST @ 50% C		ORICO 8' HIGH WALL W/ 2'-0" TO 4'-0" RETAINING & TRENCH FOOTING FOR 110 MPH 1.5 SEC. GUST @ 50% C	
1. FOR FINISH GRADE ELEVATION REFER TO GRADING PLANS.		2. RETAINING WALL STRUCTURAL CALCULATIONS SHALL BE IN SEPARATE SUBMISSION WITH THE BUILDING AND SAFETY DEPARTMENT.		HEIGHT IN FEET FROM TOP OF FOOTING TO TOP OF RETAINING WALL		NOTE: REFER TO CIVIL GRADING PLANS FOR ADDITIONAL INFORMATION	

[illegible]

TABLE SUMMARY:

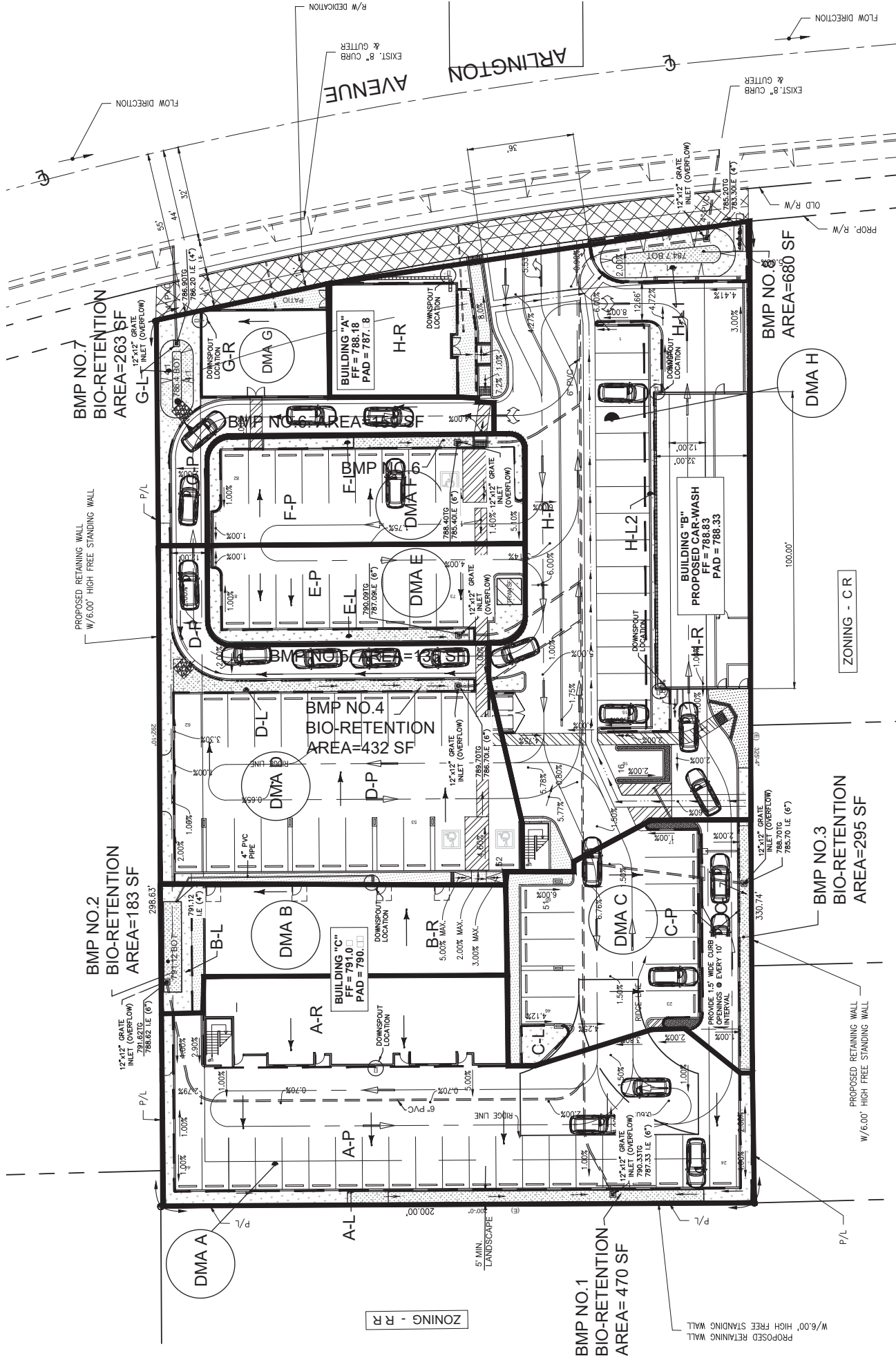
DMA ID	DMA SUB AREAS	IMPERVIOUS AREA (S.F.)	PERVIOUS AREA (S.F.)	TOTAL AREA (S.F.)	POST CONSTRUCTION SURFACE TYPE	EFFECTIVE IMPERVIOUS FRACTION, I _e	BMP TYPE	VOL BMP (C.F.)	VOLUME PROVIDED (C.F.)
A	A-P	8,681		13,156	A.C PAVEMENT	1.0	BIORETENTION	599.1	635
	A-R	3,148			ROOF	0.10			
	A-L		1,327		LANDSCAPE	0.10			
B	B-R	3,329		3,773	ROOF	1.0	BIORETENTION	169	225
	B-L		444		LANDSCAPE	0.10			
C	C-P	5,031		5,791	A.C PAVEMENT	1.0	BIORETENTION	256	388
	C-L		760		LANDSCAPE	0.10			
D	D-P	8,969		10,012	A.C PAVEMENT	1.0	BIORETENTION	455	583
	D-L		1,043		LANDSCAPE	0.10			
E	E-P	3,013		3,579	A.C PAVEMENT	1.0	BIORETENTION	154	182
	E-L		566		LANDSCAPE	0.10			
F	F-P	2,938		3,613	A.C PAVEMENT	1.0	BIORETENTION	151.3	215
	F-L		735		LANDSCAPE	0.10			
G	G-P	1,970		3,983	AC PAVEMENT	1.0	BIORETENTION	167	333
	G-R	1,281			ROOF	1.0			
	G-L		742		LANDSCAPE	0.10			
H	H-P	12,616		18,855	A.C PAVEMENT	1.0	BIORETENTION	878.2	884
	H-R	4,785			ROOF	1.0			
	H-L2		851		LANDSCAPE	0.10			
TOTAL		55,761 SF	7,071 SF	62,832 SF					

WATER QUALITY MANAGEMENT PLAN

MIXED DEVELOPMENT

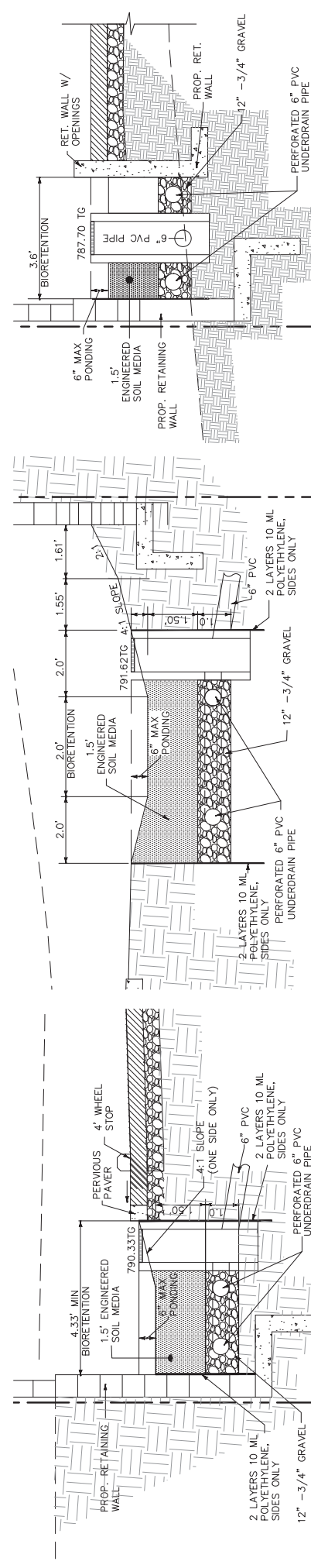
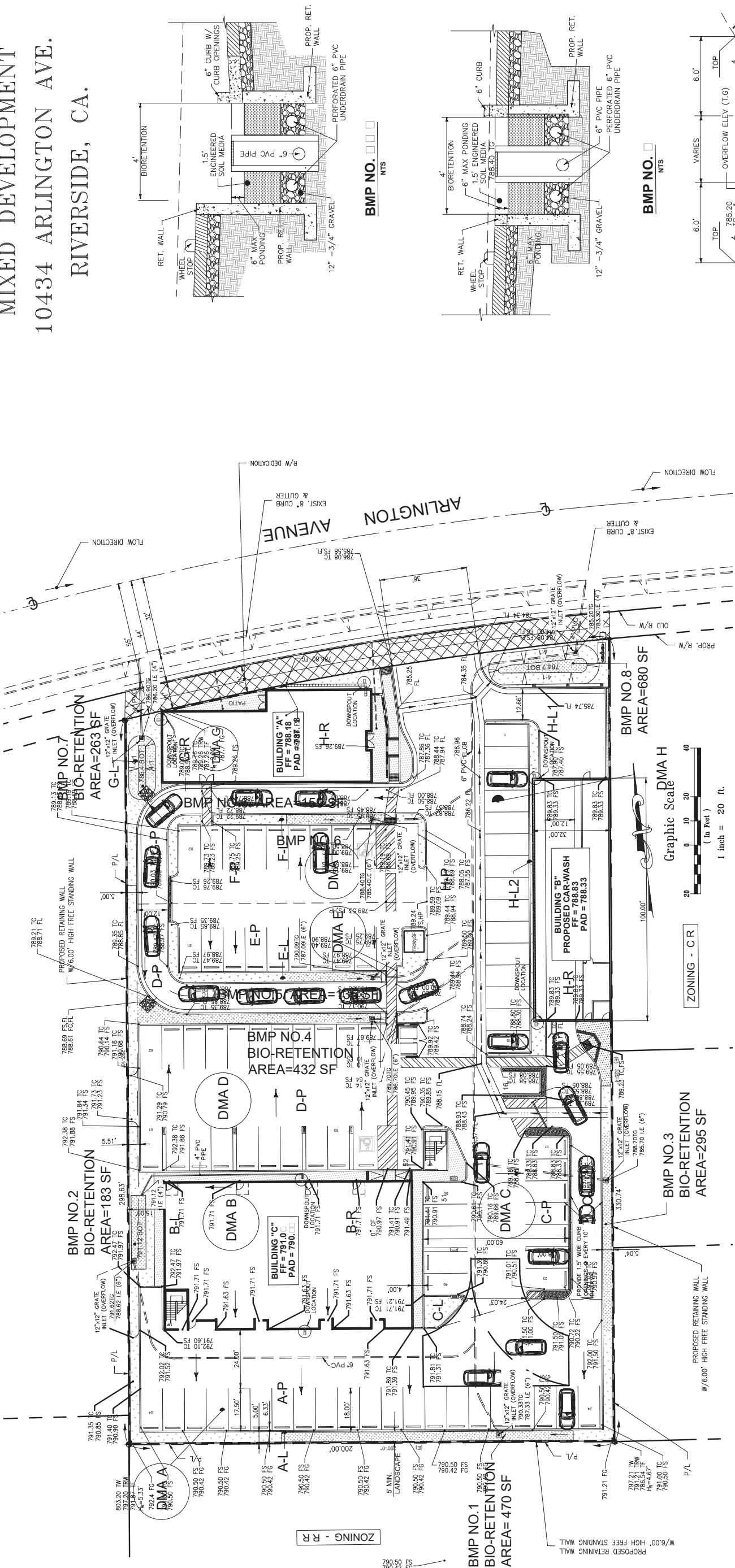
10434 ARLINGTON AVE.

RIVERSIDE, CA.



WATER QUALITY MANAGEMENT PLAN

MIXED DEVELOPMENT
10434 ARLINGTON AVE.
RIVERSIDE, CA.

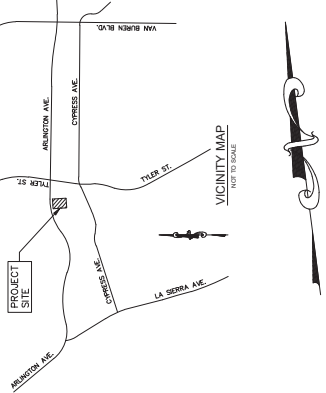


TYPICAL BIORETENTION DETAIL
BMP NO. 7 8 8
NTS

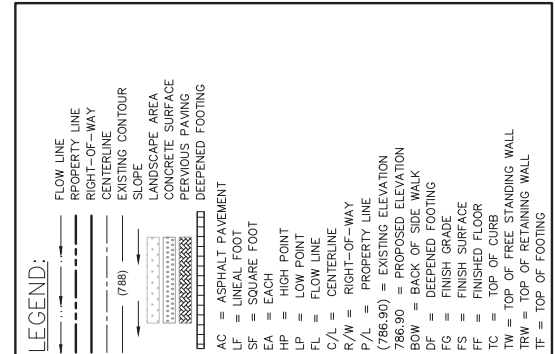
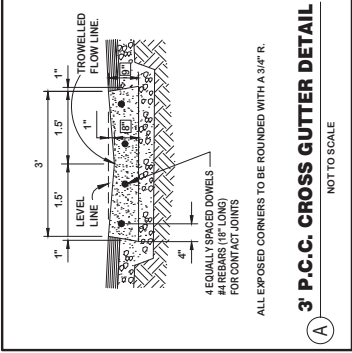
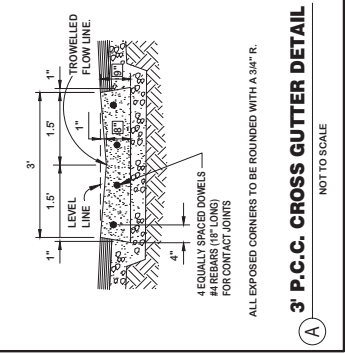
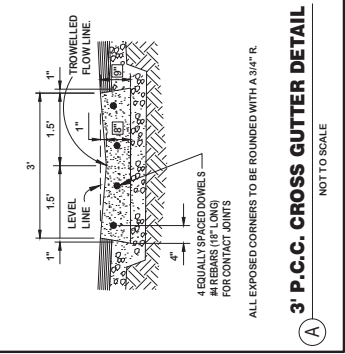
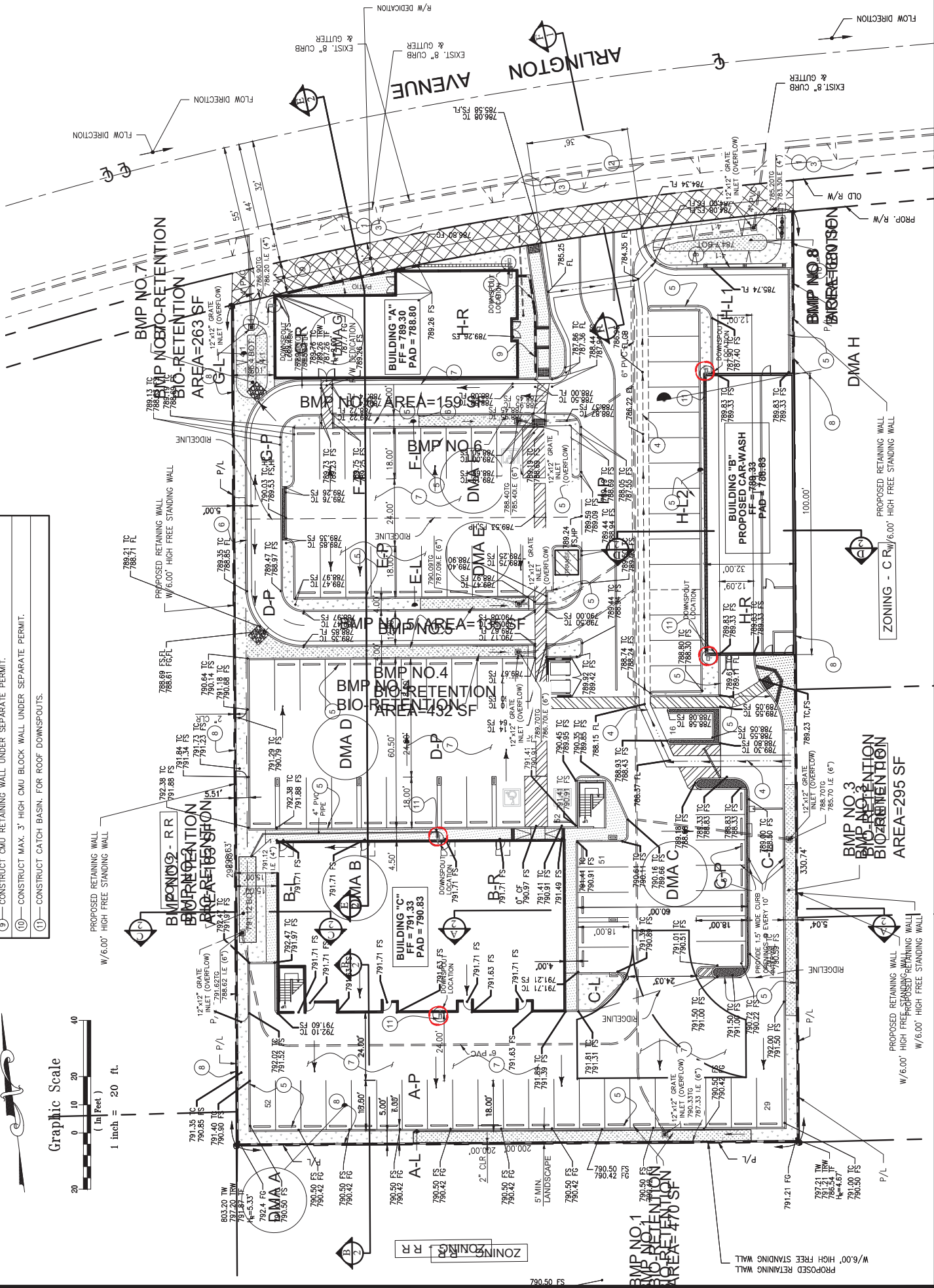
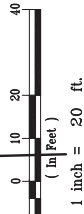
CITY OF RIVERSIDE
CONCEPTUAL GRADING PLAN
PROPOSED MIXED USE DEVELOPMENT
10434 ARLINGTON AVENUE, RIVERSIDE, CA 92530
TRACT #041100 & LOT #4001
A.P.N. 150-062-008

GRADING CONSTRUCTION NOTES

- 1— SAW CUT AND REMOVE EXISTING DRIVEWAY APPROACH.
- 2— CONSTRUCT 36" WIDE DRIVEWAY APPROACH PER CITY OF RIVERSIDE STD. DWG. NO. 303
- 3— CONSTRUCT TYPE I CURB & GUTTER PER CITY OF RIVERSIDE STD. DWG. NO. 200.
- 4— CONSTRUCT 36" WIDE LONGITUDINAL P.C.C. V-GUTTER PER DETAIL "A" ON THIS SHEET.
- 5— CONSTRUCT 6" HIGH P.C.C. CURB ONLY PER DETAIL "B" ON THIS SHEET.
- 6— CONSTRUCT 6" HIGH P.C.C. CURB & 18" WIDE P.C.C. GUTTER PER DETAIL "C" ON THIS SHEET.
- 7— CONSTRUCT 6" THICK P.C.C. PAVEMENT OVER 4" CLASS II A.B.
- 8— CONSTRUCT COMBO CMU RETAINING WALL WITH 6" HIGH FREE STANDING CMU WALL ON TOP UNDER SEPARATE PERMIT.
- 9— CONSTRUCT CMU RETAINING WALL UNDER SEPARATE PERMIT.
- 10— CONSTRUCT MAX. 3" HIGH CMU BLOCK WALL UNDER SEPARATE PERMIT.
- 11— CONSTRUCT CATCH BASIN FOR ROOF DOWNSPOUTS.



Graphic Scale

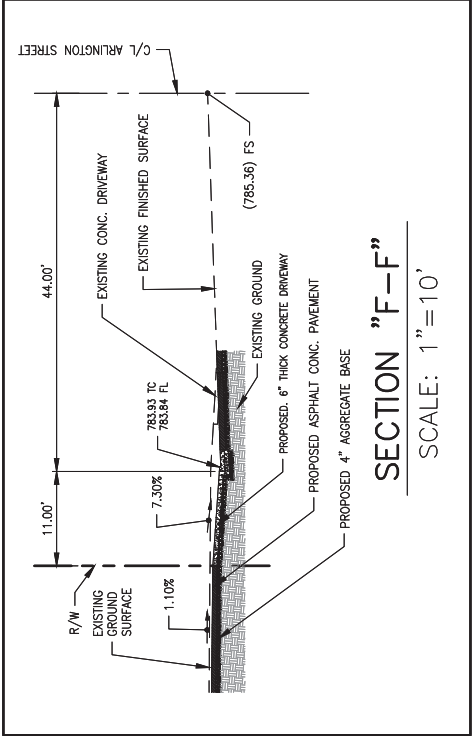


EARTHWORK QUANTITIES::

CUT::.....	880 CY (EXPORTED)
FILL::.....	450 CY
10 % SHRINKAGE::.....	45% CY
TOTAL::.....	435 CY
IMPORT::.....	0 CY

NOTE TO OWNER/CONTRACTOR:

1. OWNER/CONTRACTOR SHALL COORDINATE WITH THE ADJACENT PROPERTY OWNERS TO DECIDE IF ANY EXISTING WALLS OR FENCES LOCATED WITHIN THE PROPERTY LINES NEED TO BE REMOVED, RELOCATED, OR REPLACED WITH NEW STRUCTURE.
2. CONTRACTOR SHALL VERIFY AND PROTECT LOCATION OF ALL EXISTING UTILITIES.



Underground Service Alert

Call: TOLL FREE
1-800
422-4133

NO DIG
CALL BEFORE YOU DIG

TWO WORKING DAYS BEFORE YOU DIG

SHIV D. TALWAR
LICENSED ARCHITECT NO. C-23417

DATE 03/14/2018

DESIGN CONCEPTS
SHIV TALWAR, ARCHITECT AIA
3340 RIVERSIDE DRIVE #M. CHINO, CA. 91710
TEL: 909-591-3939
Email: dsignconcepts@yahoo.com

CITY OF RIVERSIDE
DEPARTMENT OF BUILDING & SAFETY

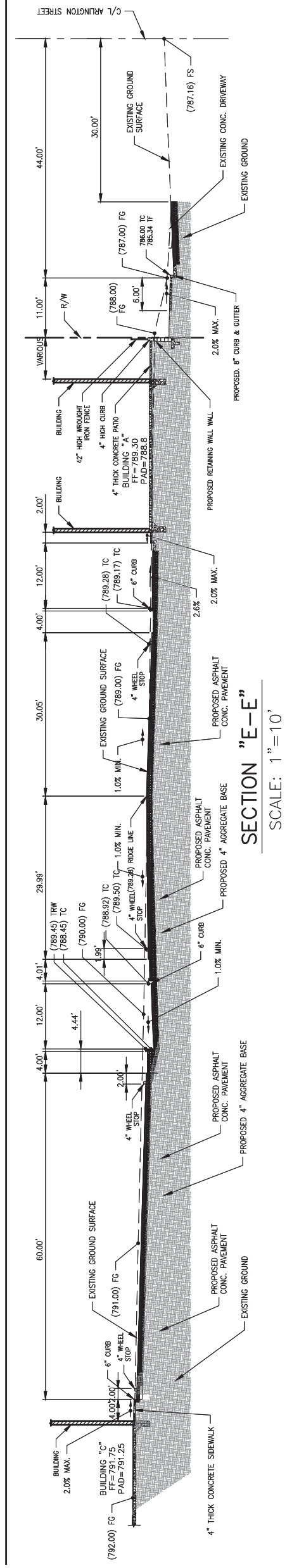
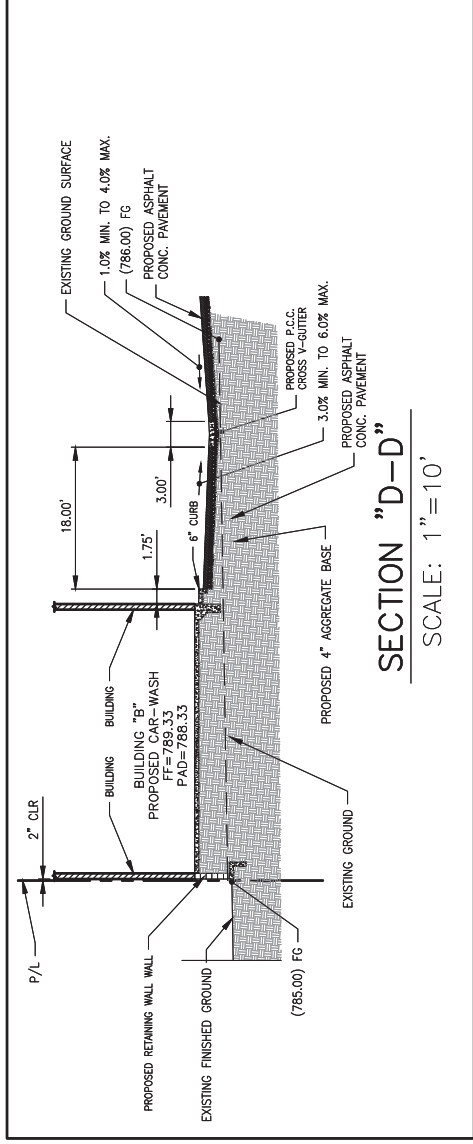
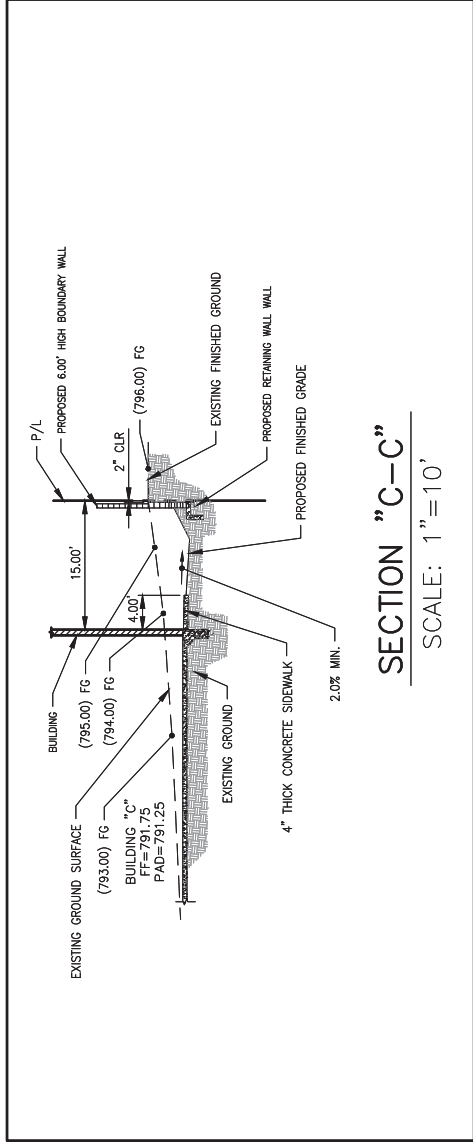
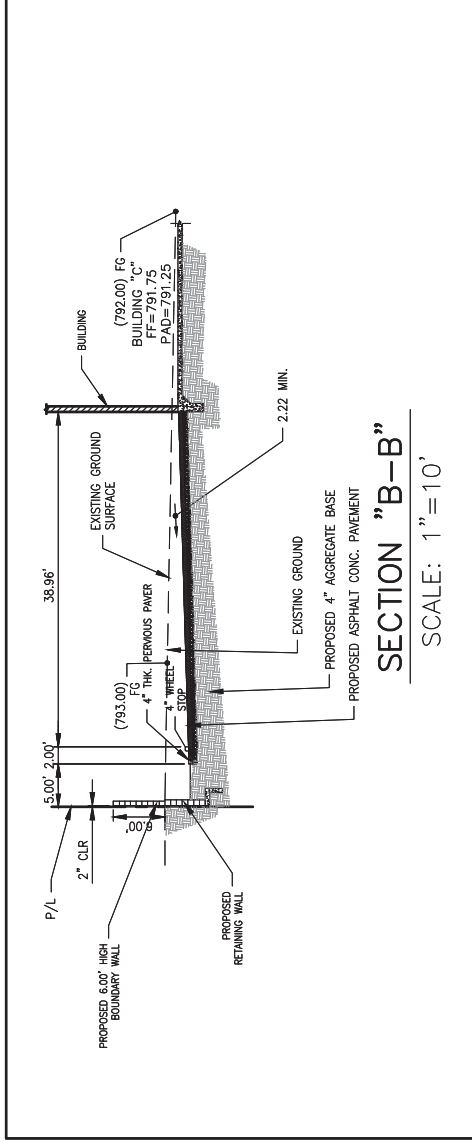
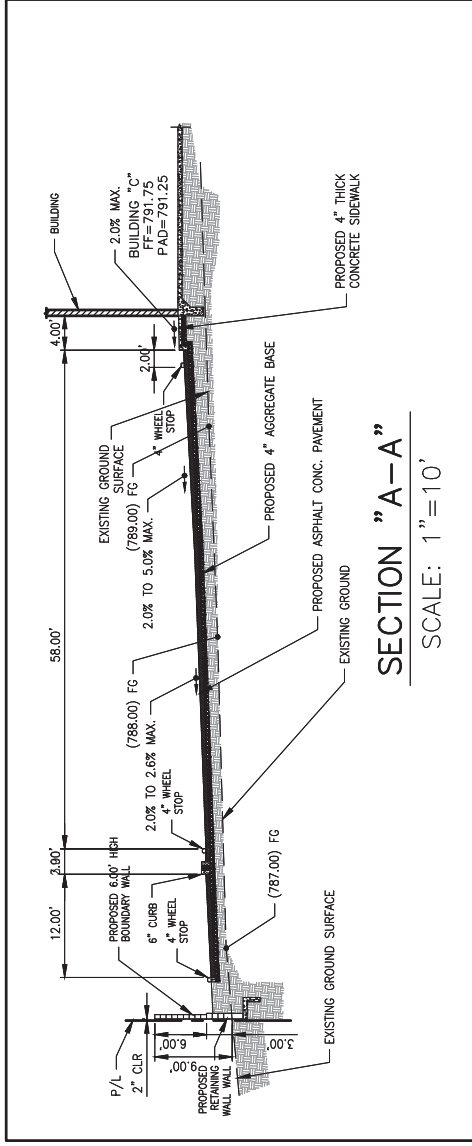
APPROVED BY _____ DATE _____

R.C.E. _____ EXP. DATE _____

W.O. : _____

CITY OF RIVERSIDE
PROPOSED MIXED USE DEVELOPMENT
10434 ARLINGTON AVENUE
CITY OF RIVERSIDE, CA 92530
GRADING PLAN

SHEET NO. 1 OF 2 SHEETS



NOTE:

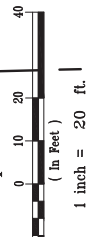
THERE IS NO NON-STORM WATER DISCHARGE ON THIS SITE DURING CONSTRUCTION EXCEPT TO WET DOWN GROUNDS FOR DUST CONTROL.

LEGEND

- FILTER FABRIC SAND BAG
- SILT FENCE (DURING GRADING)
- AND CLEARING OPERATIONS)
- STORM WATER FLOW
- NEW CMU WALL



Graphic Scale



CITY OF RIVERSIDE
EROSION CONTROL PLAN
PROPOSED MIXED USE DEVELOPMENT
10434 ARLINGTON AVENUE, RIVERSIDE, CA 92530
TRACT #041100 & LOT #4001
A.P.N. 150-062-008

STORM WATER POLLUTION PREVENTION NOTES:
(CONSTRUCTION PHASE)

- * PROVIDE SILT FENCE AT LOCATION SHOWN AND AT PERIMETER OF CONSTRUCTION FENCE WHERE APPLICABLE PER CITY STD. MWFE-355-0.
- * PROVIDE SINGLE ROW OF GRAVEL BAGS - 2 BAGS HIGH PER DETAIL NO. 1 ON SHEET C-8.
- * PROVIDE 20'X10' SOLID WASTE MANAGEMENT PER AREA.
- * PROVIDE 10' X 10' CONCRETE WASTE CONTAINMENT AREA BELOW GRADE TYPE, WITH 10ML PLASTIC LINING, PER DETAIL 2 ON SHEET C-8.
- * PROVIDE SANITARY UNIT AT LOCATION SHOWN ON PLAN.
- * PROVIDE STABILIZED CONSTRUCTION ENTRANCE WITH CORRUGATED STEEL PANELS AT LOCATION SHOWN ON PLAN PER CITY STD. MWFE-354-0.
- * PROVIDE GRAVEL BAGS CHEVRON IN STREET FLOW LINE AT DOWNSTREAM END OF CONSTRUCTION.
- * COMPLIANCE WITH RESIDENTIAL MANDATORY MEASURED, SECTION 4.106.2, STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION.

STORM WATER POLLUTION CONTROL REQUIREMENTS:

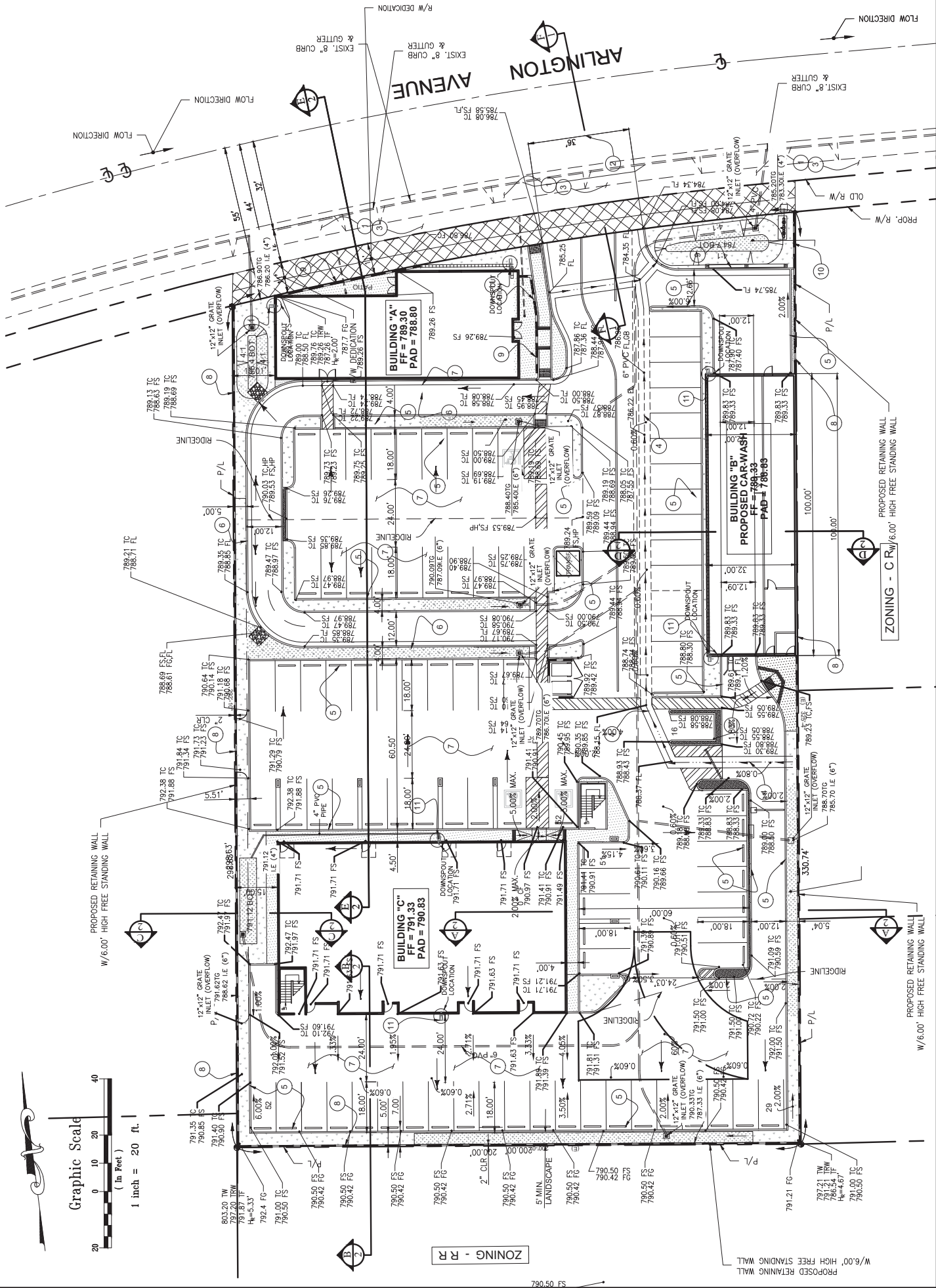
- ERODED SEDIMENTS AND OTHER POLLUTANTS SHALL BE RETAINED ON SITE AND SHALL NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR VAND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS SHALL BE PROTECTED
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS SHALL BE STORED IN ACCORDANCE WITH THEIR LISTINGS AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS SHALL NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE SHALL NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES SHALL BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATIONS OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY. ACCIDENTAL DEPOSITIONS SHALL BE SWEPT UP IMMEDIATELY AND SHALL NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENuded OF VEGETATION SHALL BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- THE CAGQA STORMWATER BMP HANDBOOK, LATEST REVISED EDITION, SHALL APPLY DURING CONSTRUCTION (ADDITIONAL MEASURES SHALL BE REQUIRED IF DEEMED APPROPRIATE BY THE CITY):

CURB INLET SEDIMENT BARRIERS CONSTRUCTION SPECIFICATIONS:

- BARRIERS SHALL BE PLACED ON GENTLY SLOPING STREETS WHERE WATER CAN POND PER STD. PLAN MWFE-353-0.
- THE BARRIERS SHALL ALLOW FOR OVERFLOW FROM A SEVERE STORM EVENT. SLOPE RUNOFF SHALL BE CONTROLLED USING STD. PLANS MWFE-355-0 OR MWFE-356-0A. A SPILLWAY SHALL BE CONSTRUCTED WITH THE SANDING STRUCTURES TO ALLOW OVERFLOW
- GRAVEL BAGS SHOULD BE OF WOVEN-TYPE GEOTEXTILE FABRIC.
- GRAVEL BAGS SHALL BE FILLED WITH 3/4 INCH DRAIN ROCK OR 1 1/4 INCH PEA GRAVEL.
- GRAVEL BAGS SHALL BE PLACED IN A CURVED ROW FROM THE TOP OF CURB AT LEAST 10 FEET INTO THE STREET. THE ROW SHOULD BE CURVED AT THE ENDS, POINTING UP INTO THE STREET.
- UNITES OF BAGS SHALL BE OVER LAPPED AND PACKED TIGHTLY.
- LEAVE ONE GRAVEL BAG GAP IN THE TOP ROW TO ACT AS A SPILLWAY.

INSPECTION AND MAINTENANCE:

- THE CONTRACTOR SHALL INSPECT AND CLEAN BARRIER DURING AND AFTER EACH STORM AND REMOVE SEDIMENT FROM BEHIND GRAVEL BAG STRUCTURE AFTER EACH STORM.
- ANY SEDIMENT AND GRAVEL SHALL BE IMMEDIATELY REMOVED FROM THE TRAVELED WAY OF ROADS.
- THE REMOVED SEDIMENT SHALL BE PLACED WHERE IT CANNOT ENTER A STORM DRAIN, STREAM, OR BE TRANSPORTED OFF SITE.
- IF THE GRAVEL BECOMES CLOGGED WITH SEDIMENT, IT MUST BE REMOVED FROM THE INLET AND OR REPLACED WITH NEW GRAVEL.
- IT IS IMPERATIVE THAT EROSION CONTROL MEASURES ARE IN PLACE AT THE SOURCE IN ADDITION TO PROTECTING THE CATCH BASINS AND CURB INLETS.



Underground Service Alert

Call: TOLL FREE
1-800
422-4133



THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF:

SHIV D. TALWAR
C-23417
LICENSED ARCHITECT NO.

DATE

03/14/2018



DESIGN CONCEPTS

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TEL: 909-591-3939
Email: dsignconcepts@yahoo.com



CITY OF RIVERSIDE

DEPARTMENT OF BUILDING & SAFETY

APPROVED BY

DATE

EXP. DATE

R.C.E.

W.O. :

CITY OF RIVERSIDE

PROPOSED MIXED USE DEVELOPMENT

10434 ARLINGTON AVENUE

CITY OF RIVERSIDE, CA 92530

EROSION CONTROL PLAN

SHEET NO.

1 OF

2 SHEETS

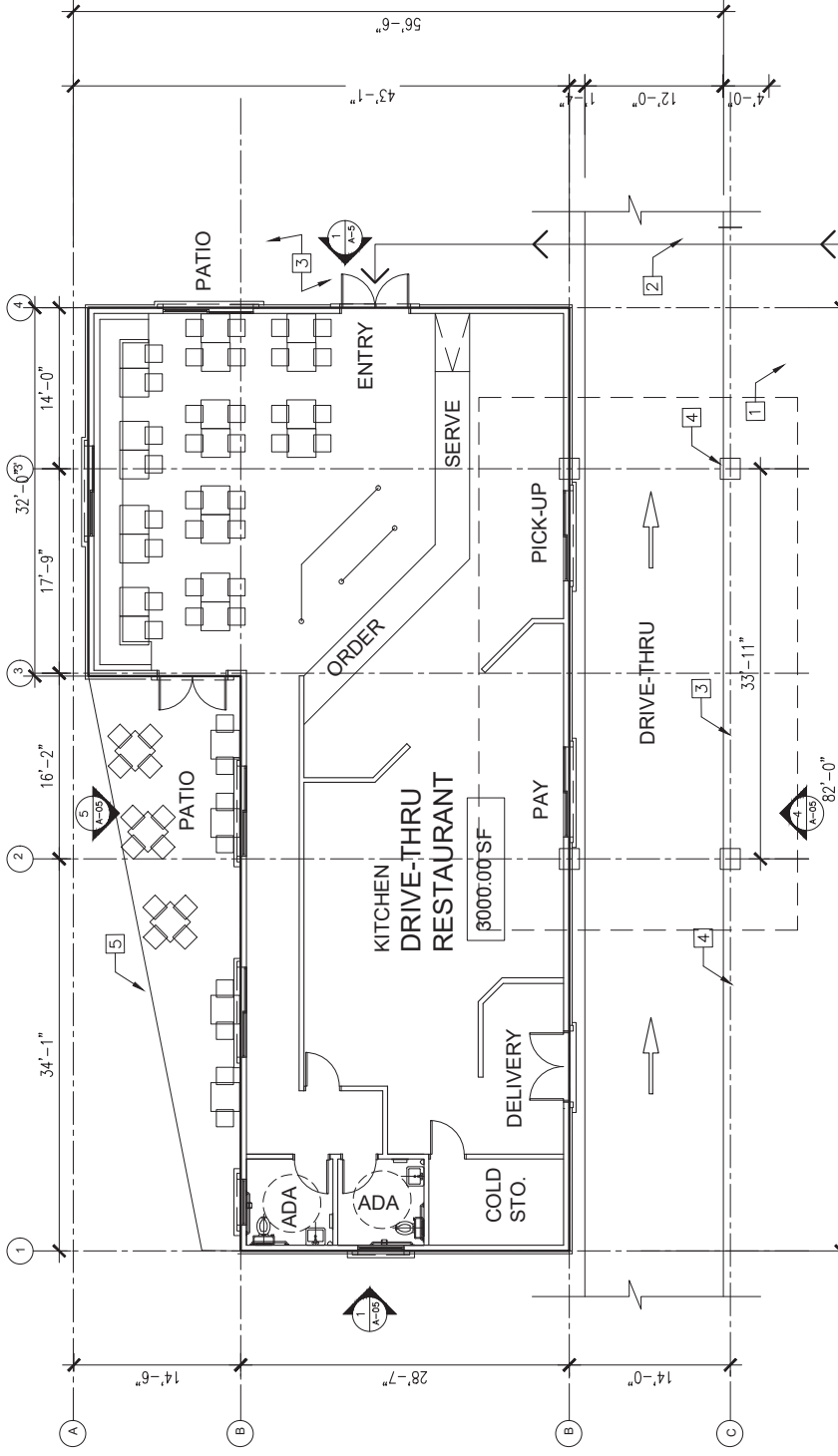
COUNTY FILE NO.

ELEVATIONS GENERAL NOTES

1. THE PROJECT WILL BE COMPLY WITH RIVERSIDE COMMERCIAL LANDSCAPING STANDARDS.
2. REFER TO SHEET # T-1 FOR THE ENTIRE PARKING LAYOUT

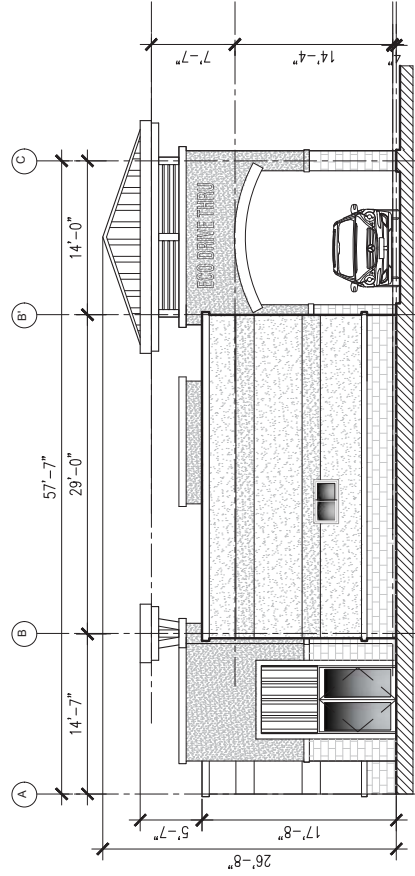
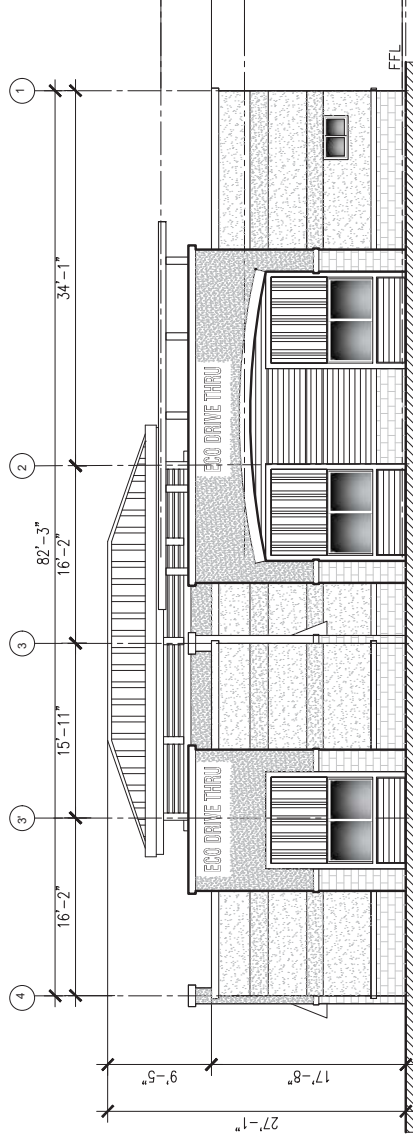
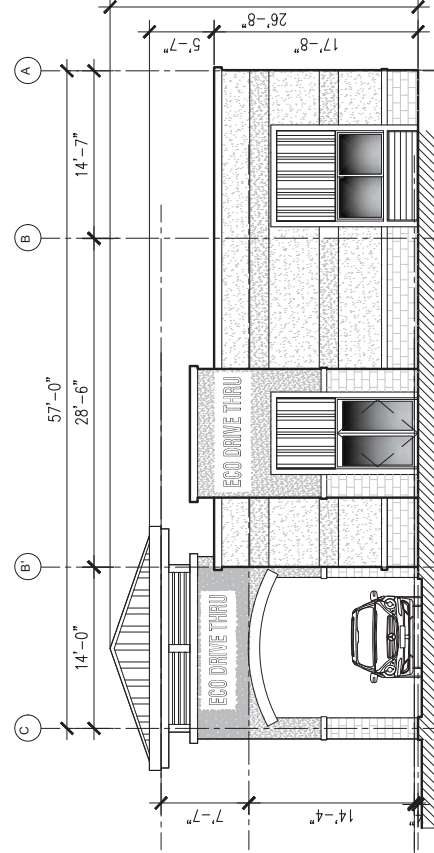
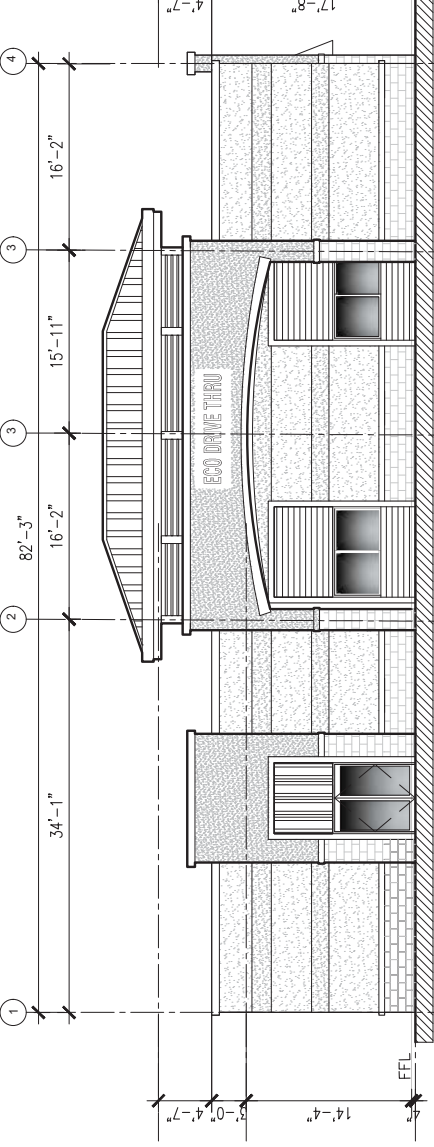
□ FLOOR PLAN KEYNOTES

1. PARKING SPACES REFER TO SITE PLAN
2. ADA SIDEWALK RAMP REFER TO ADA DRAWINGS
3. SIDEWALK
4. STEEL POST BASE STONE CLADDED
5. PATIO EDGE ALONG FRONT SETBACK LINE



□ ELEVATION KEYNOTES

1. DECORATIVE METAL CANOPY
2. STUCCO FINISH PAINTED EXTERIOR WALL
3. CORRUGATED METAL SIDING FINISH
4. STONE/TILE VENEER CLADDING
5. DECORATIVE BUTTRESS METAL PIPE
6. WOOD SIDING FINISH

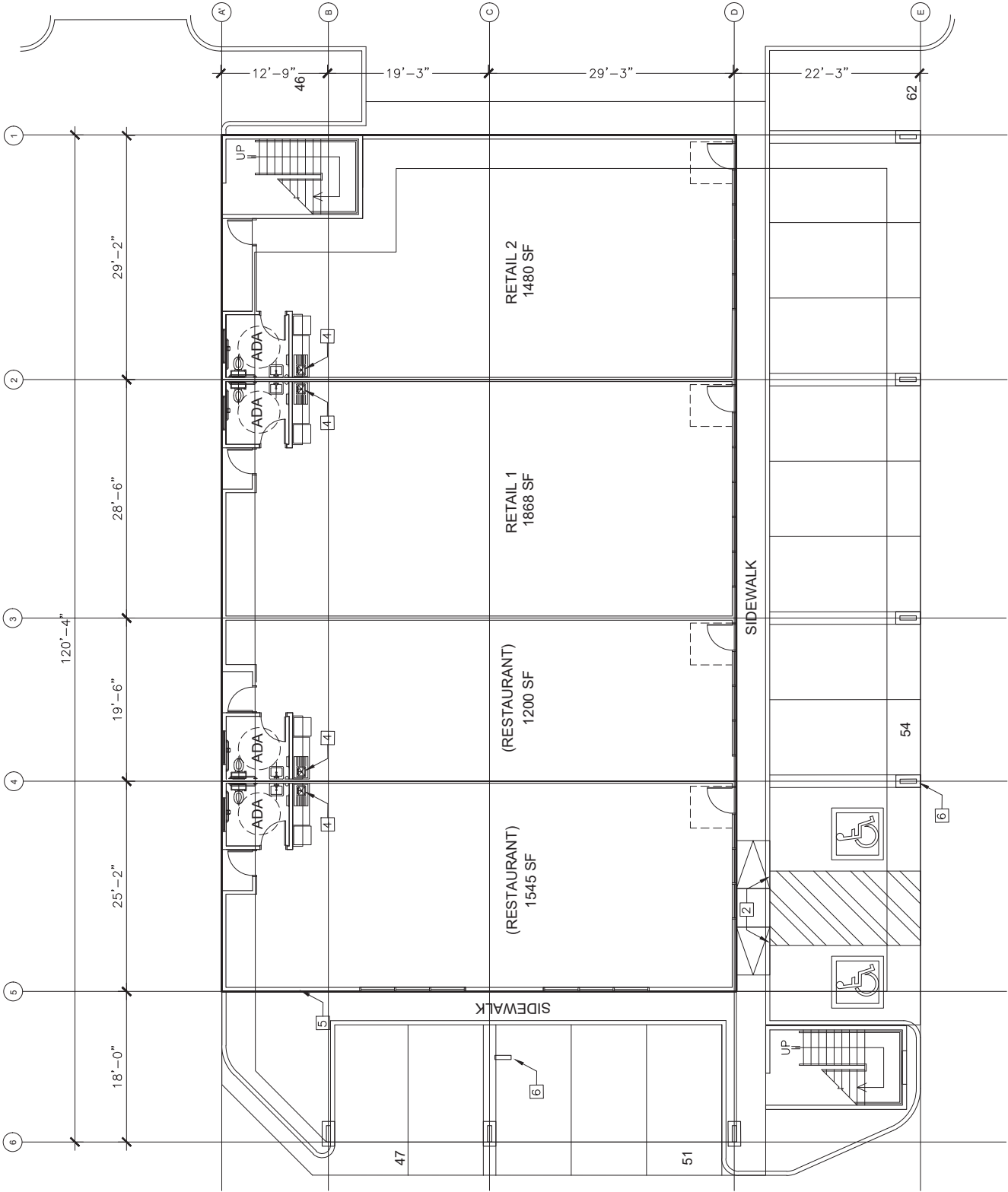
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FLOOR PLAN GENERAL NOTES

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FLOOR PLAN KEYNOTES

- 1. PARKING SPACES REFER TO SITE PLAN
- 2. ADA SIDEWALK RAMP REFER TO ADA DRAWINGS
- 3. SIDEWALK
- 4. RETAIL UNIT PANTRY
- 5. STUCCO FINISH PAINTED EXTERIOR WALL REFER TO ELEVATIONS
- 6. POST BASE GABION CLADDING TREATED
- 7. STEEL RAILINGS



RETAIL BLOCK PROPOSED SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"

DRAWING TITLE

RETAIL BLOCK SECOND FLOOR PLAN

JOB TITLE

PROPOSED MIXED USE DEVELOPMENT

FOR

ARLINGTON PLAZA,

10434 ARLINGTON AVE,

RIVERSIDE, CA. 92503

JOB NO. 2019-63

DWG. NO. REVISION NO.

A-1.01

0

DESIGN CONCEPTS



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FLOOR PLAN GENERAL NOTES

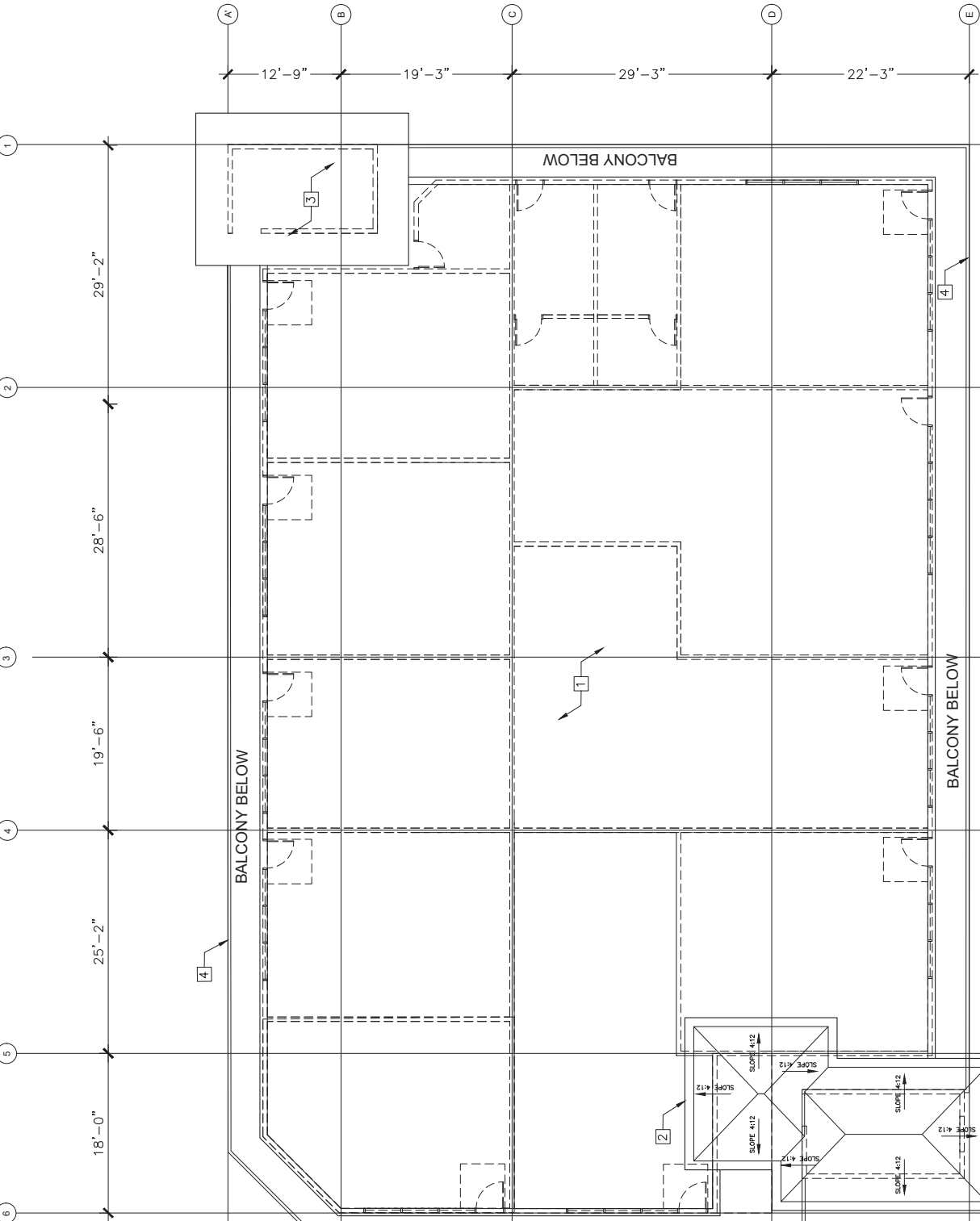
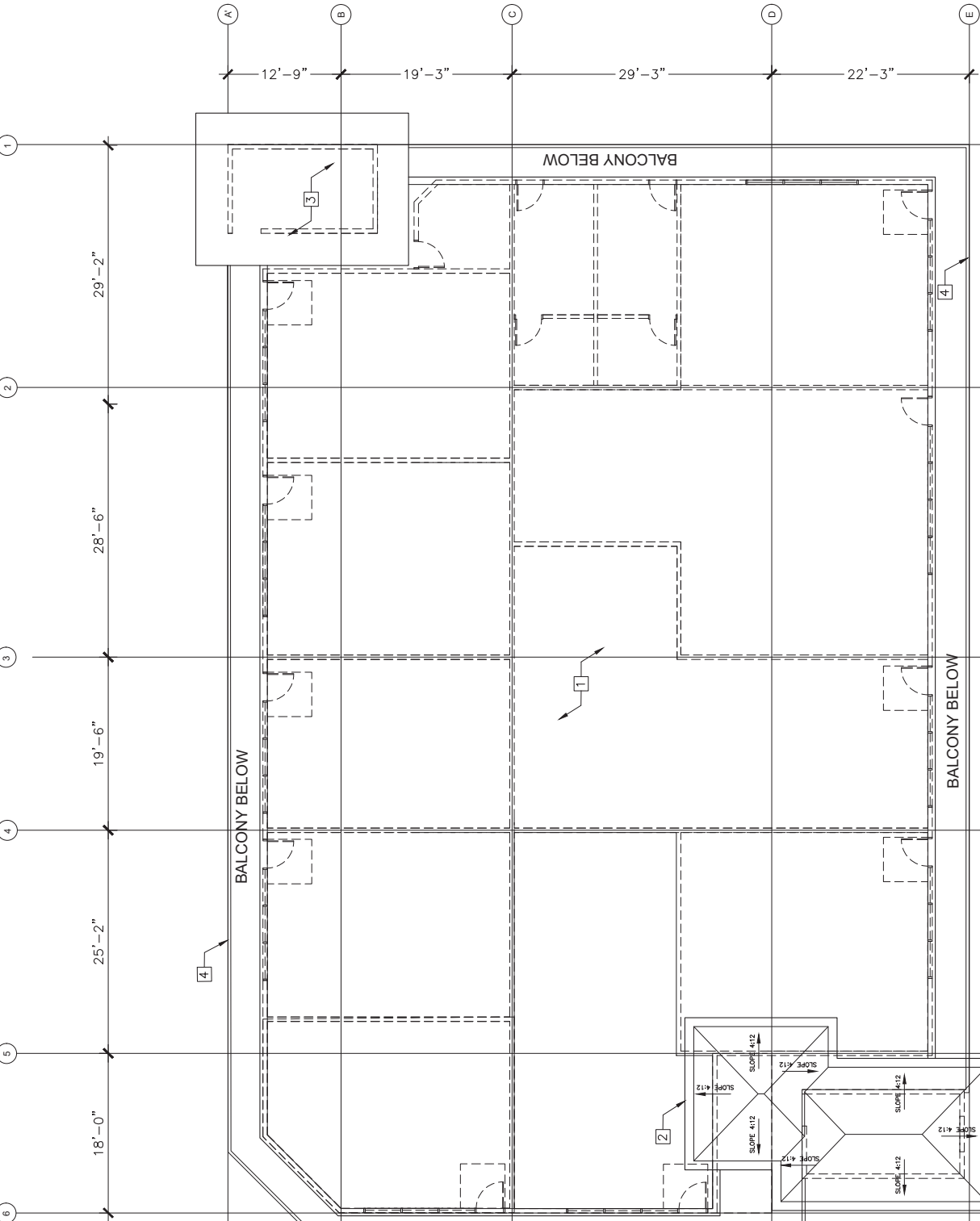
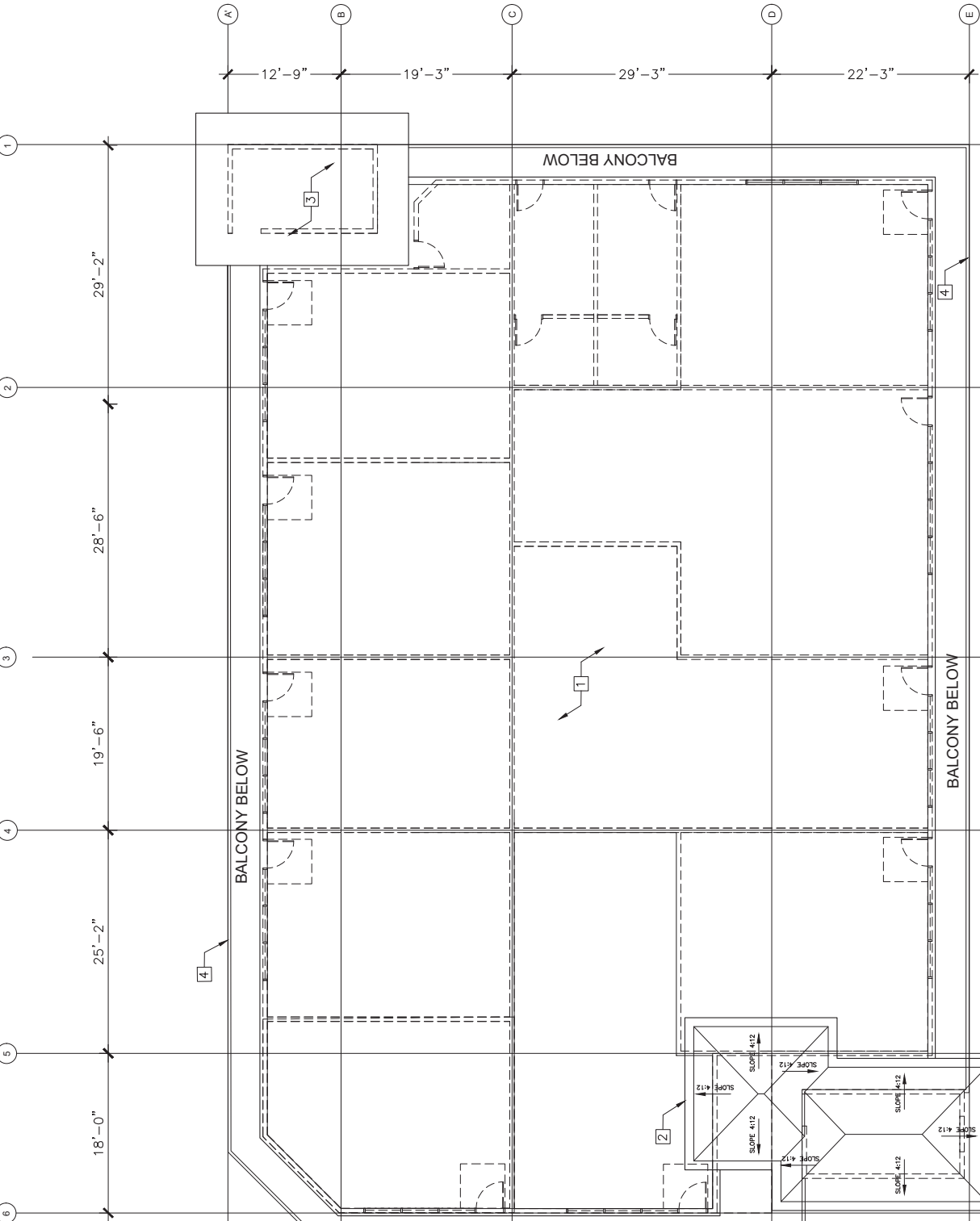
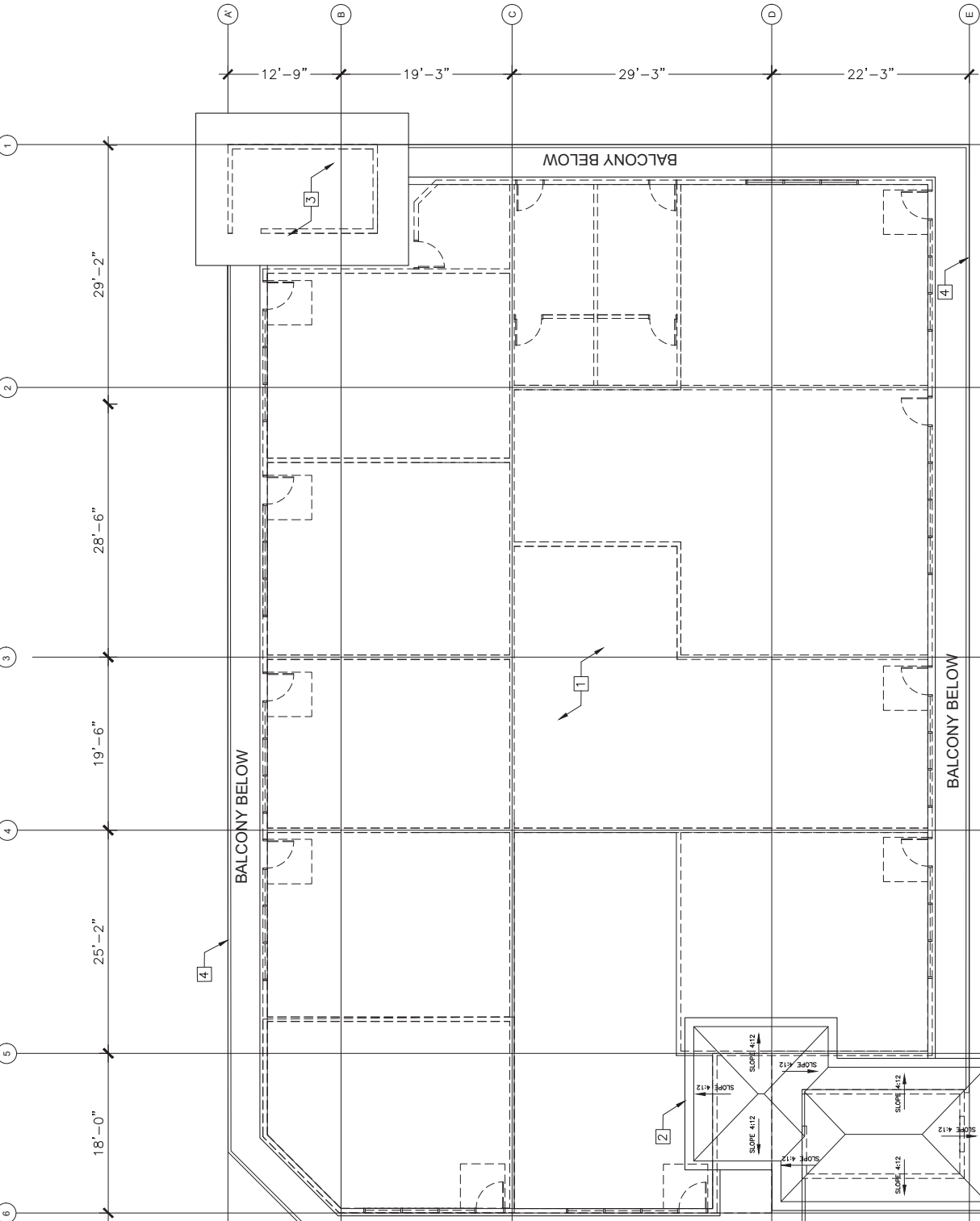
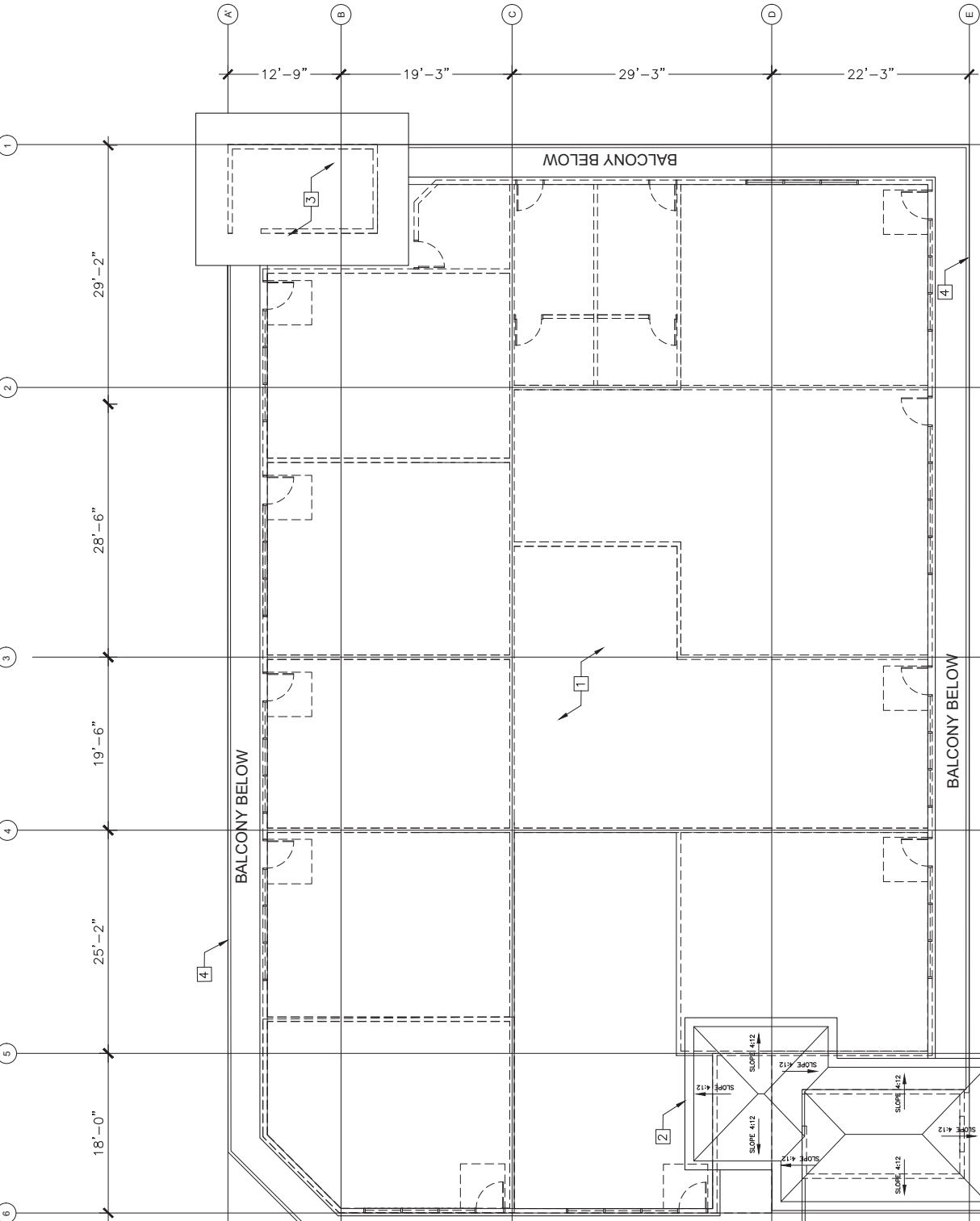
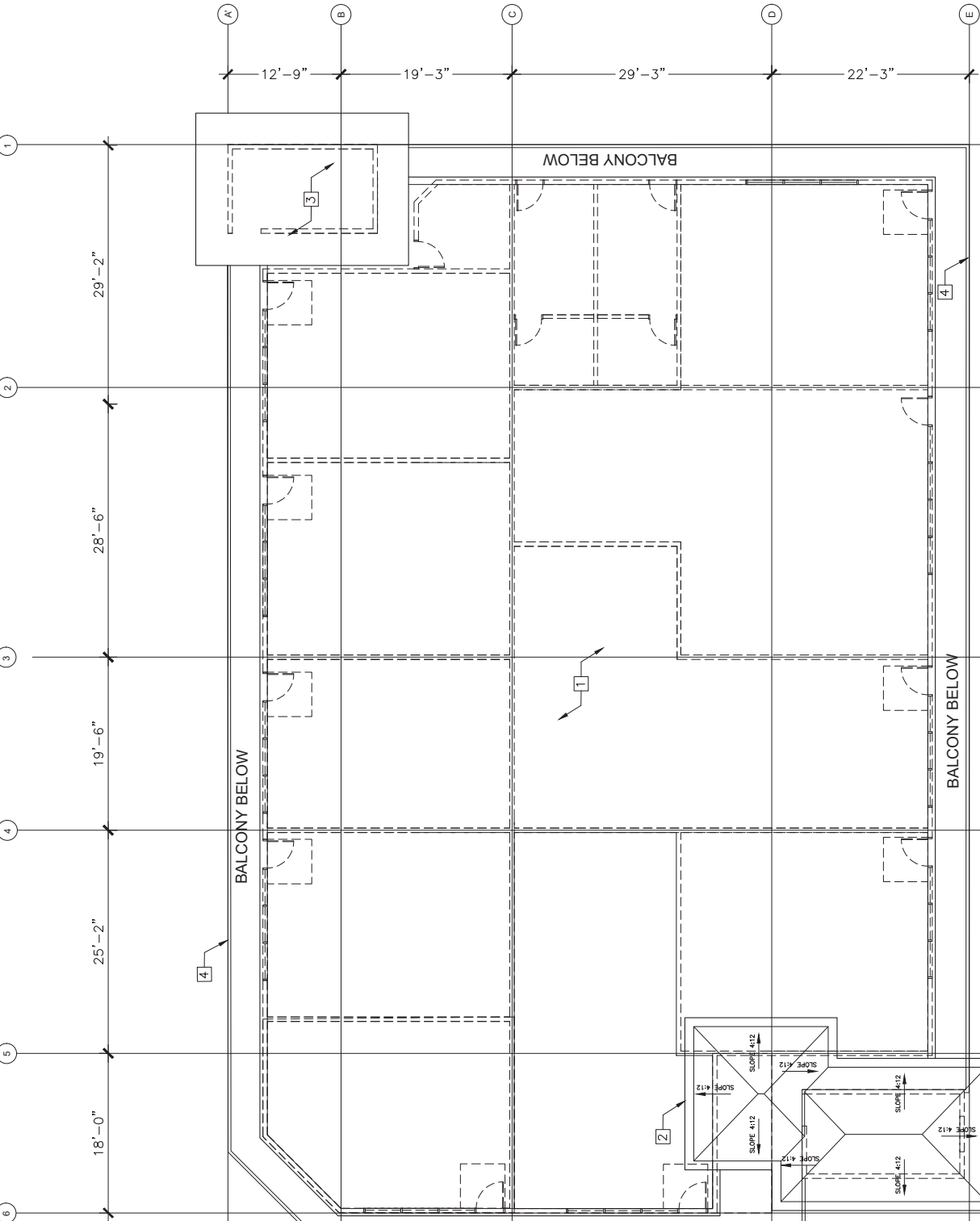
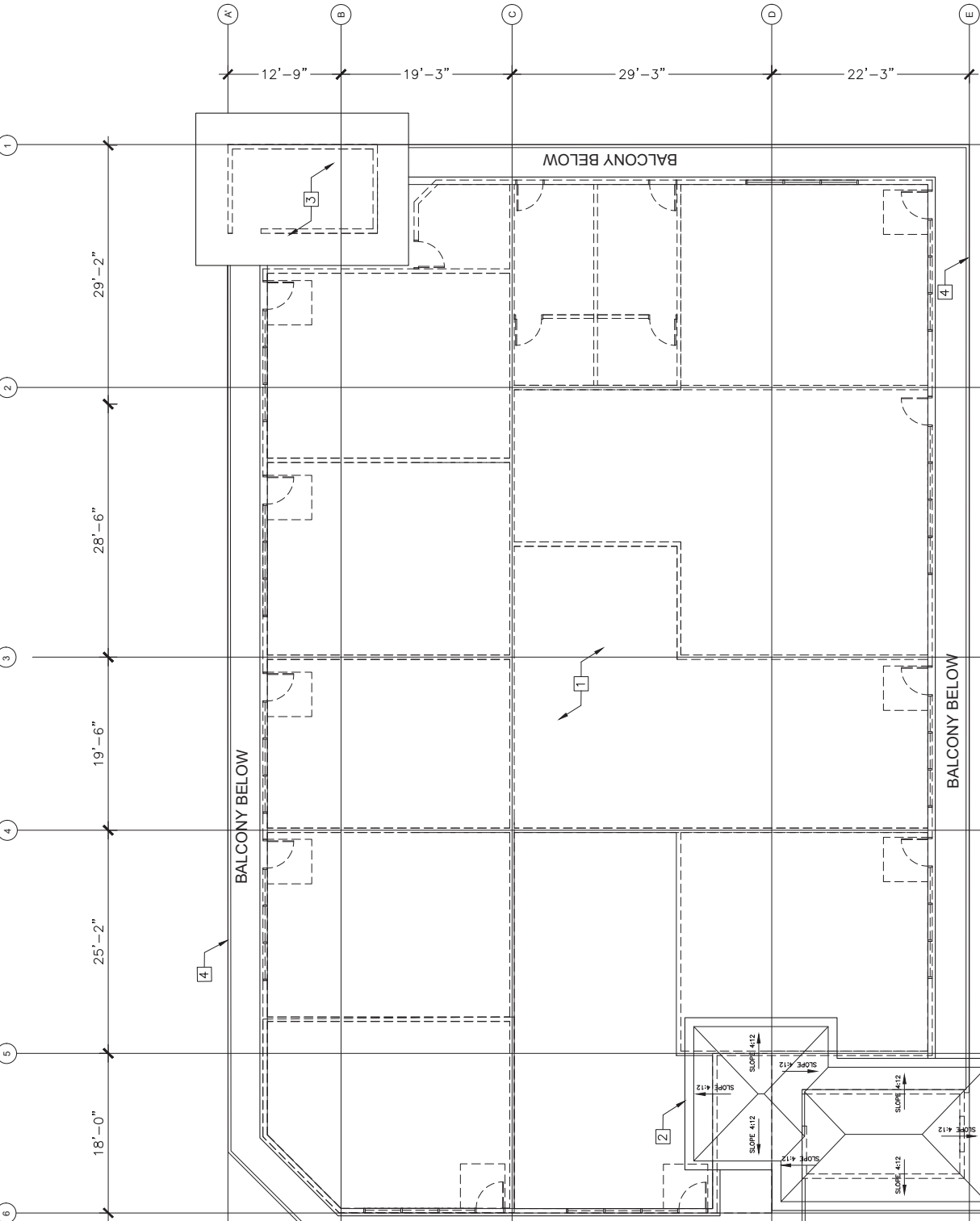
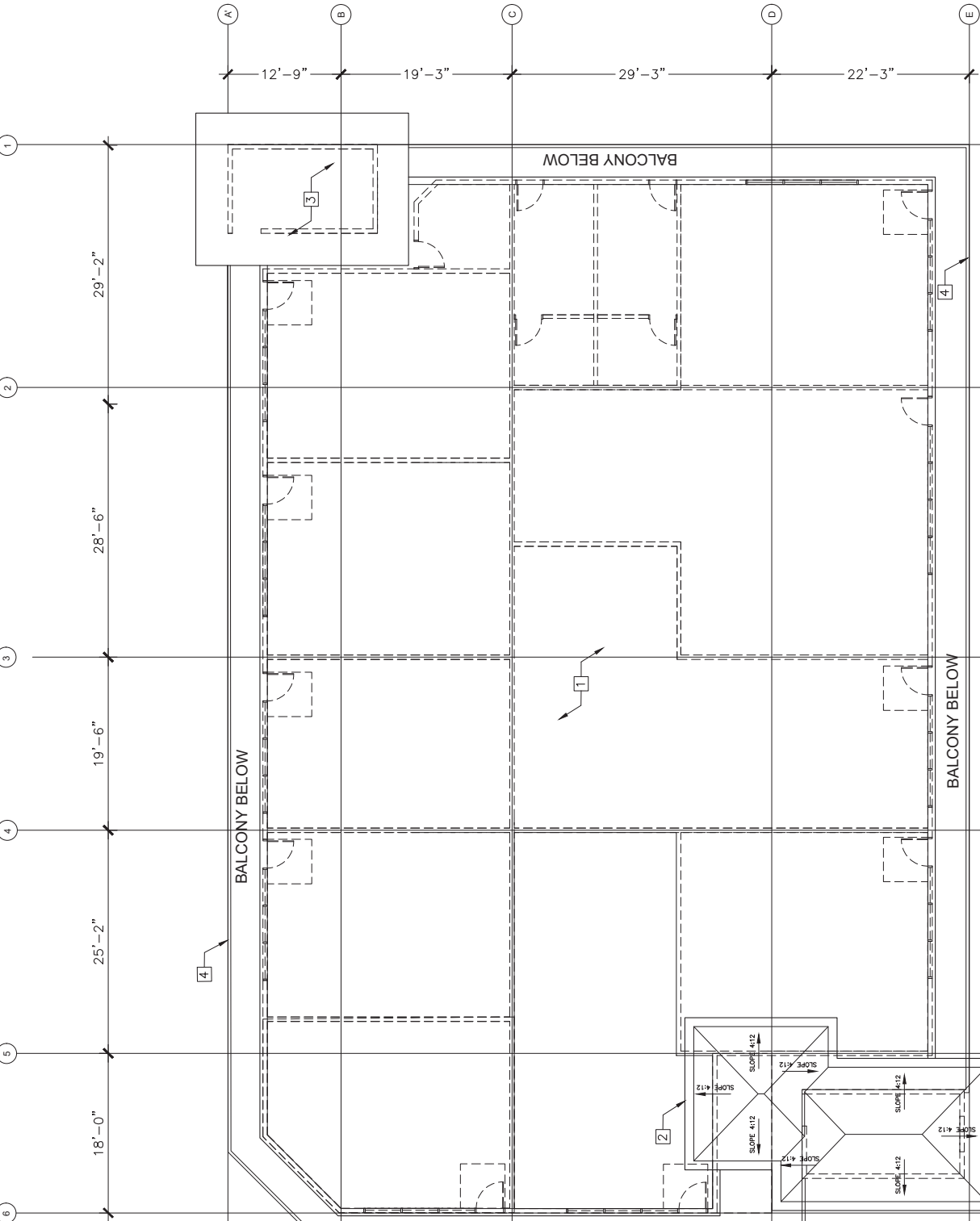
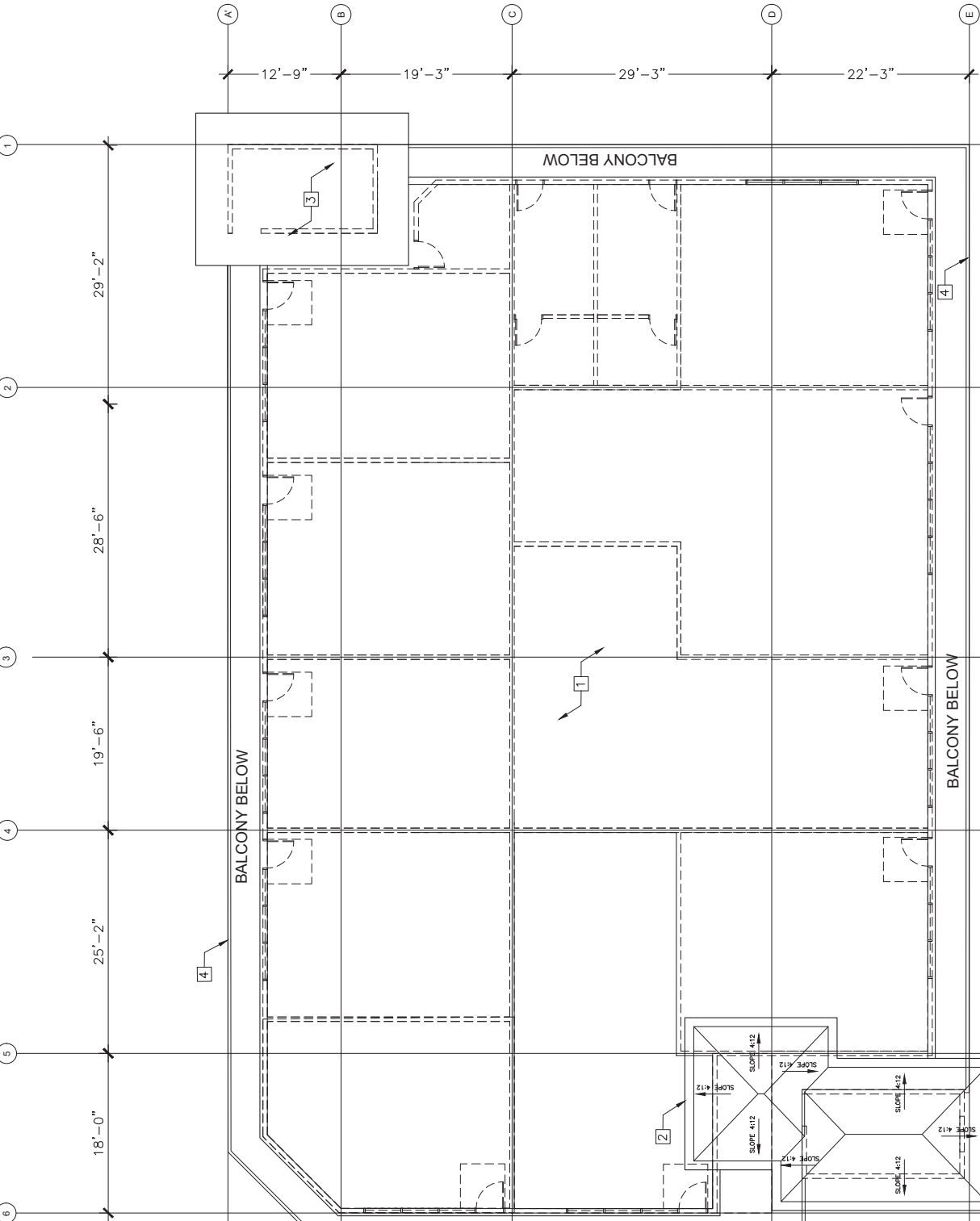
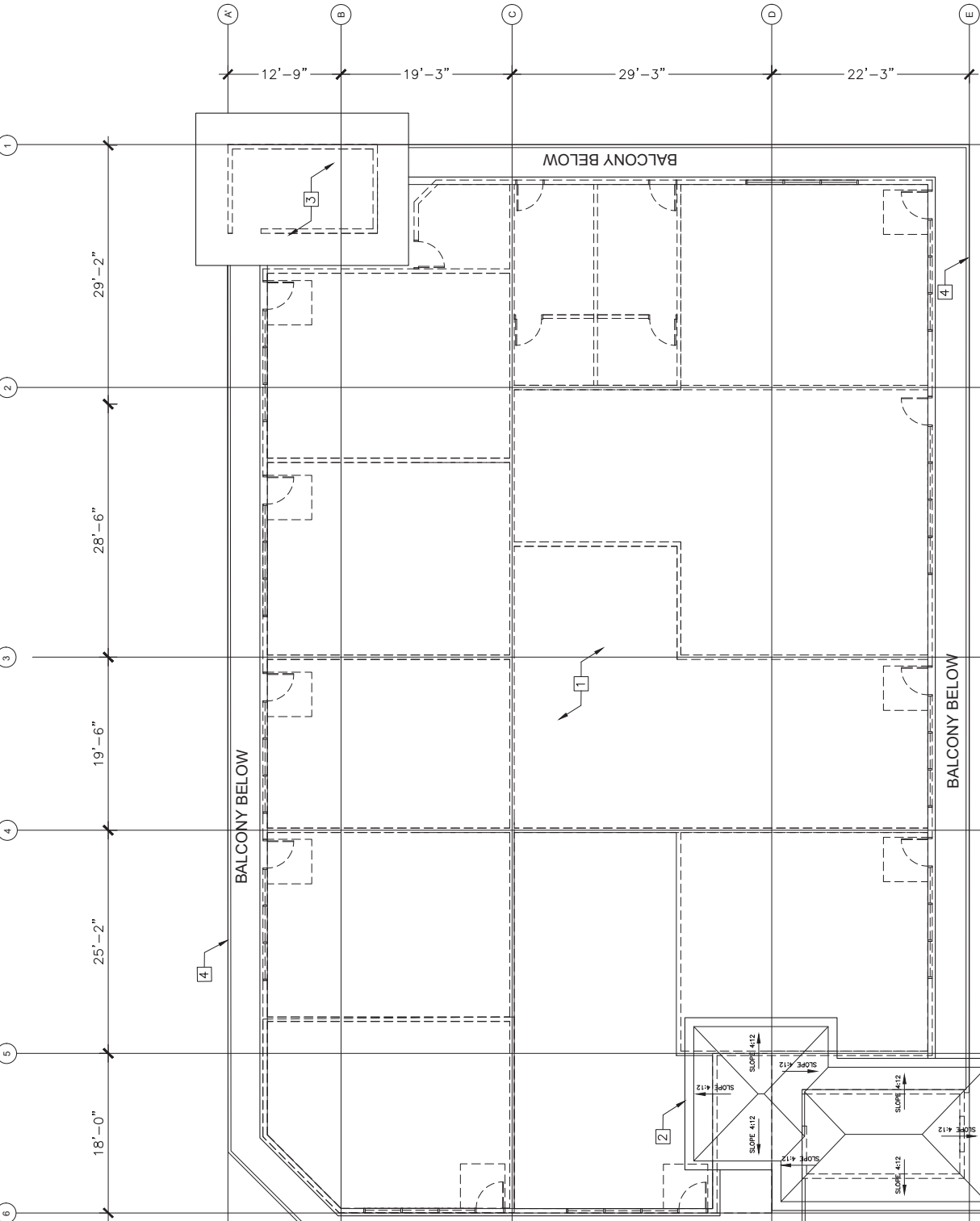
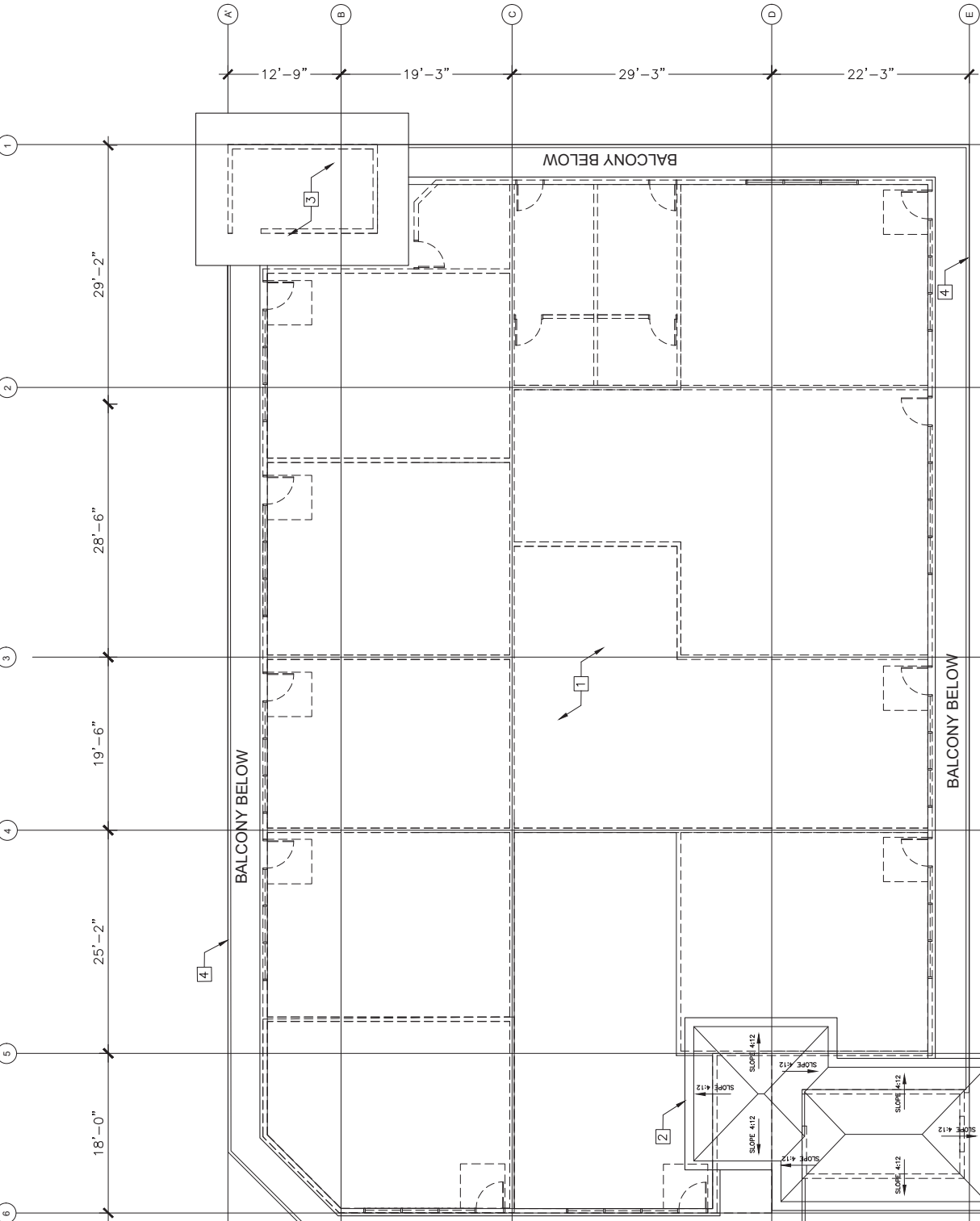
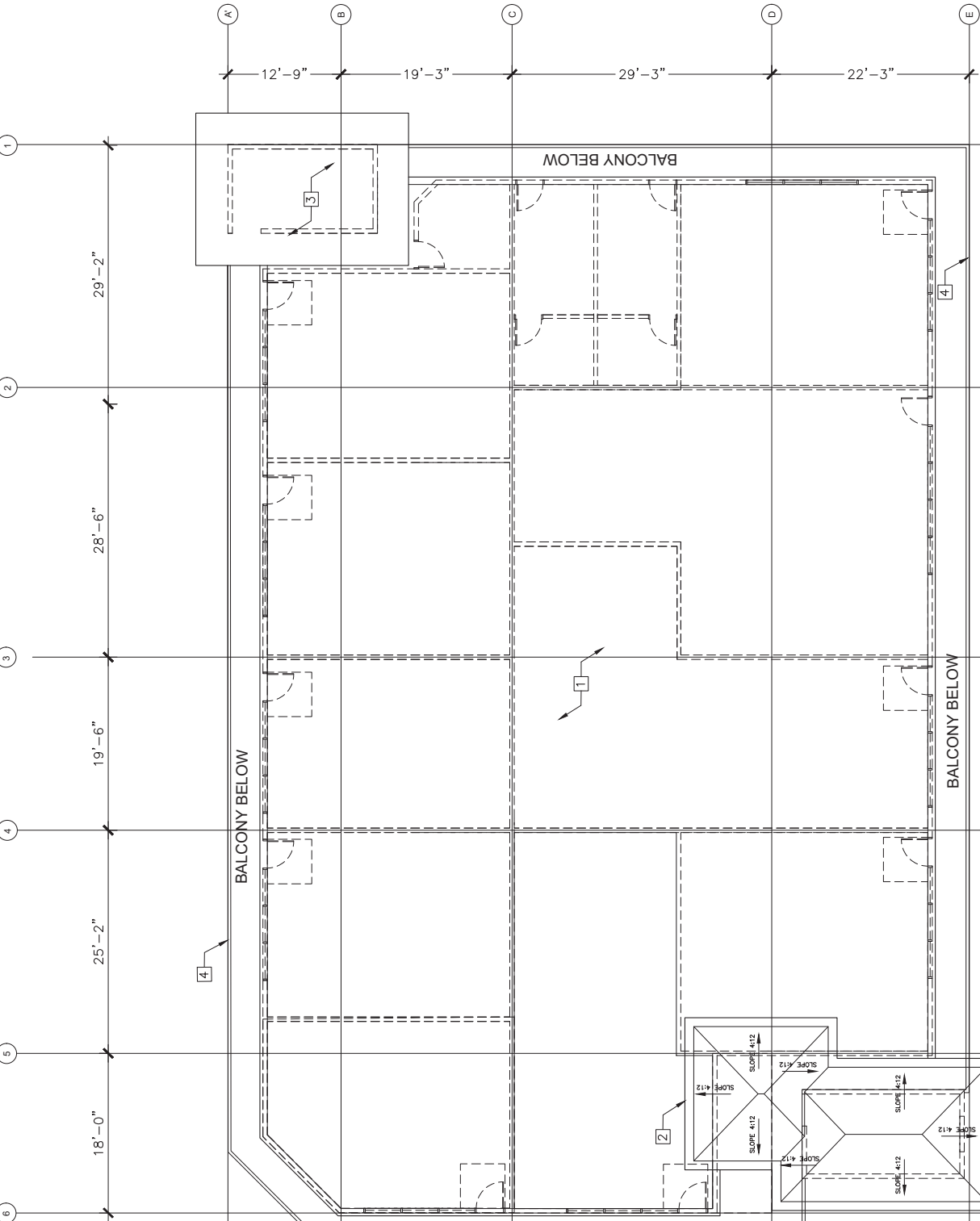
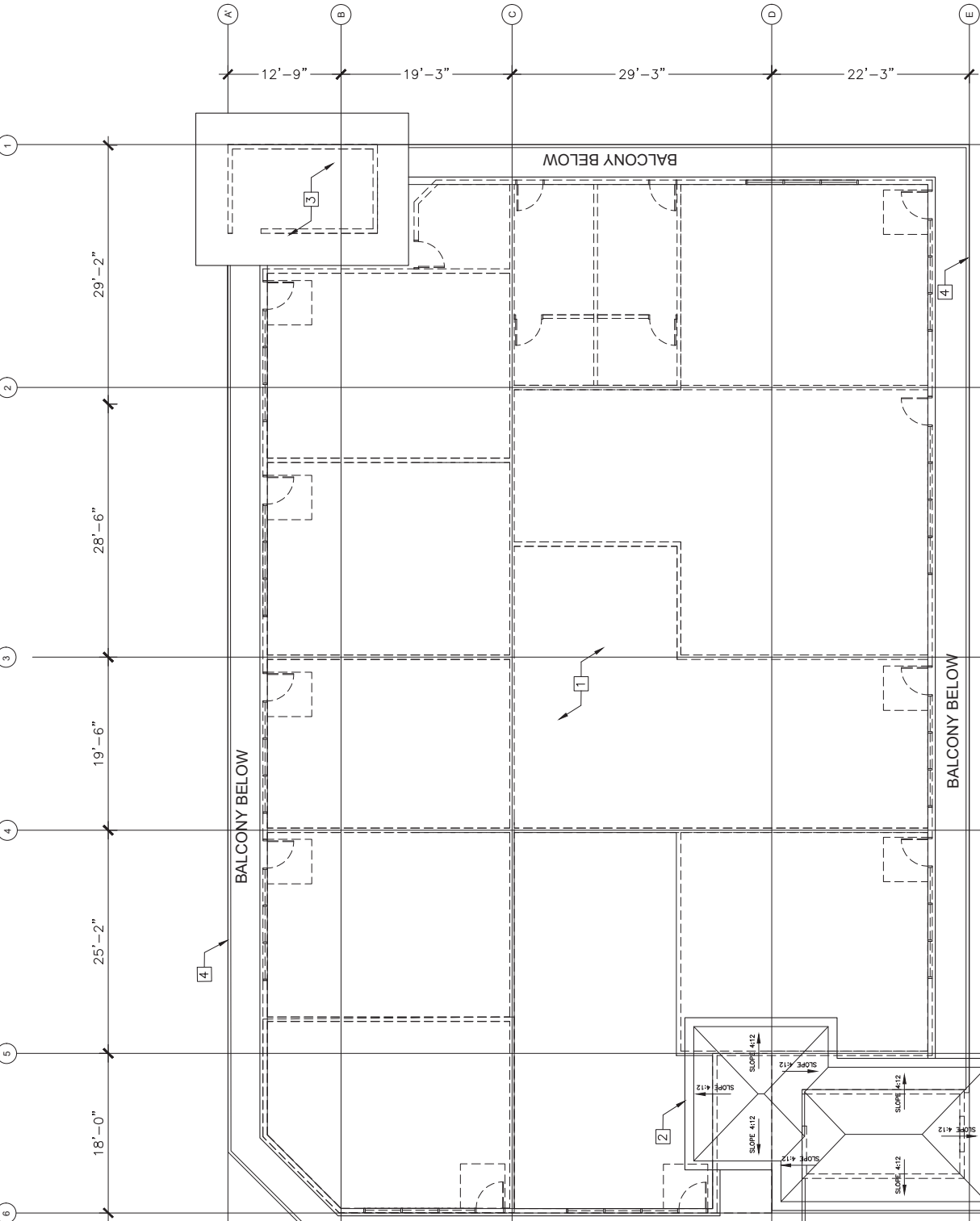
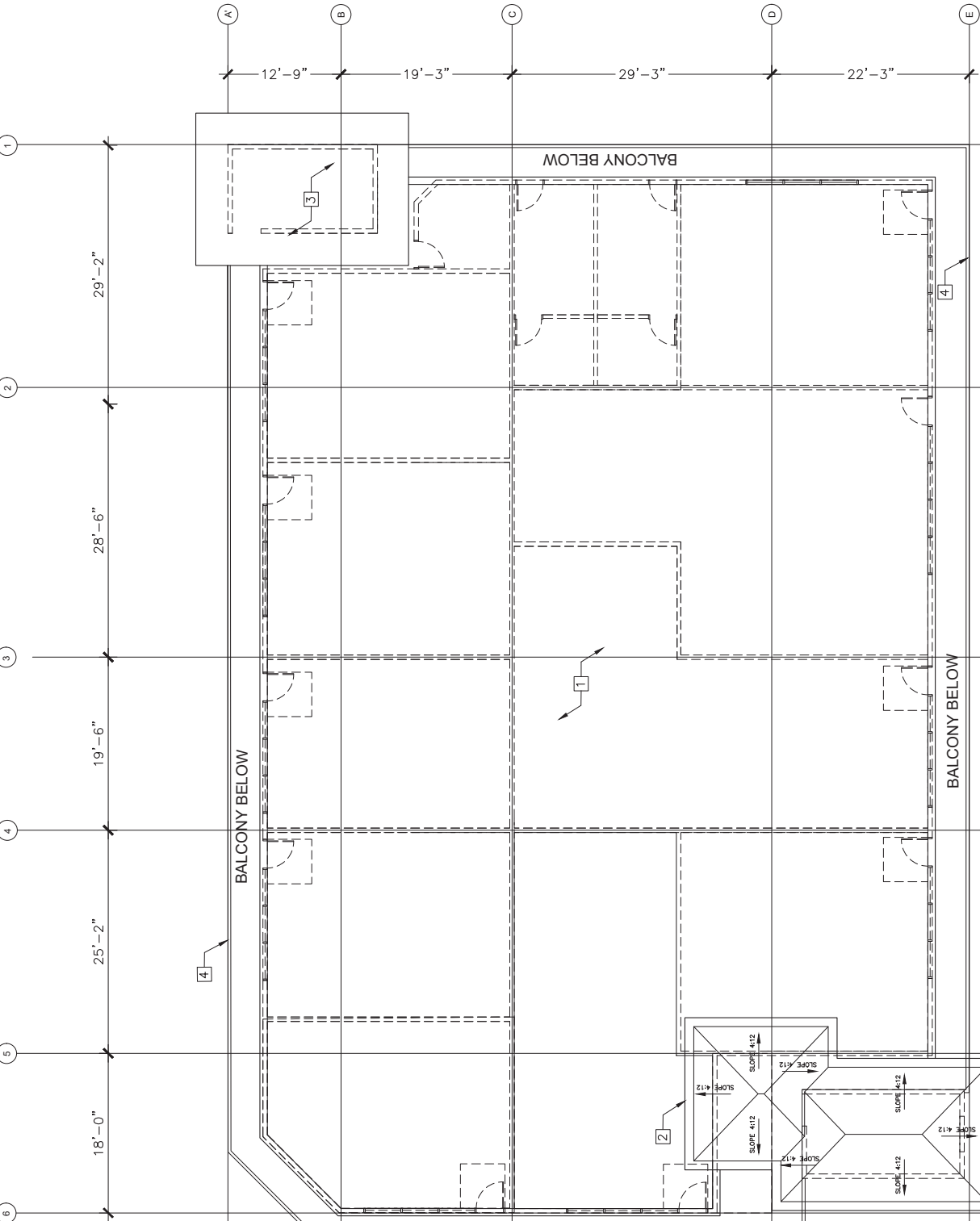
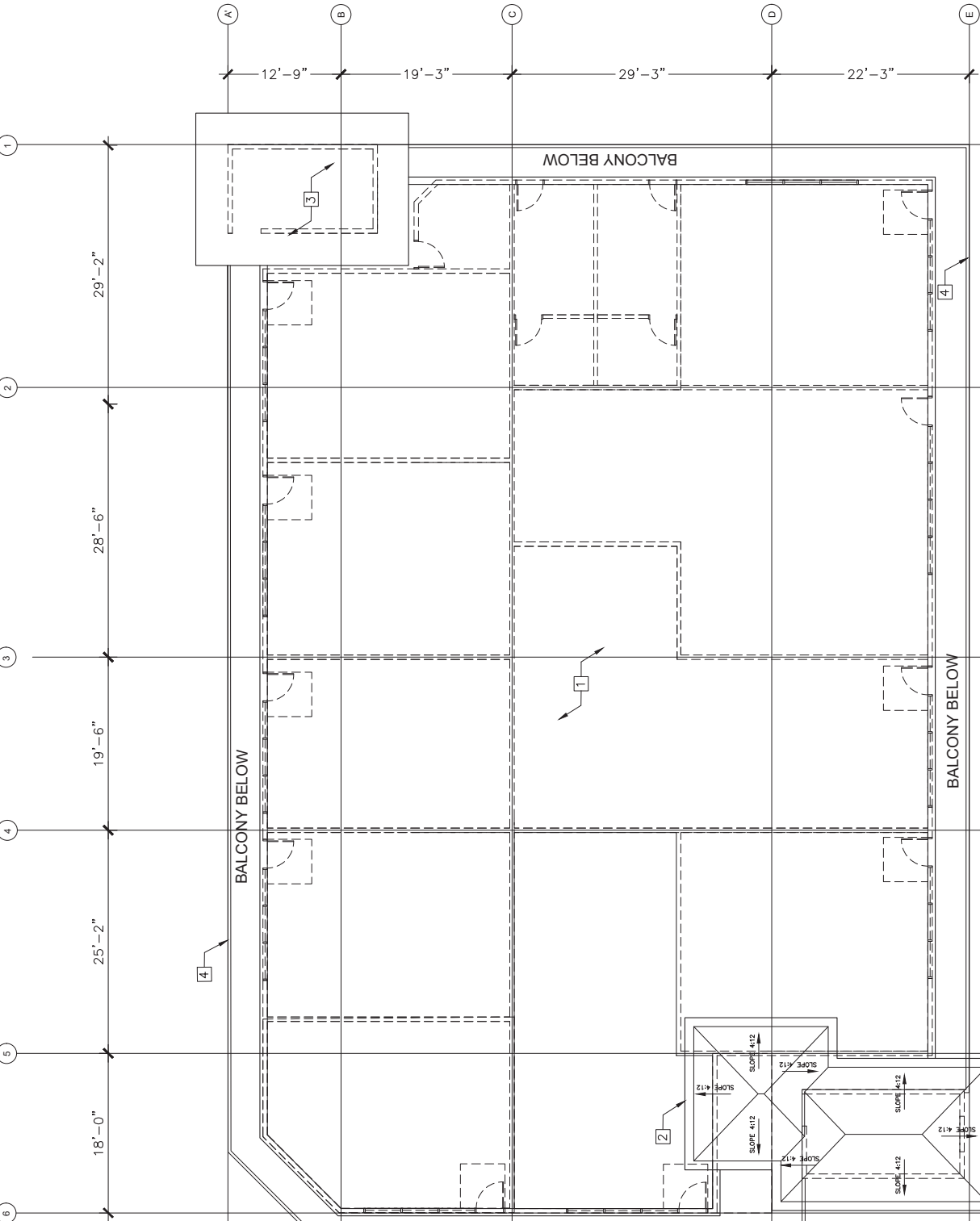
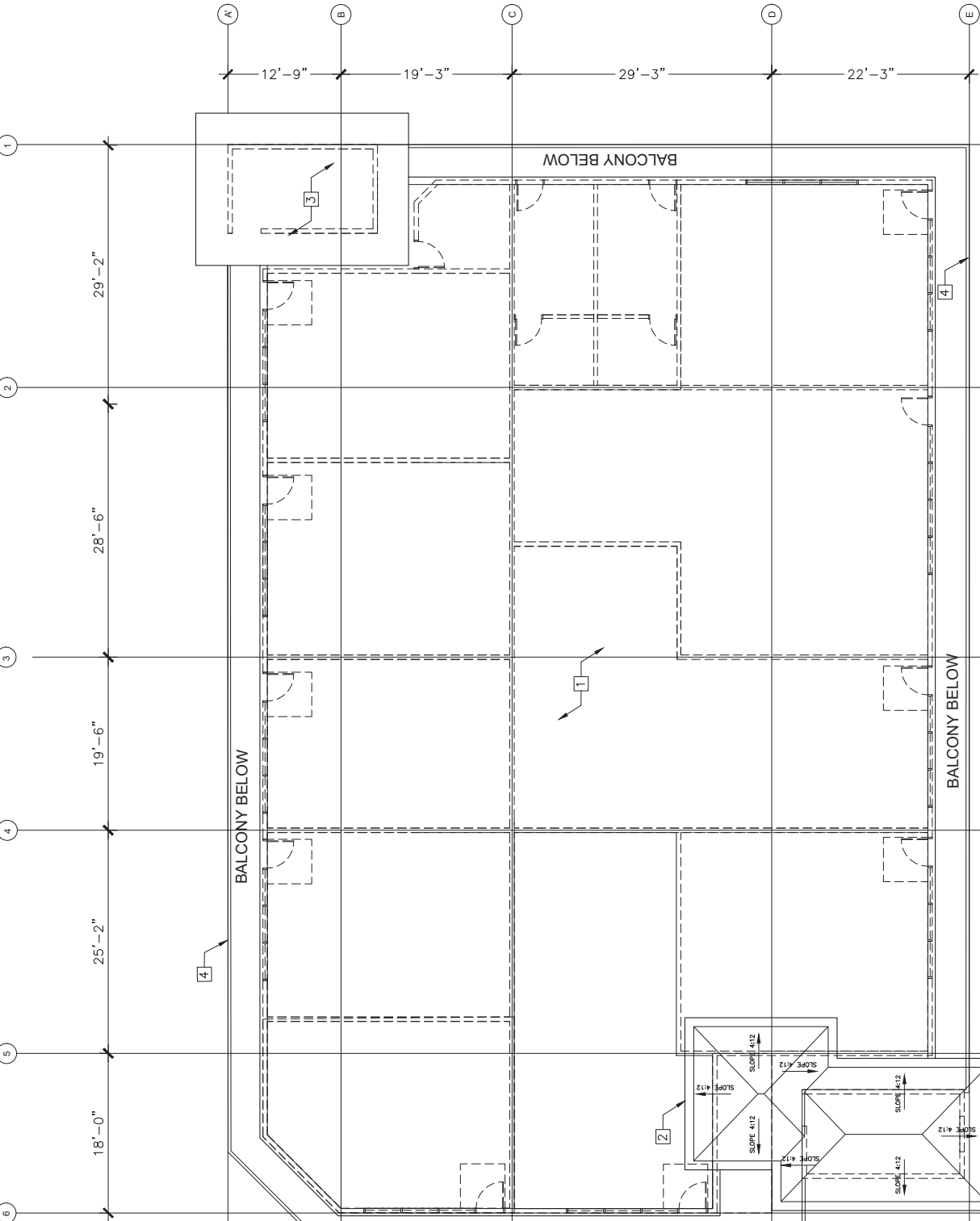
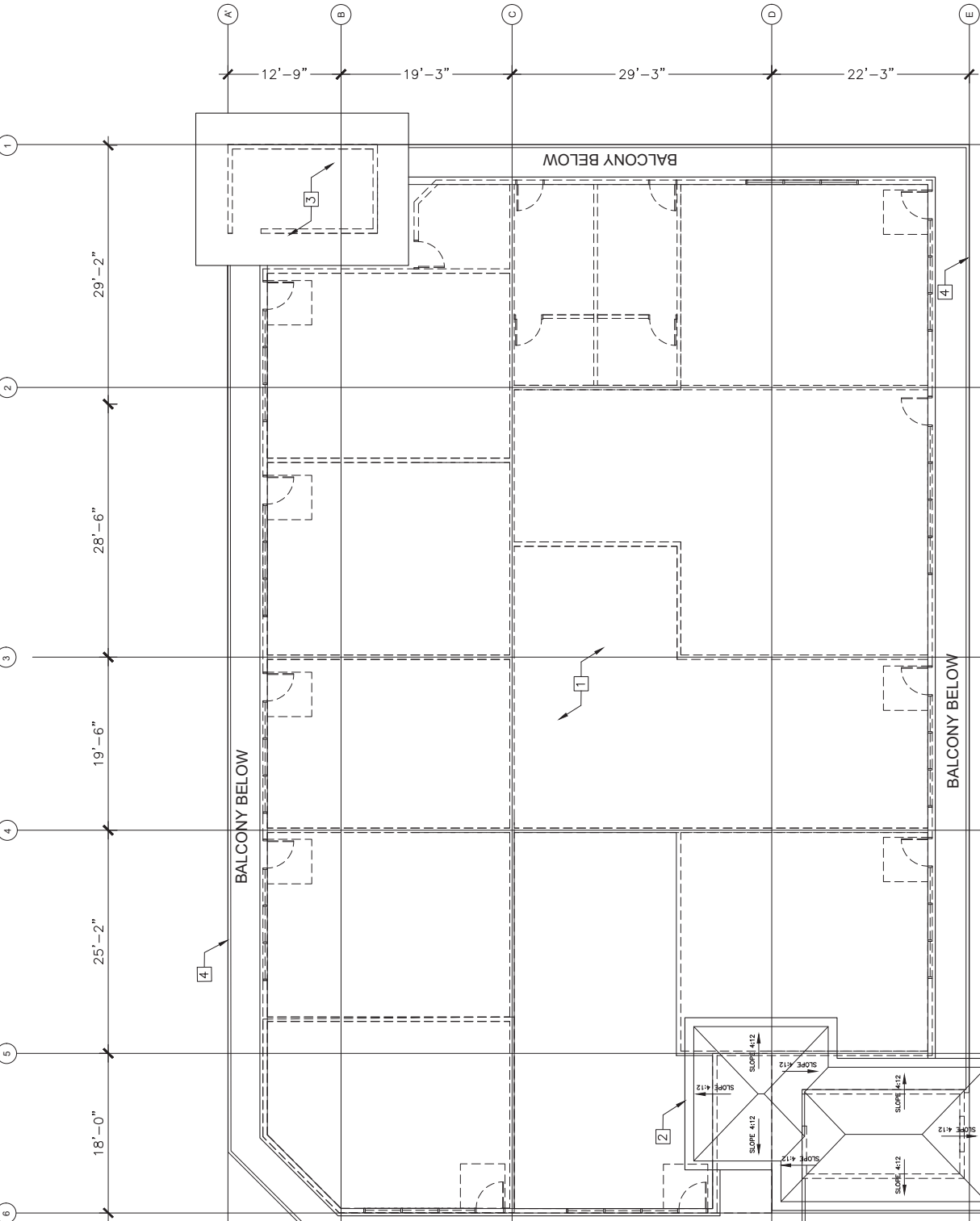
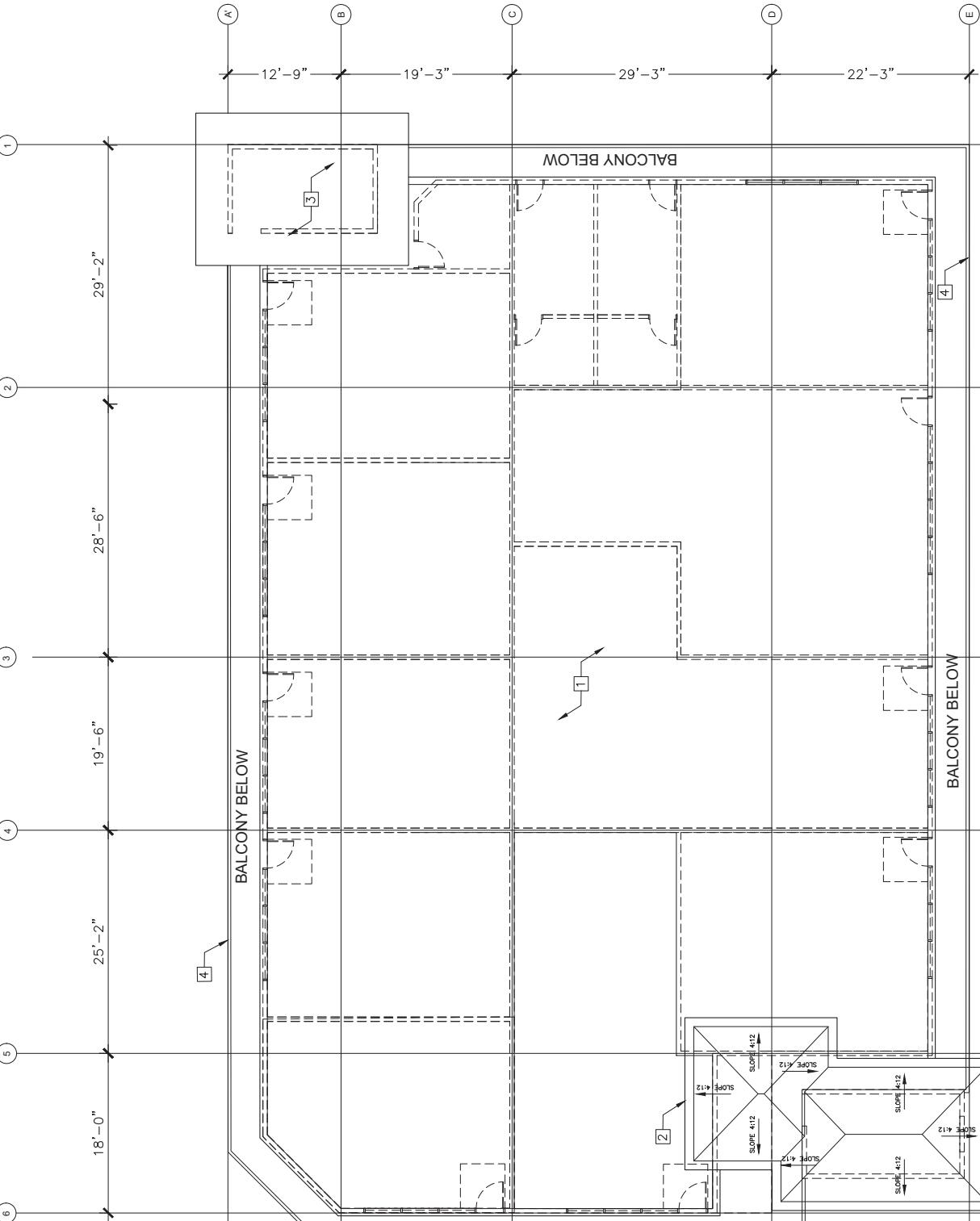
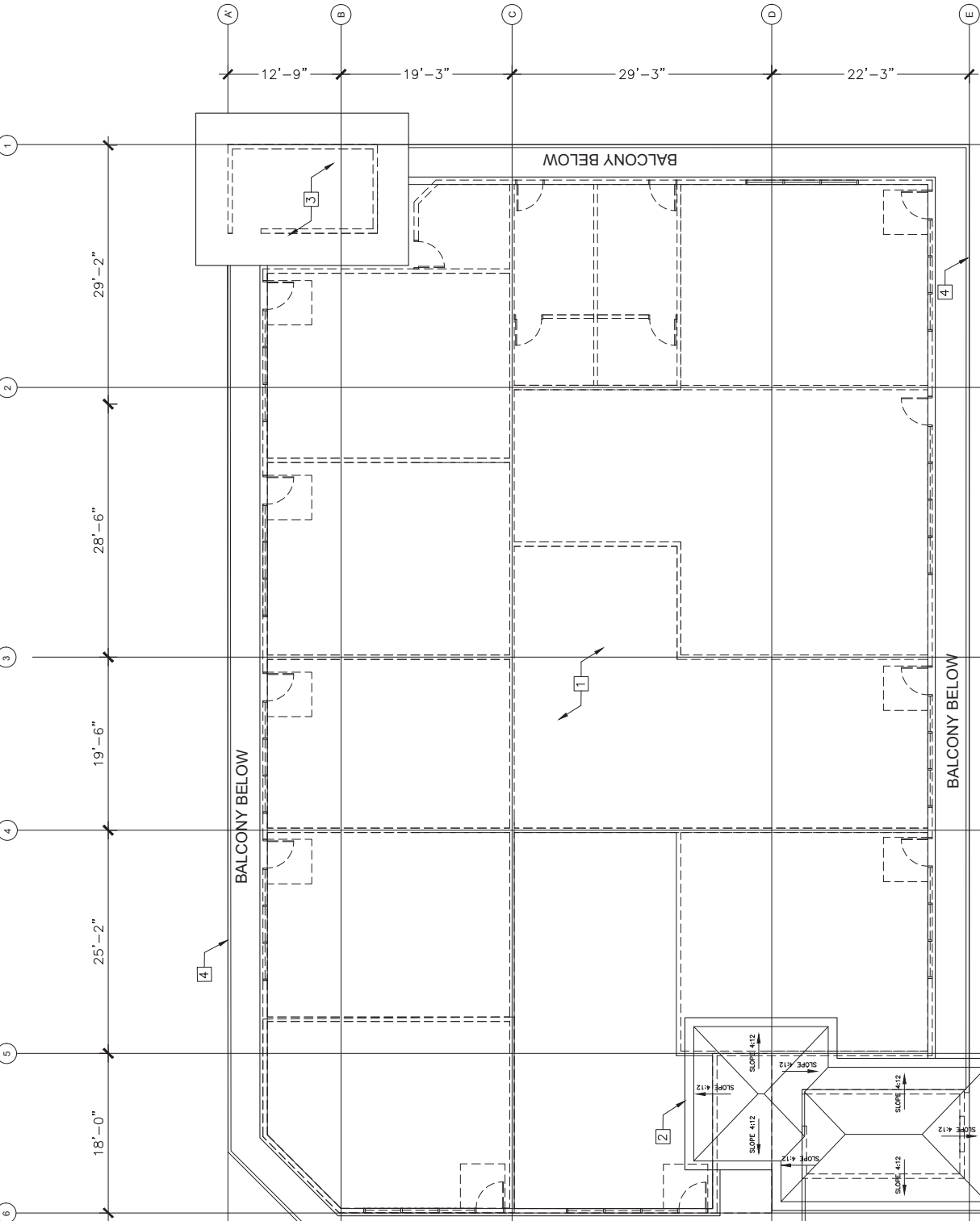
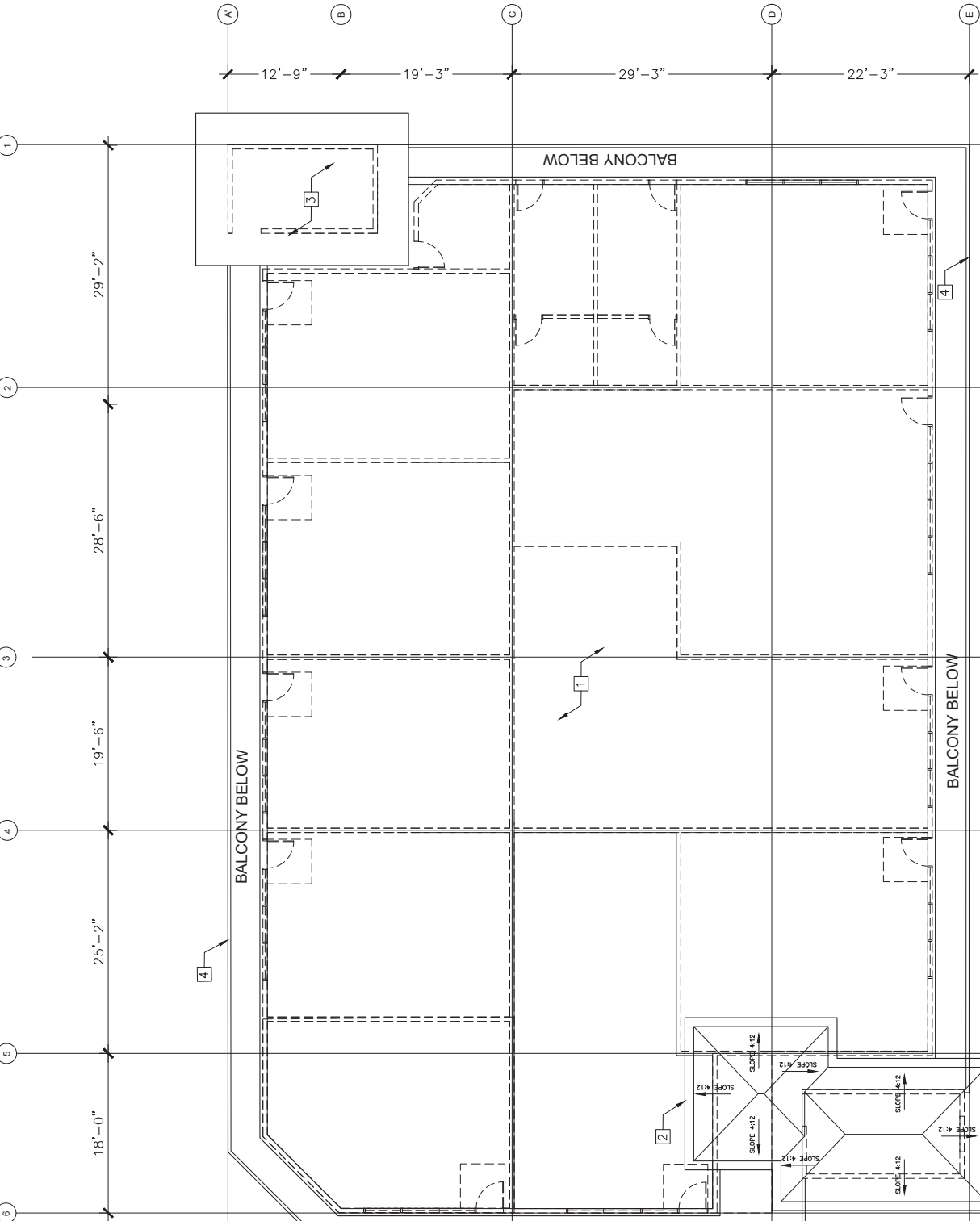
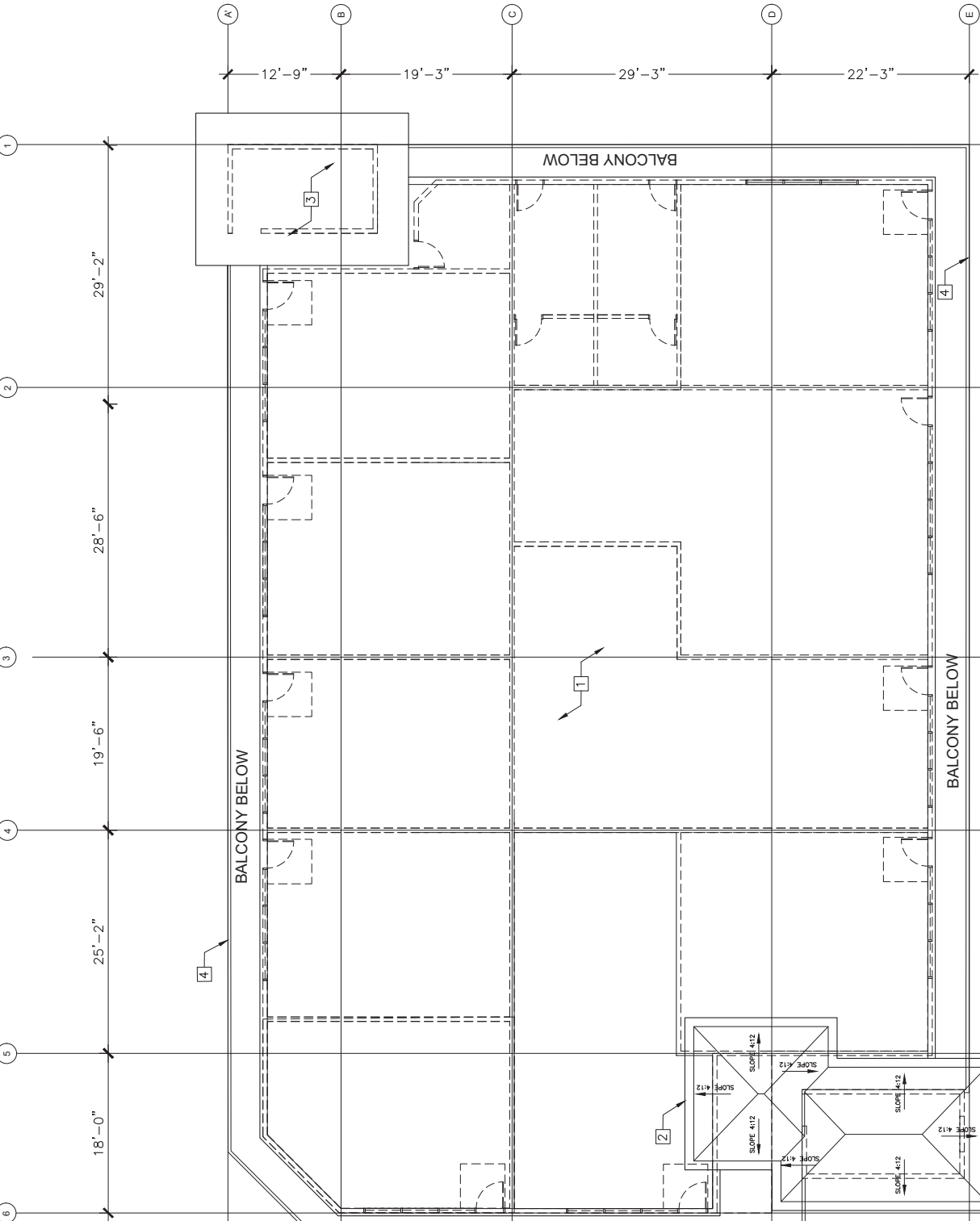
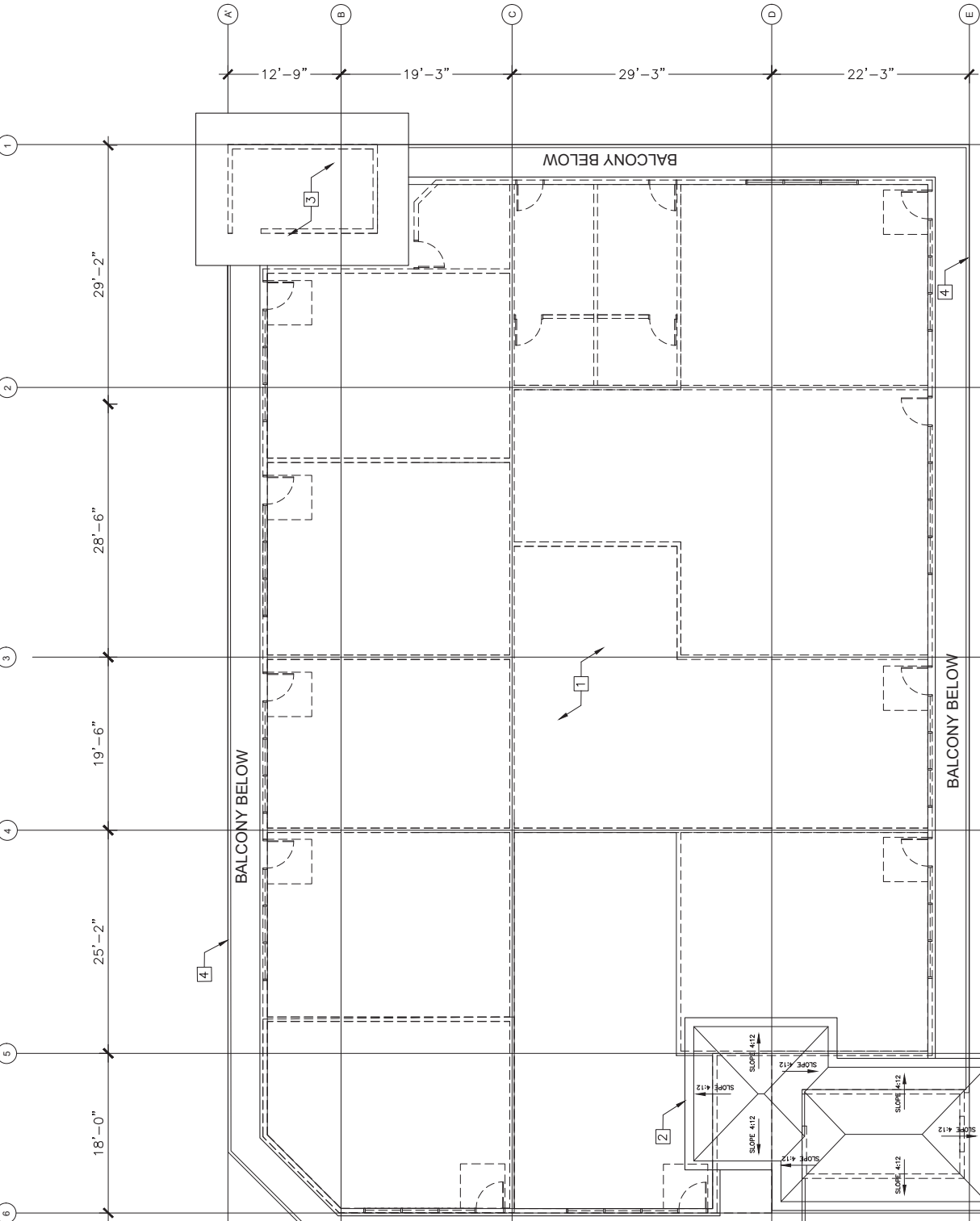
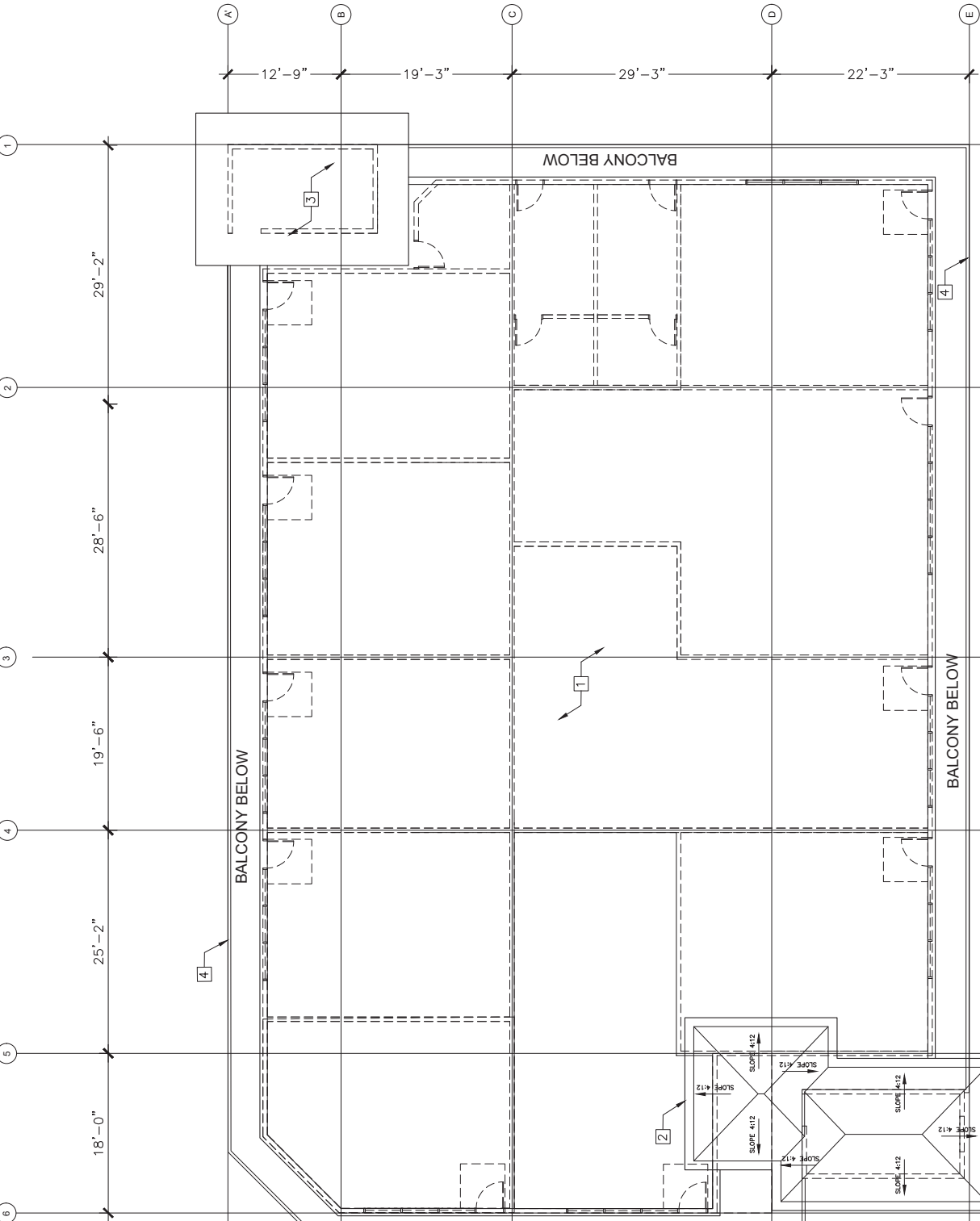
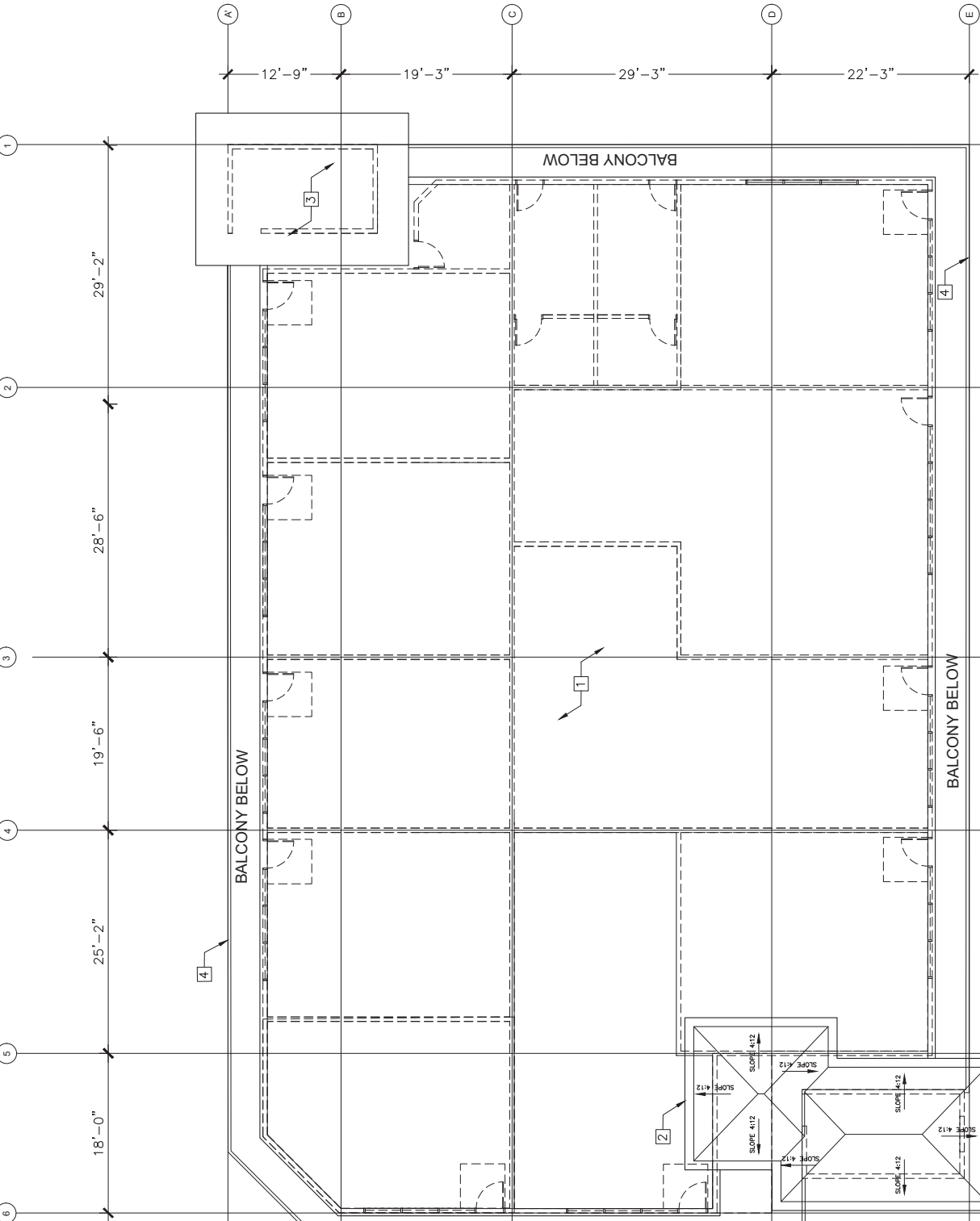
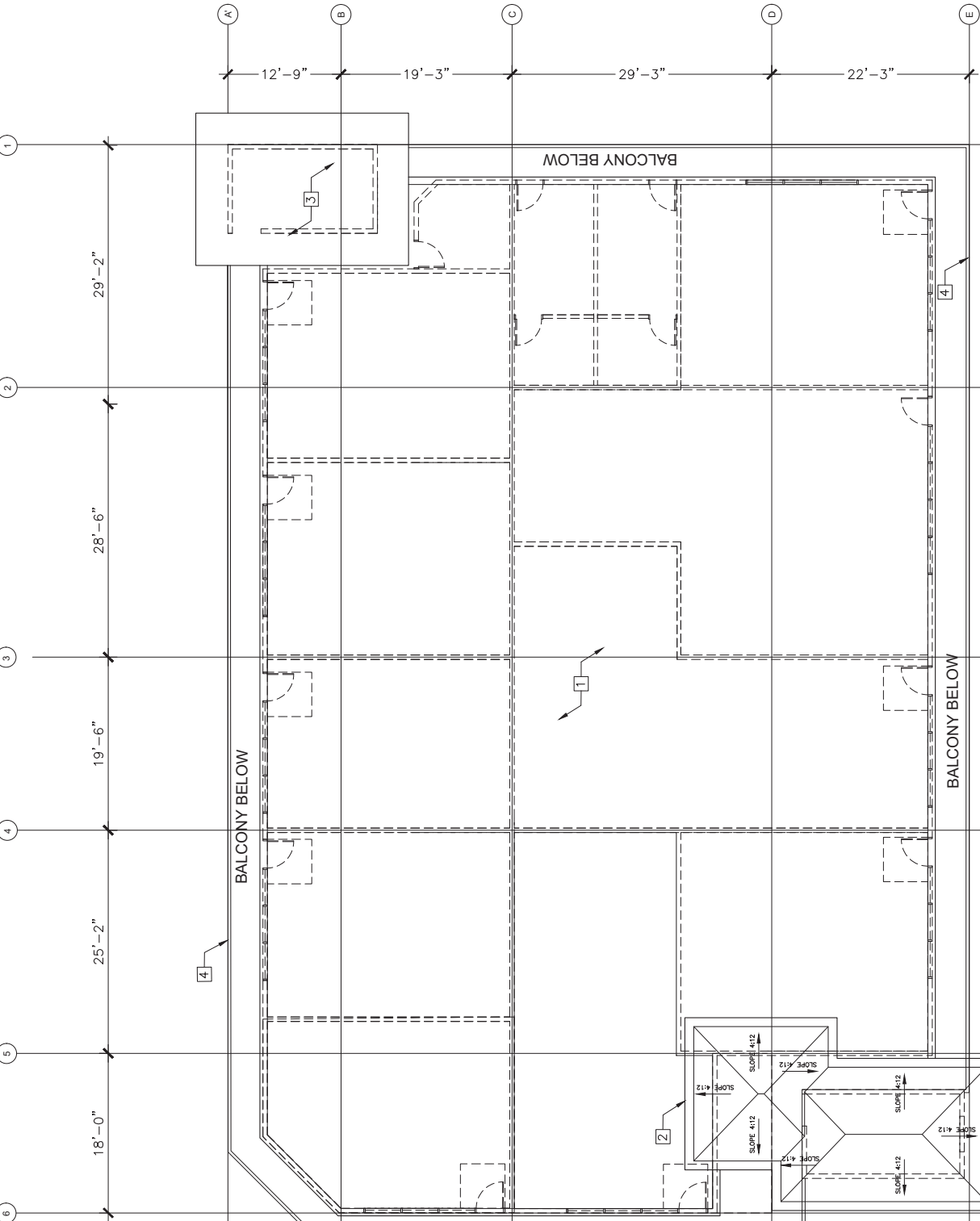
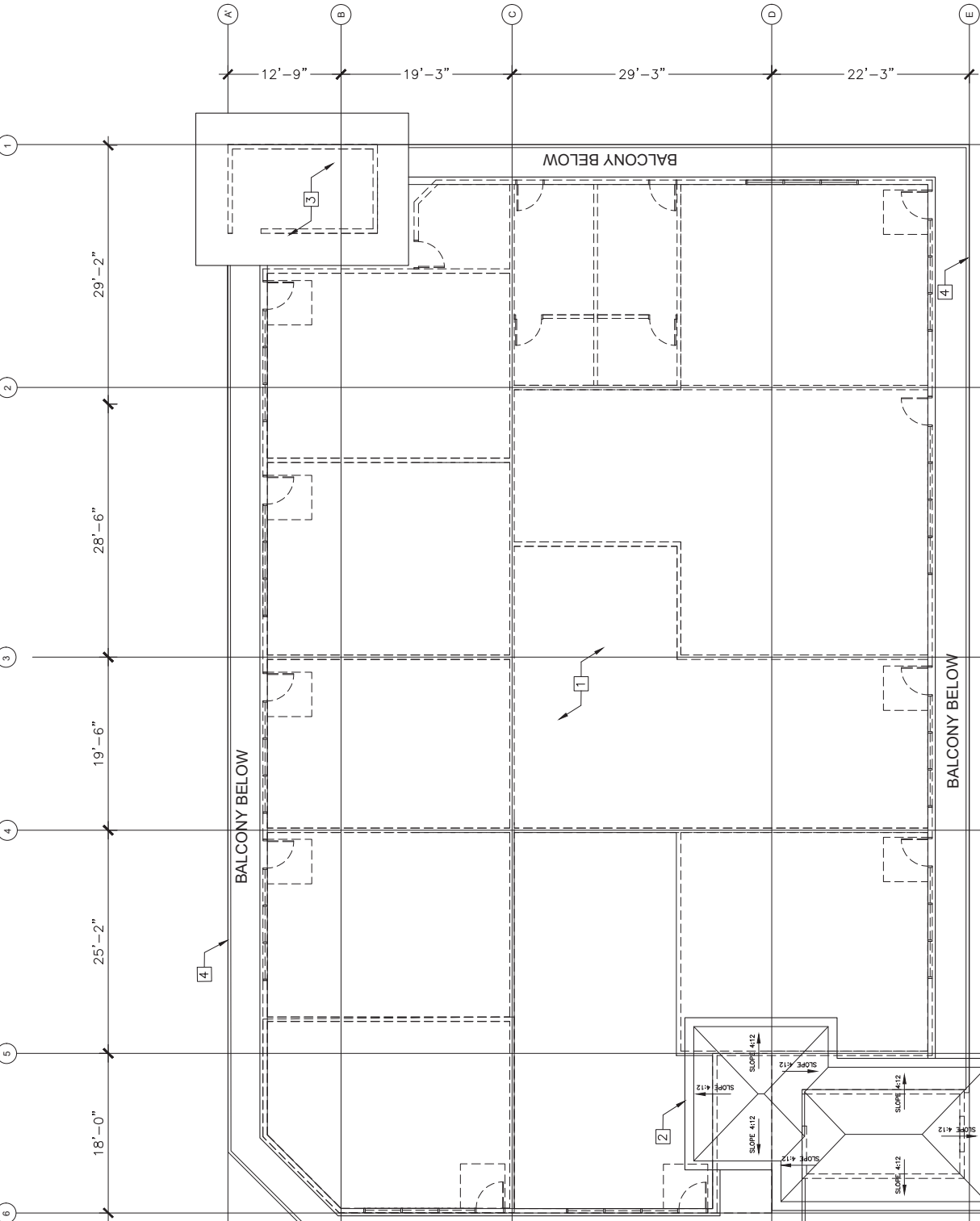
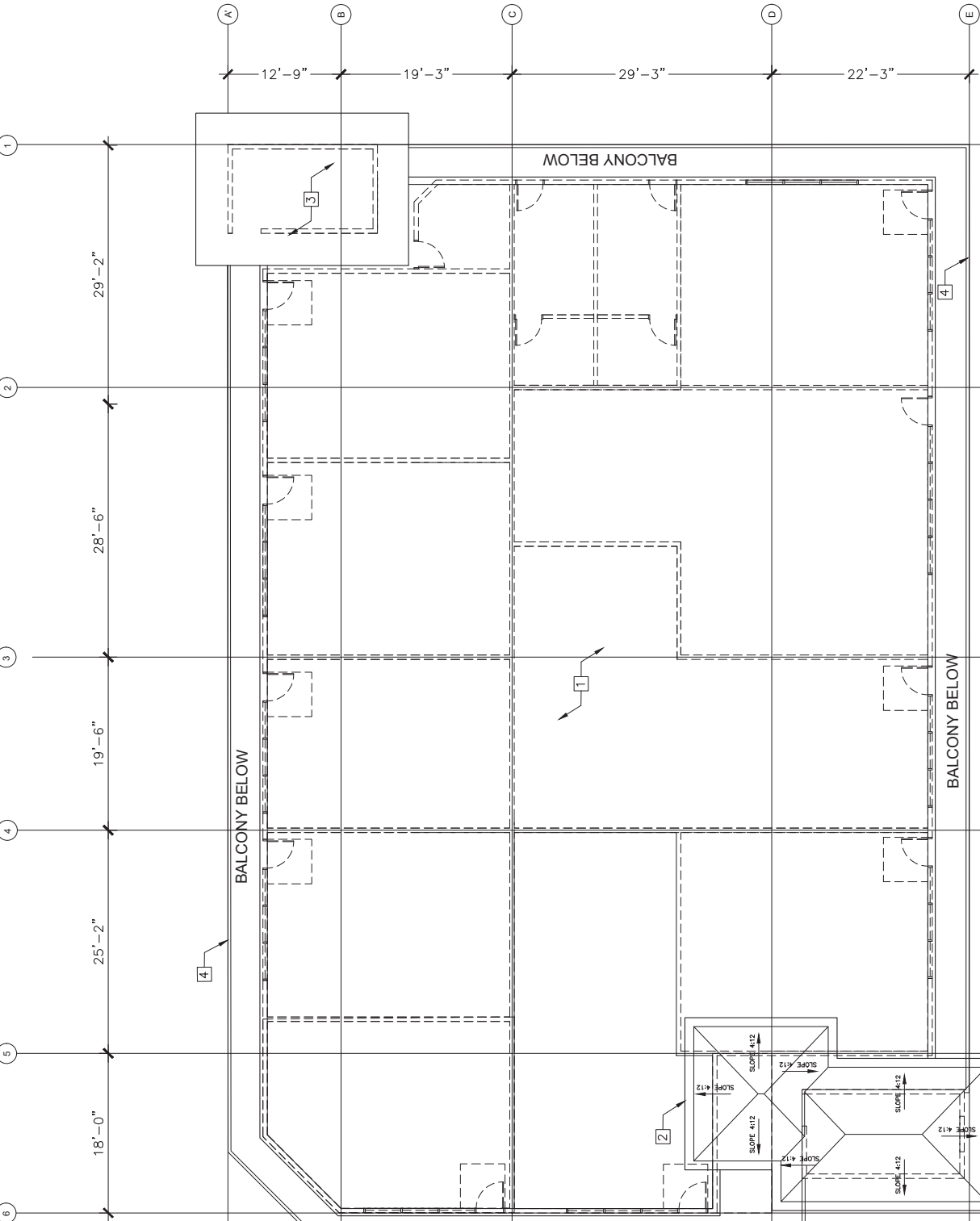
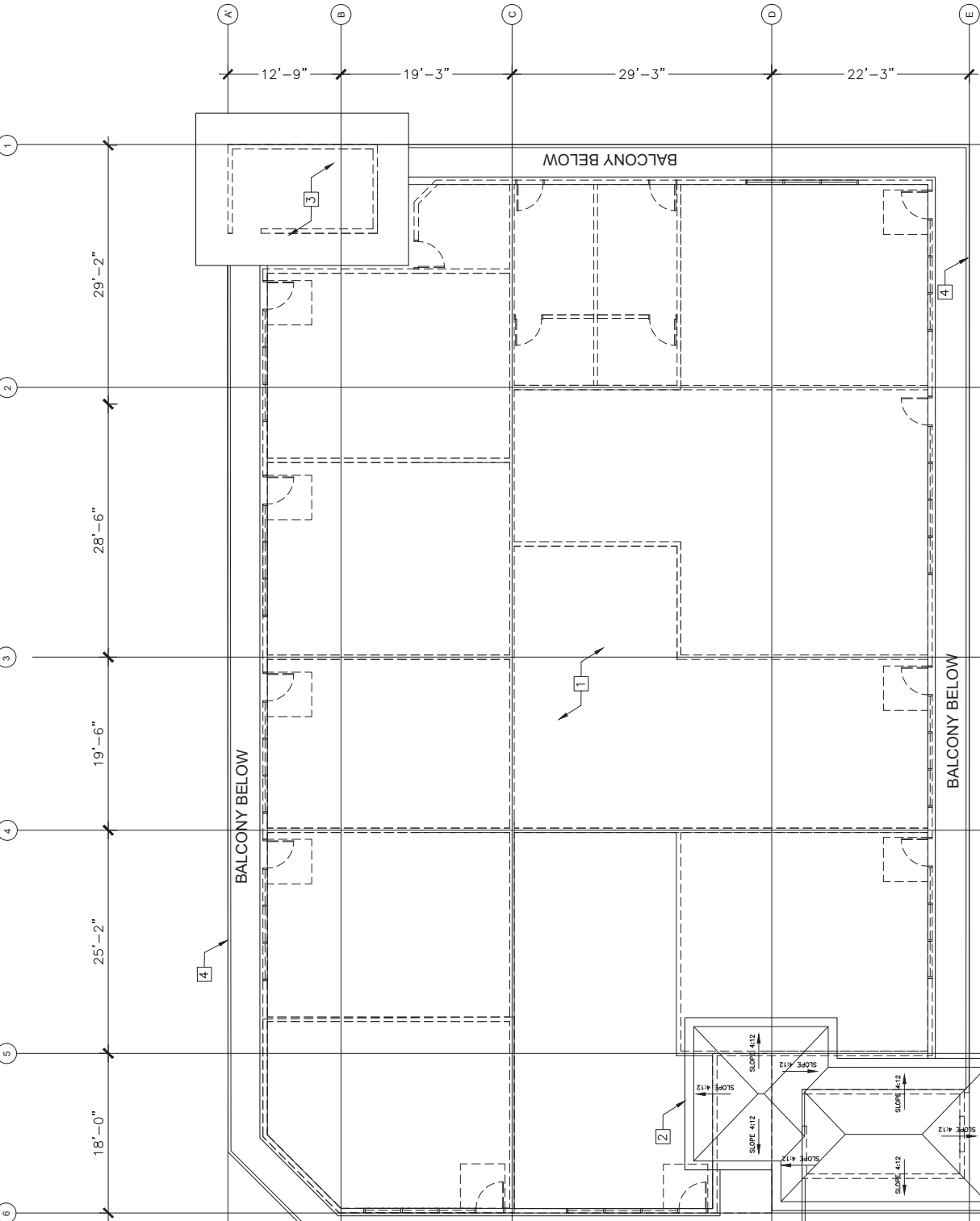
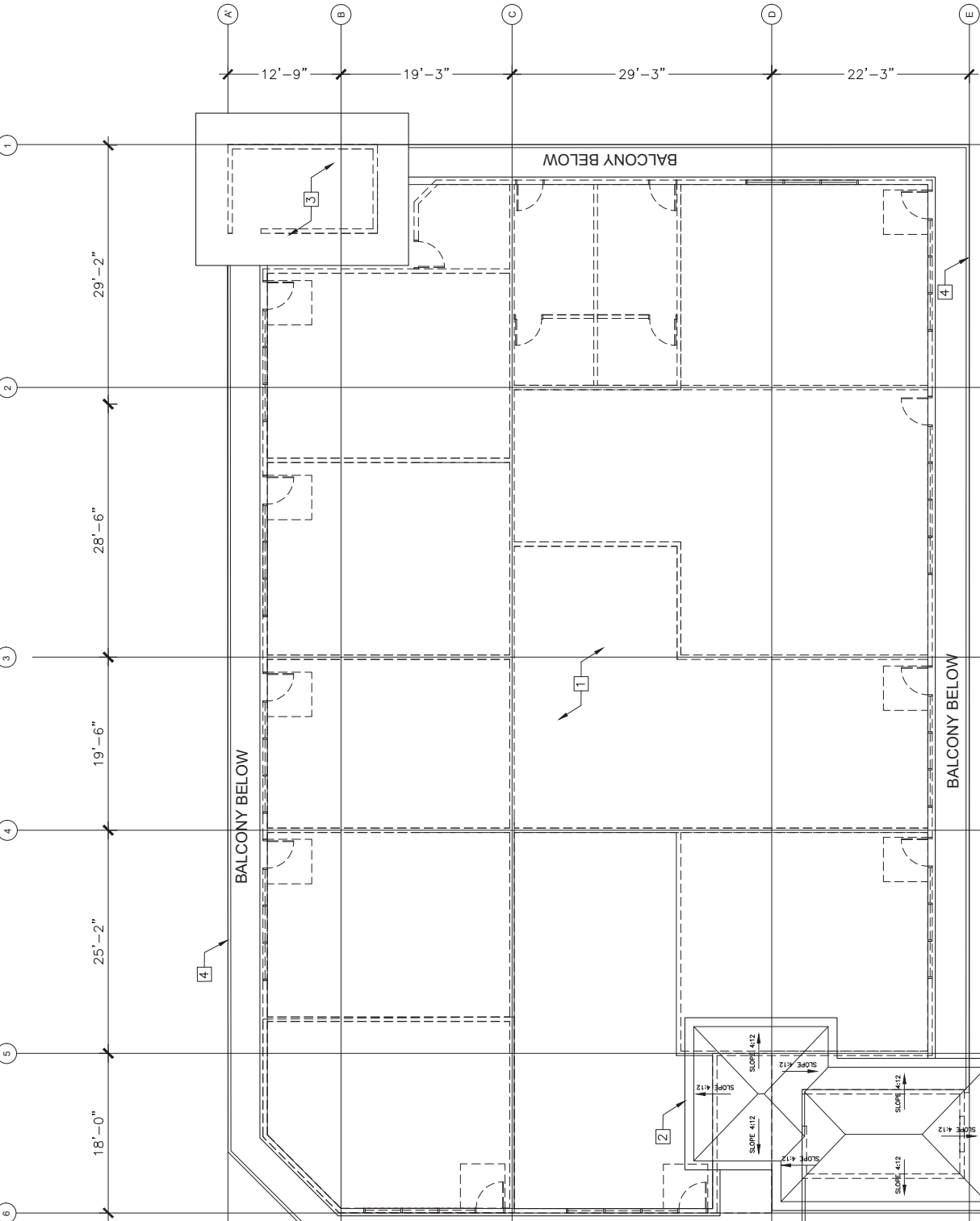
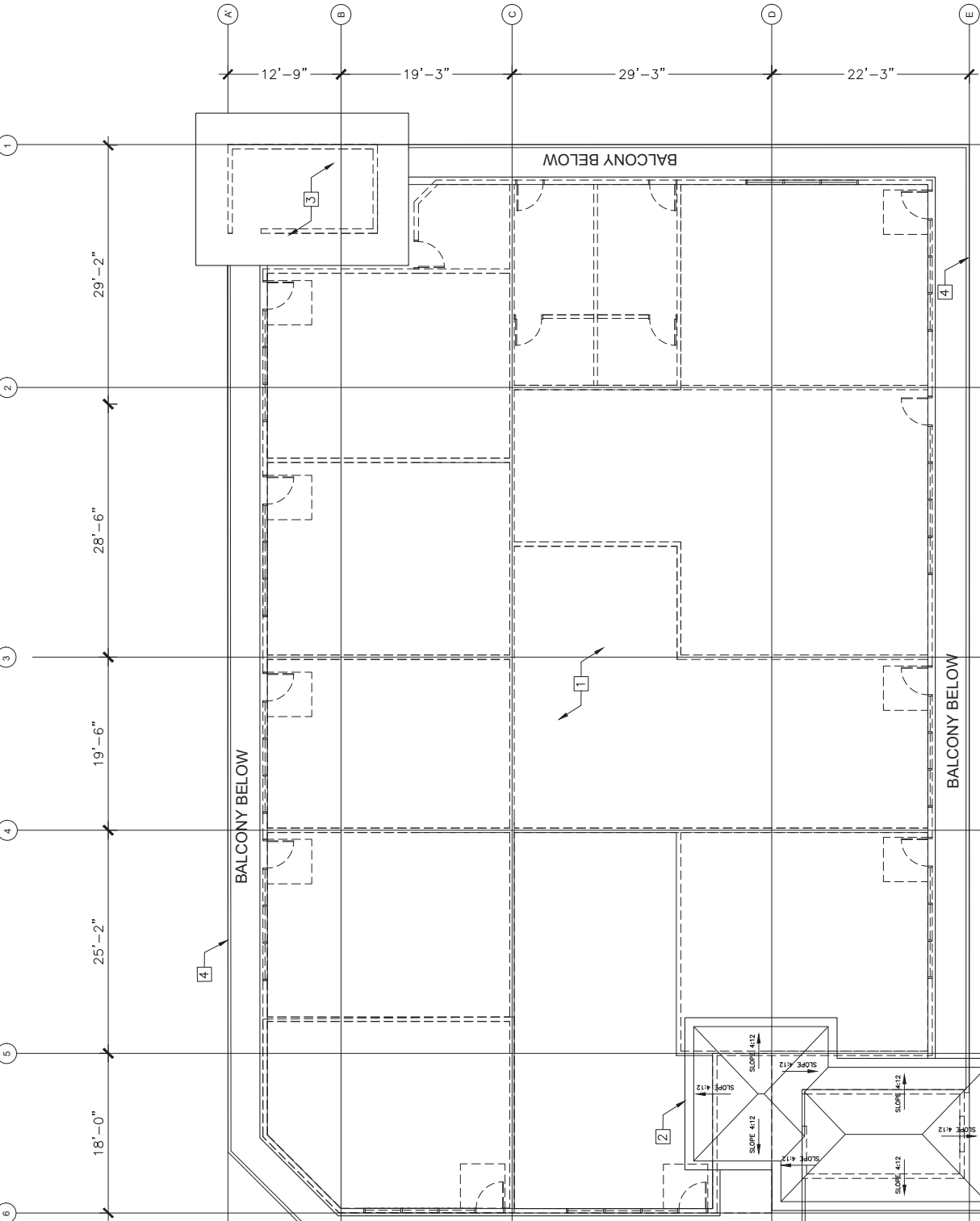
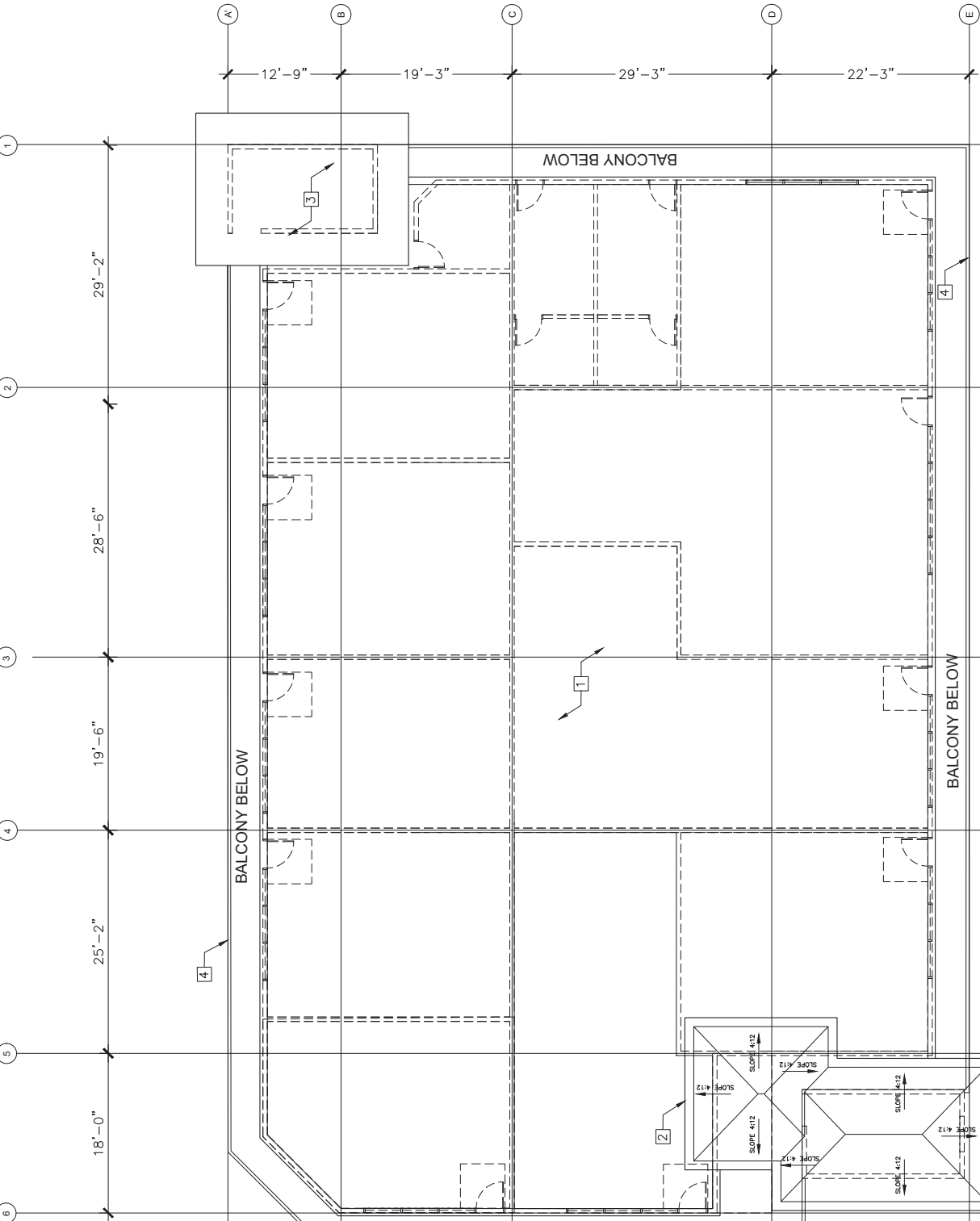
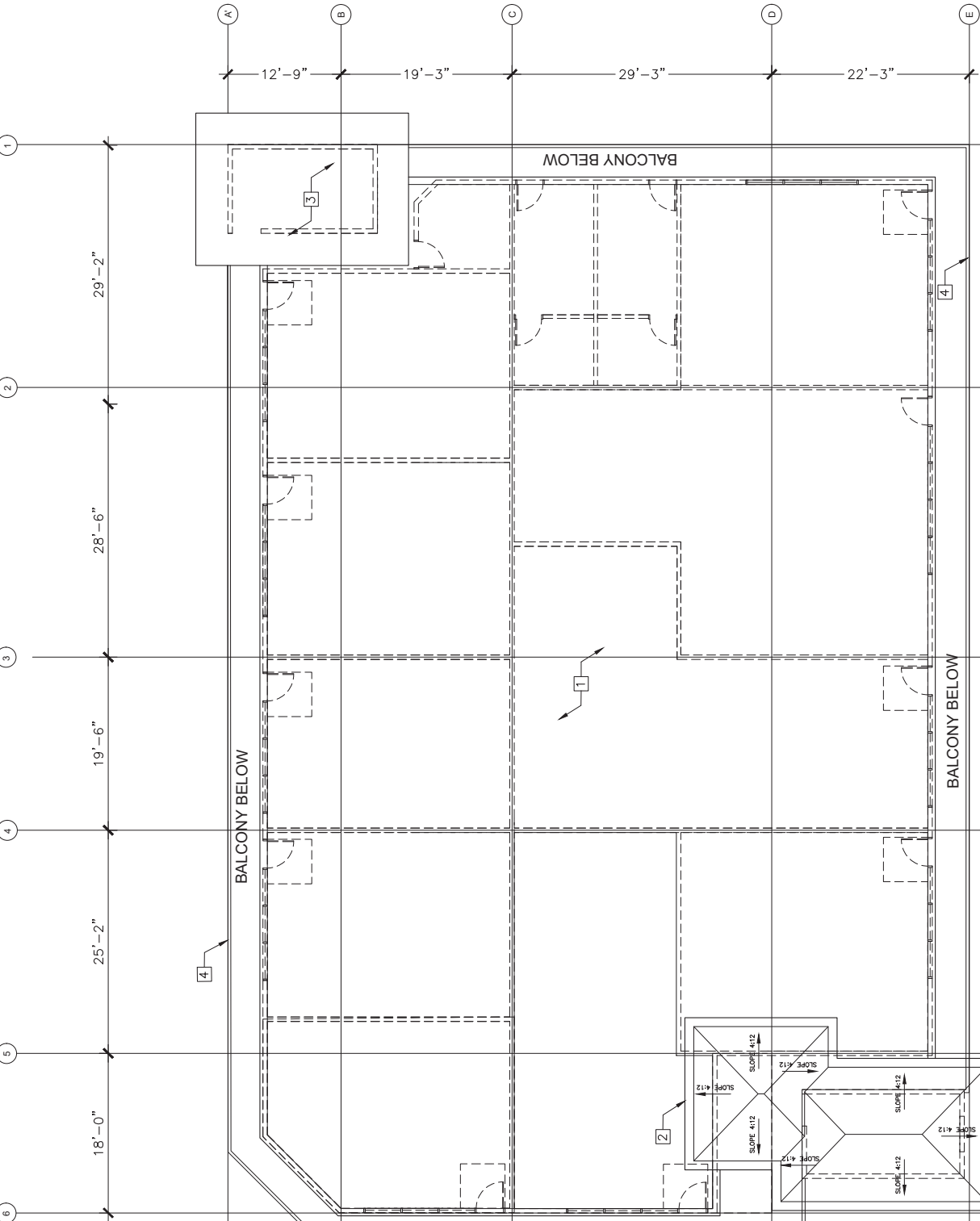
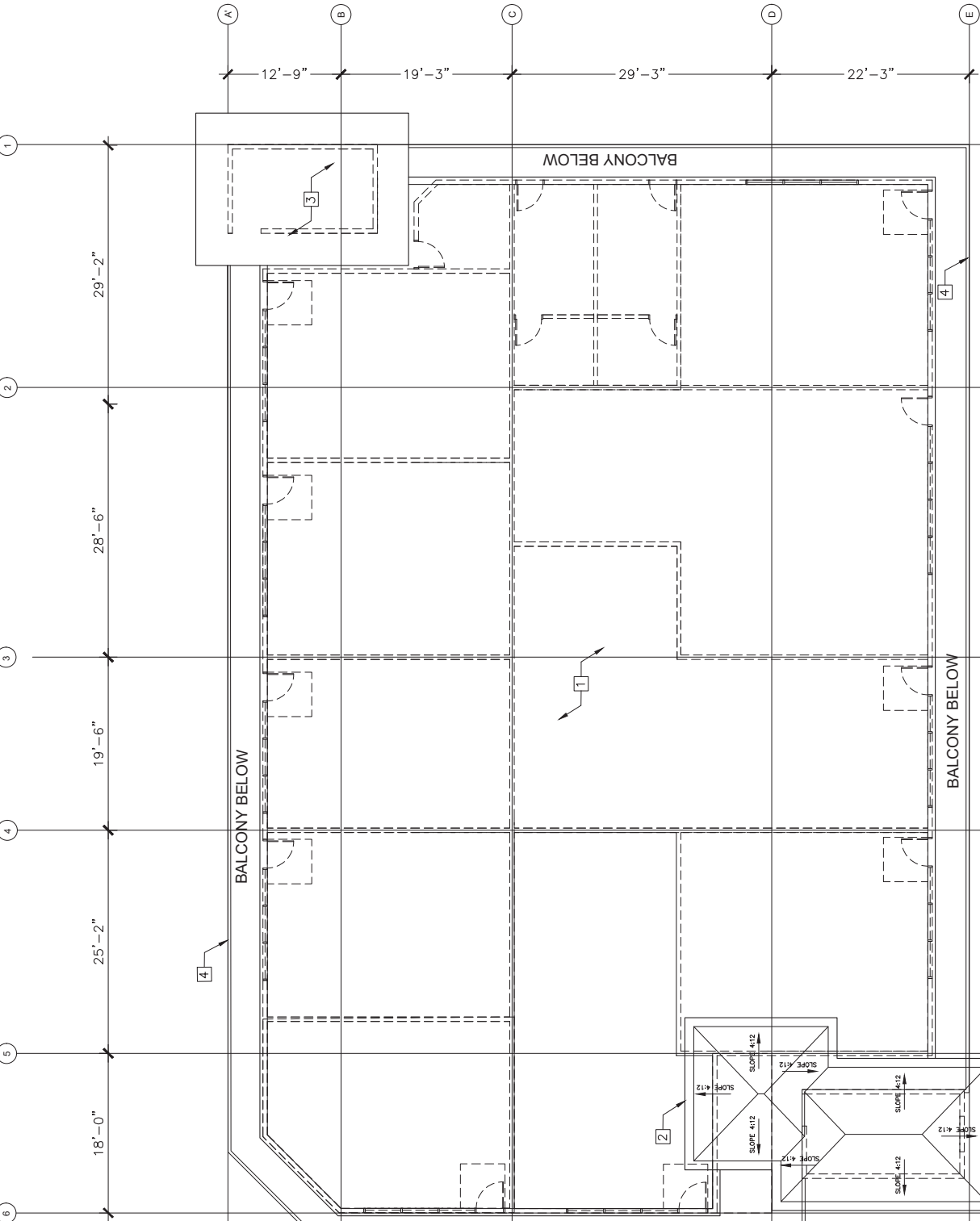
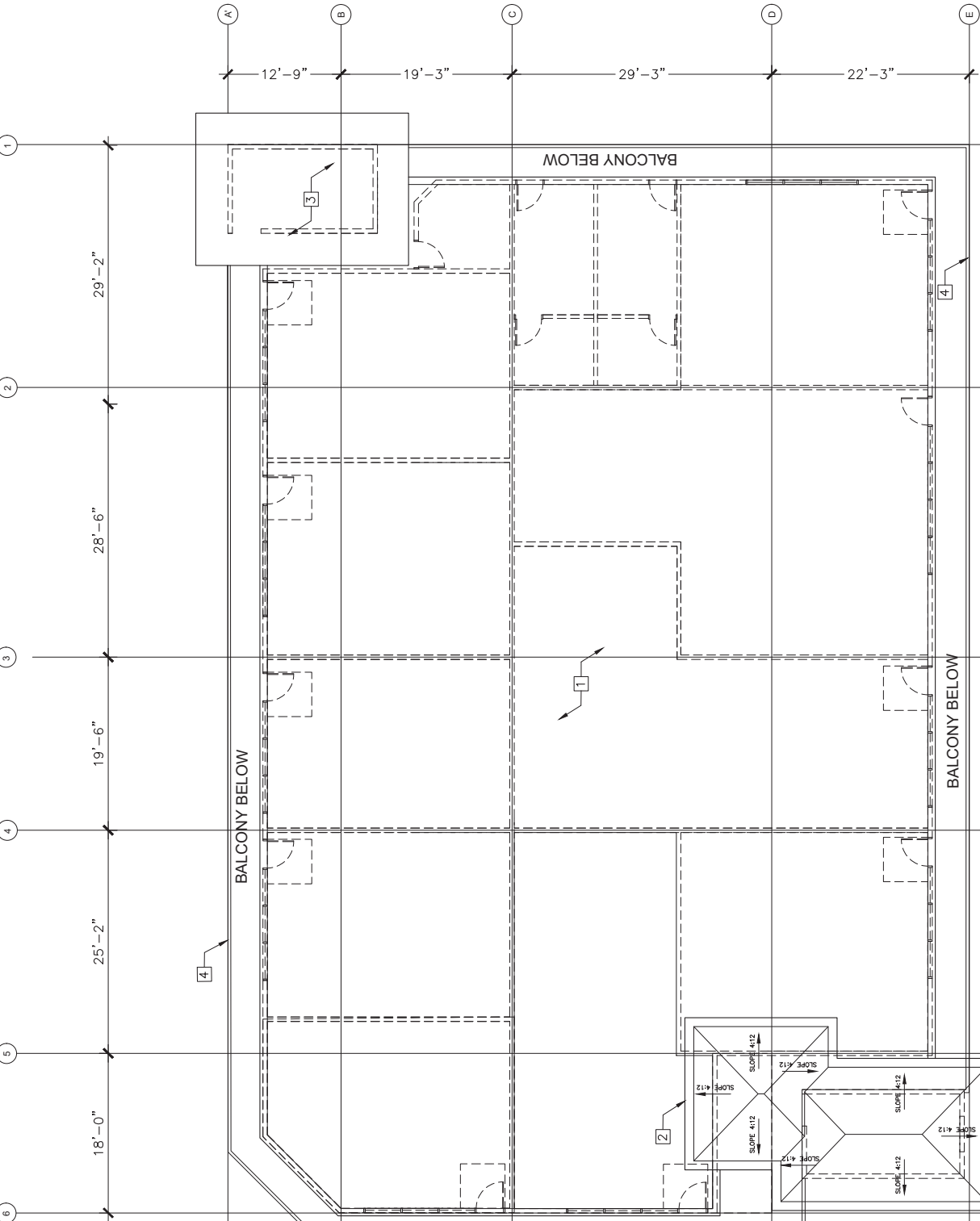
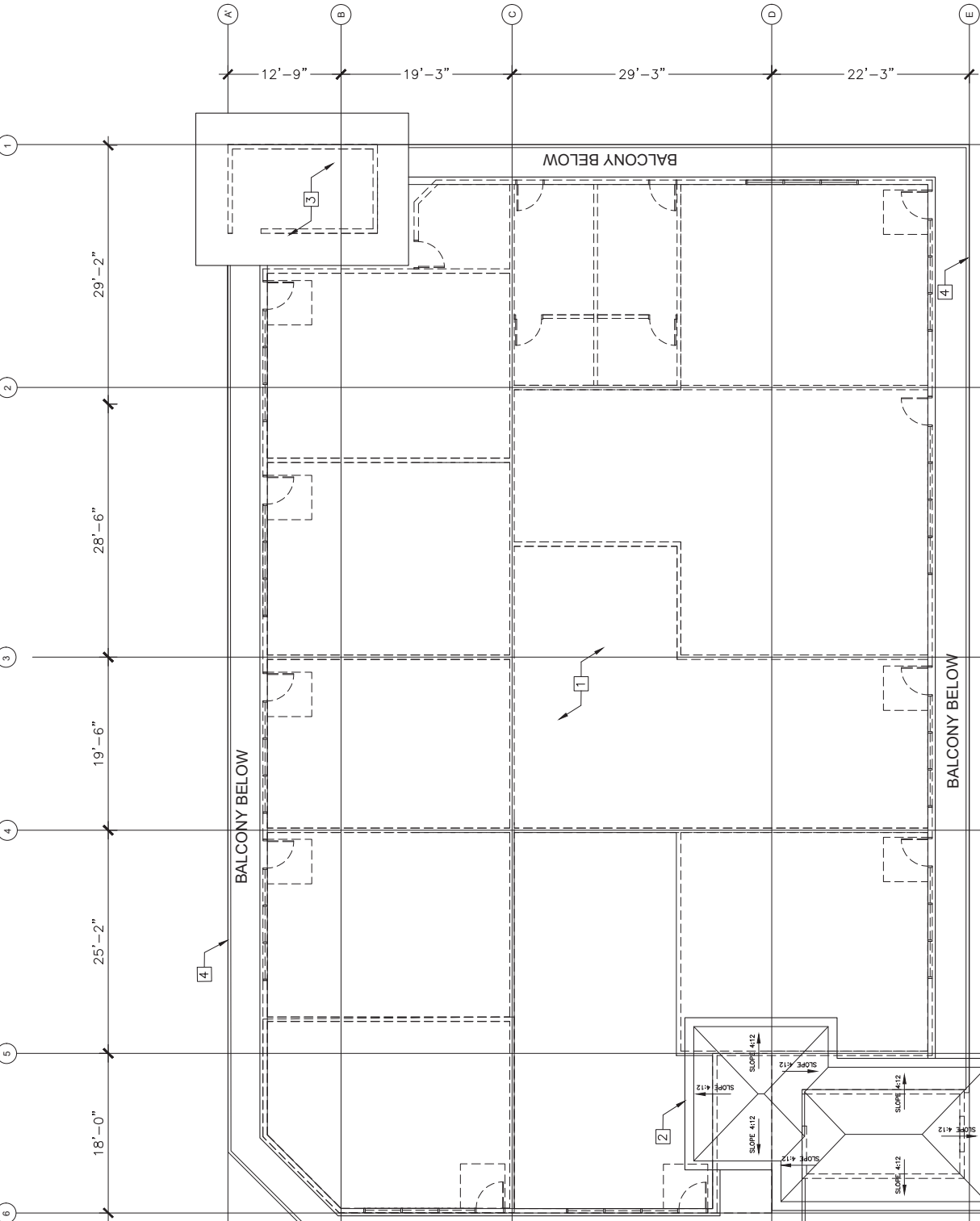
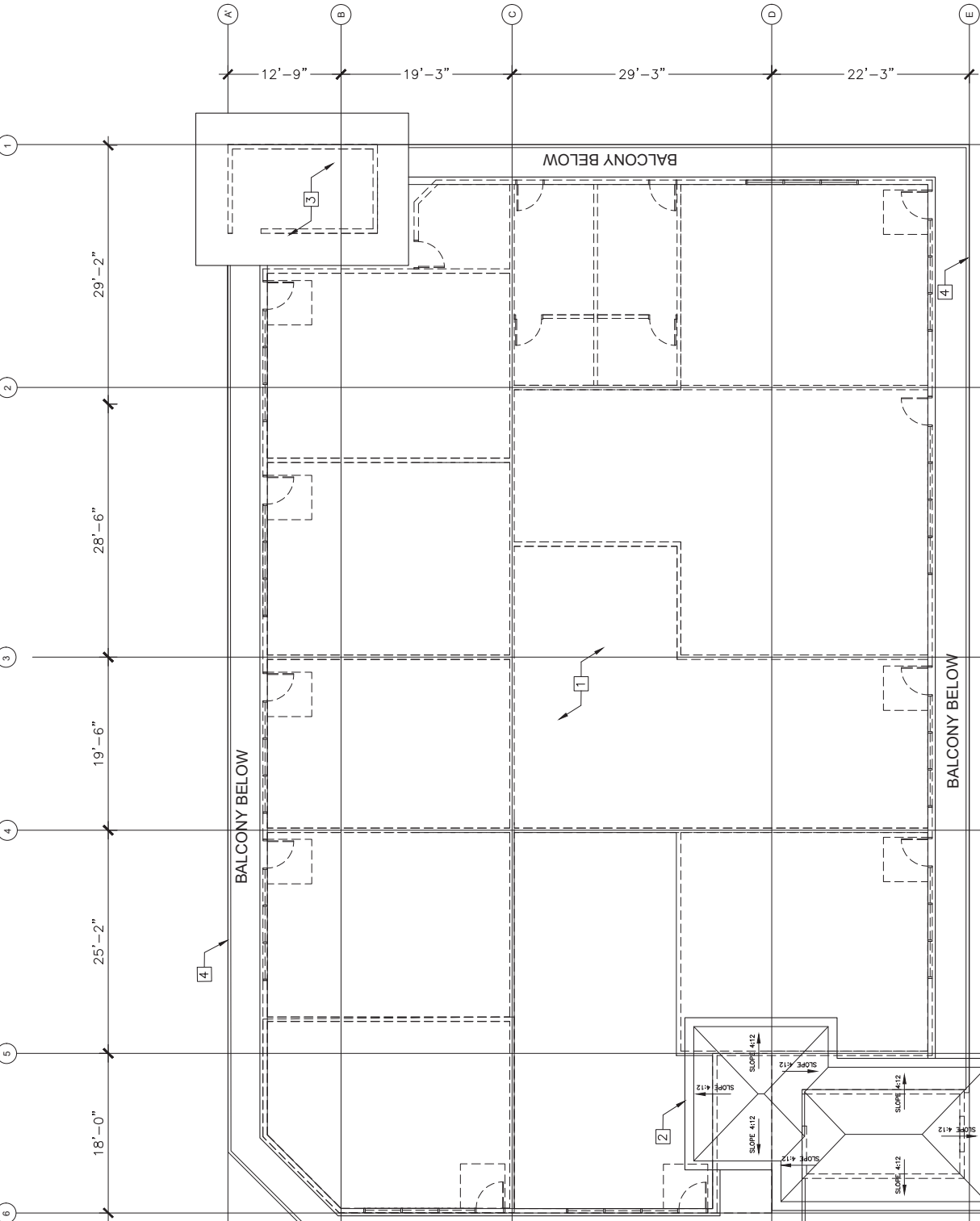
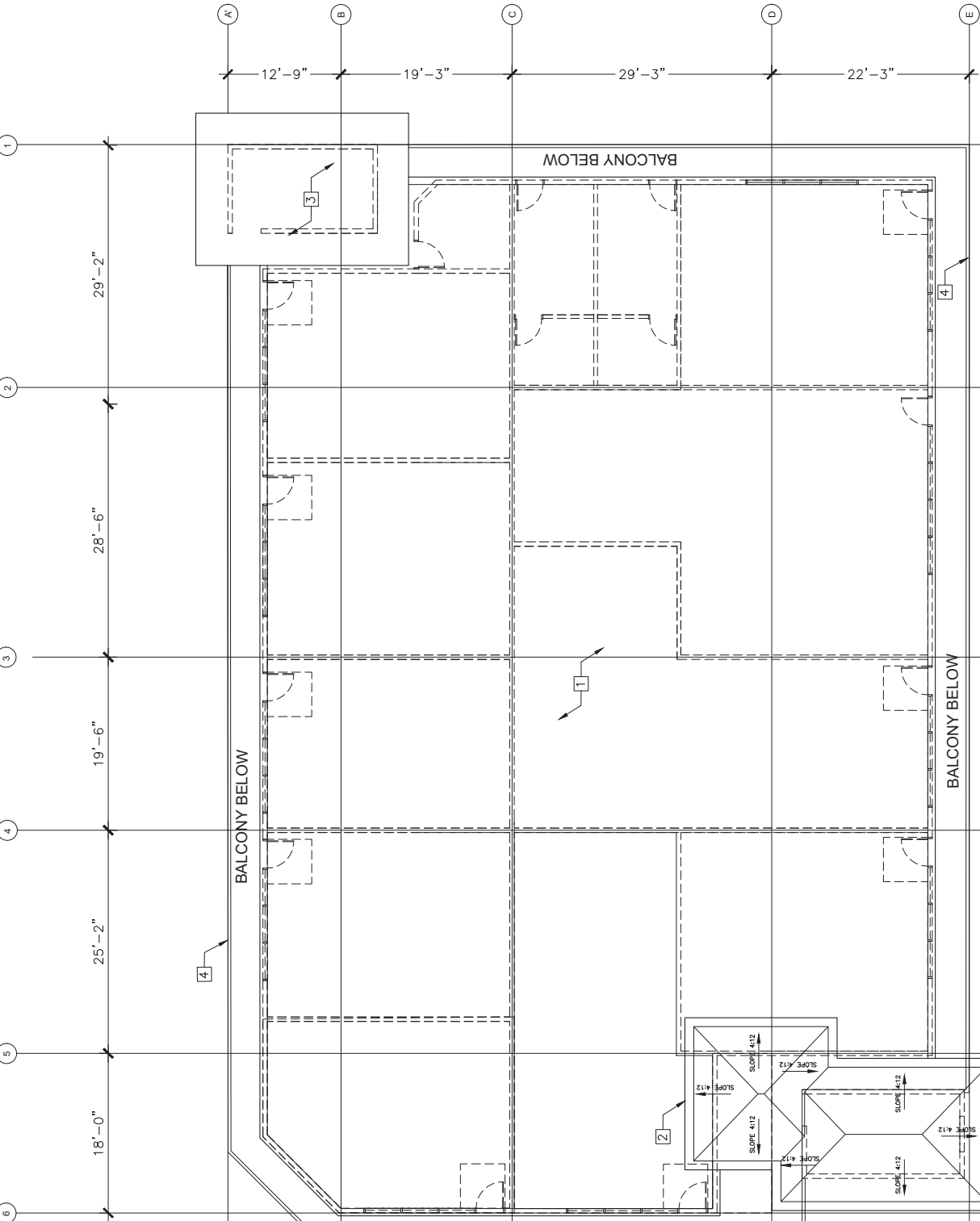
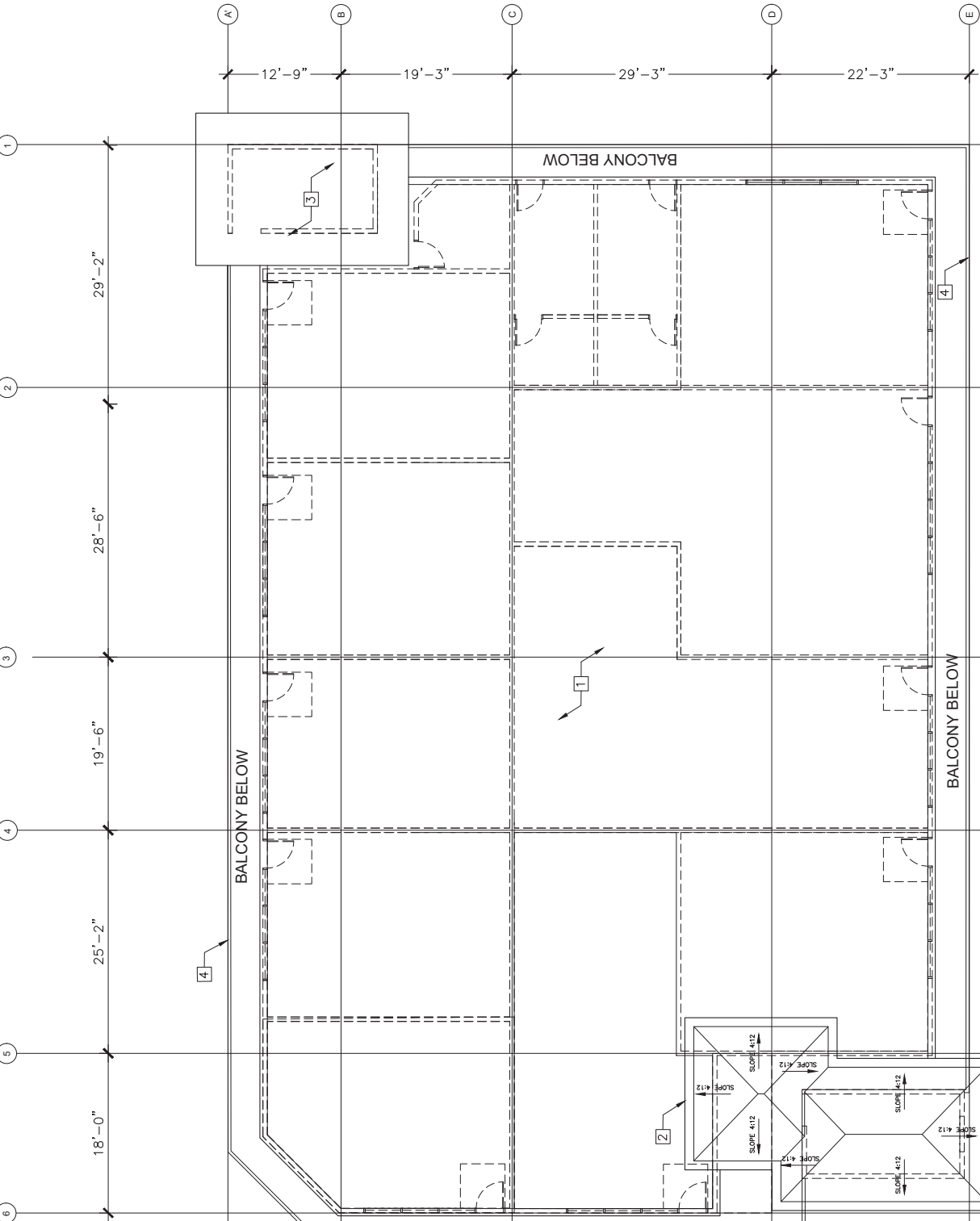
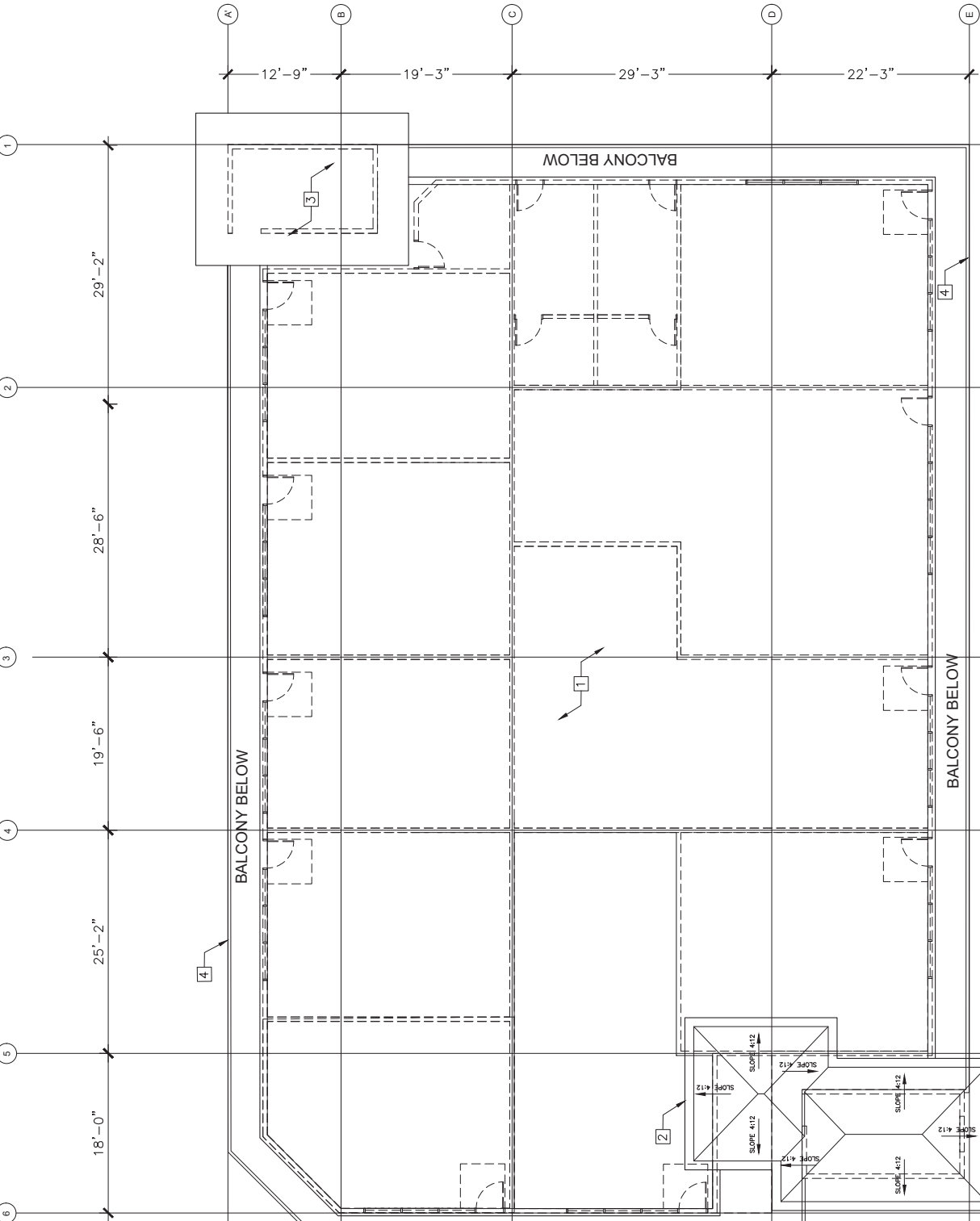
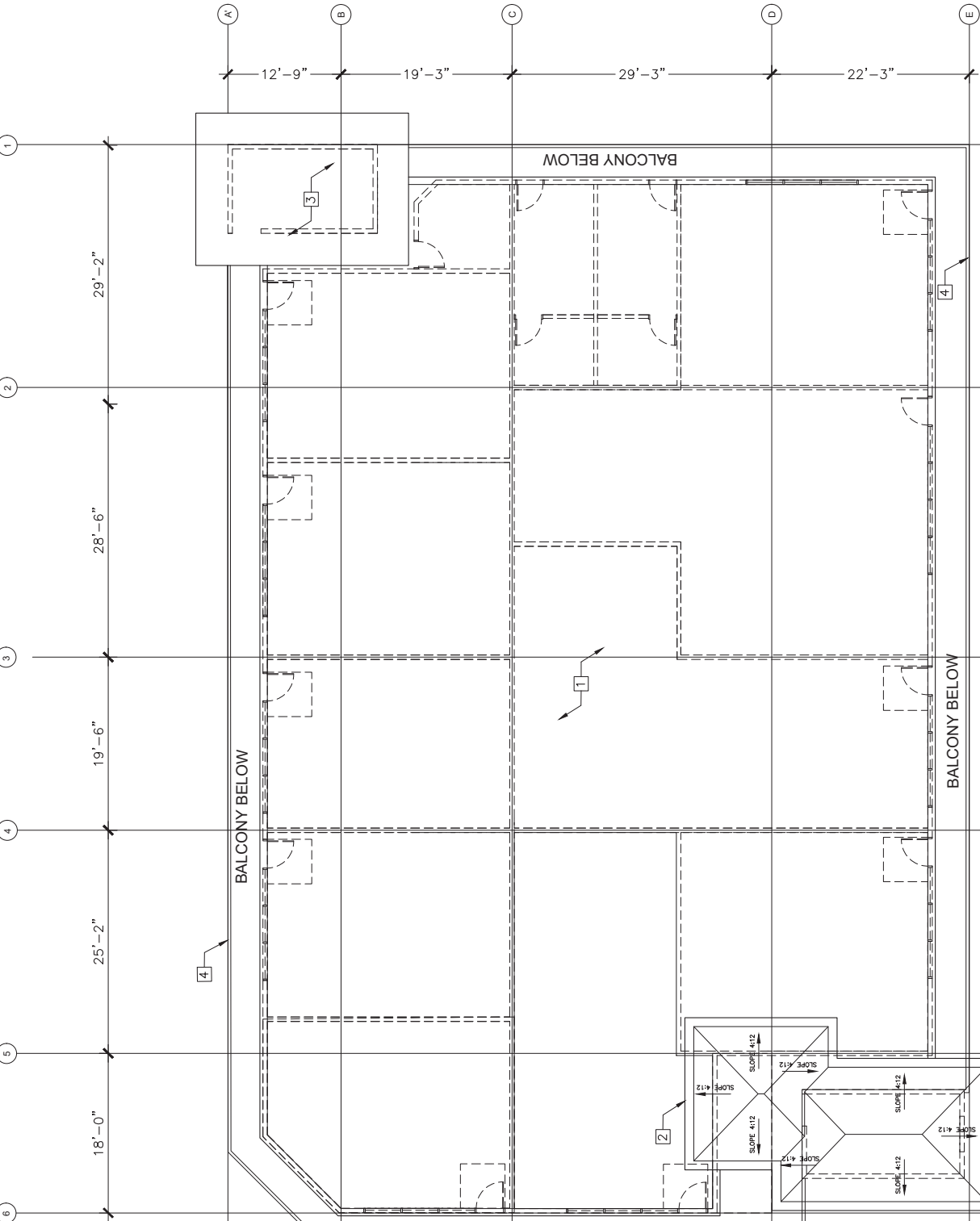
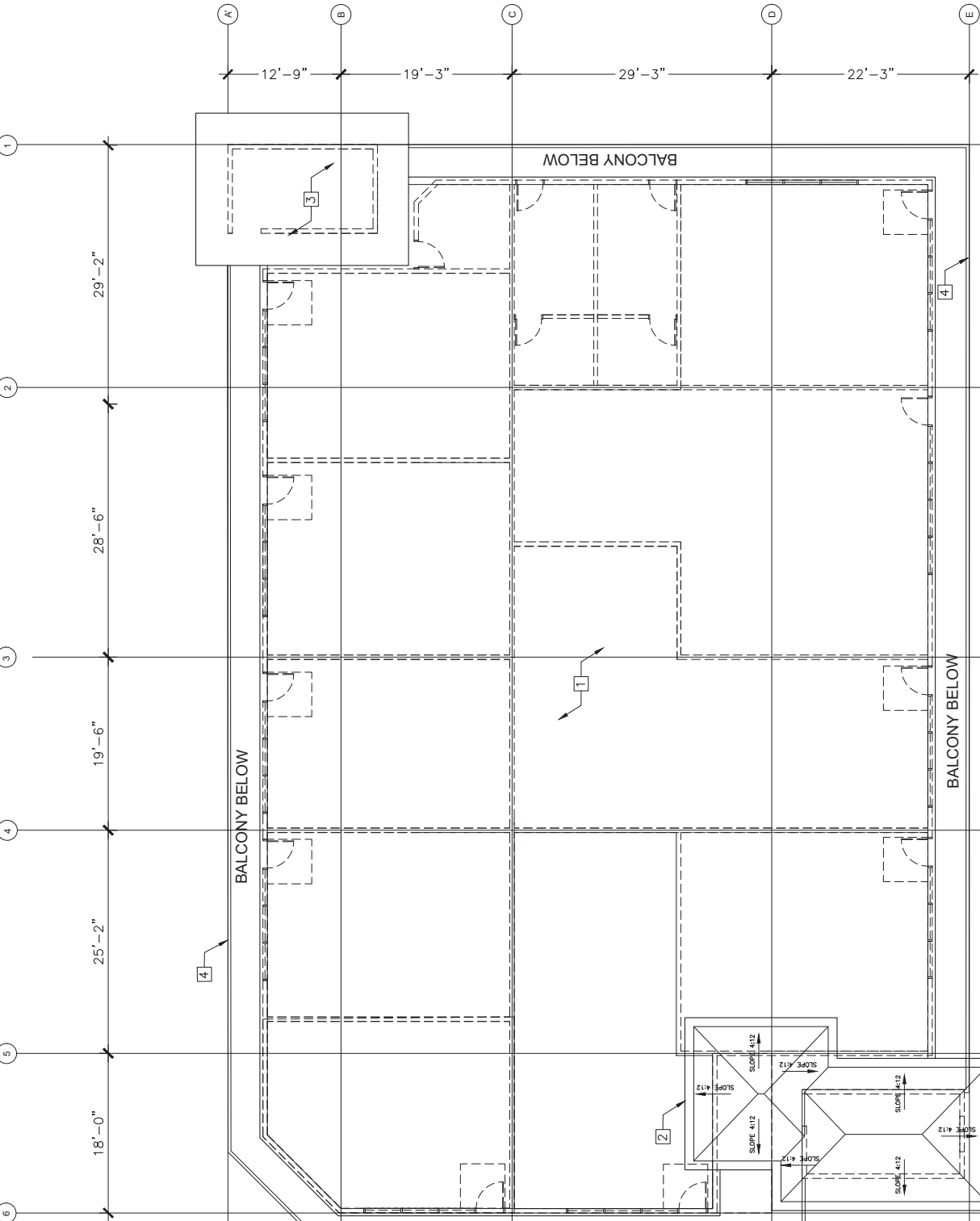
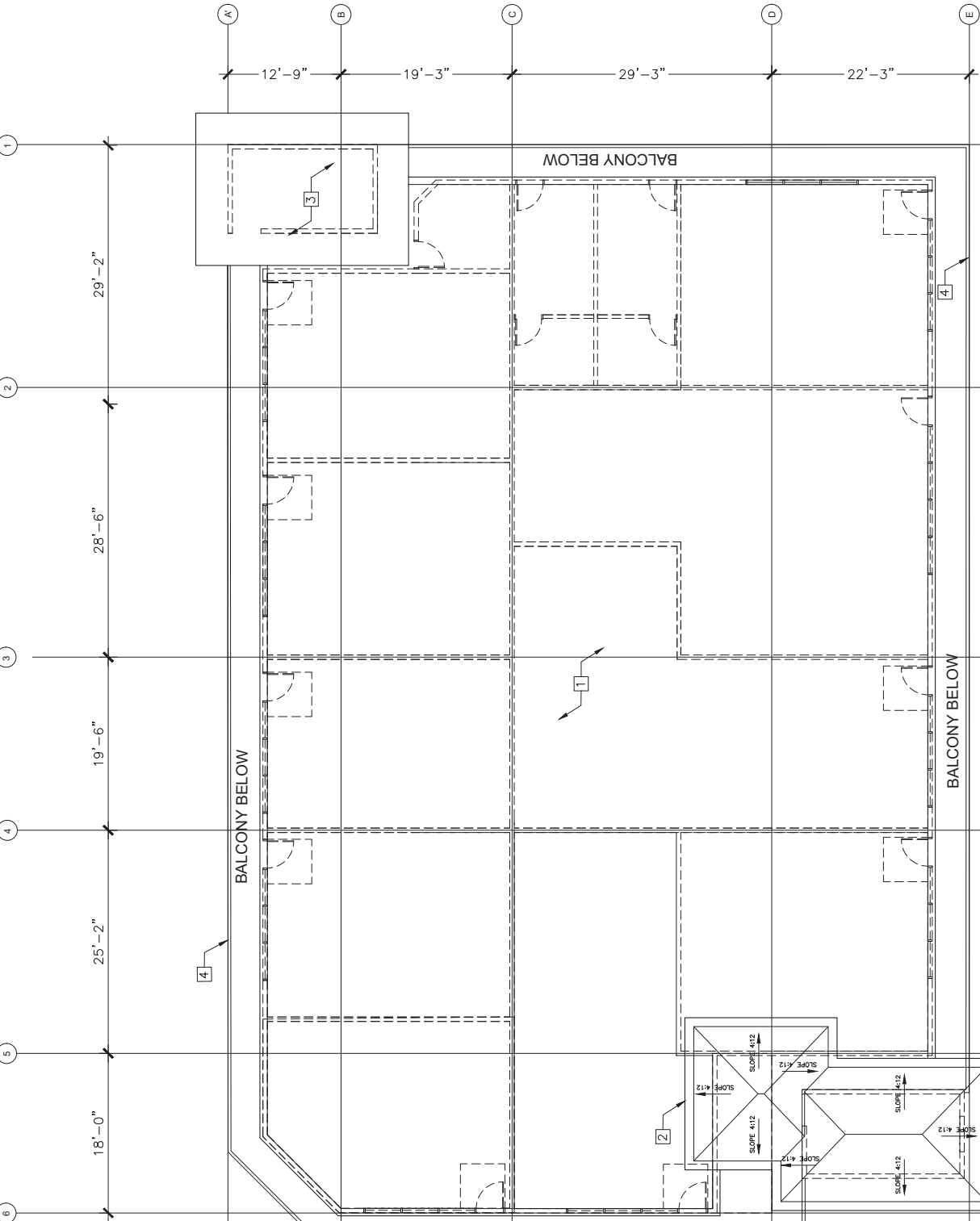
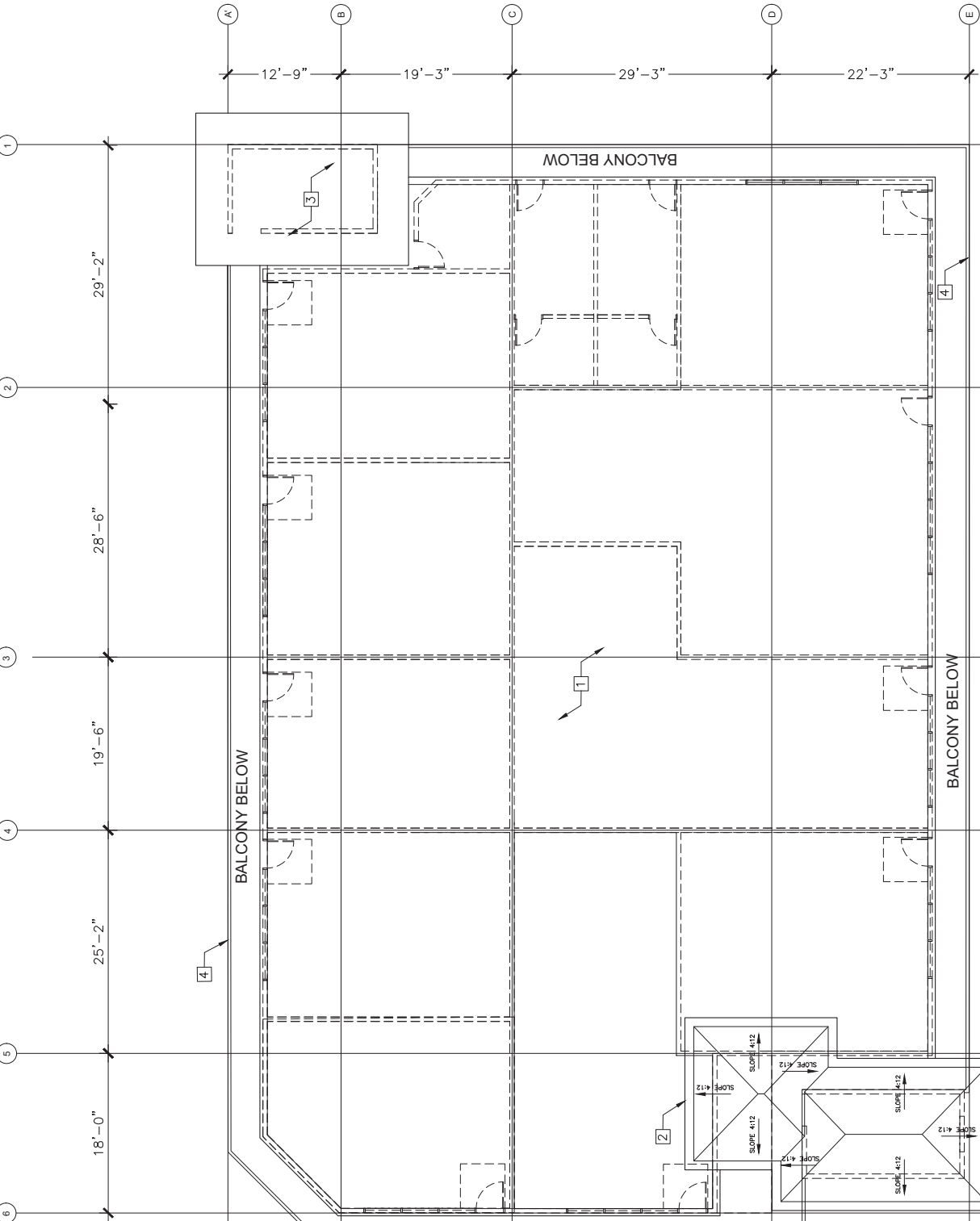
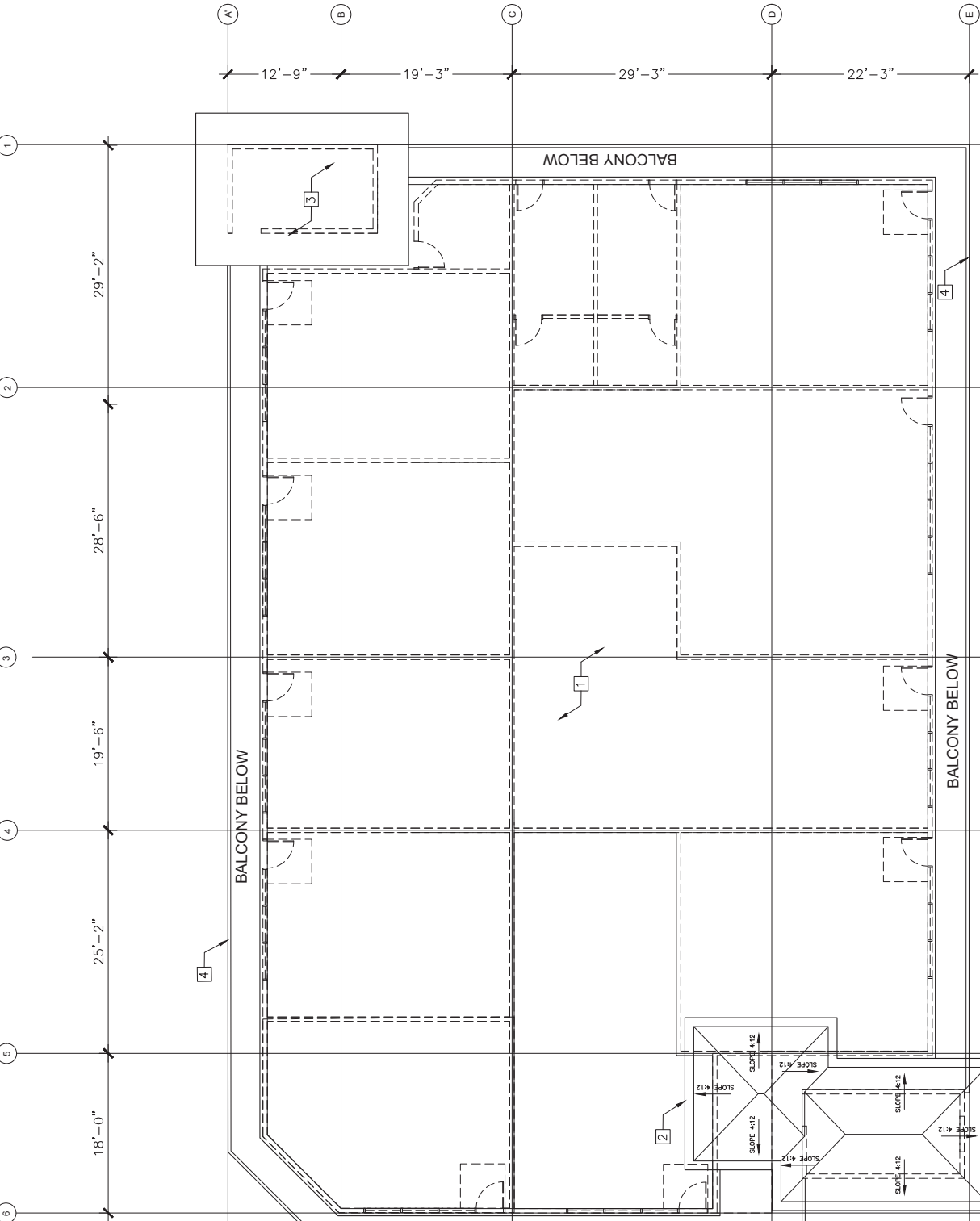
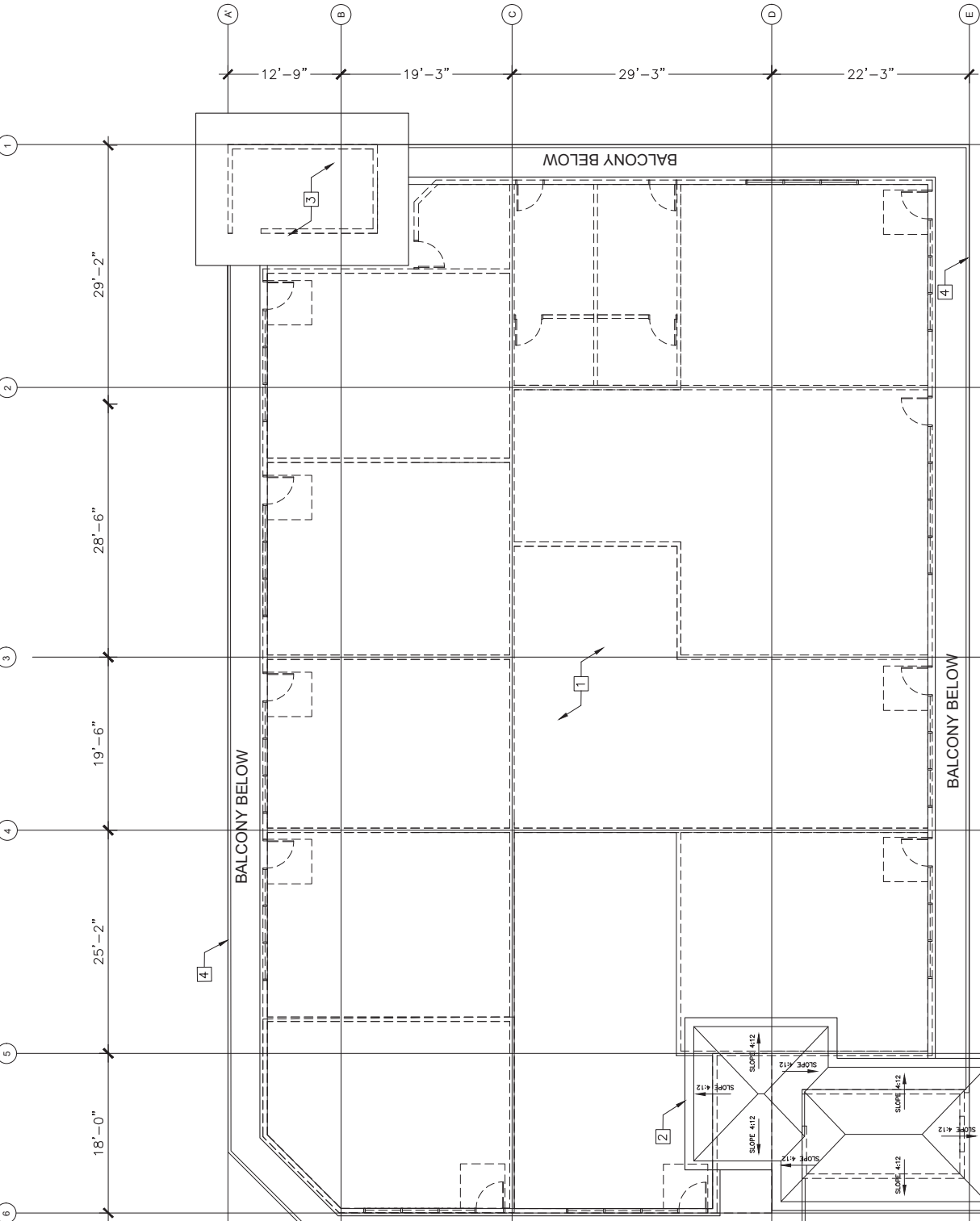
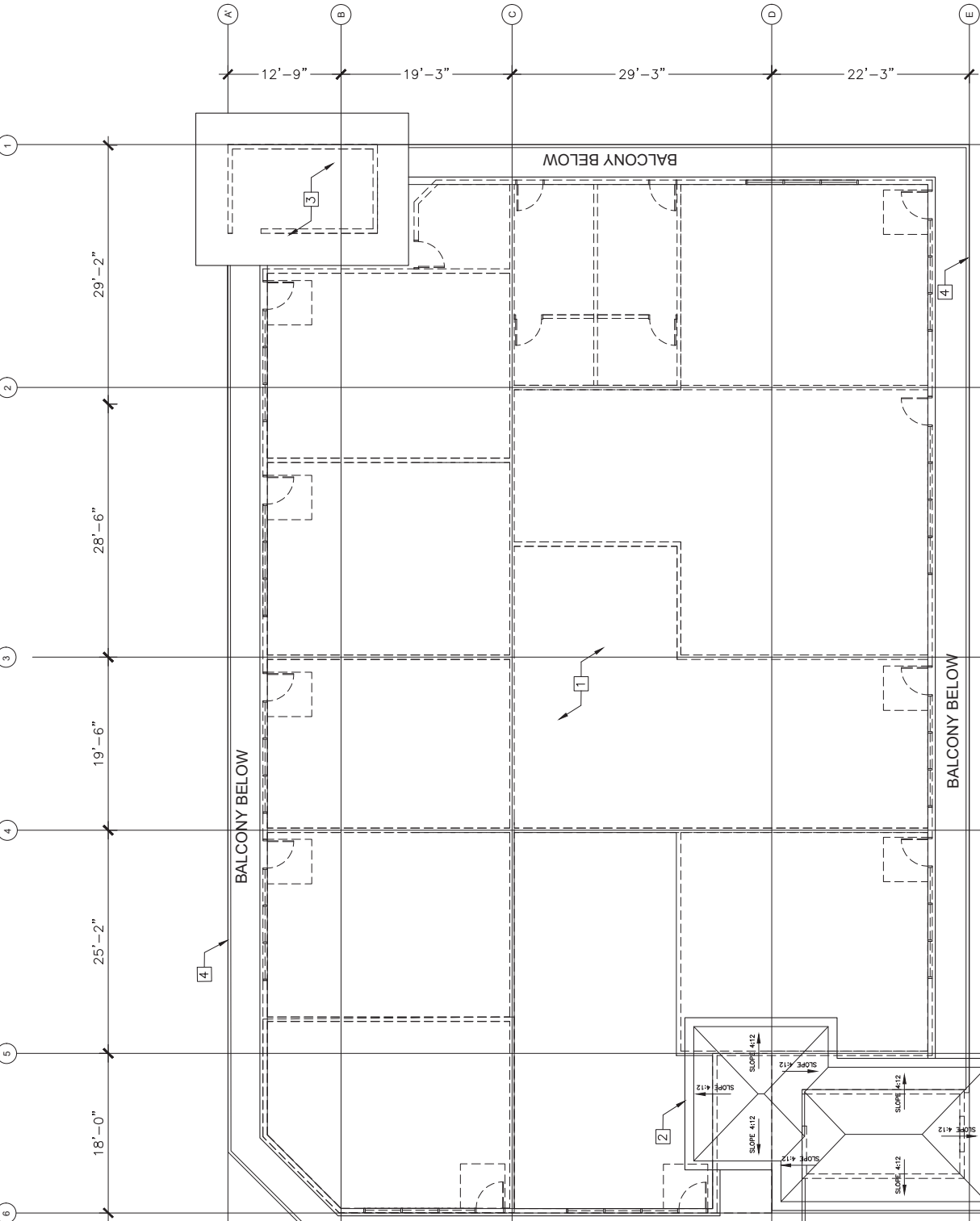
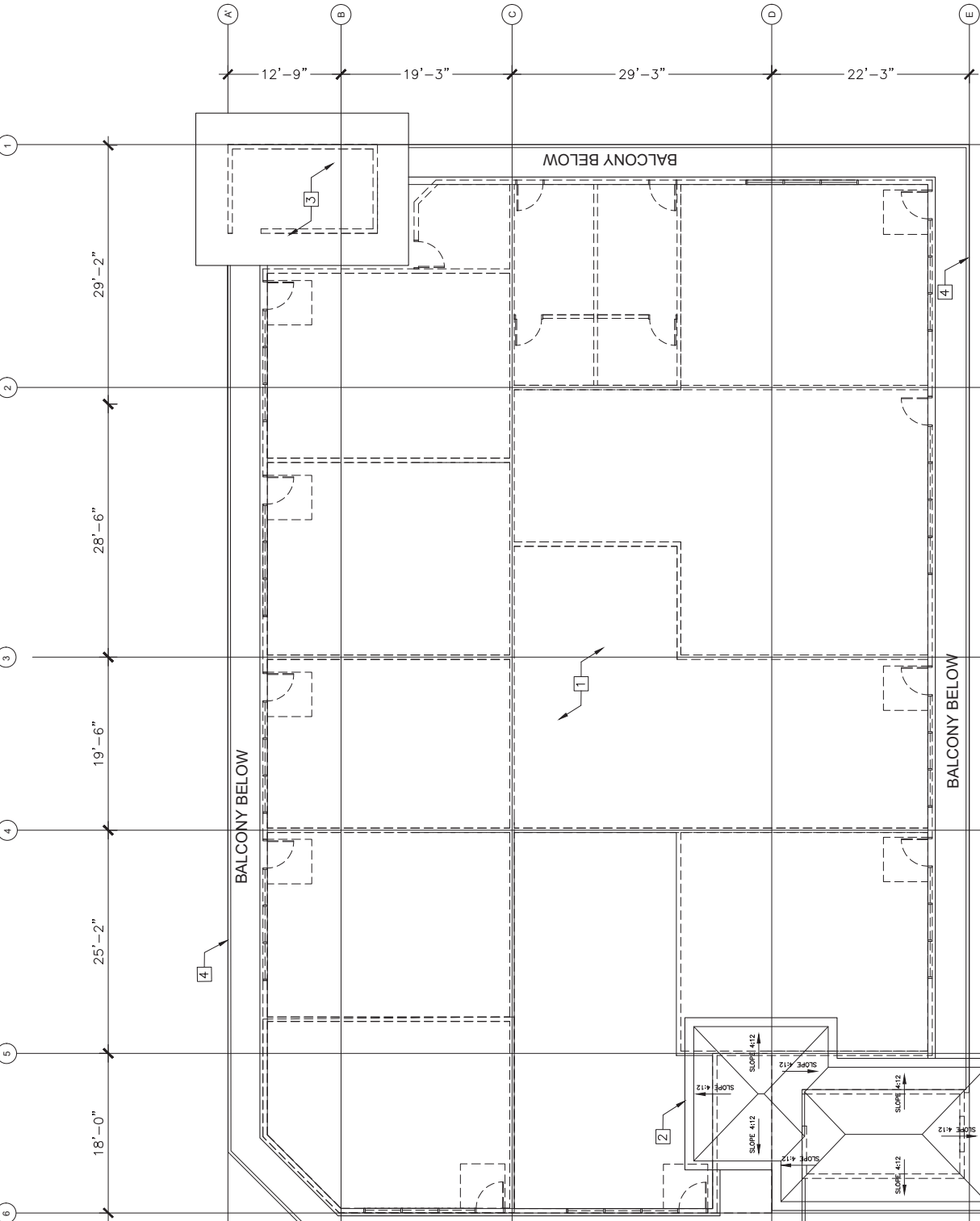
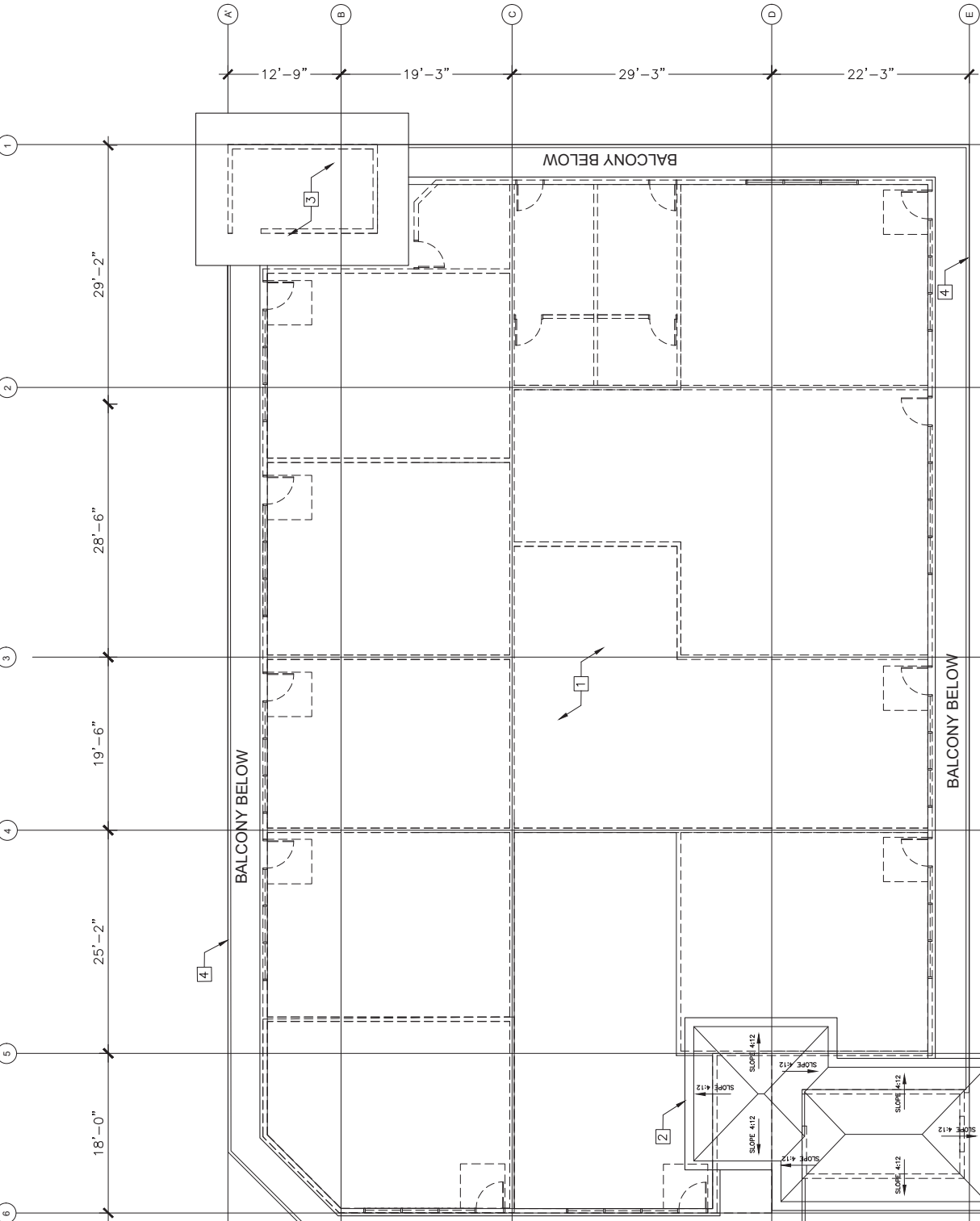
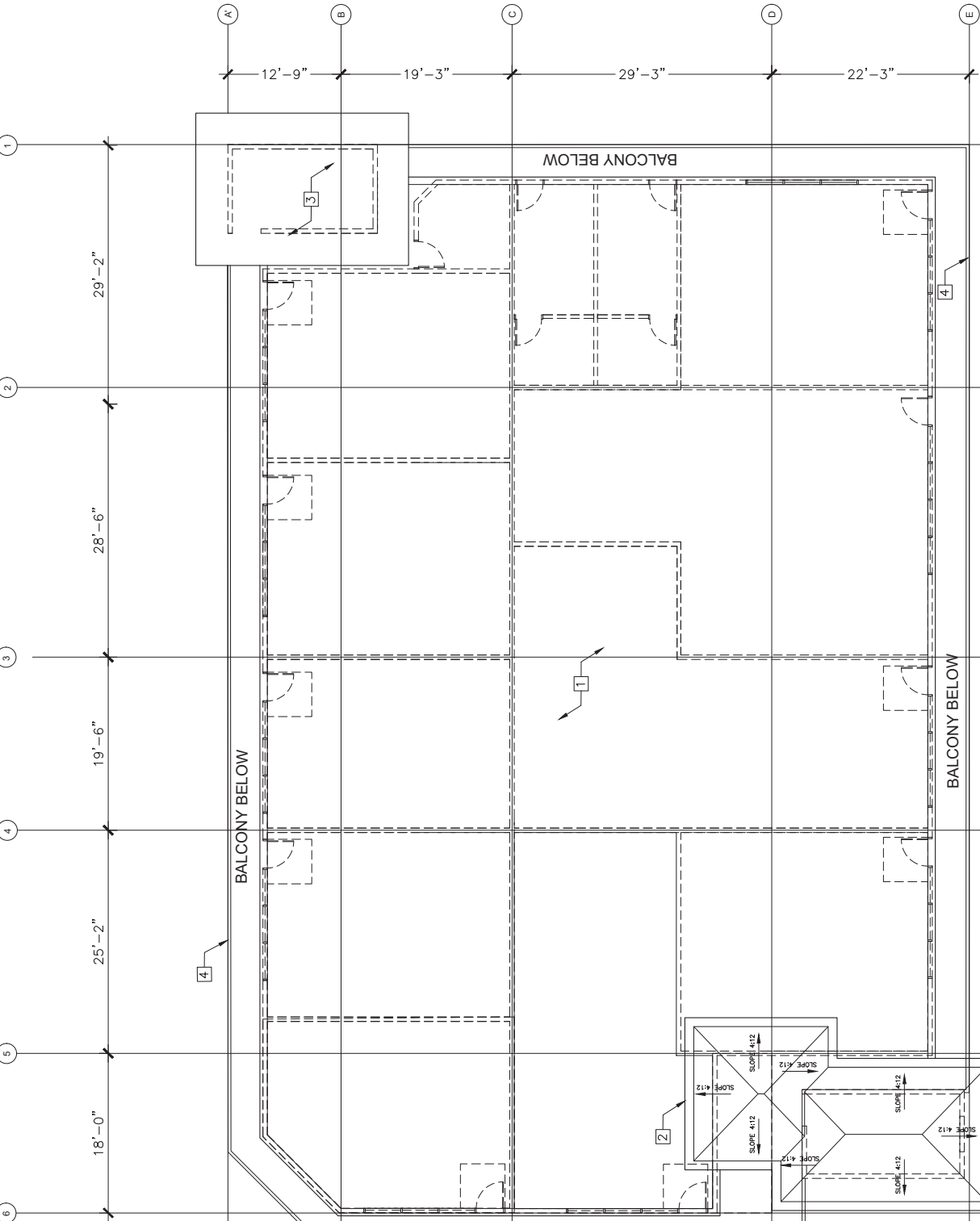
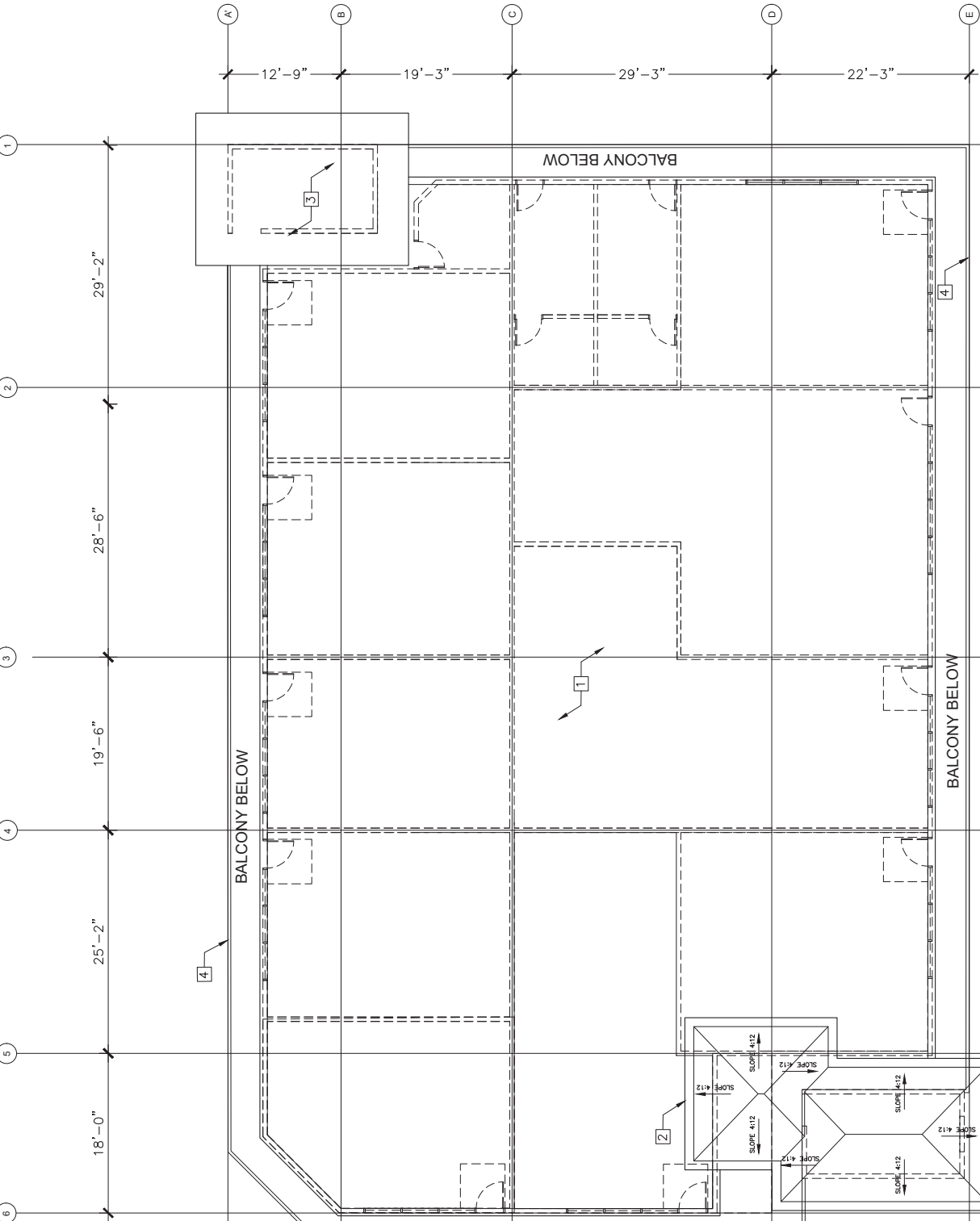
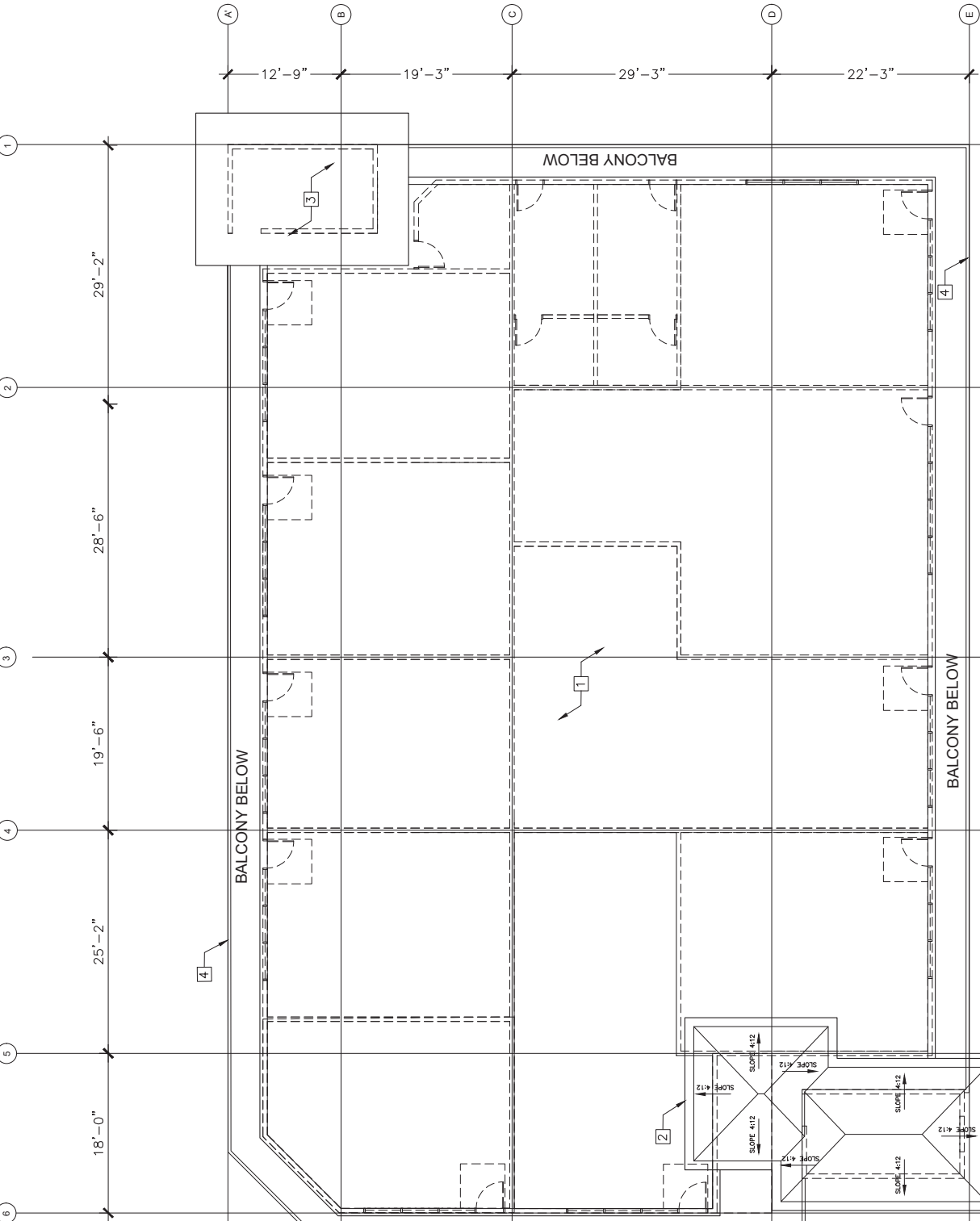
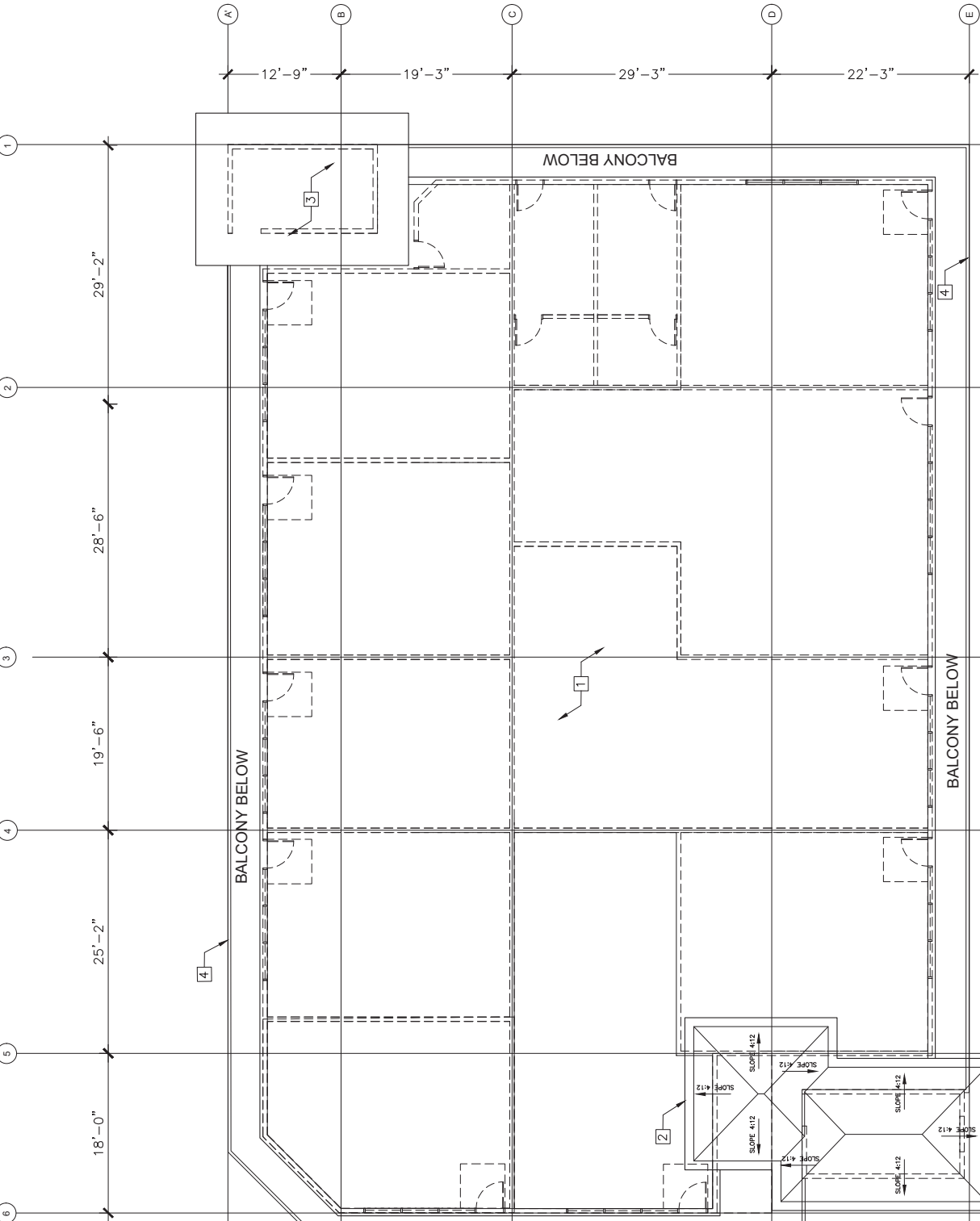
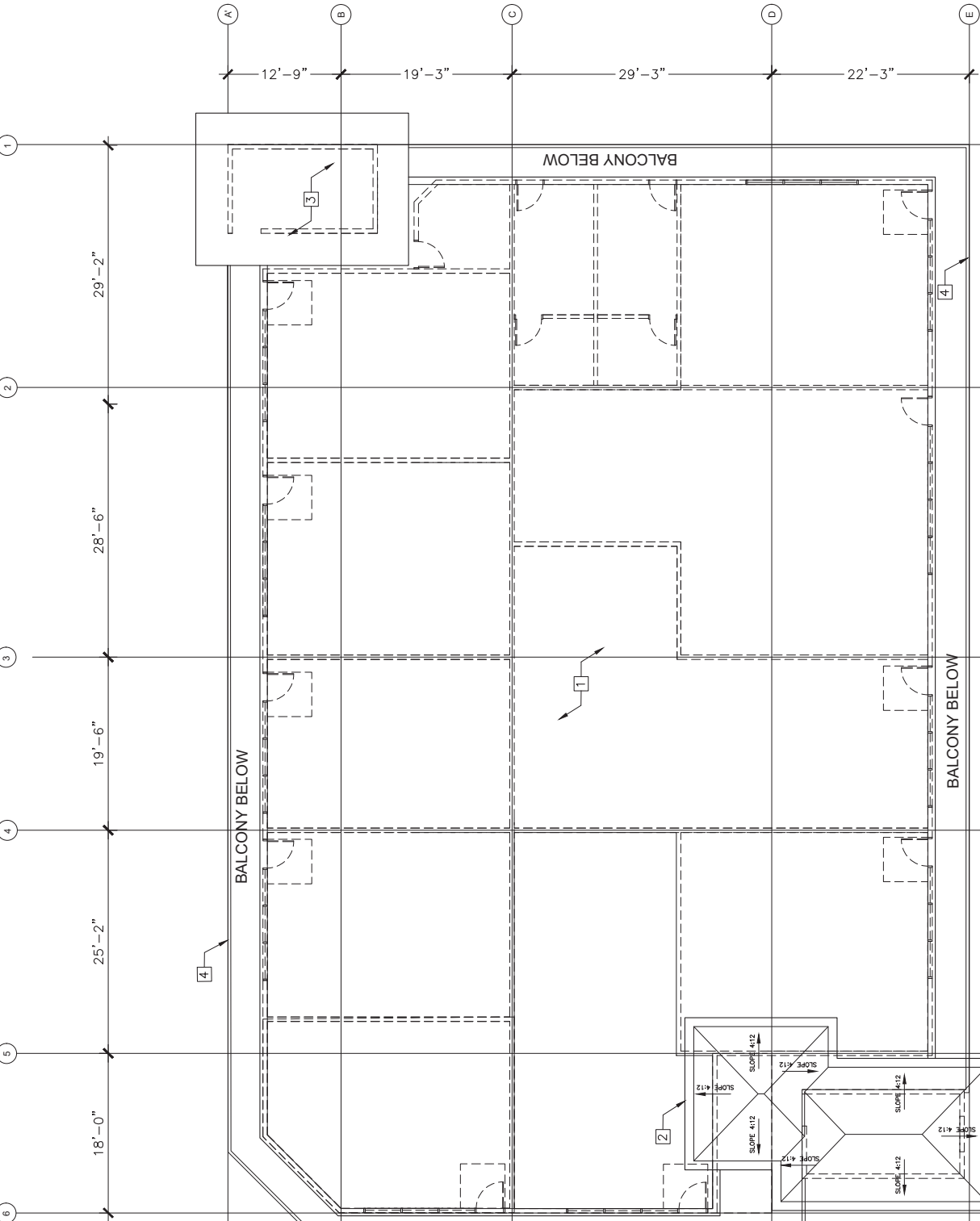
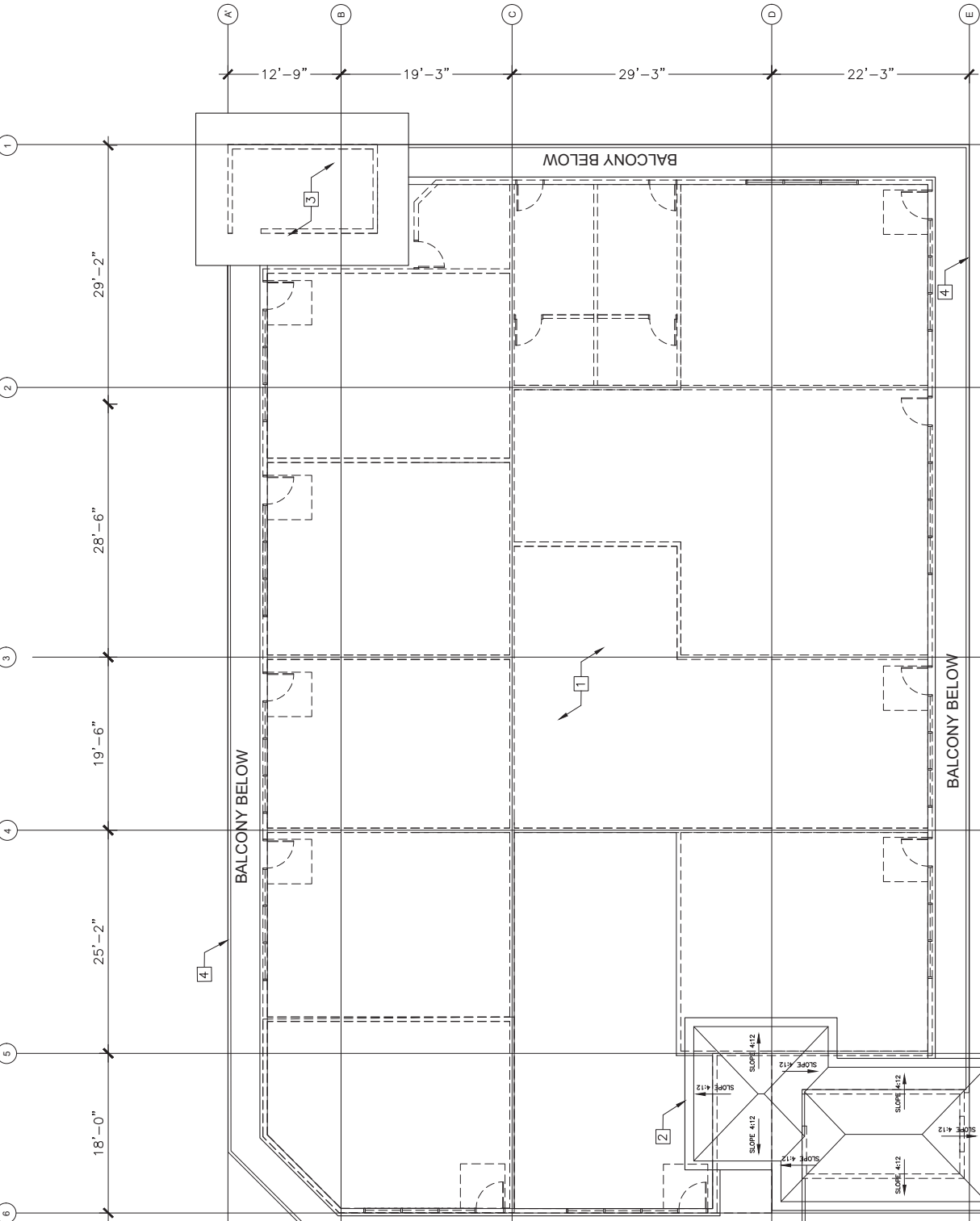
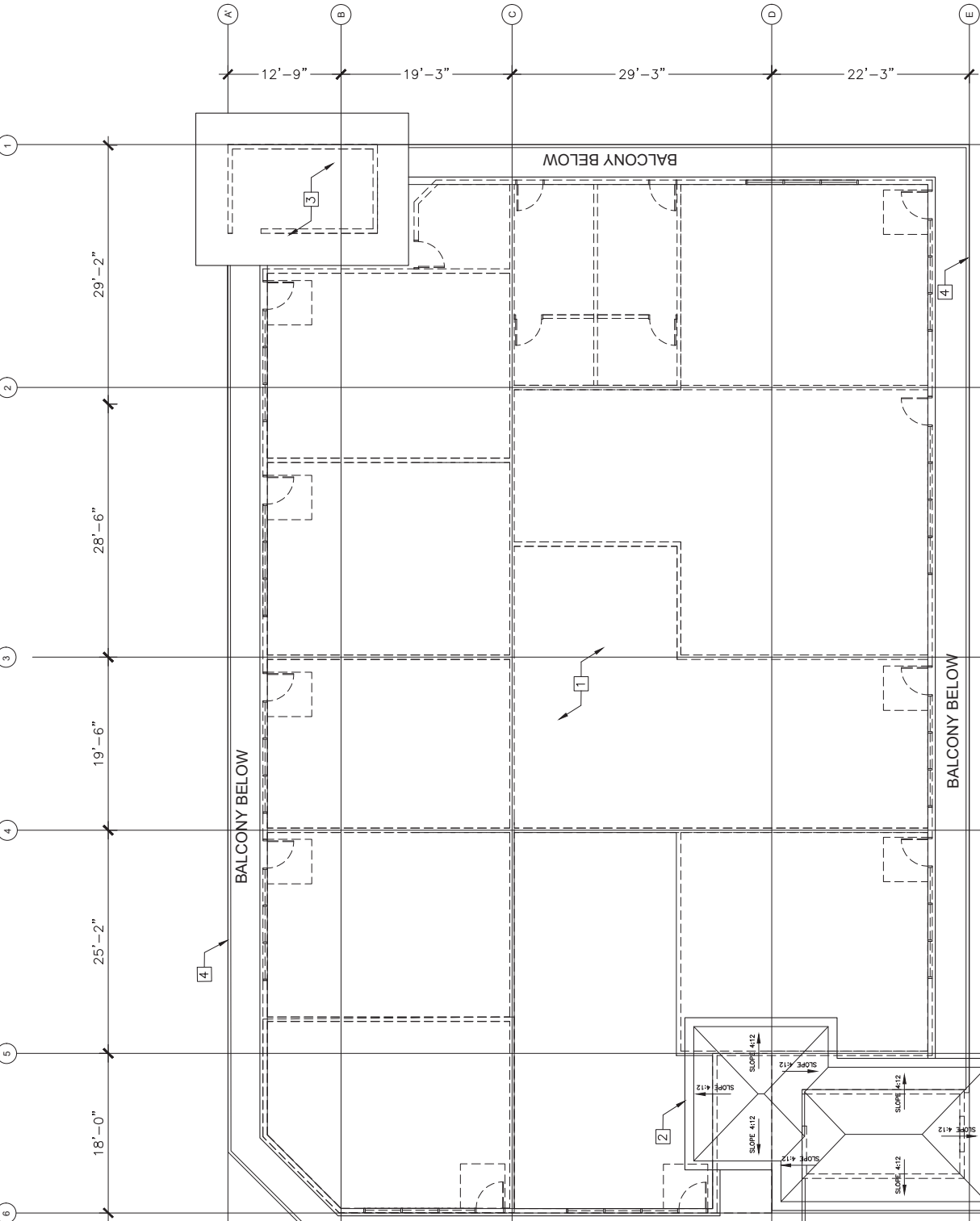
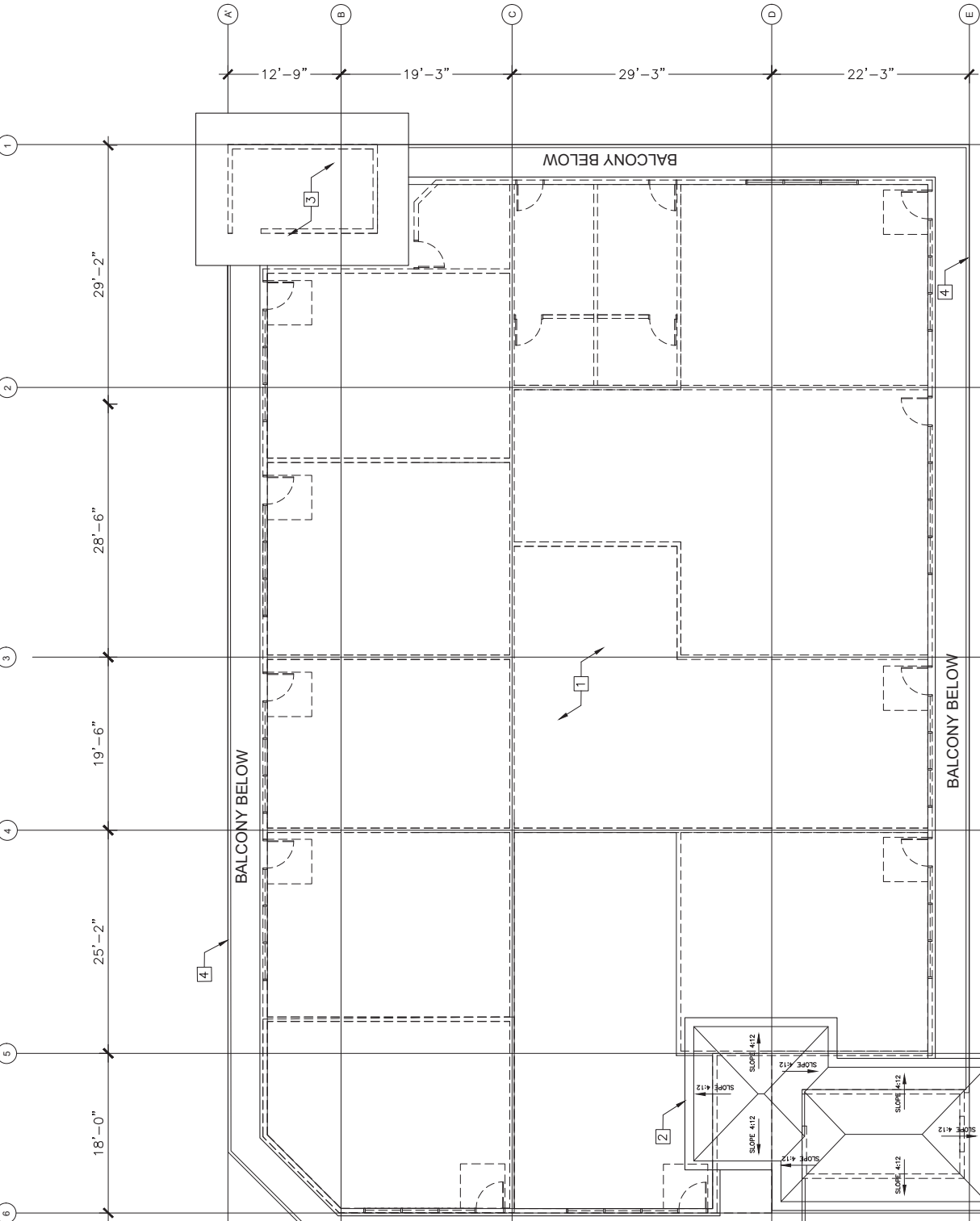
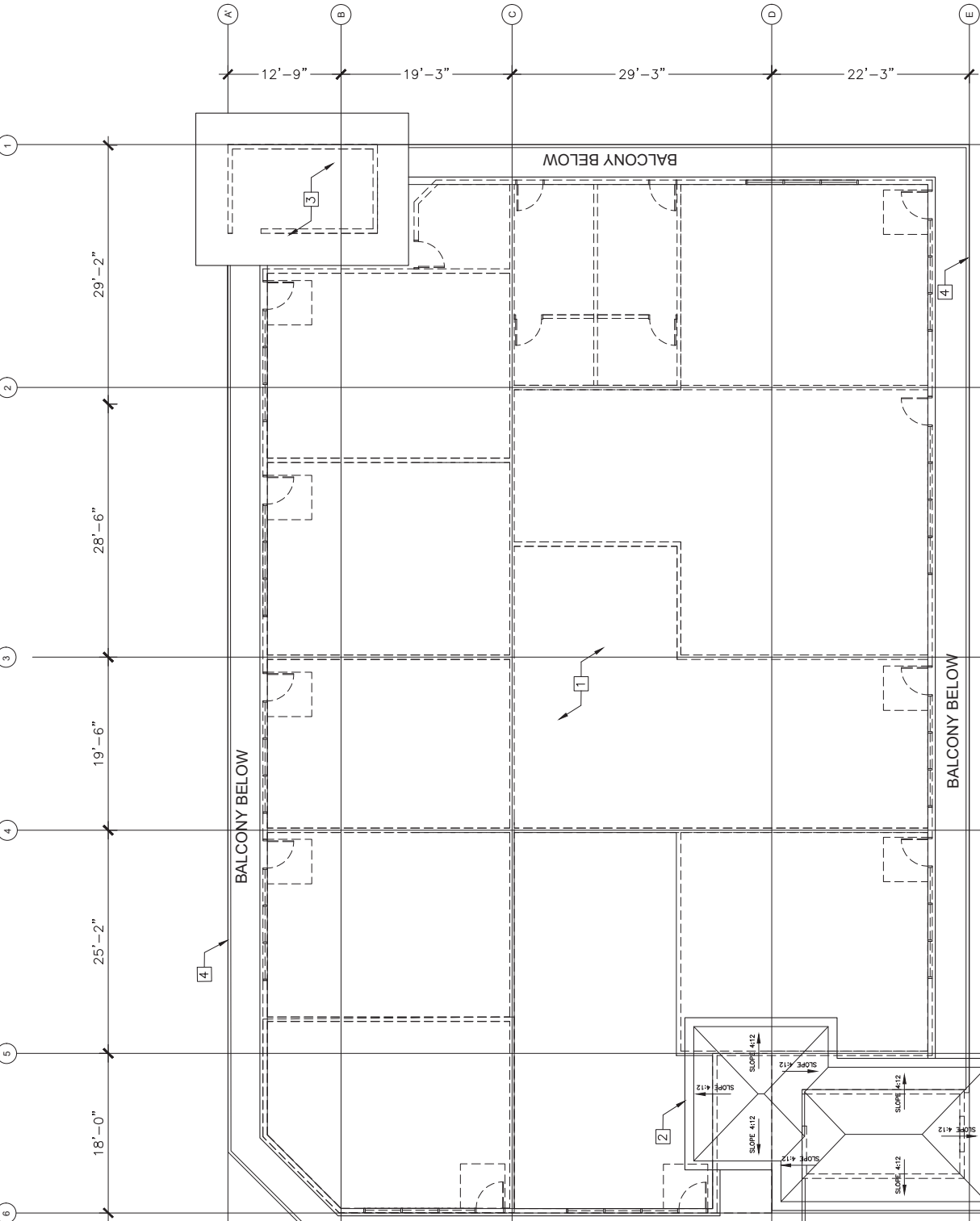
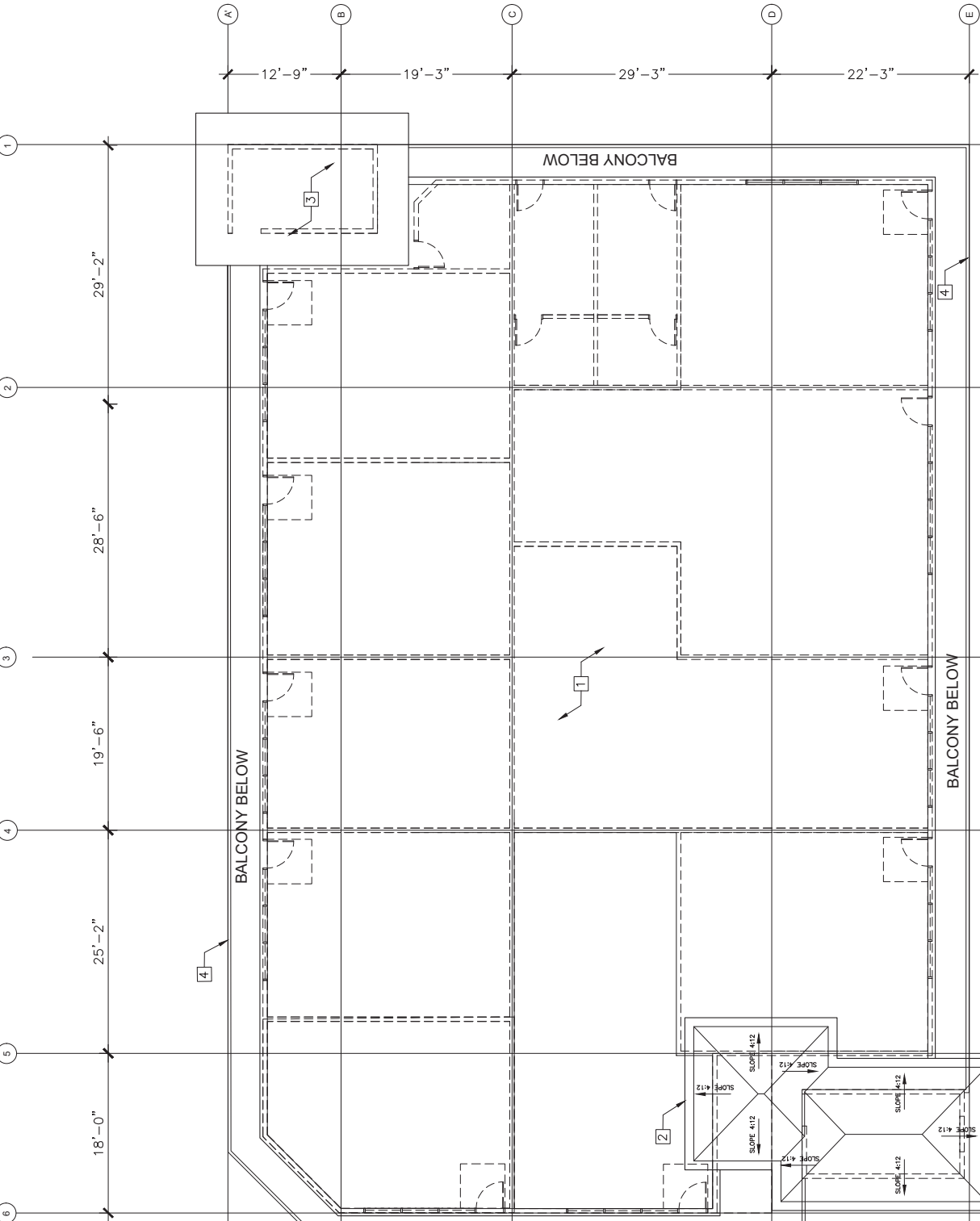
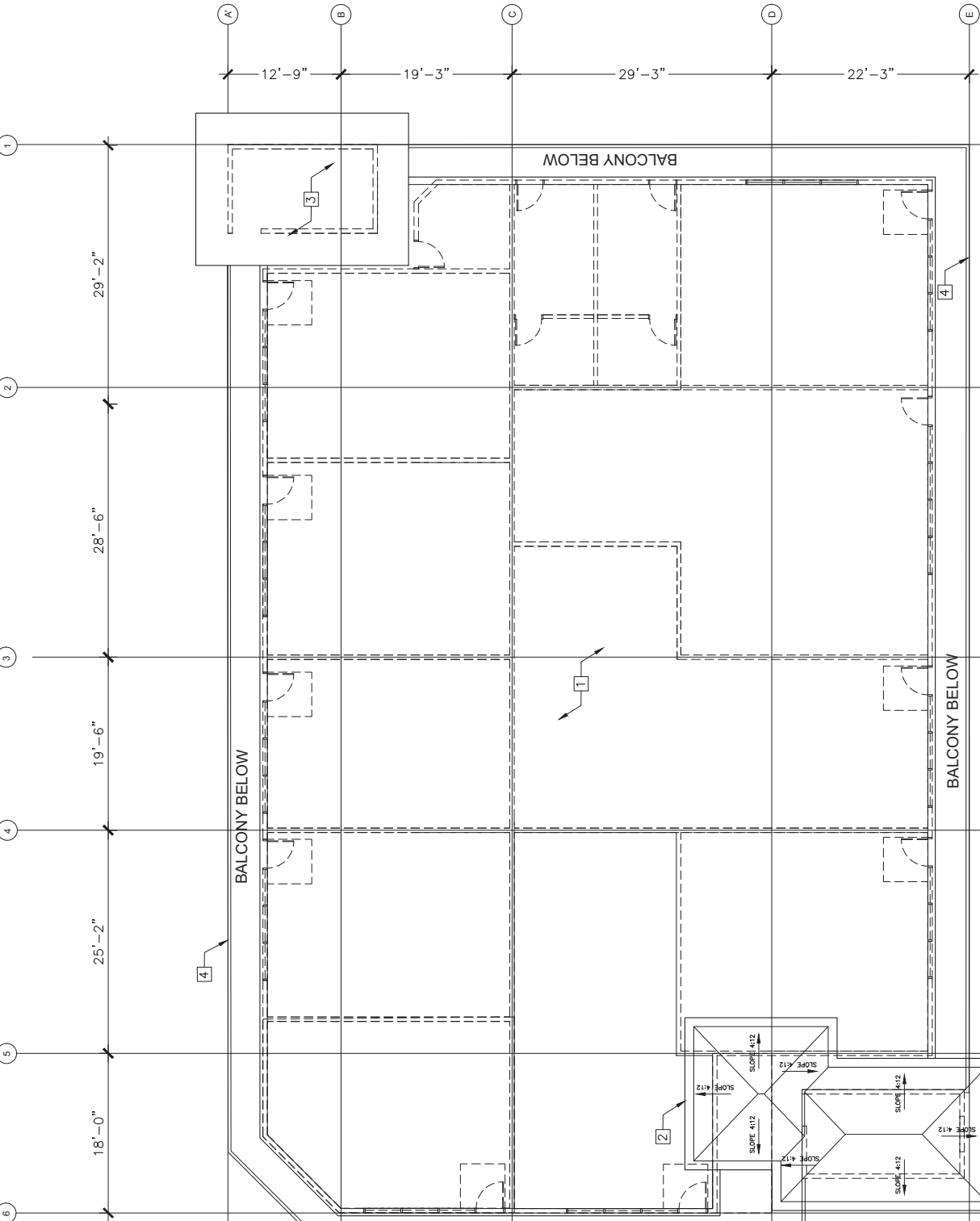
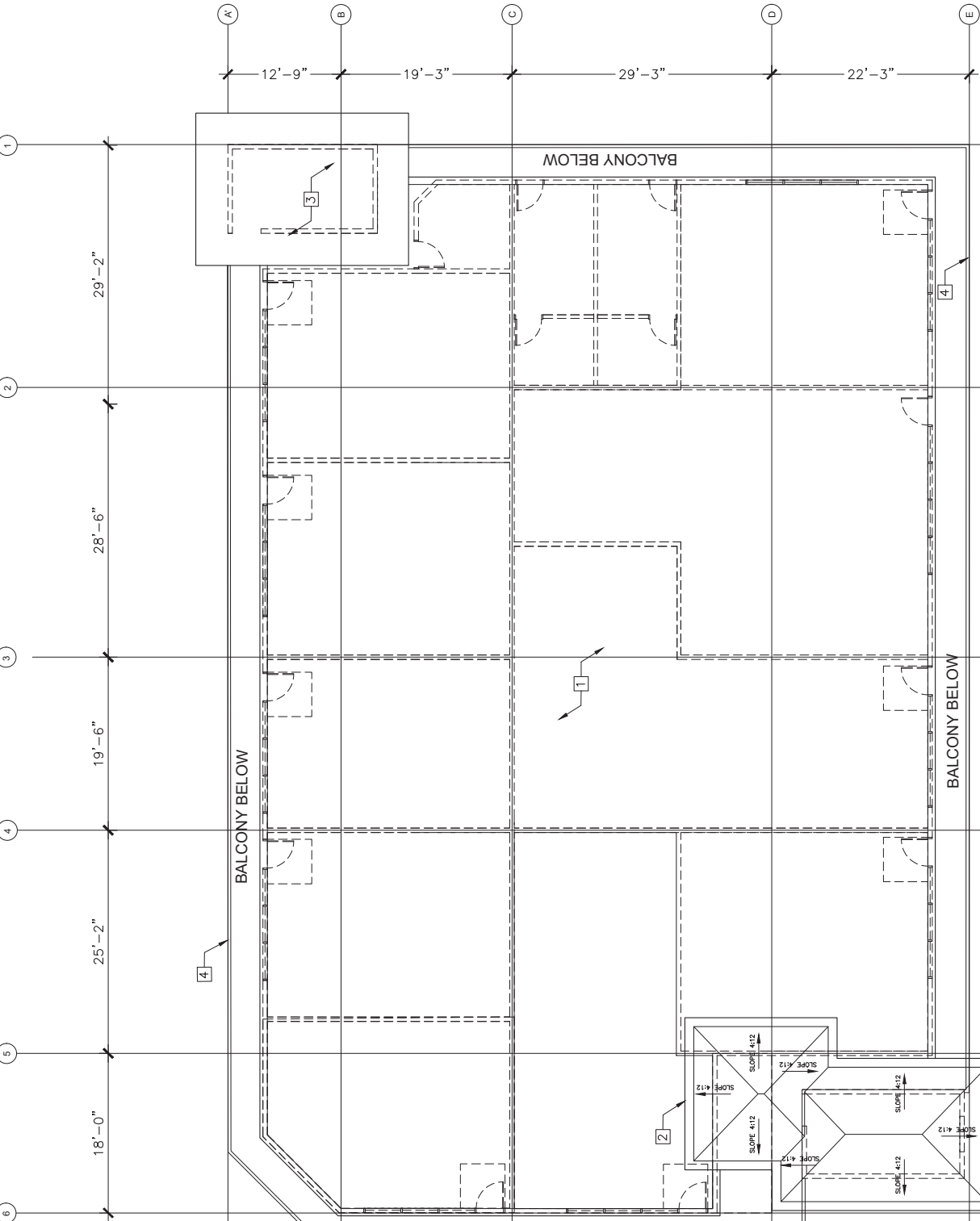
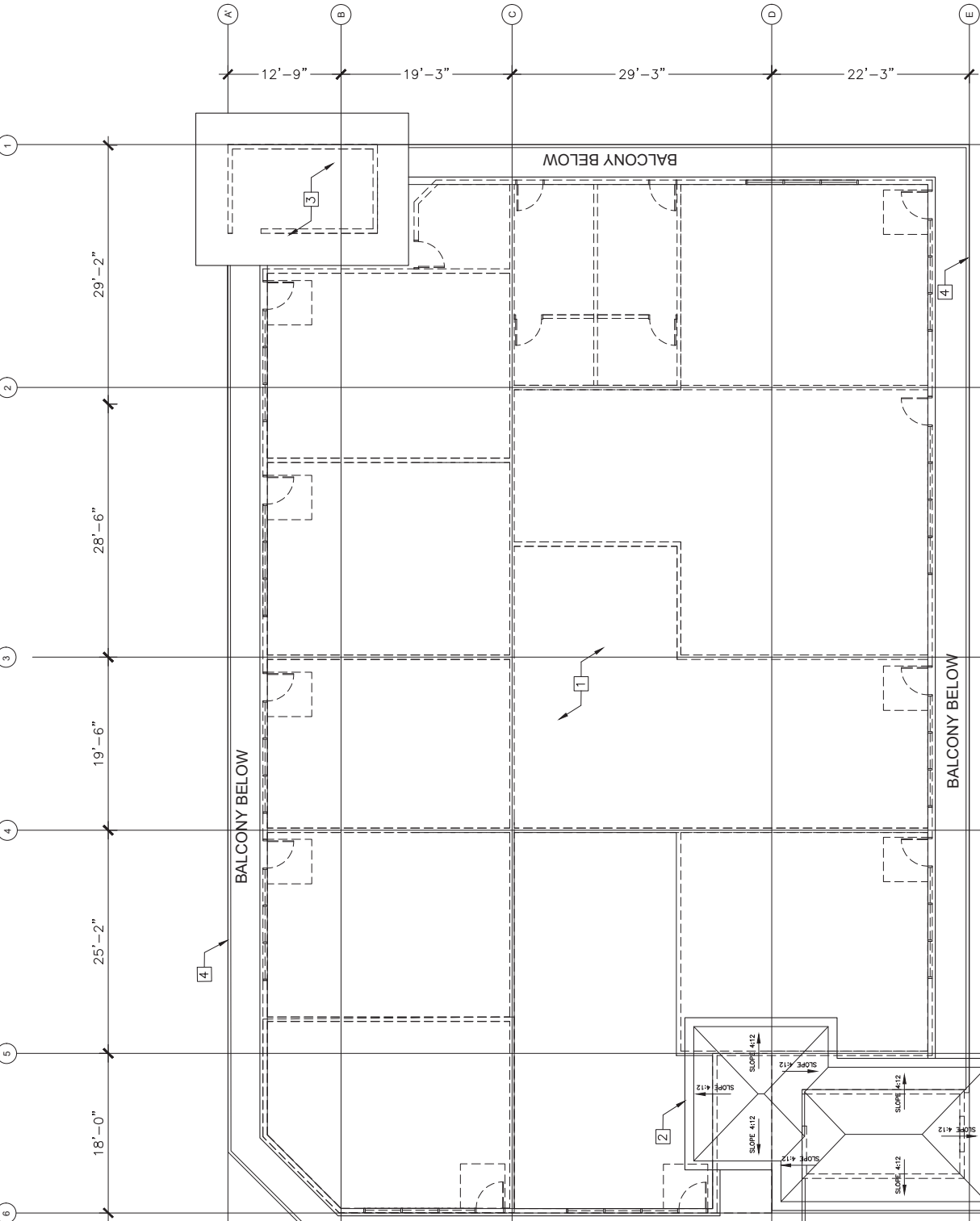
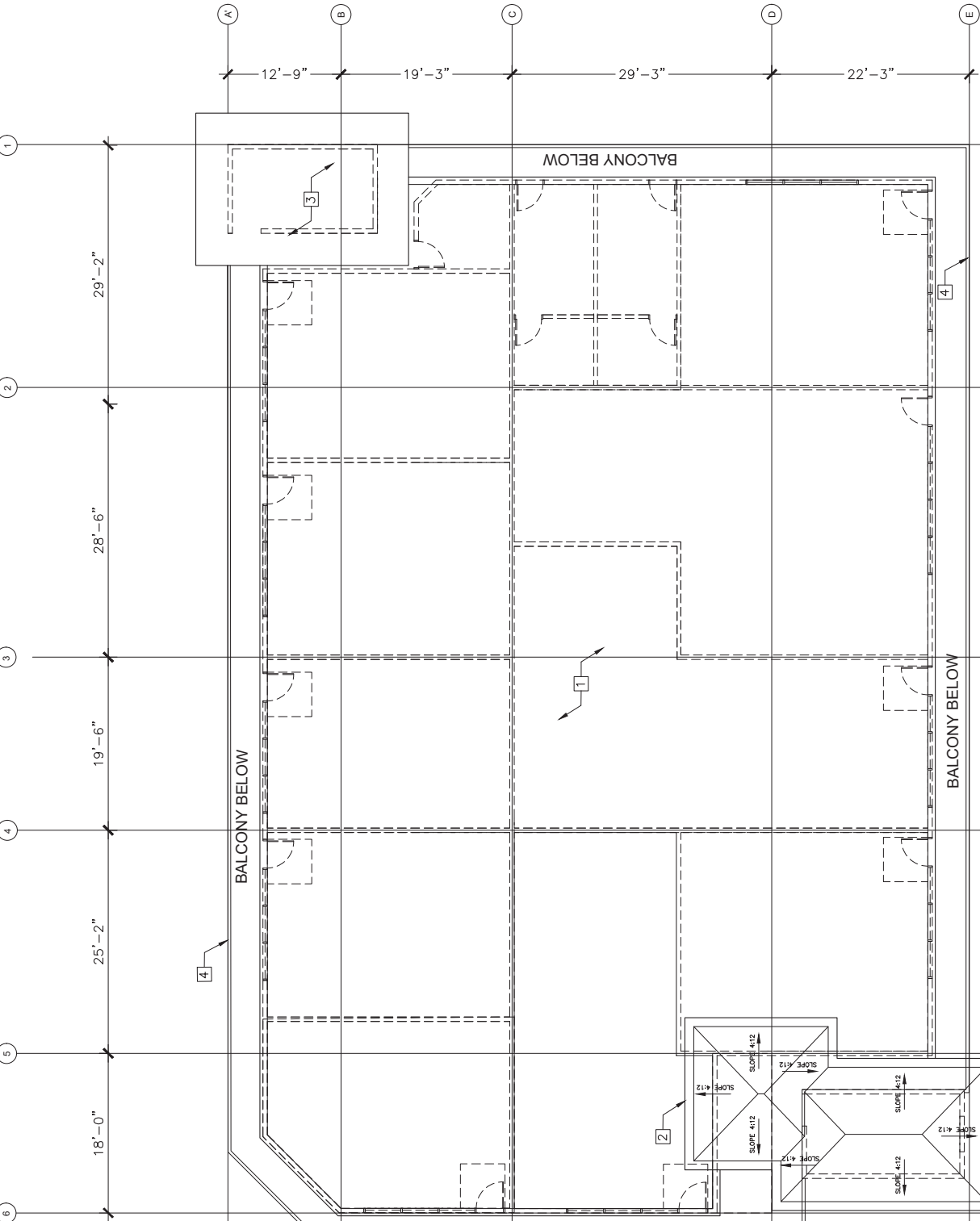
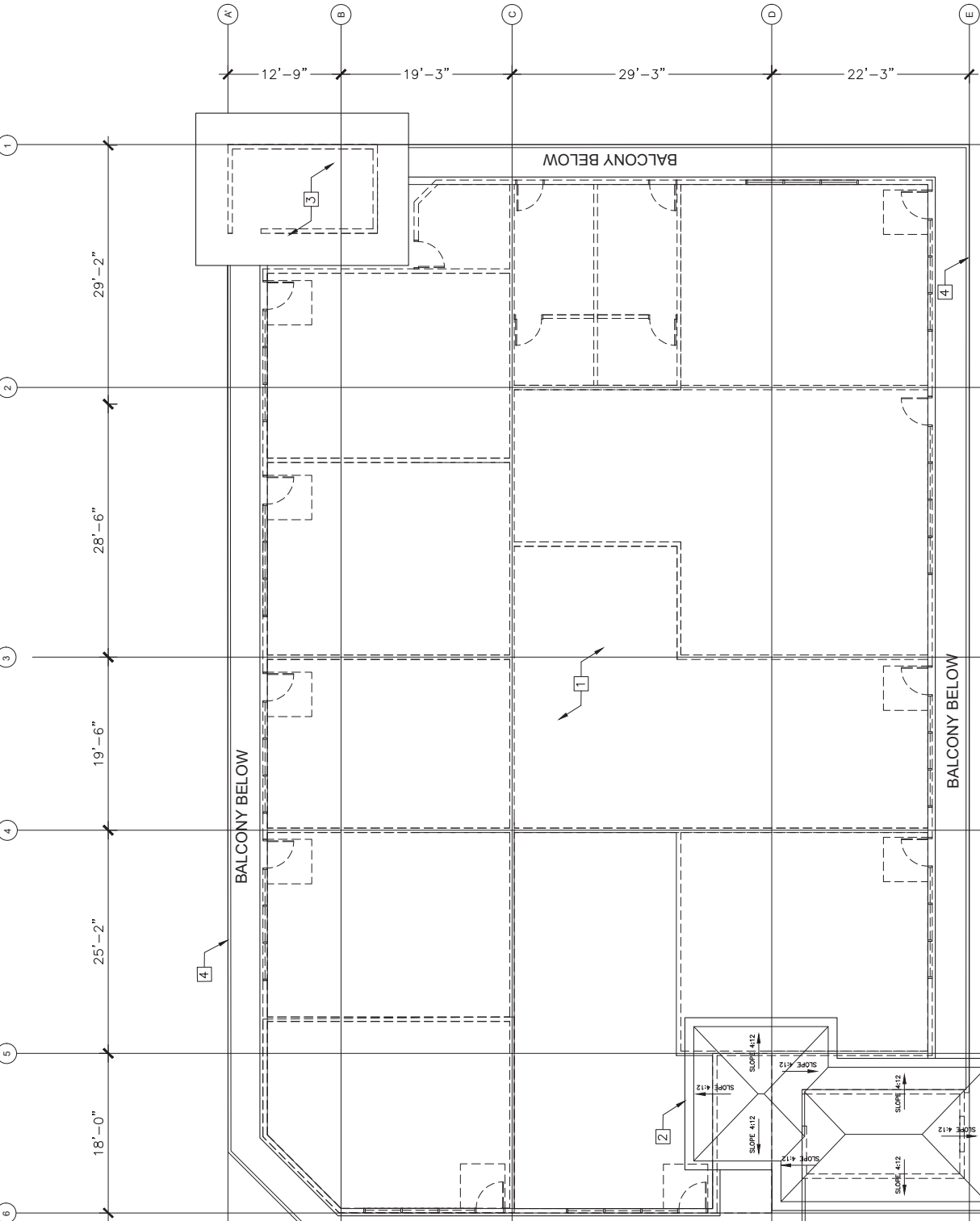
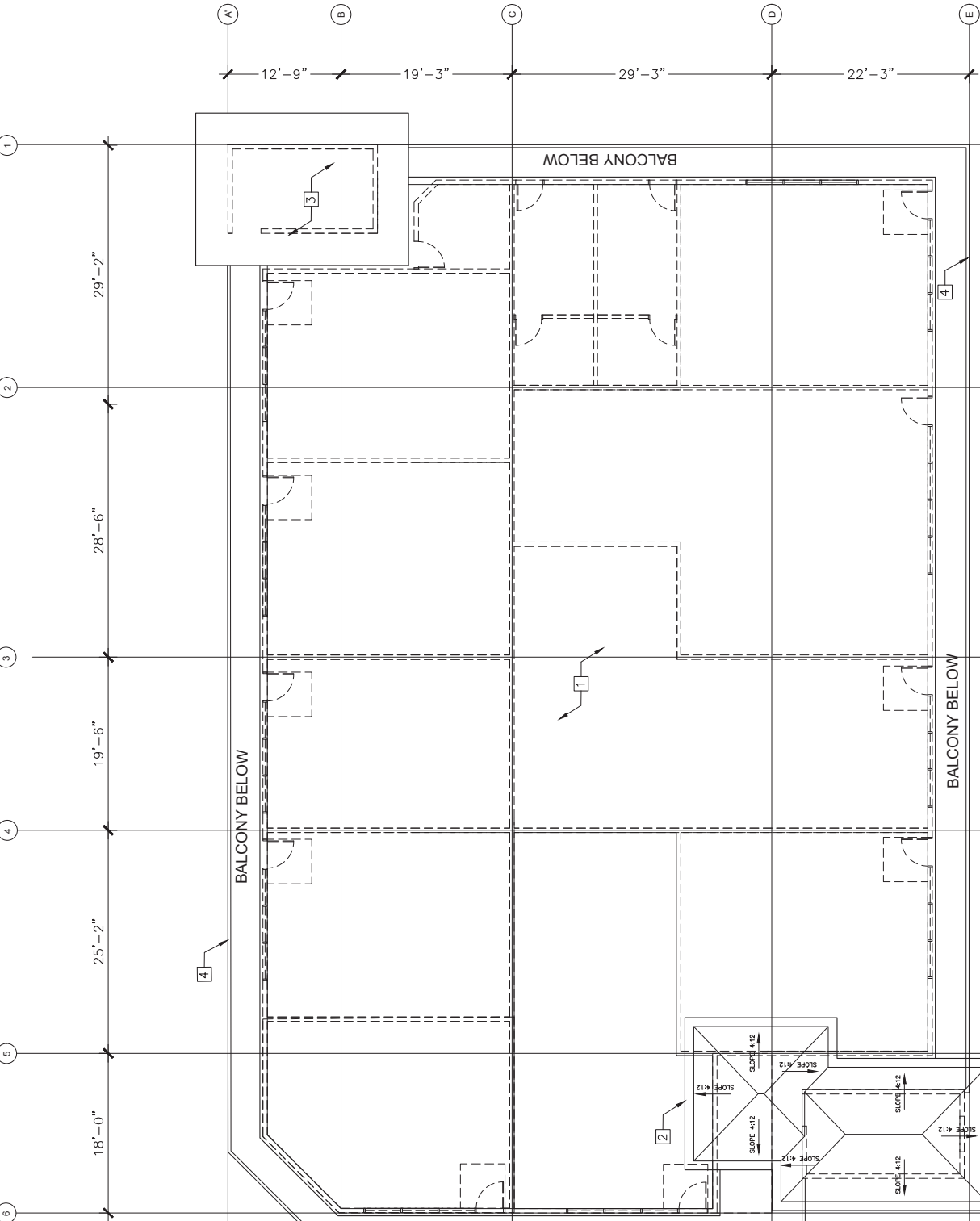
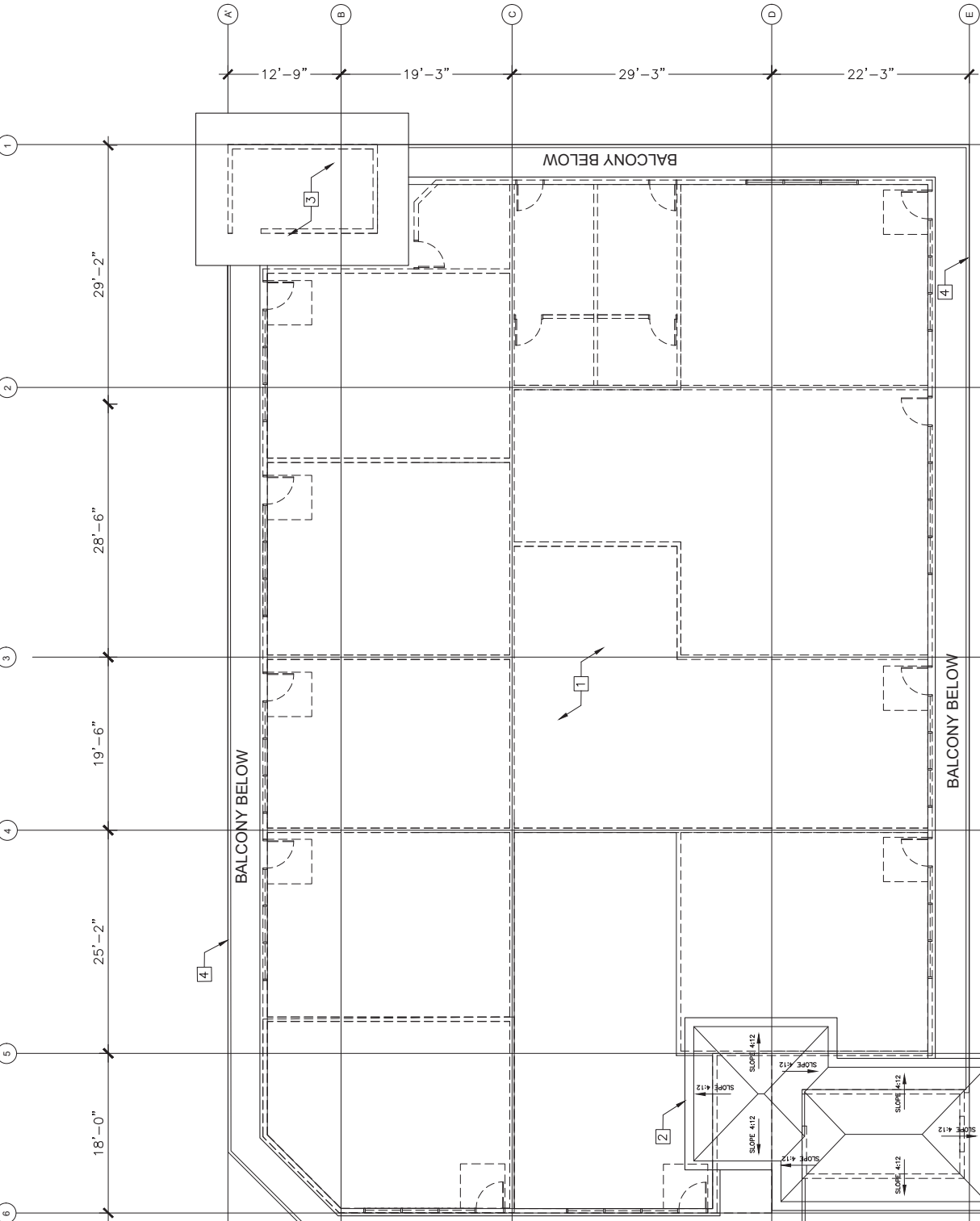
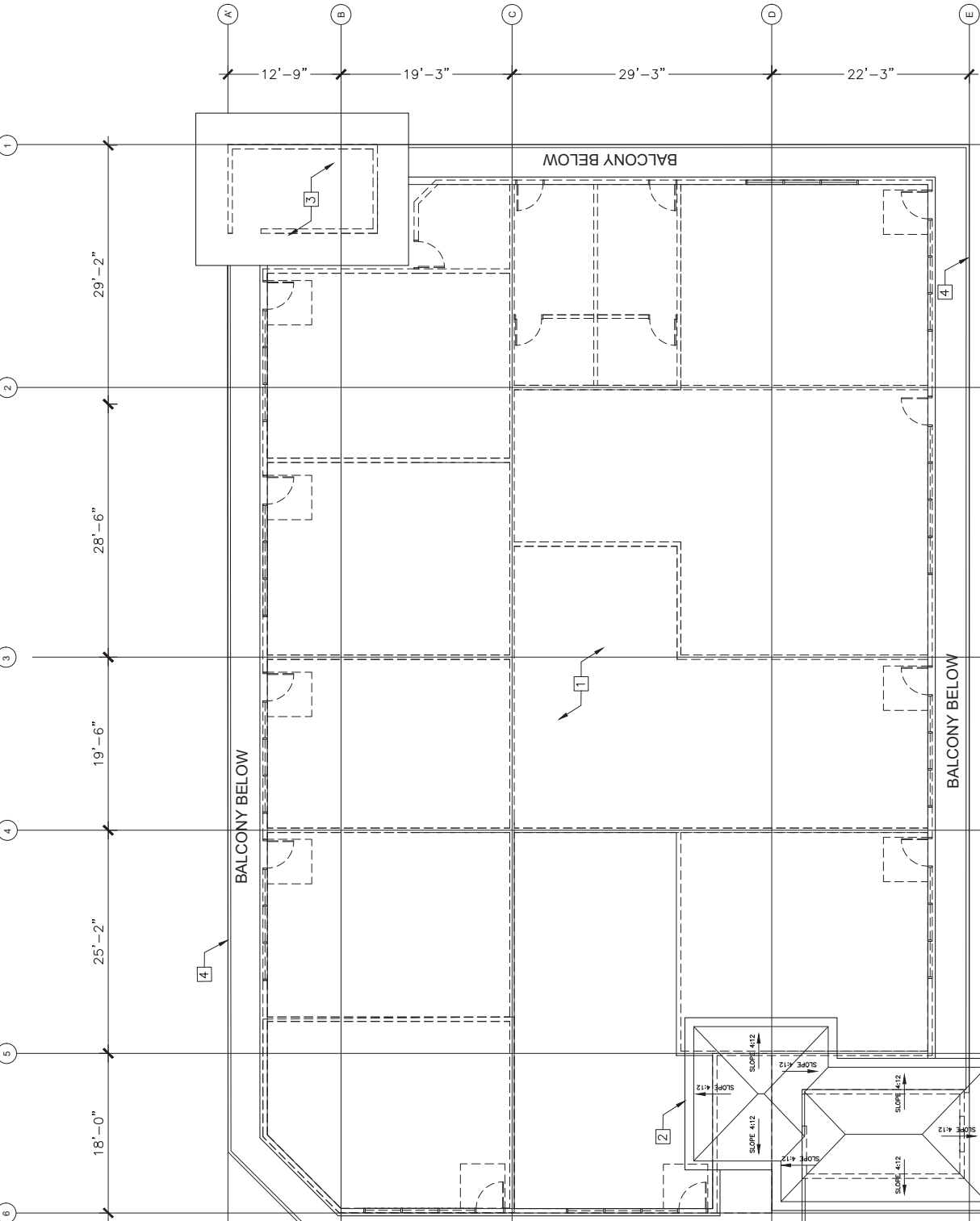
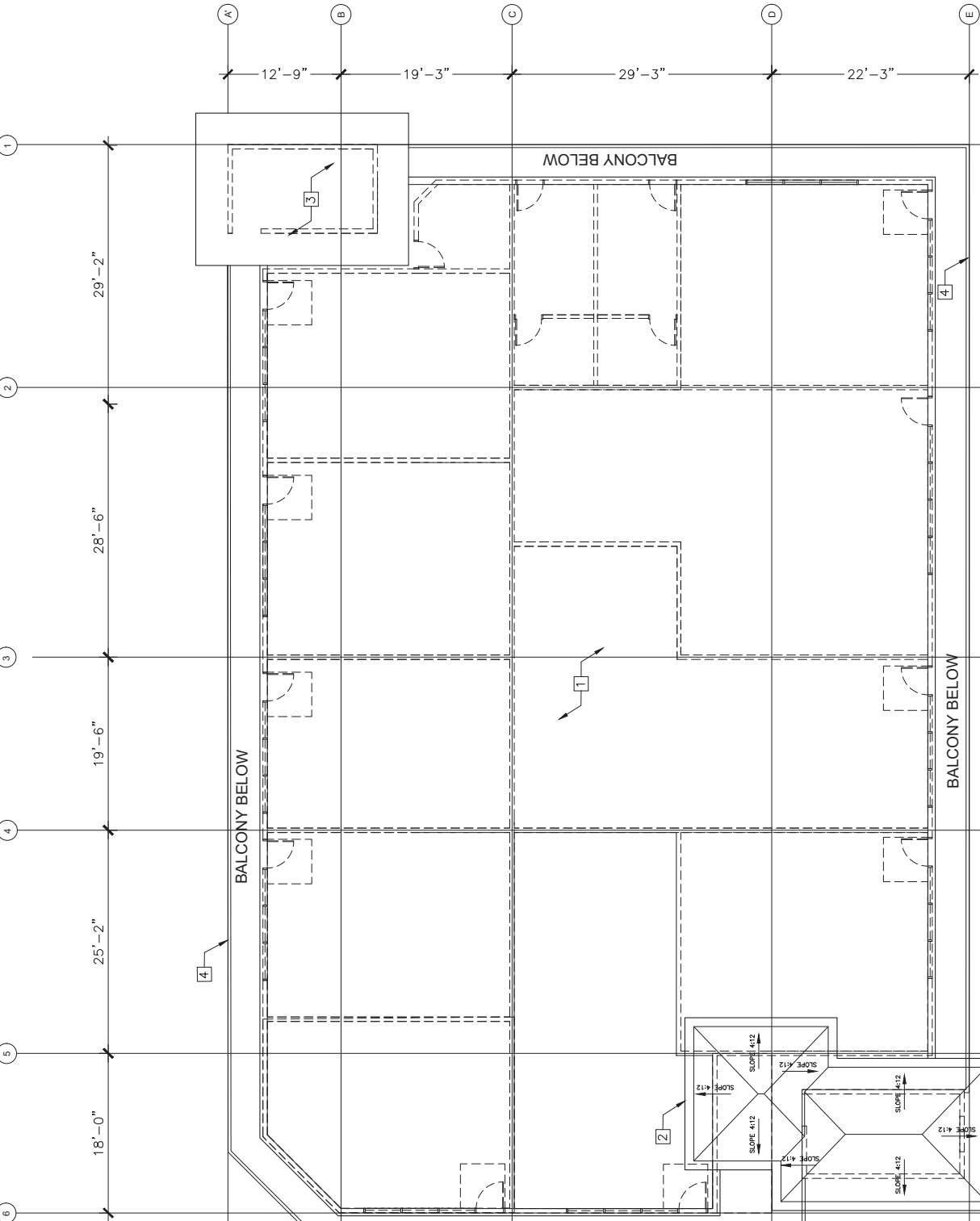
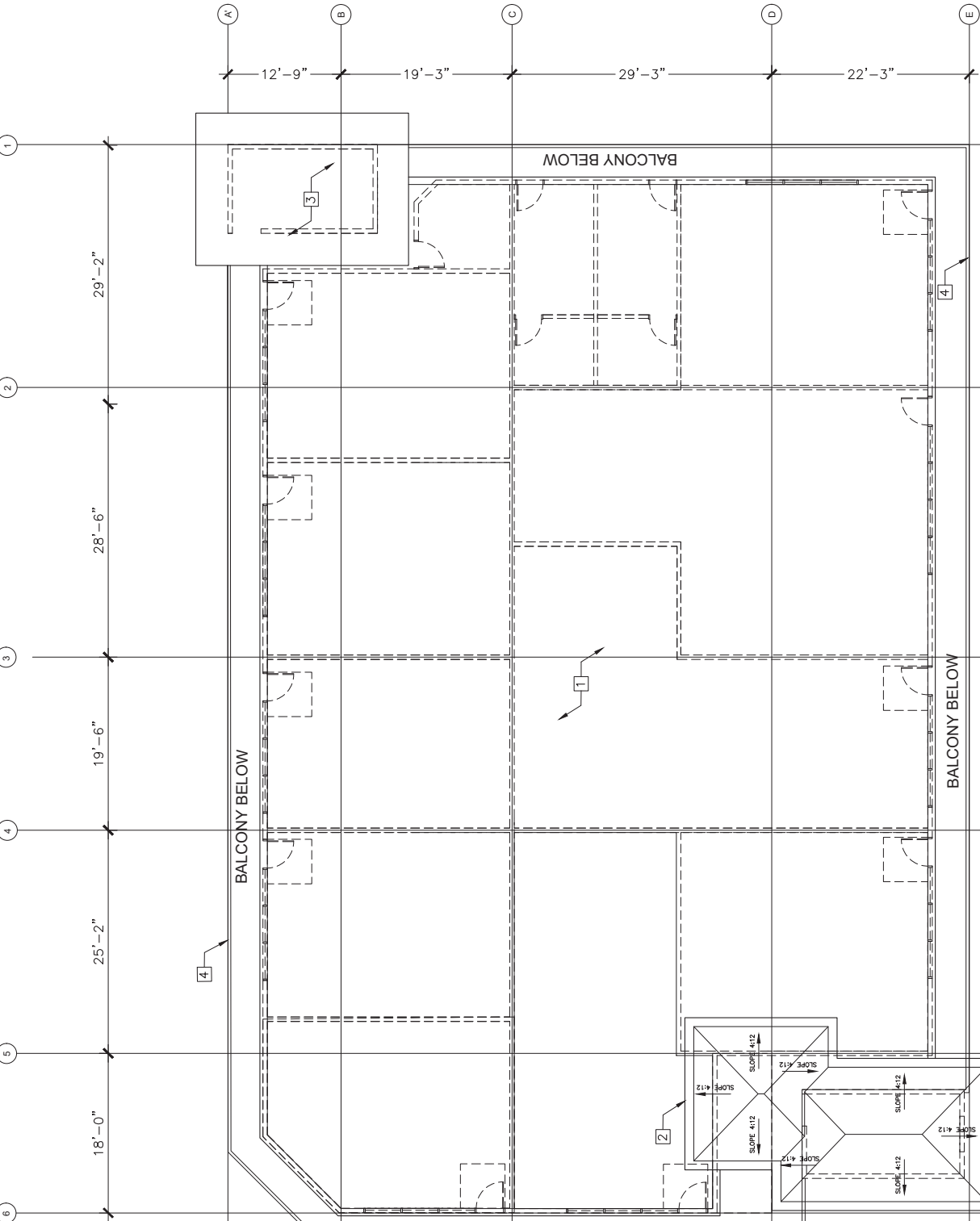
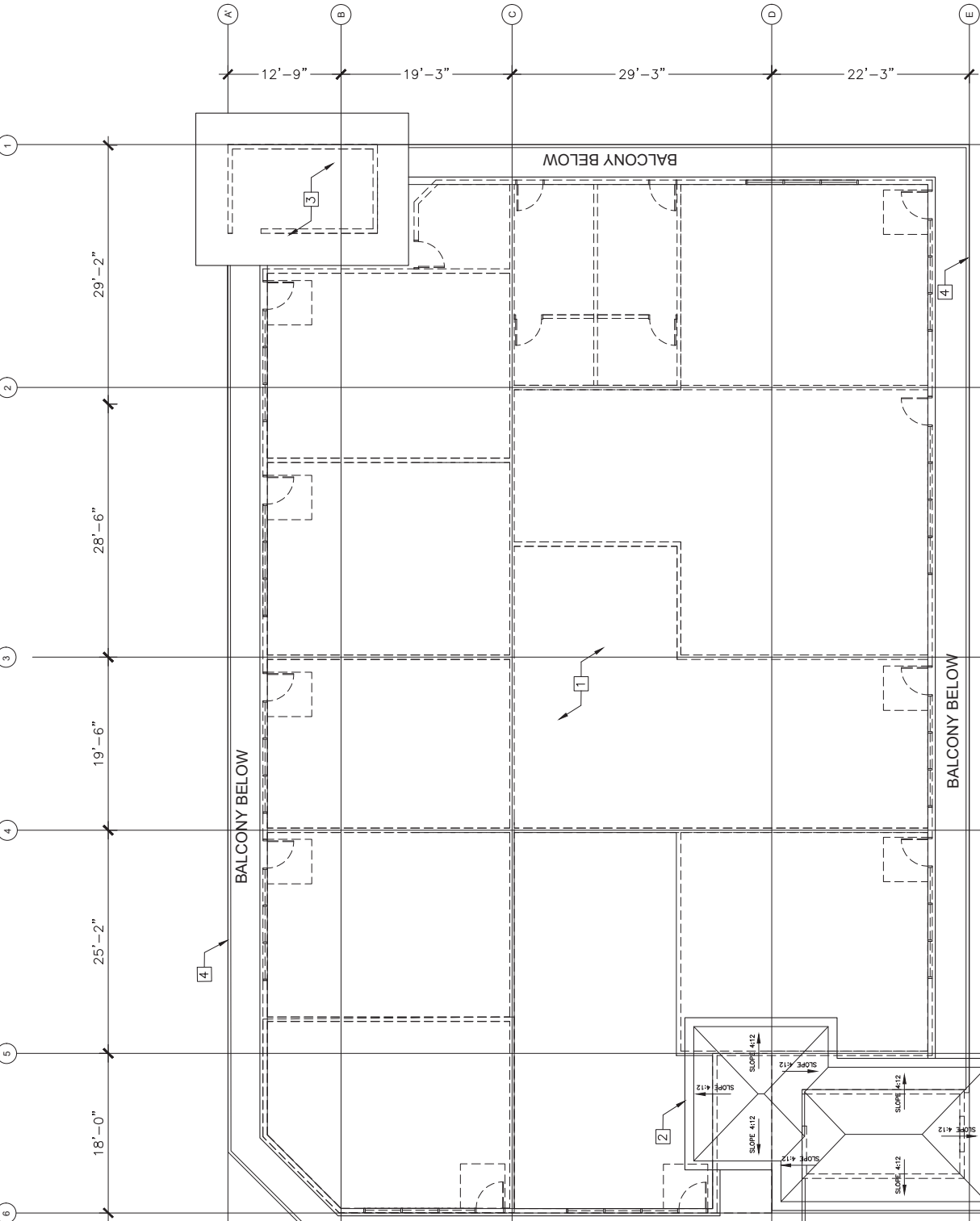
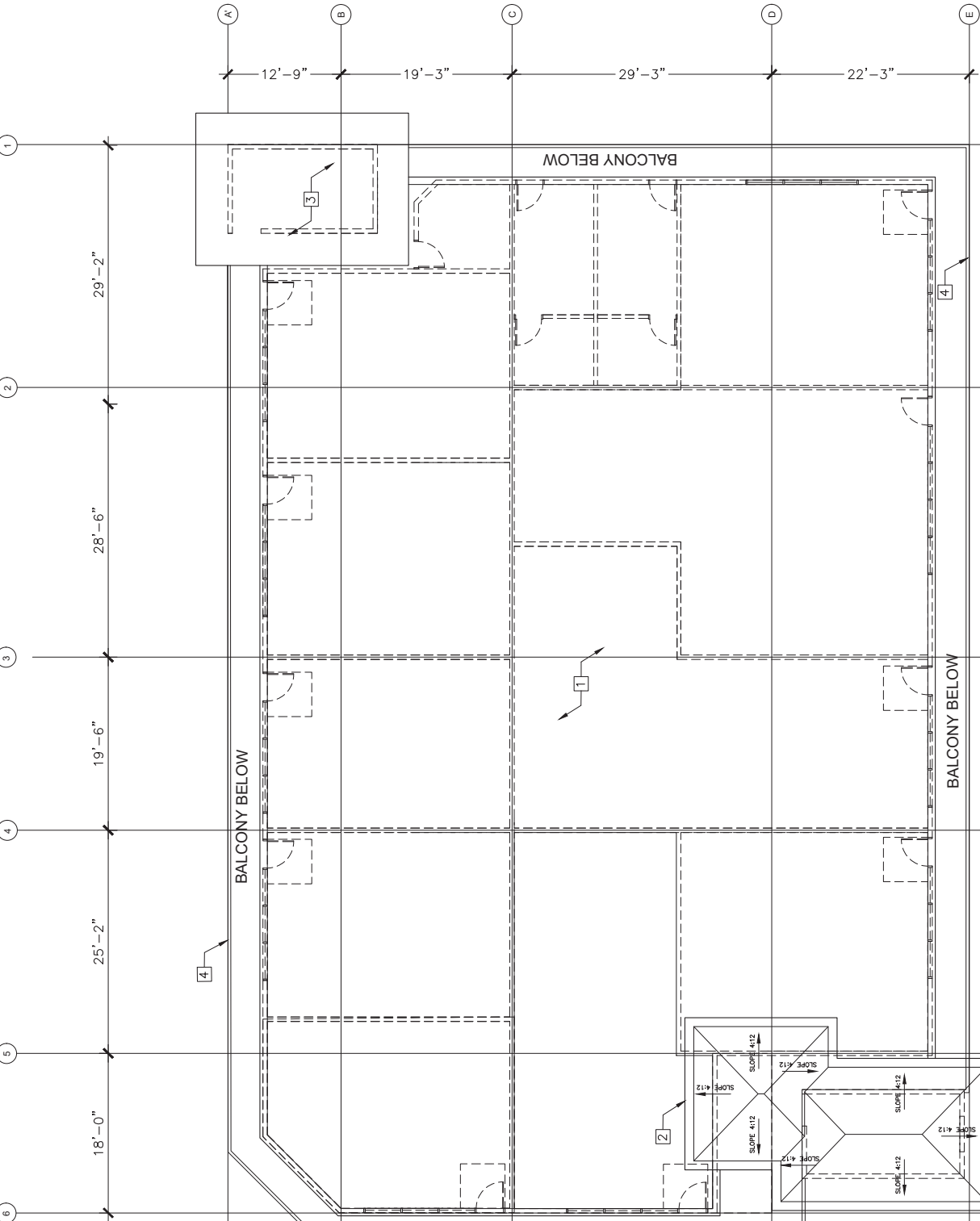
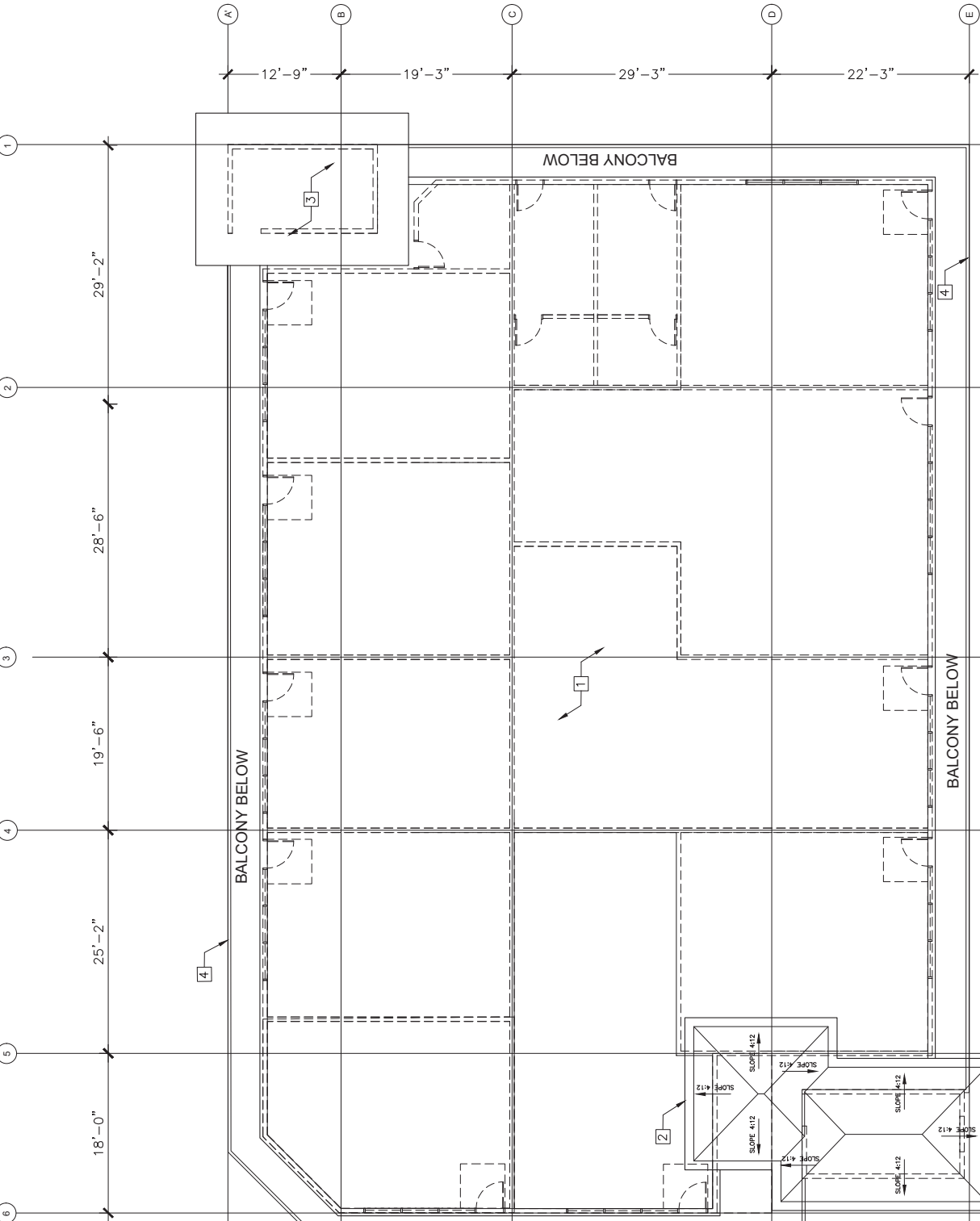
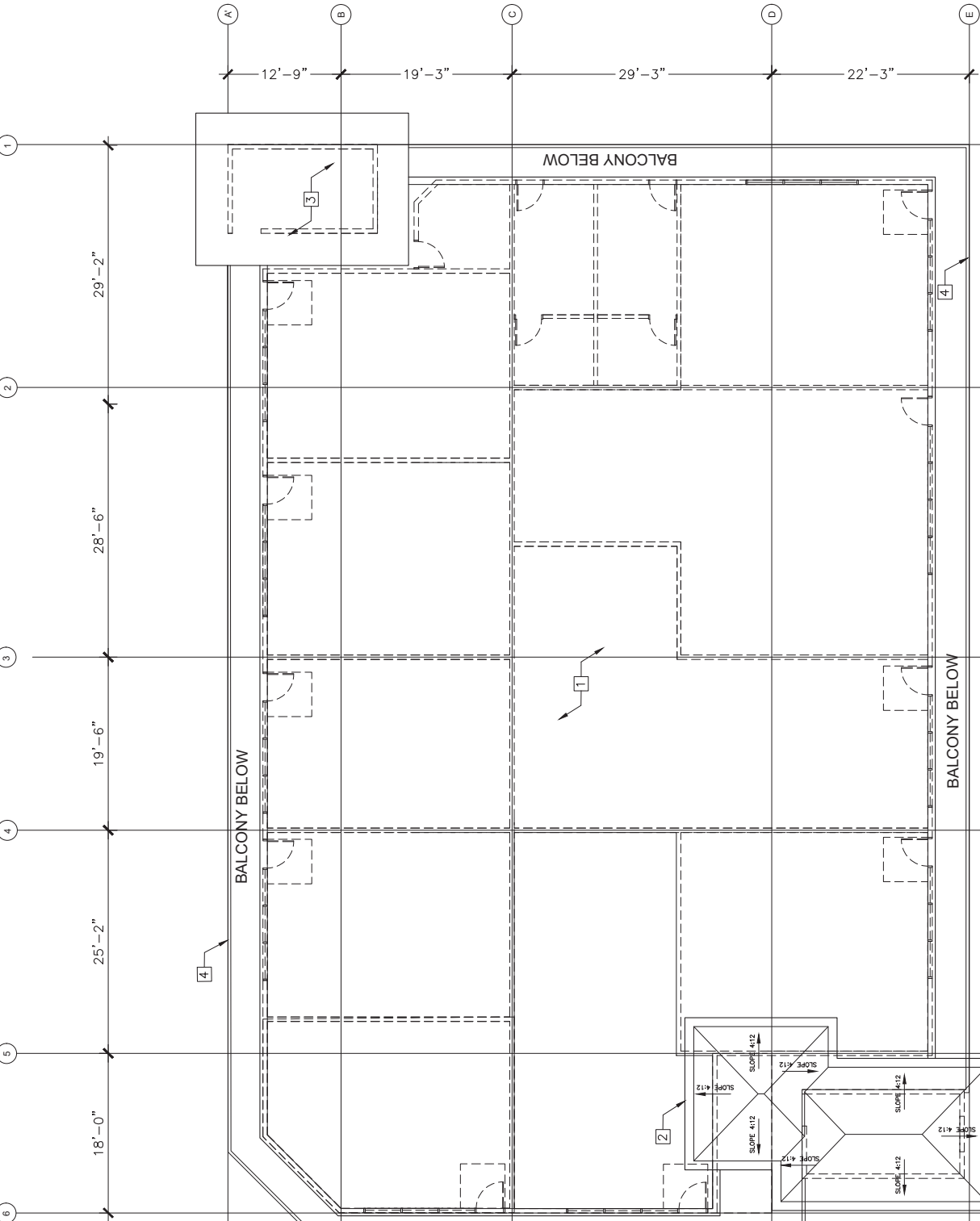
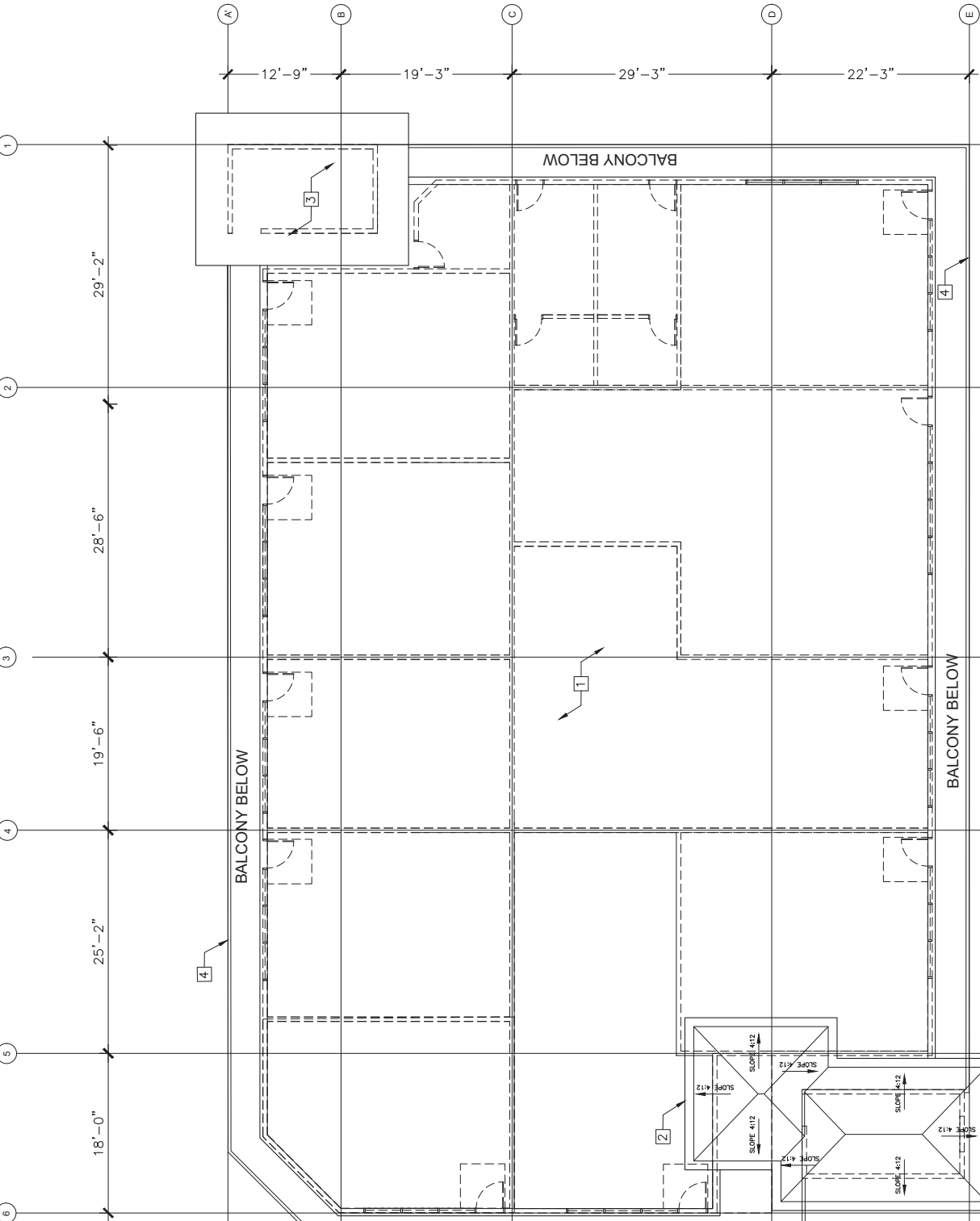
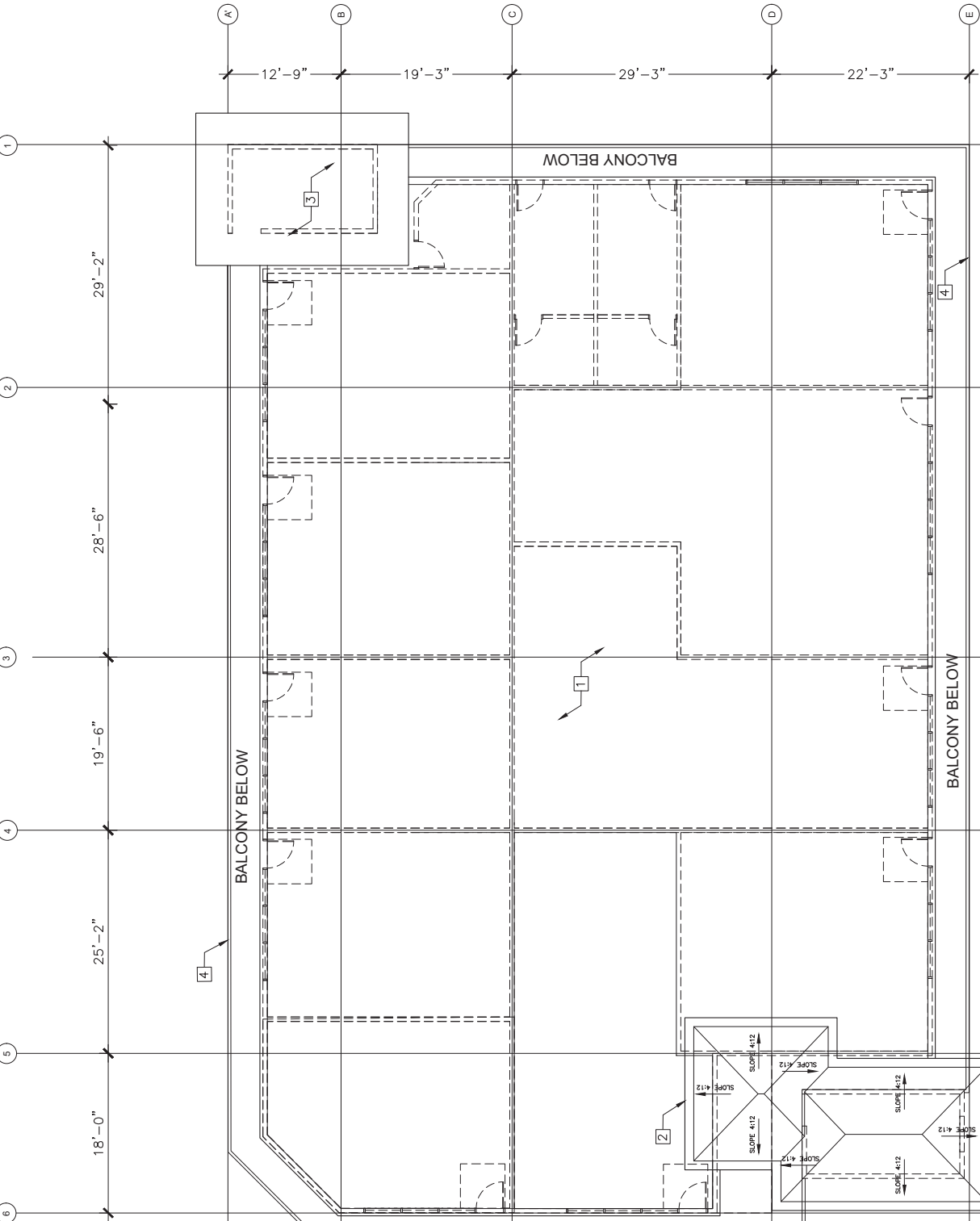
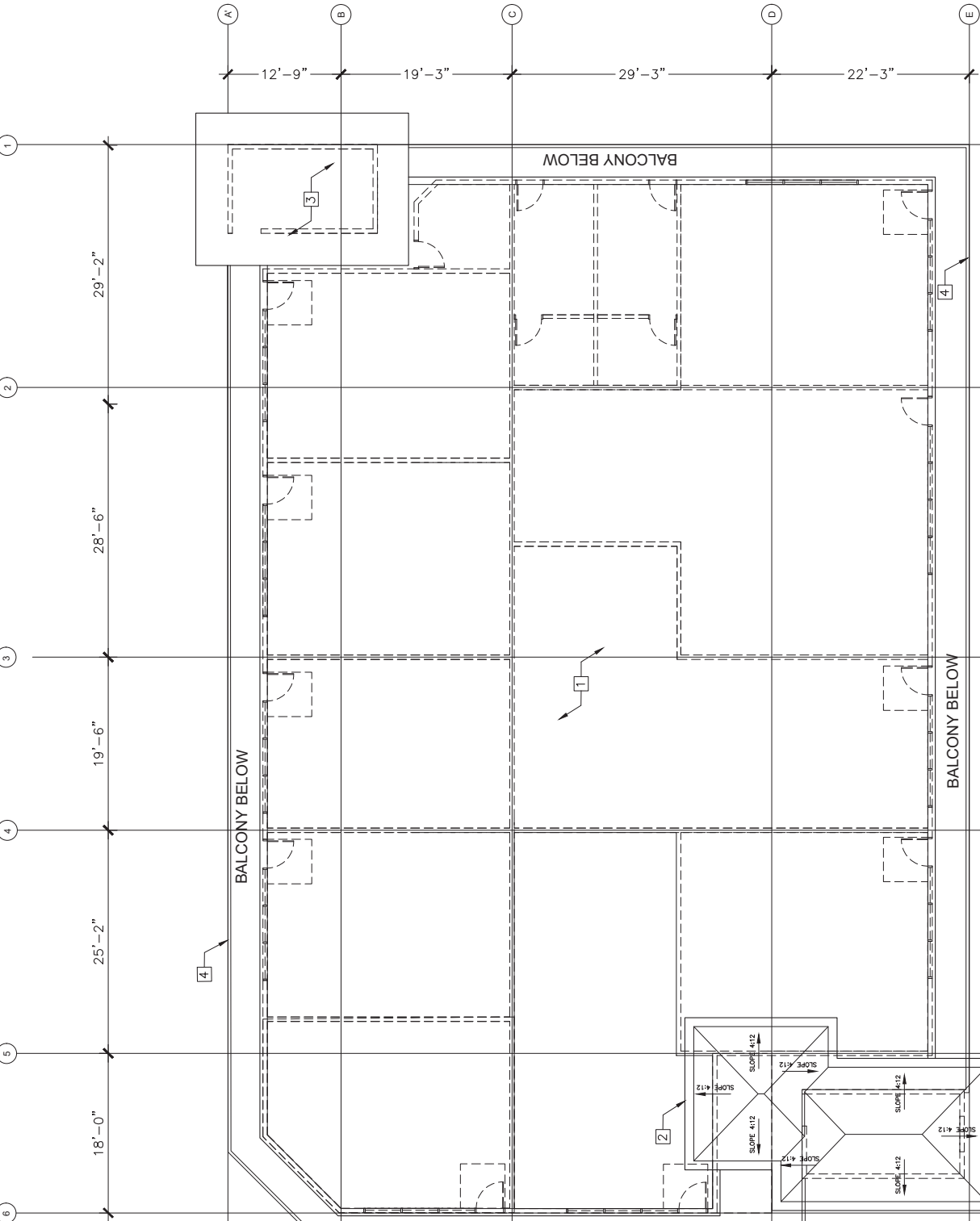
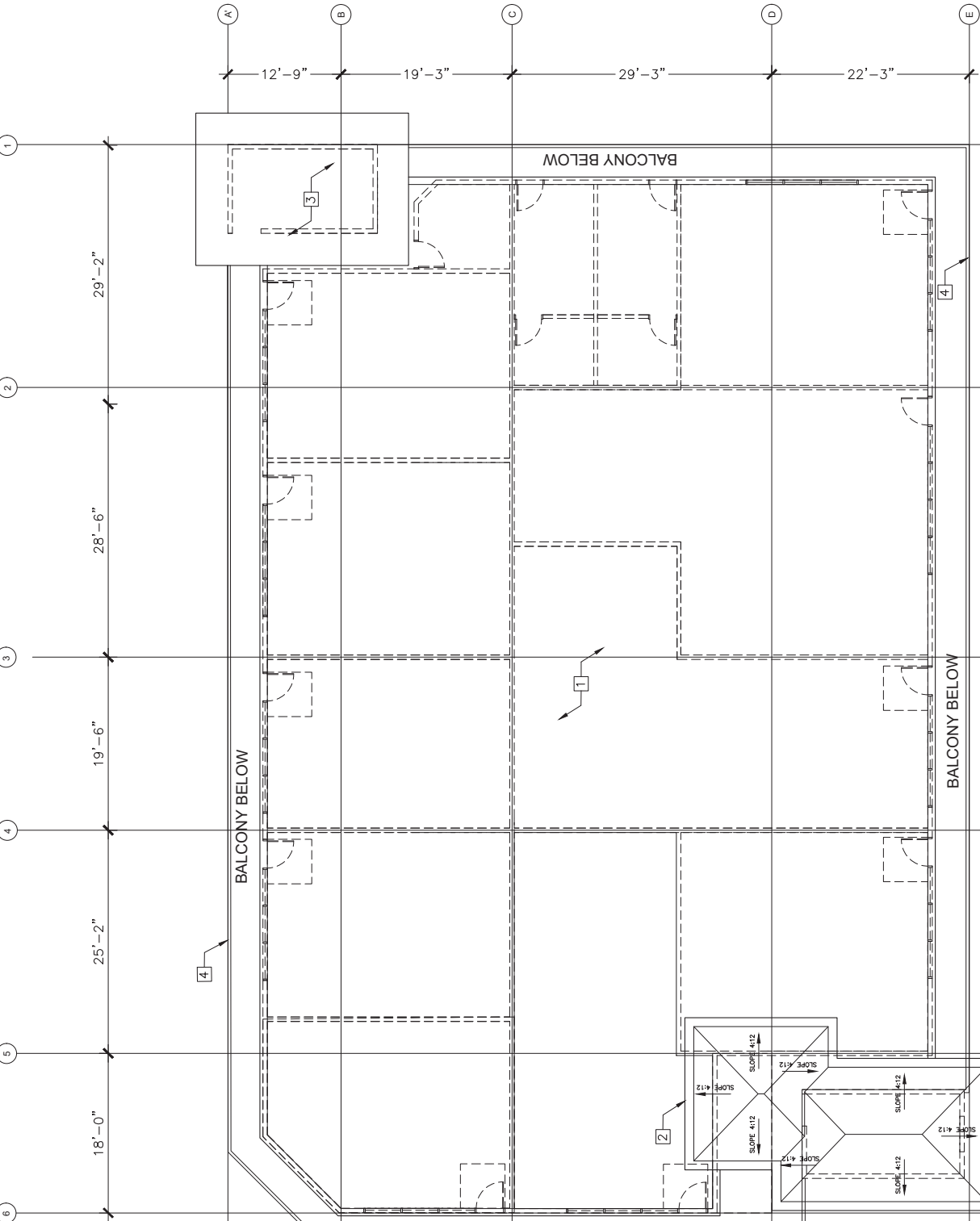
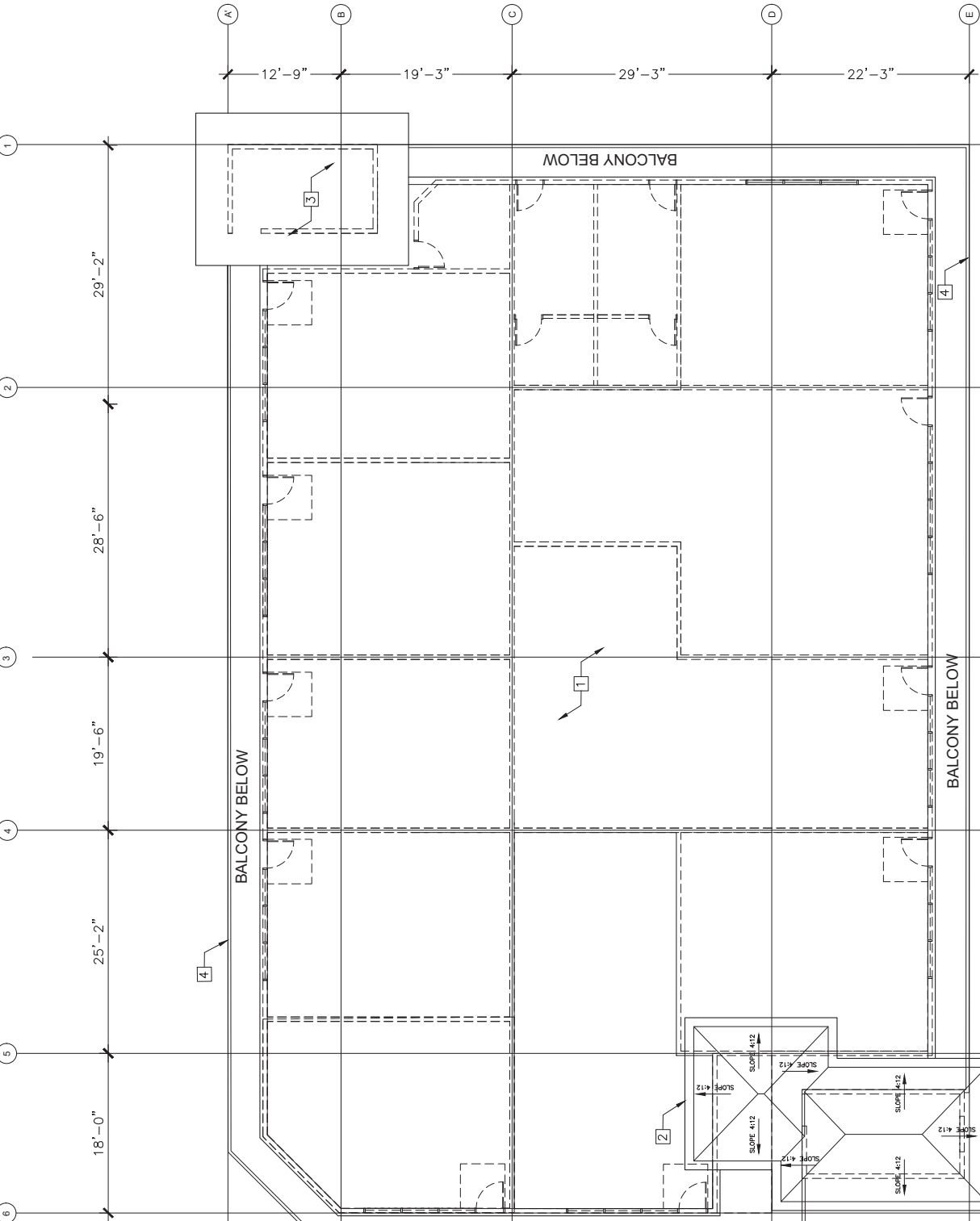
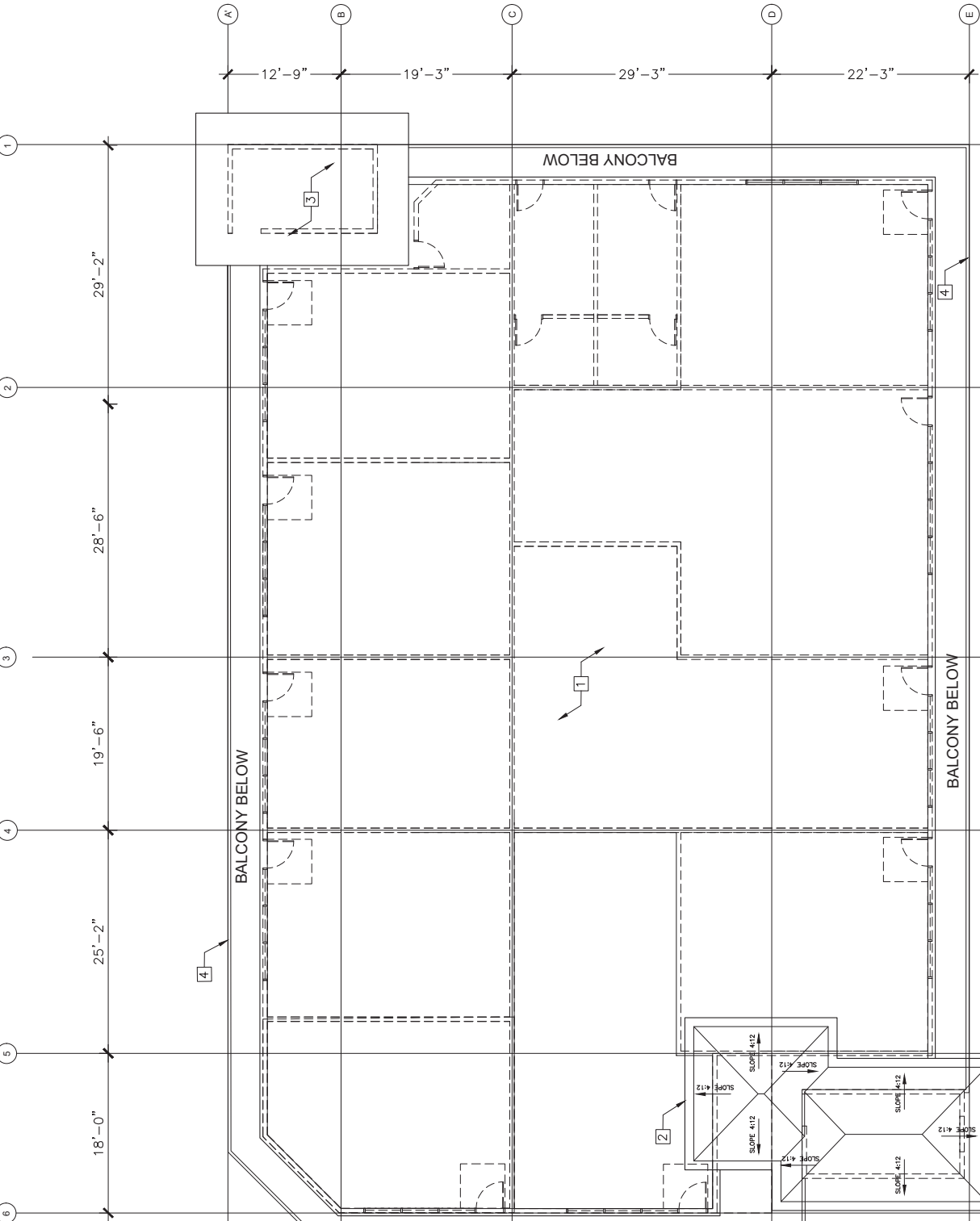
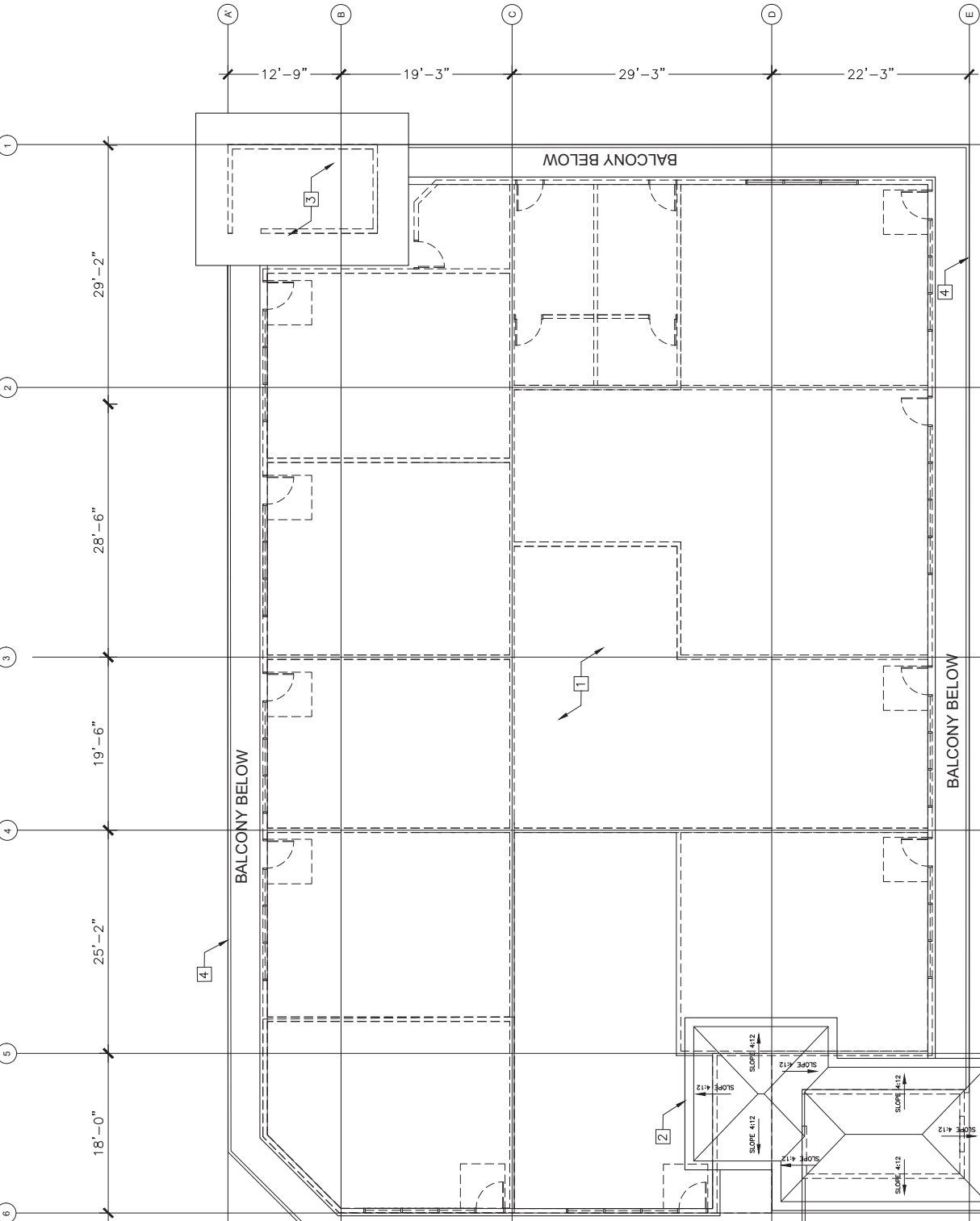
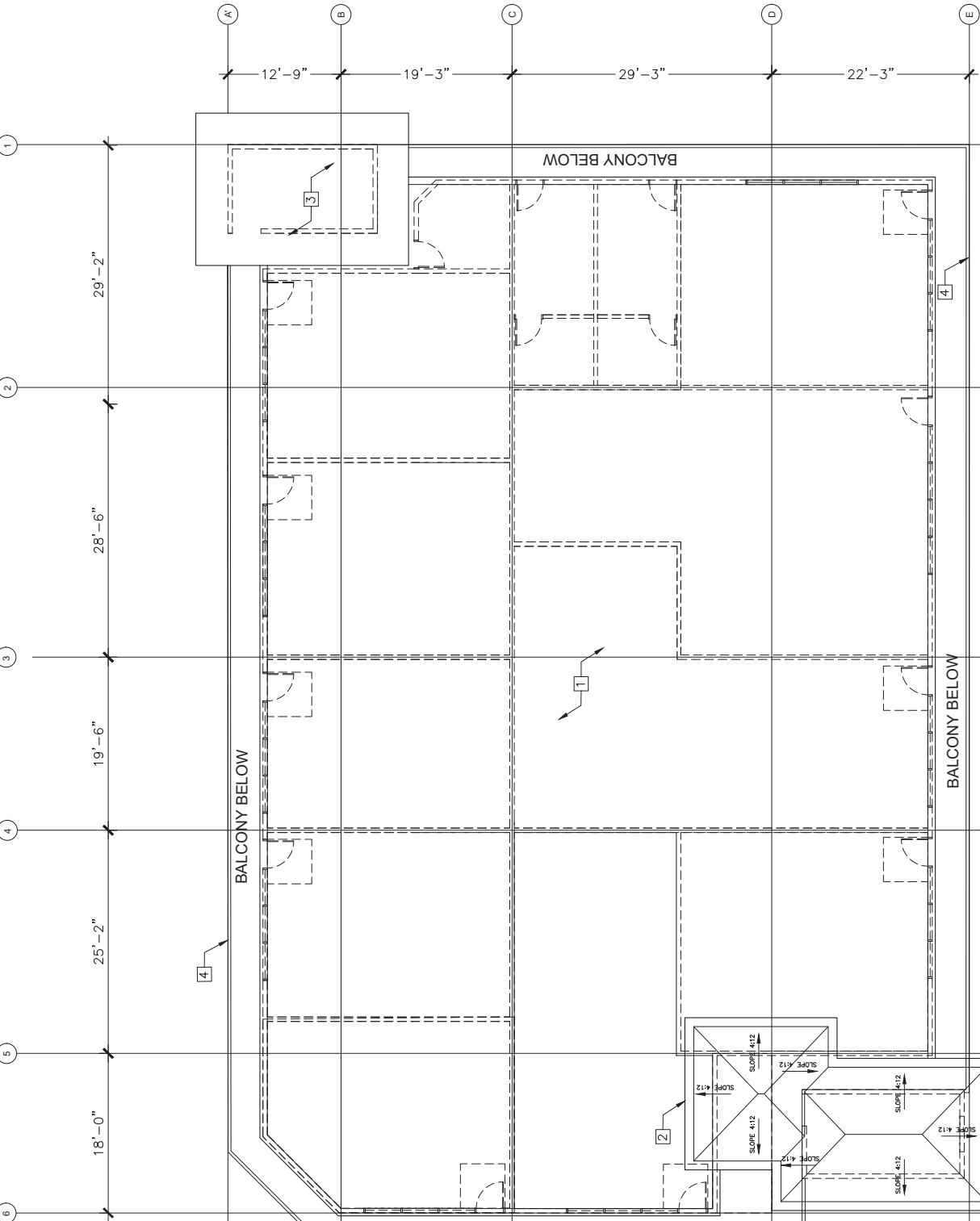
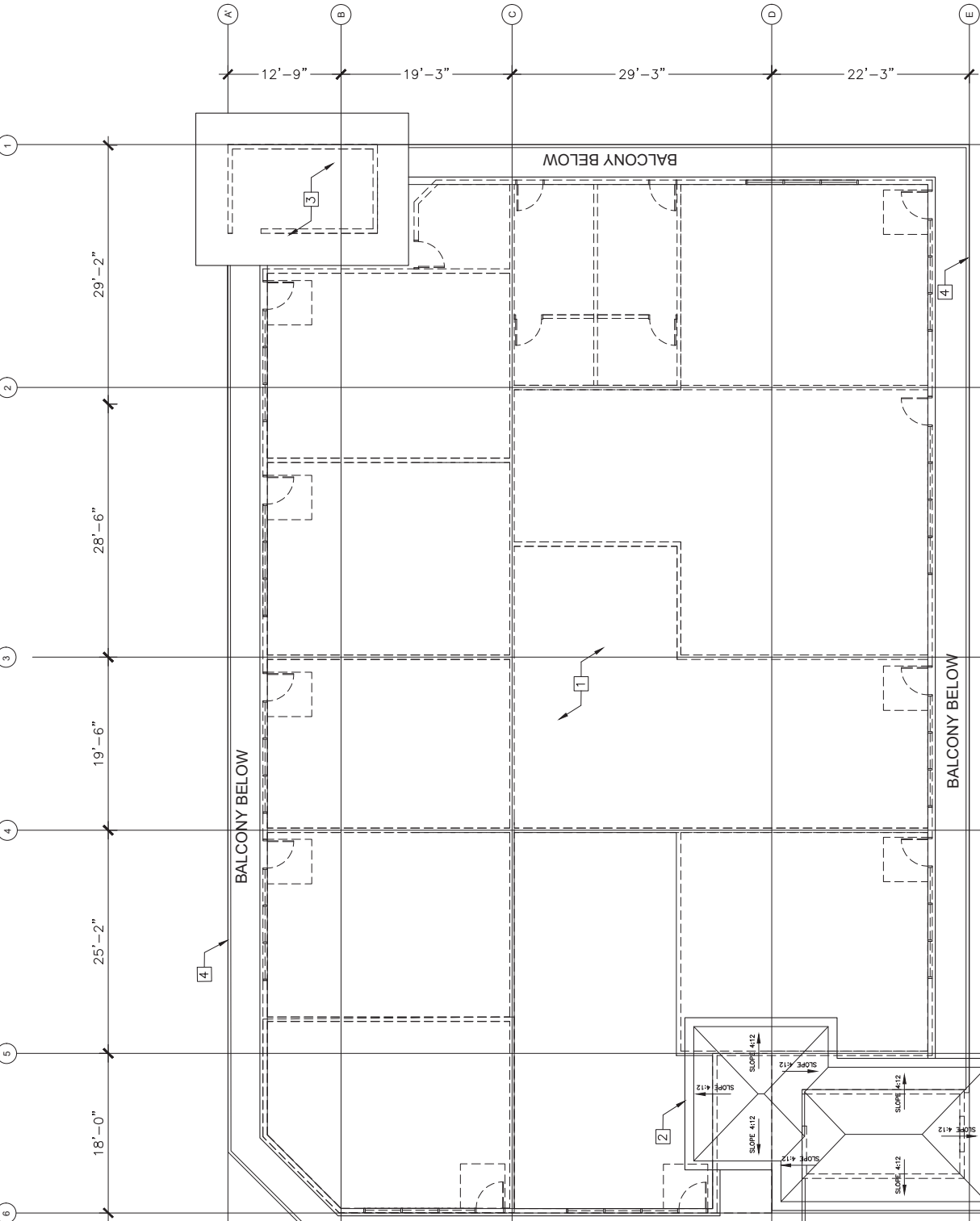
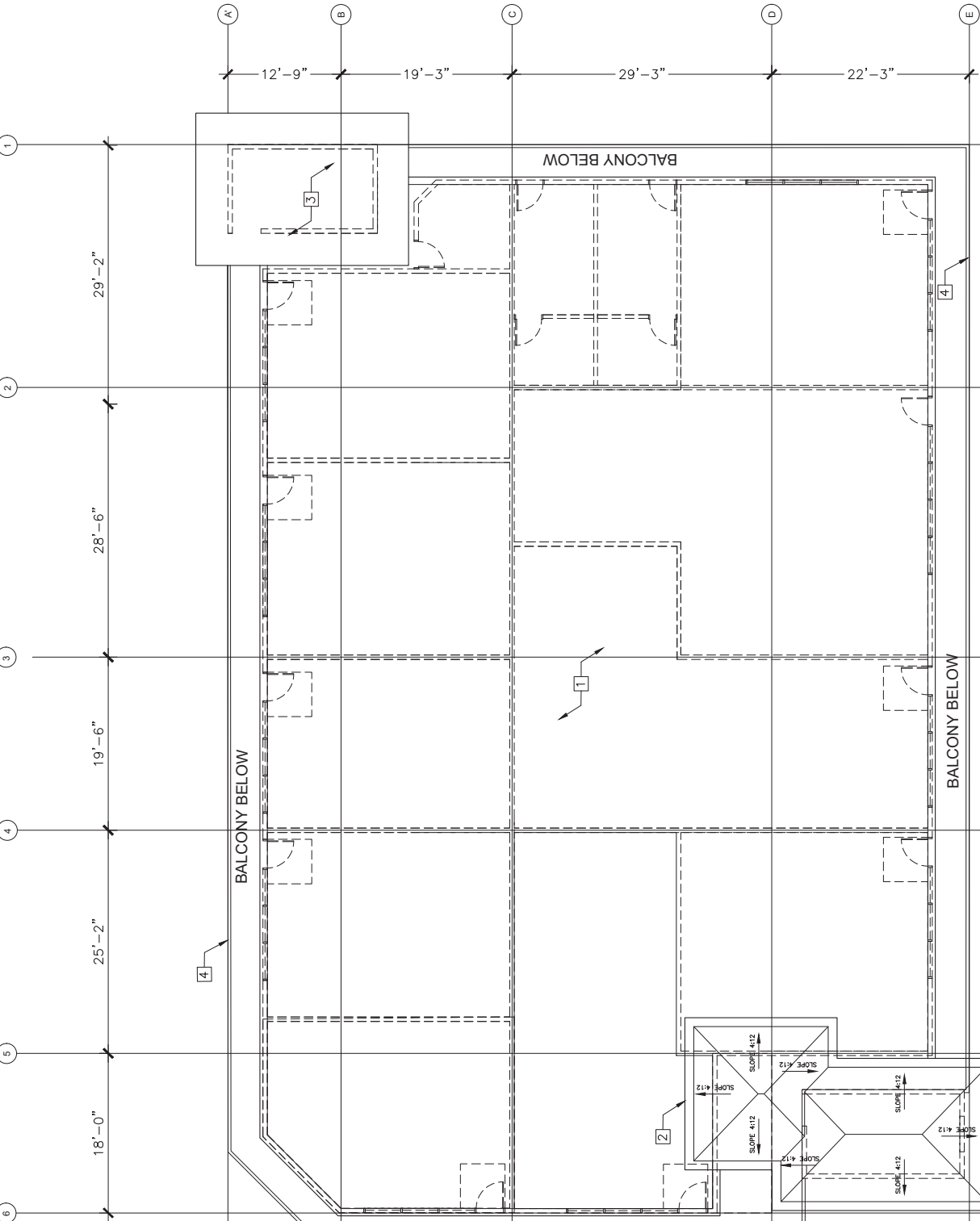
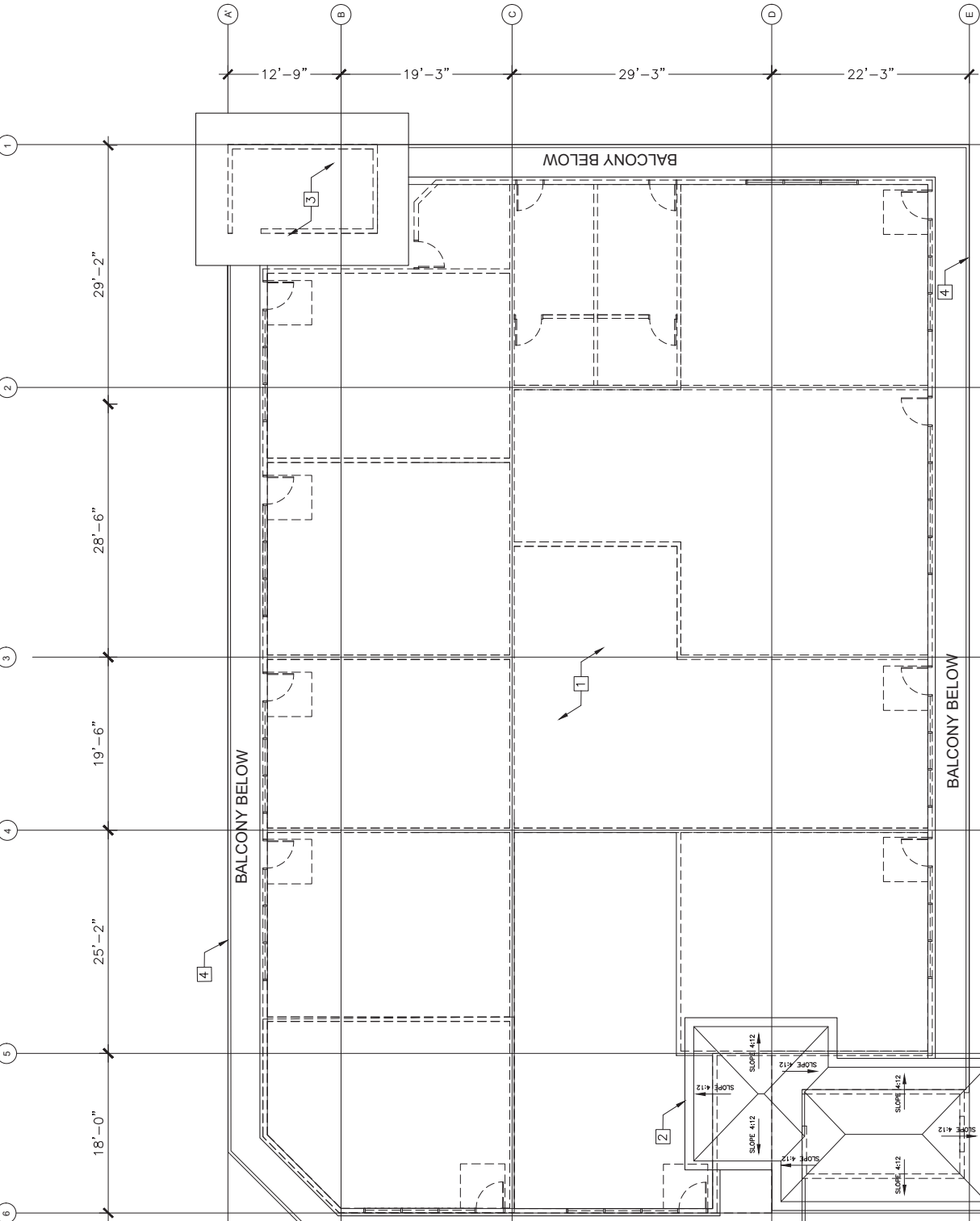
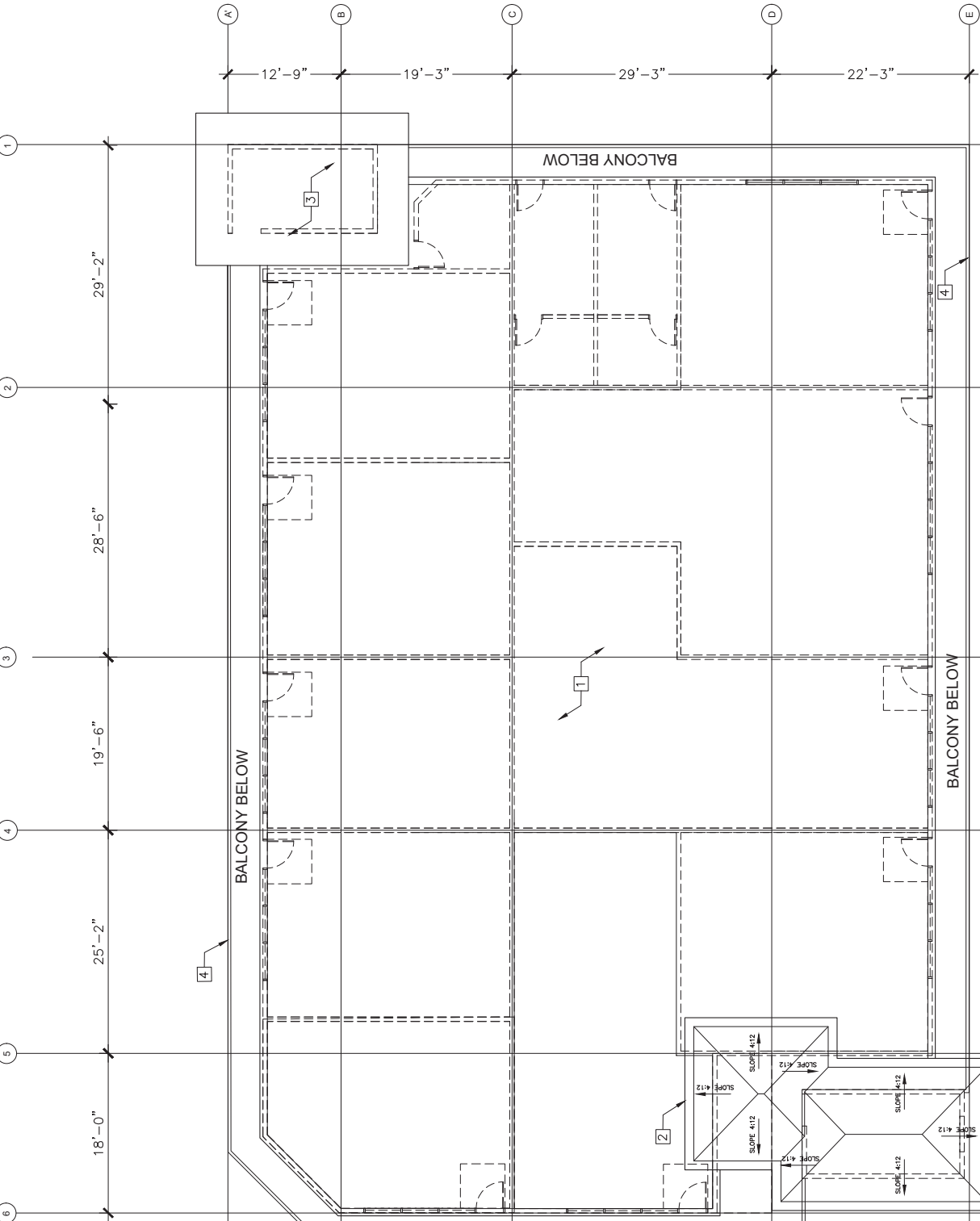
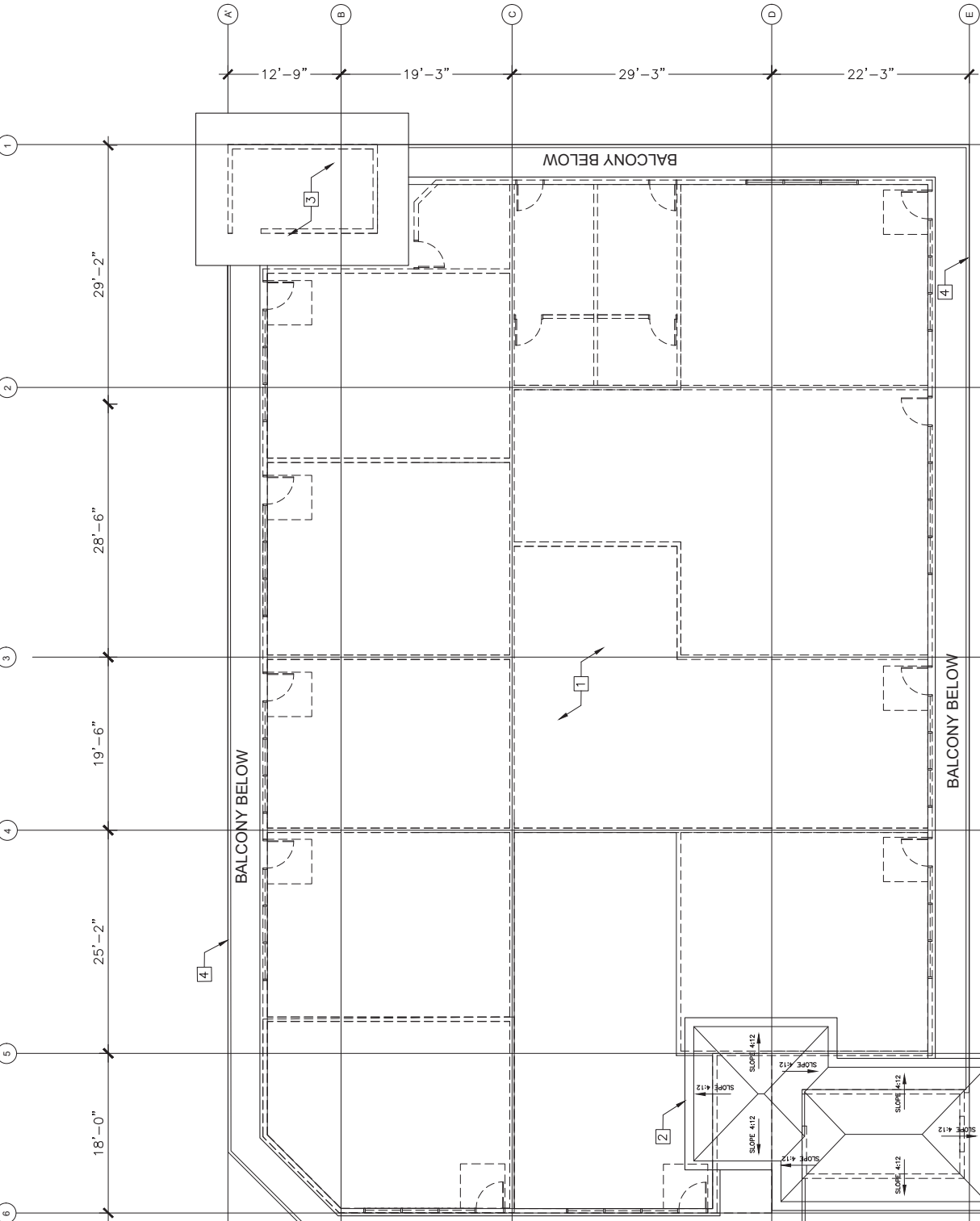
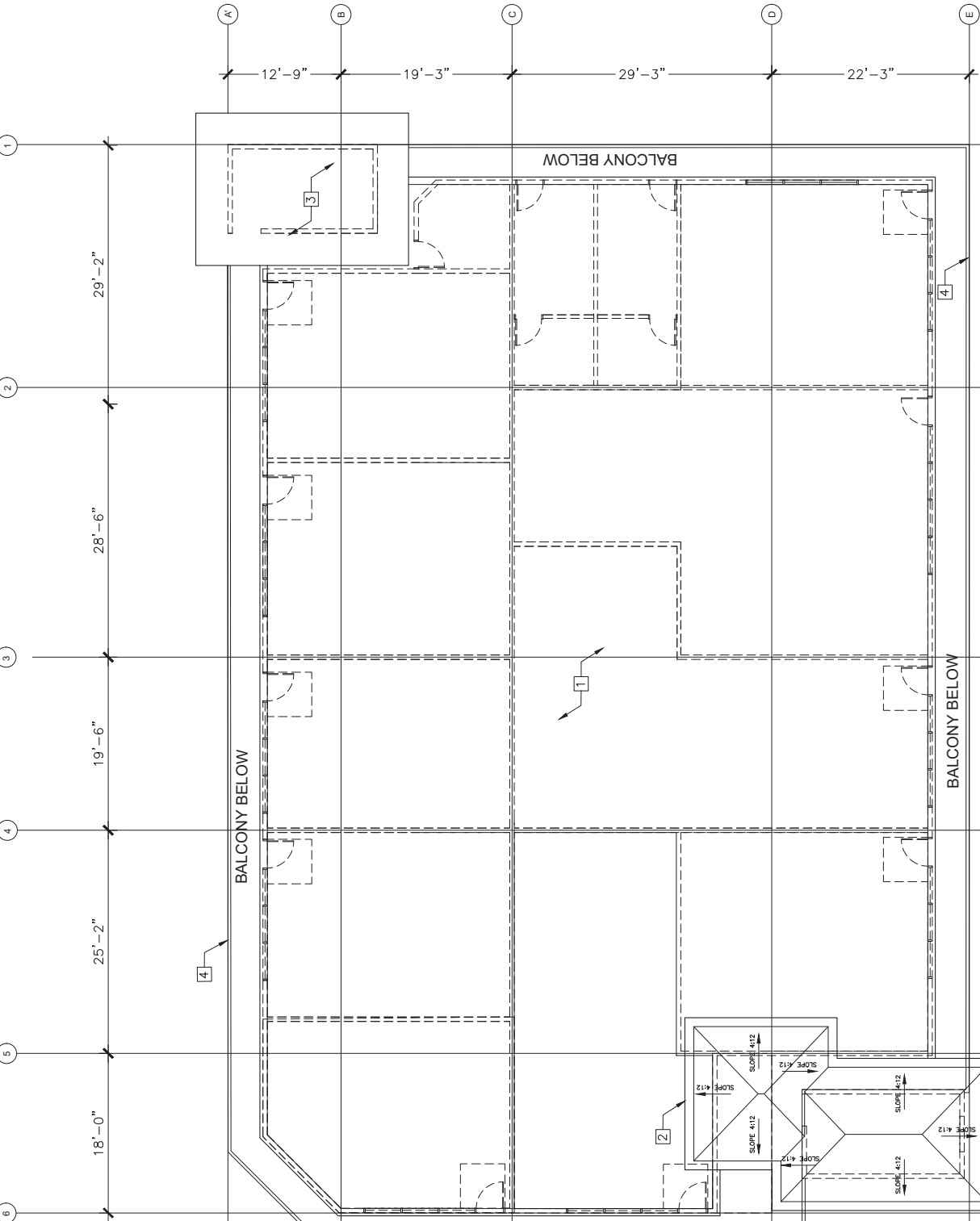
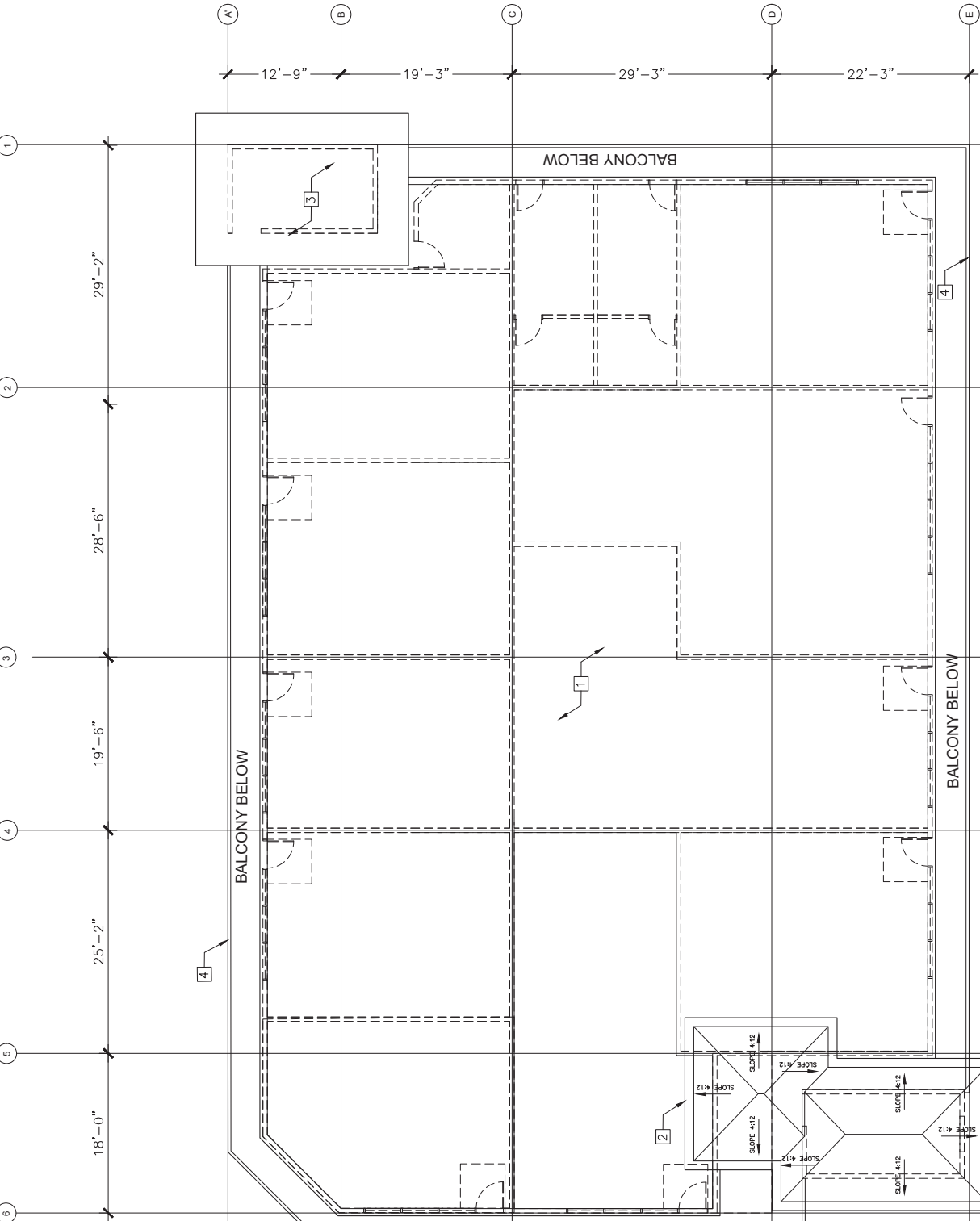
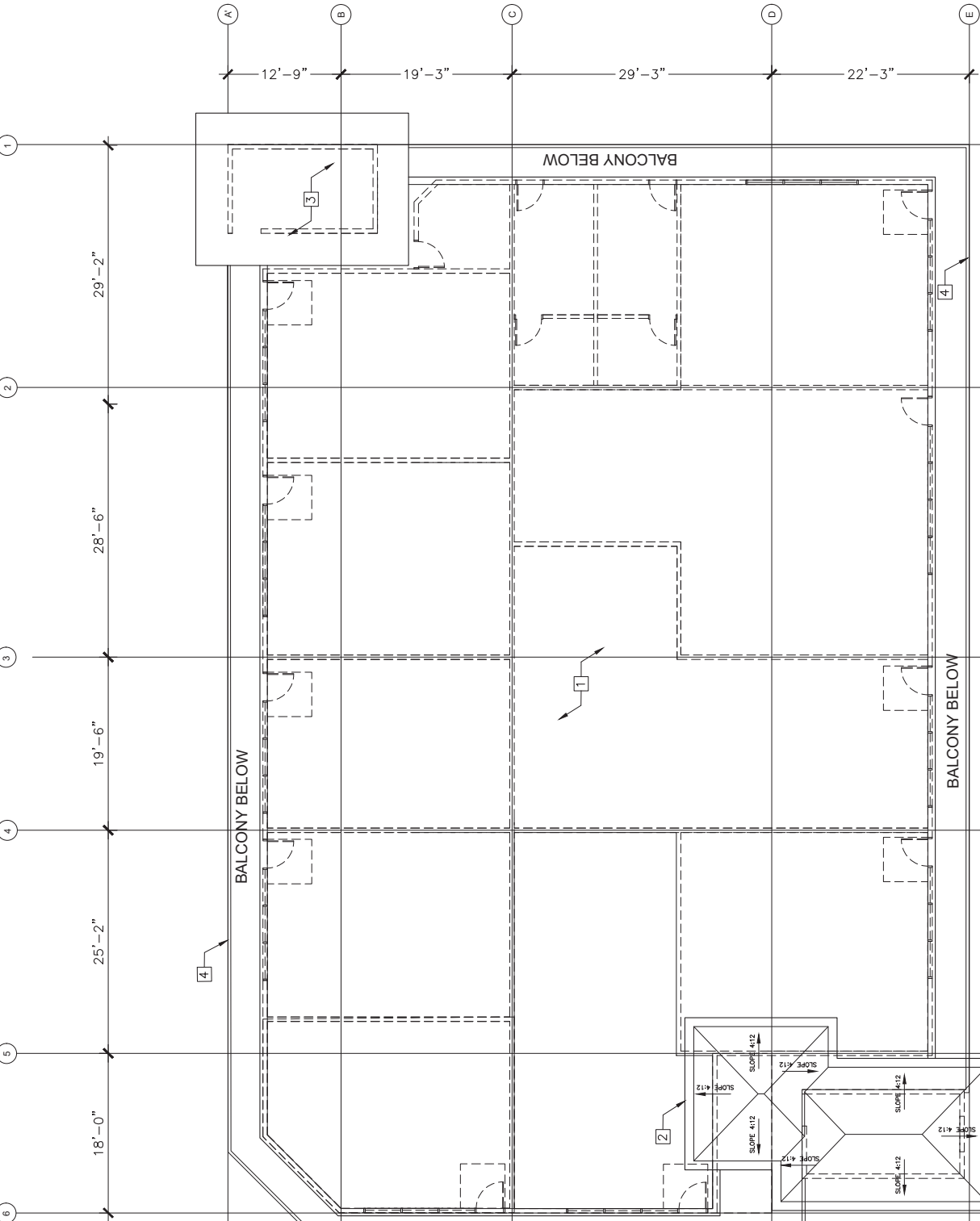
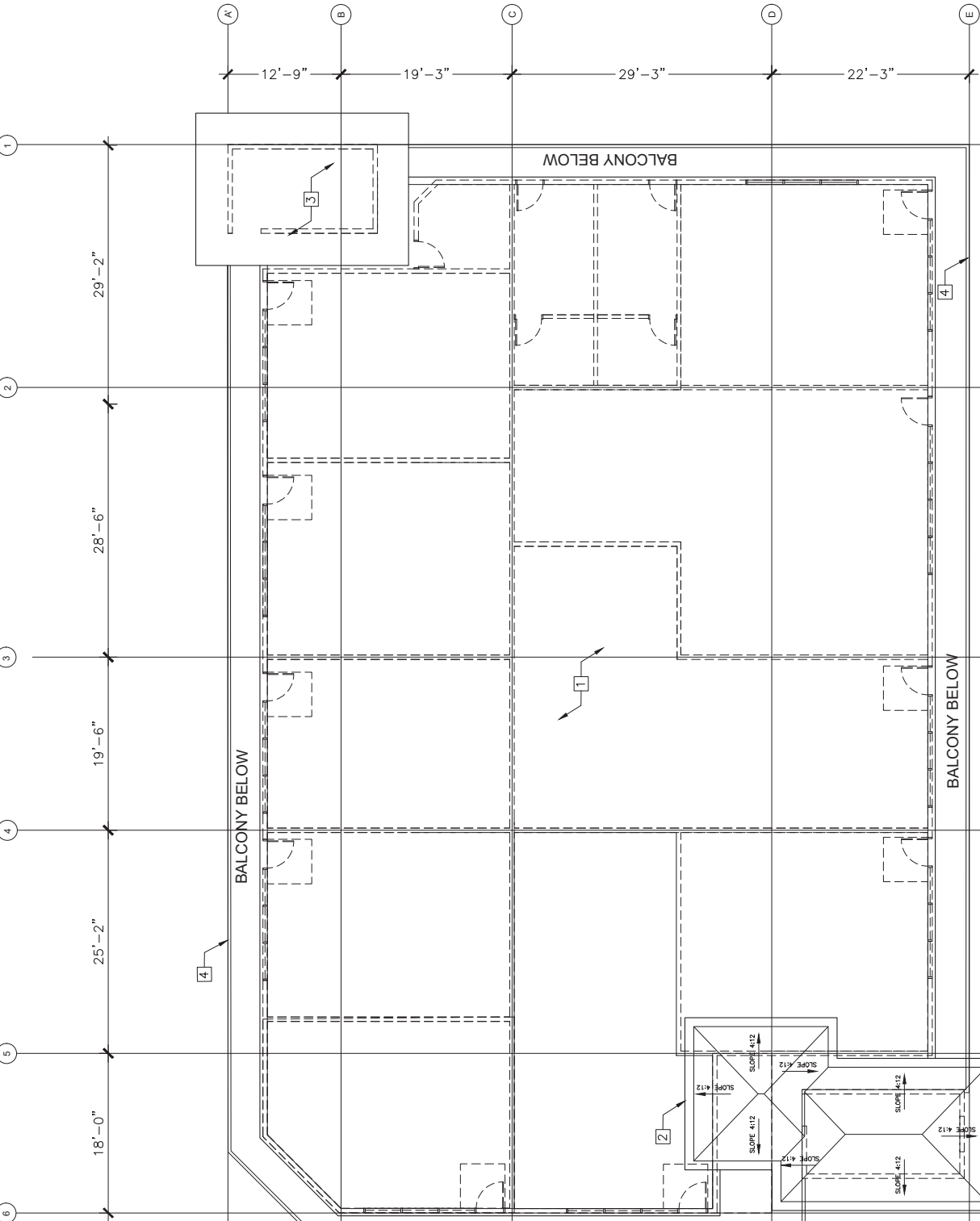
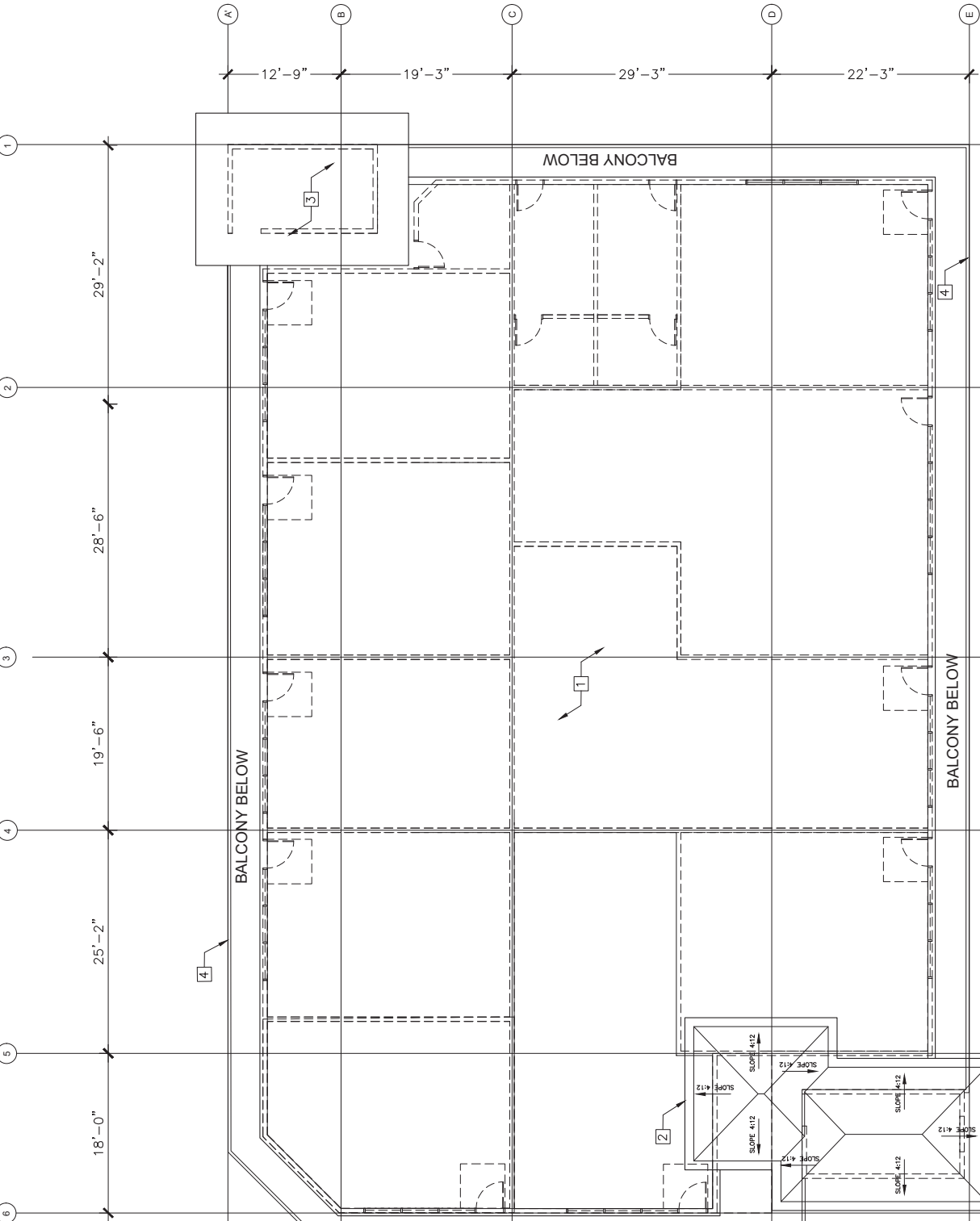
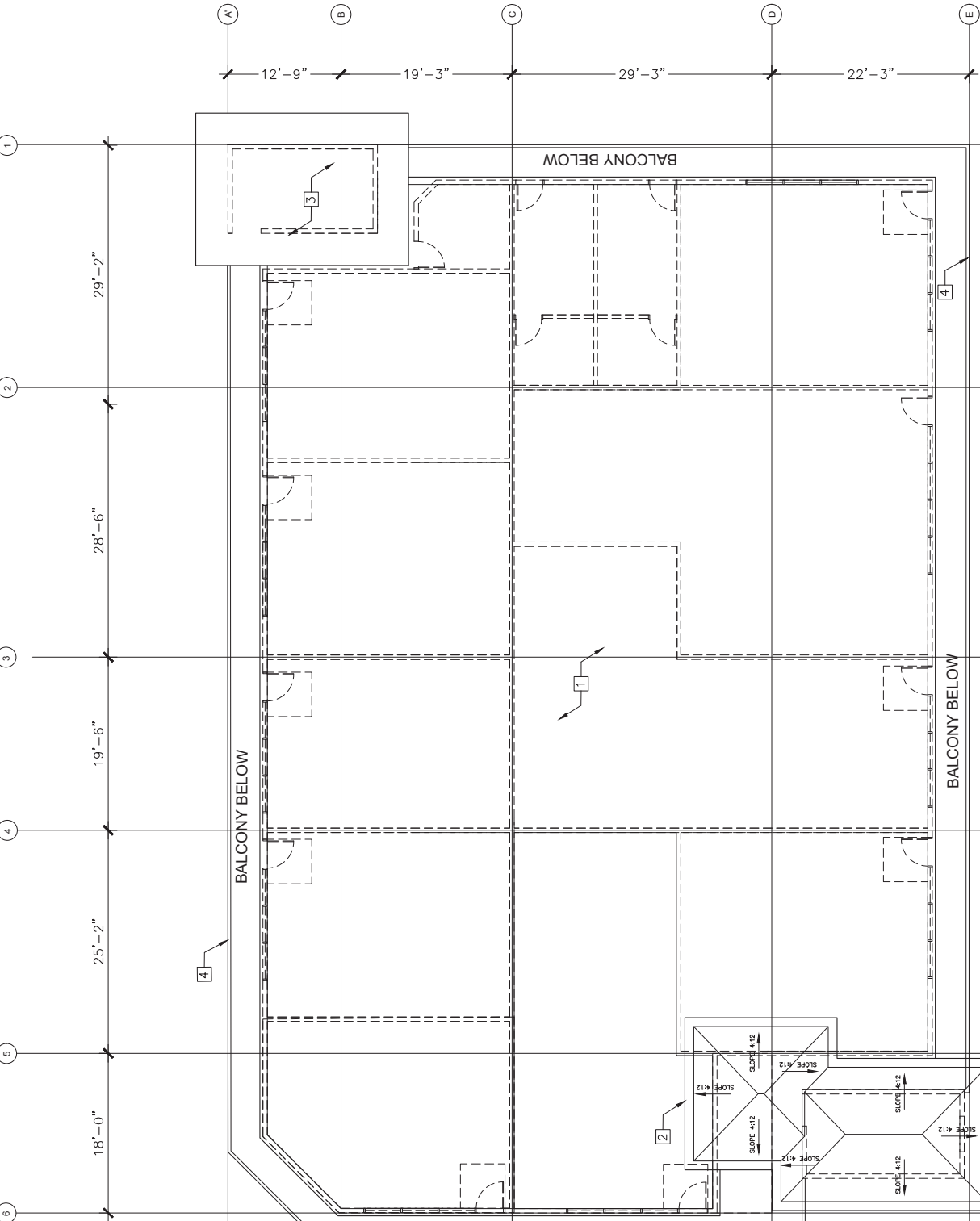
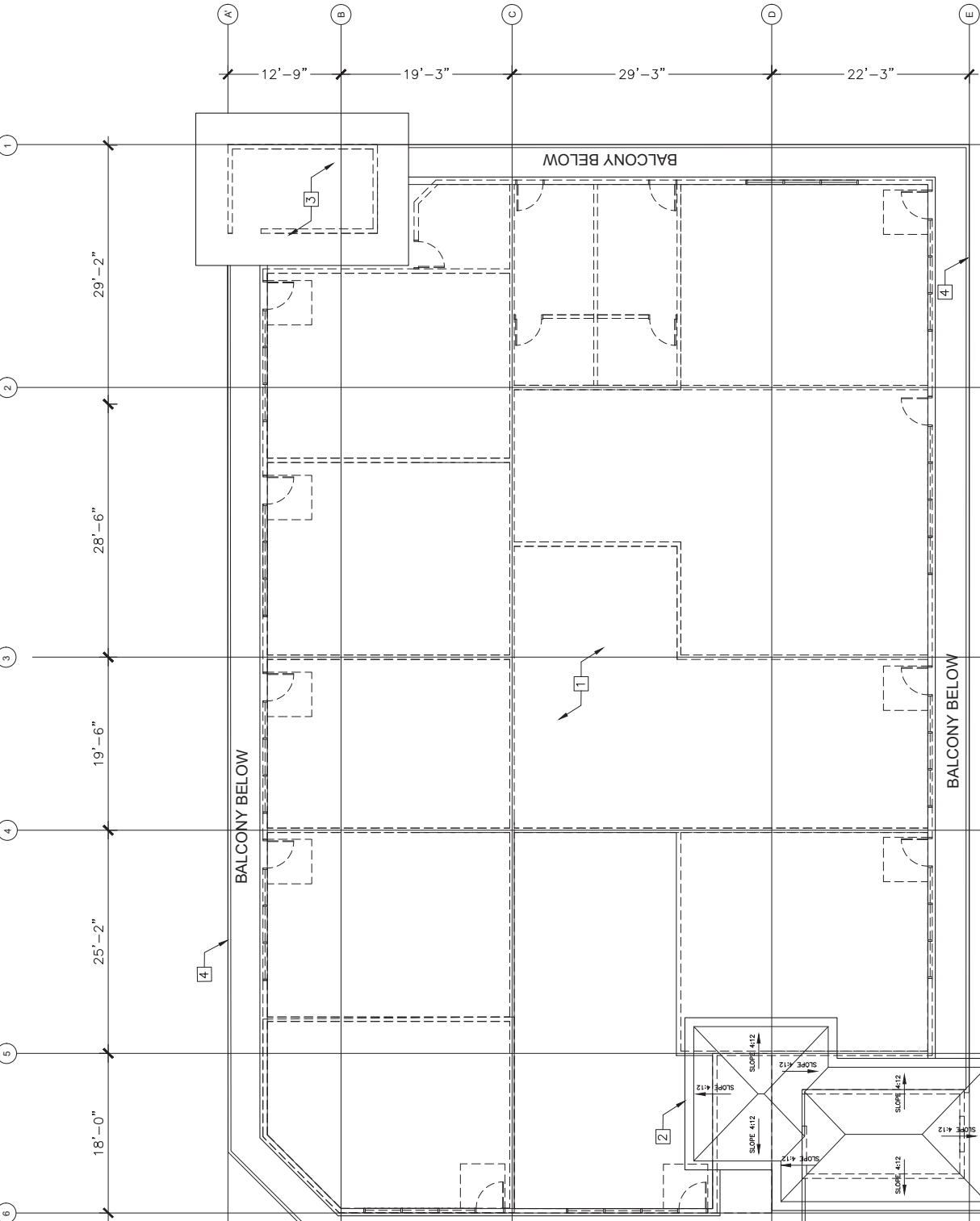
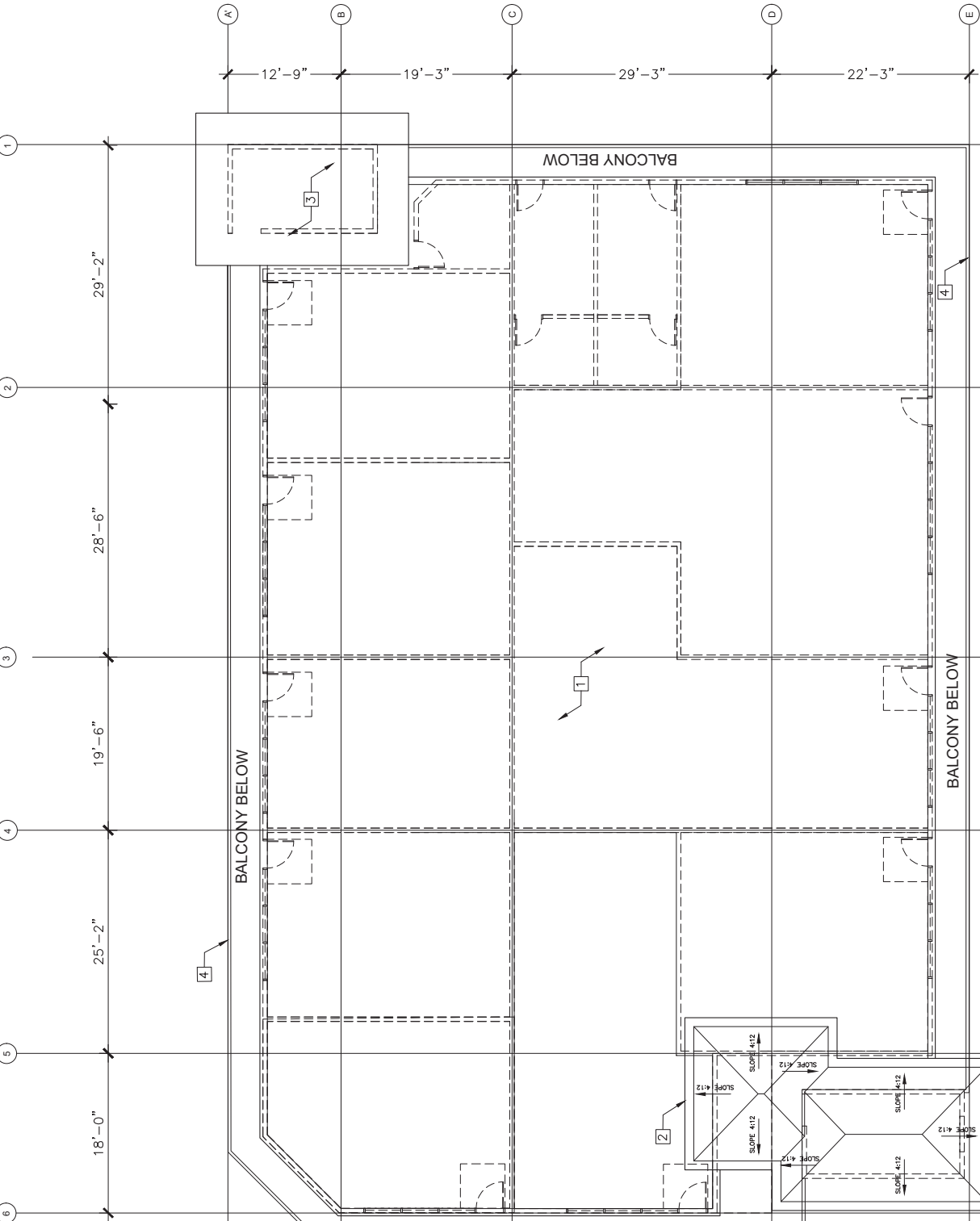
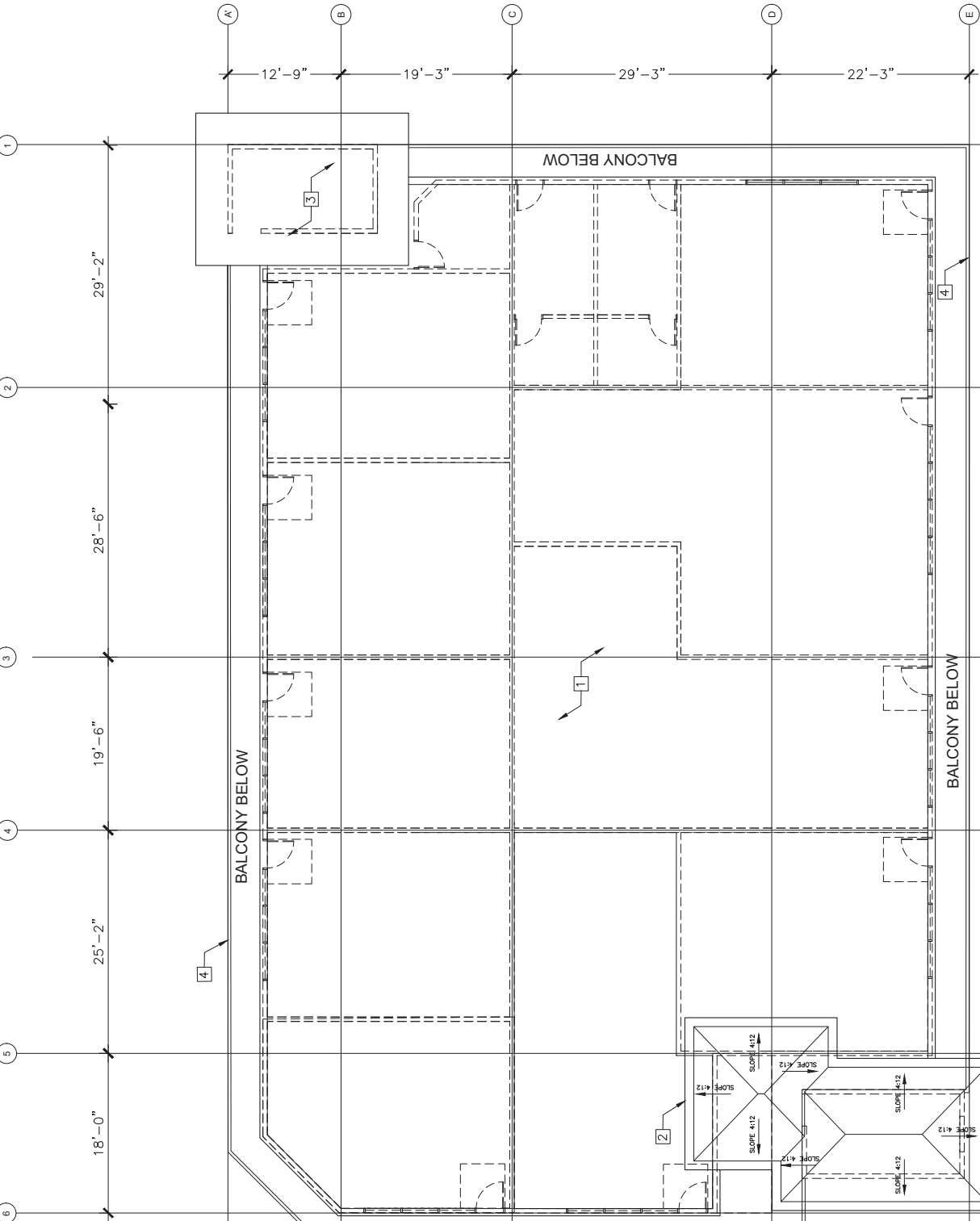
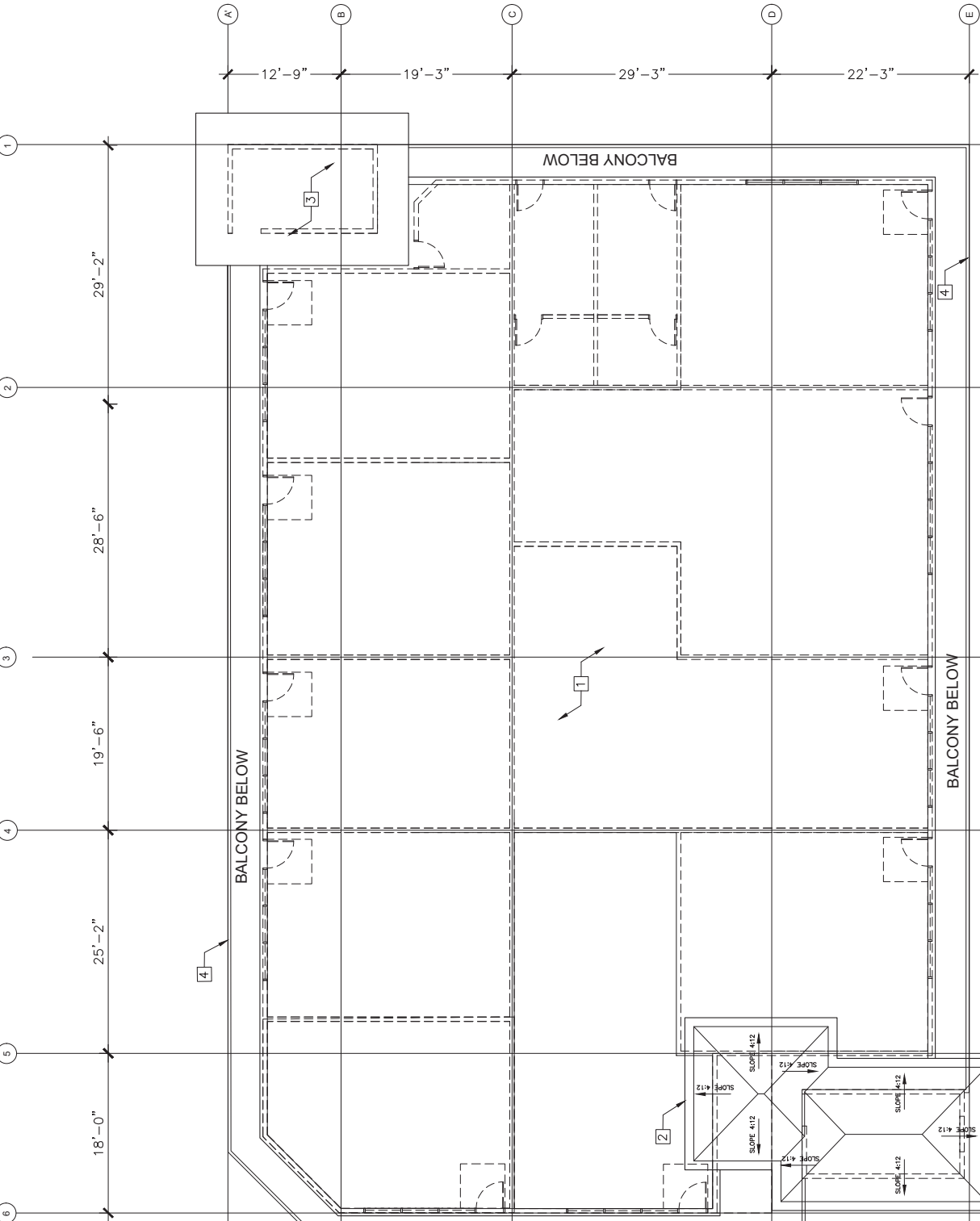
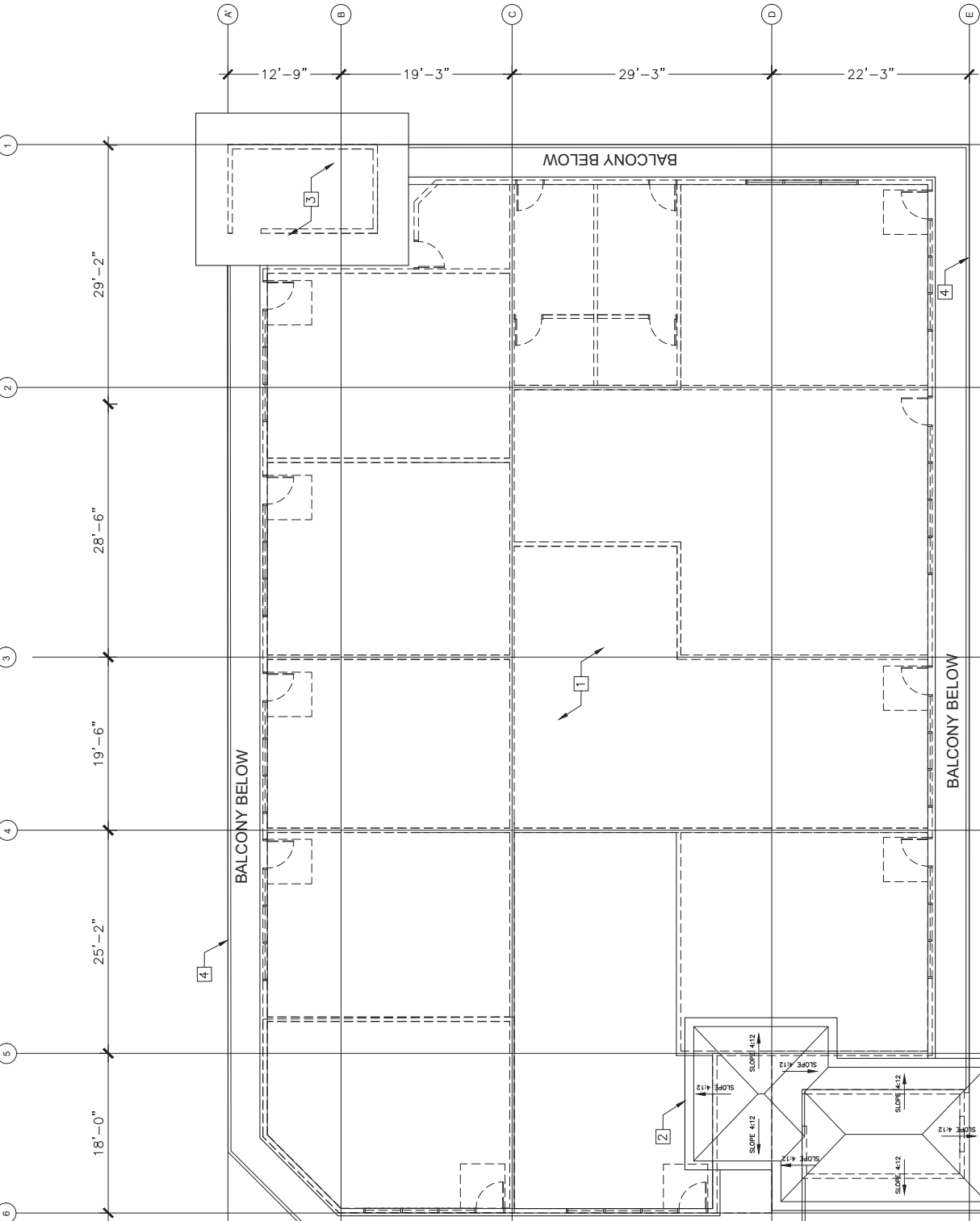
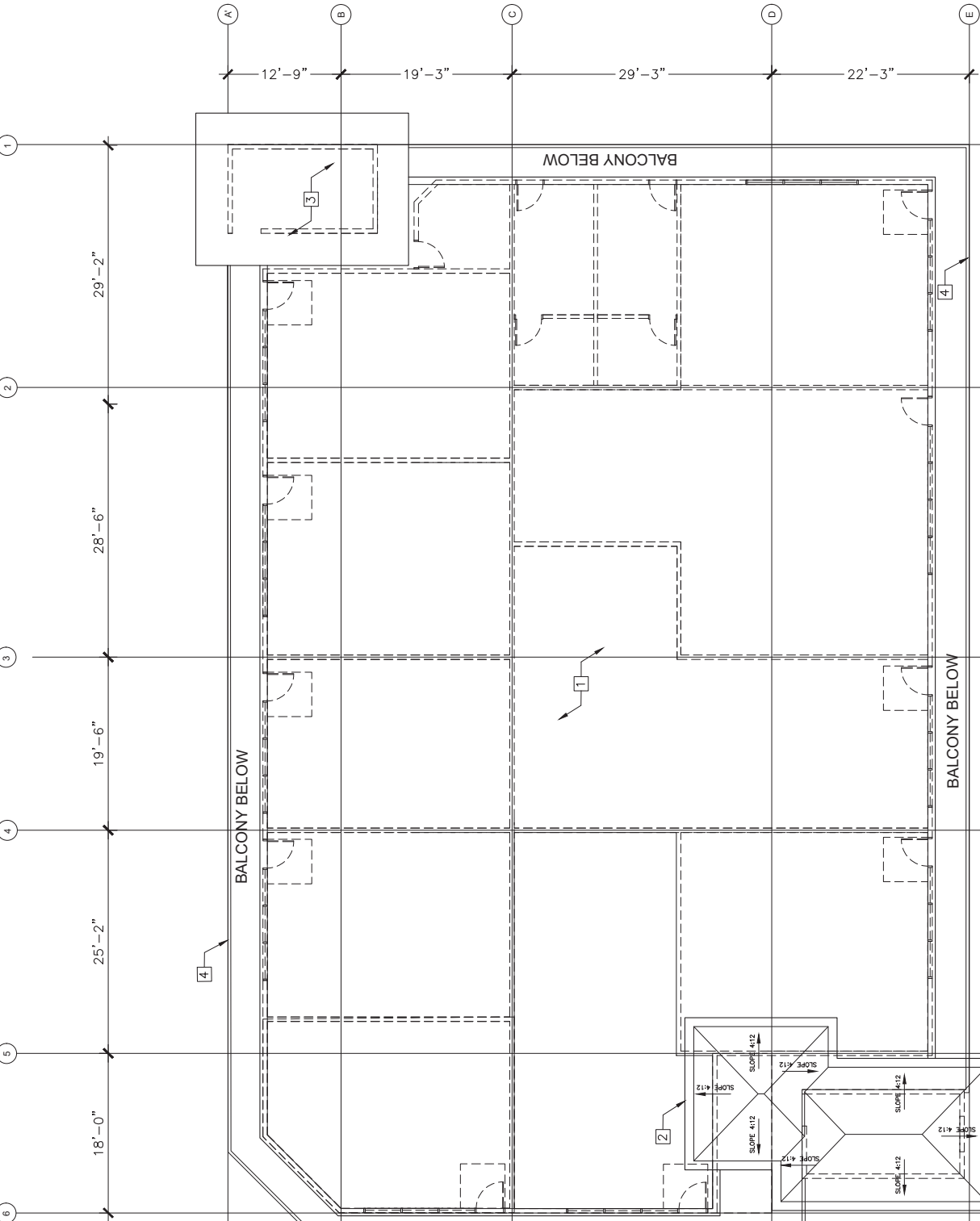
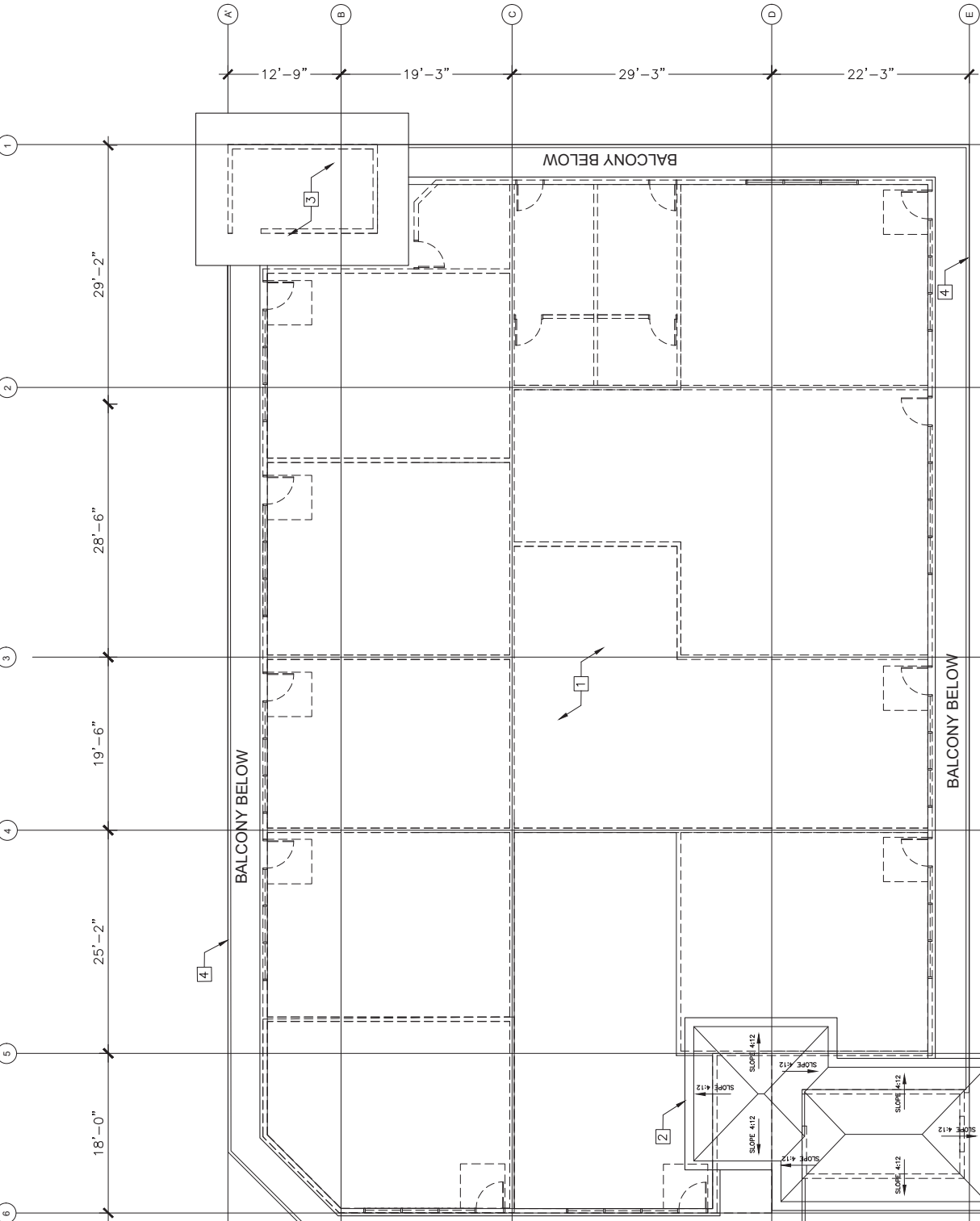
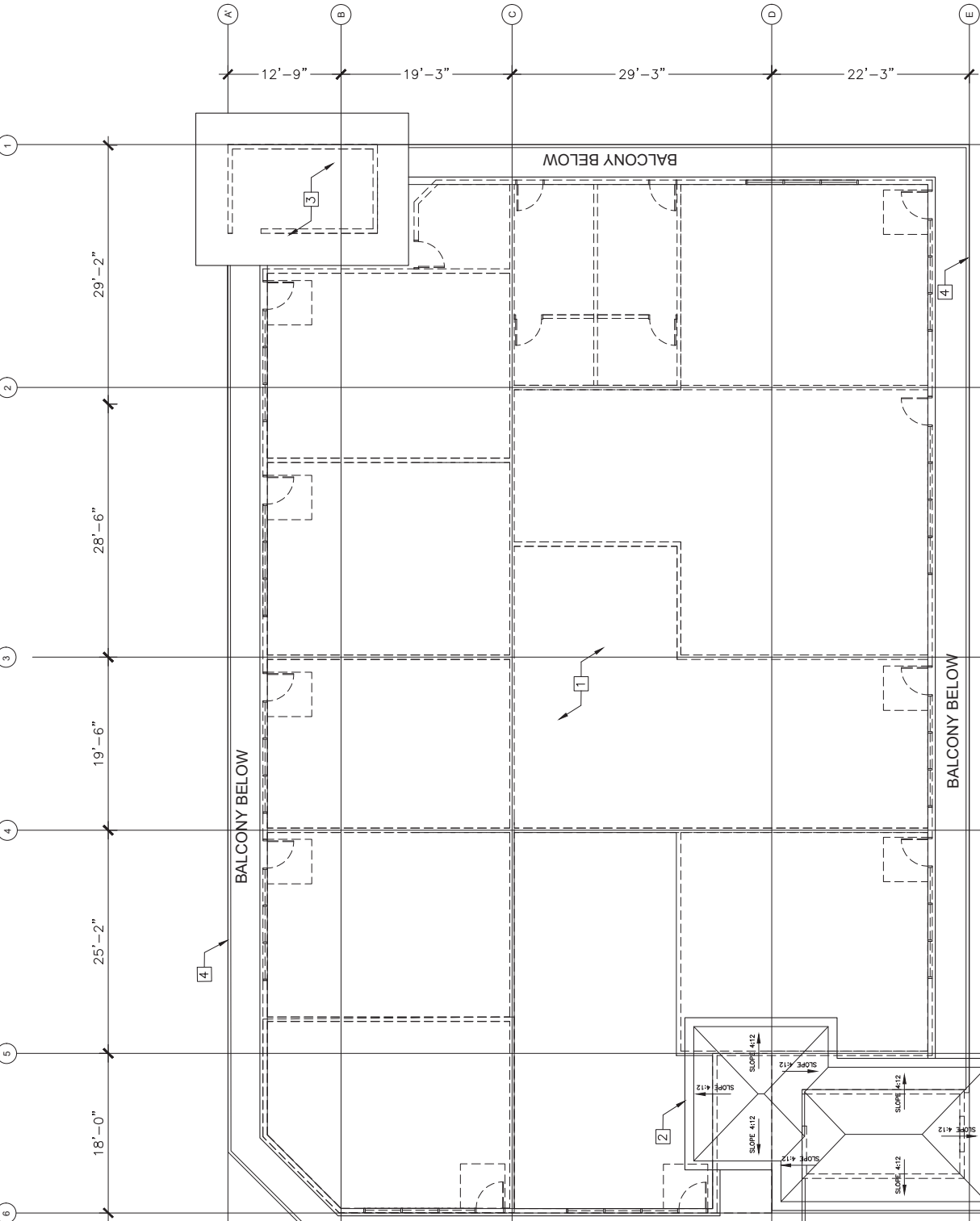
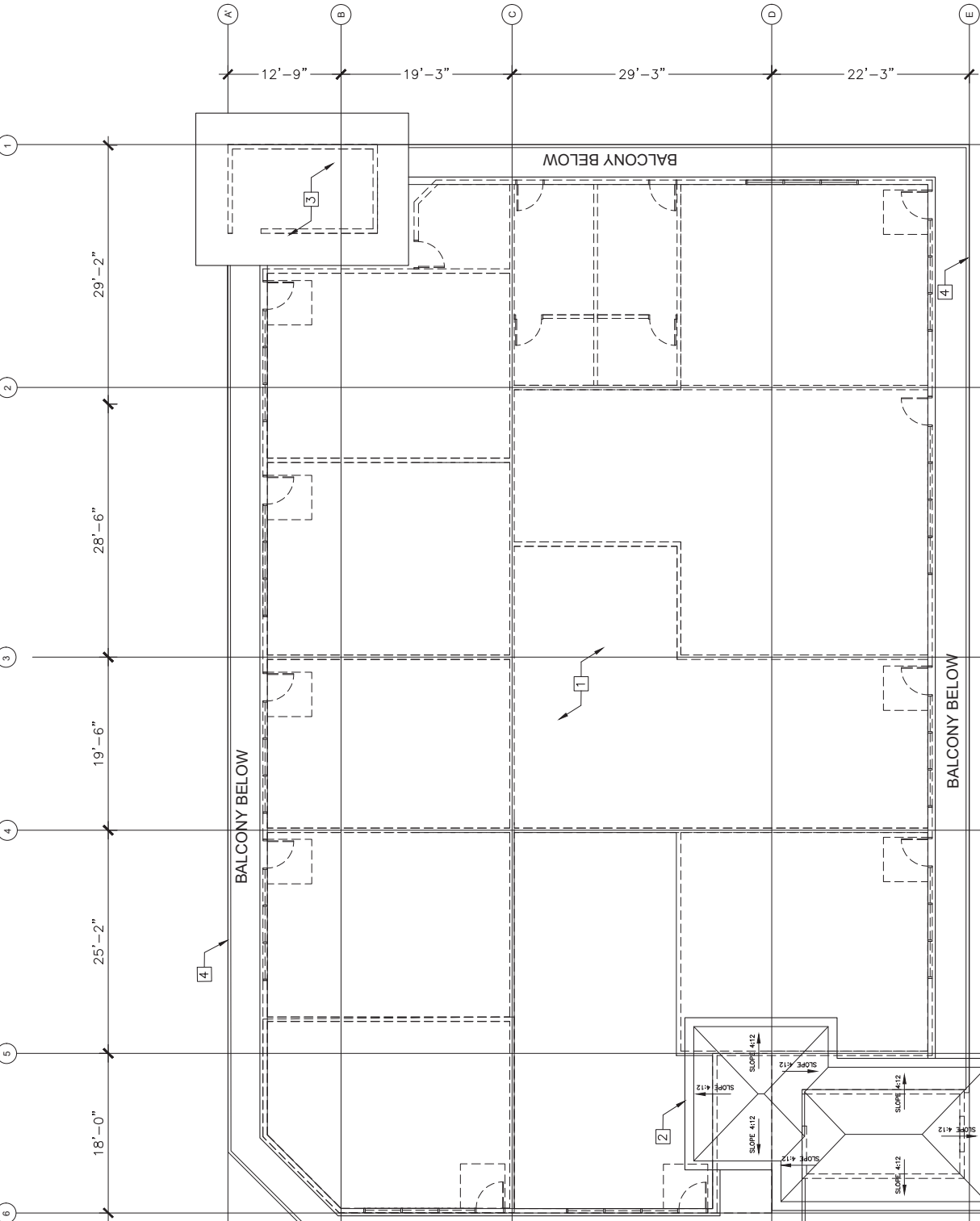
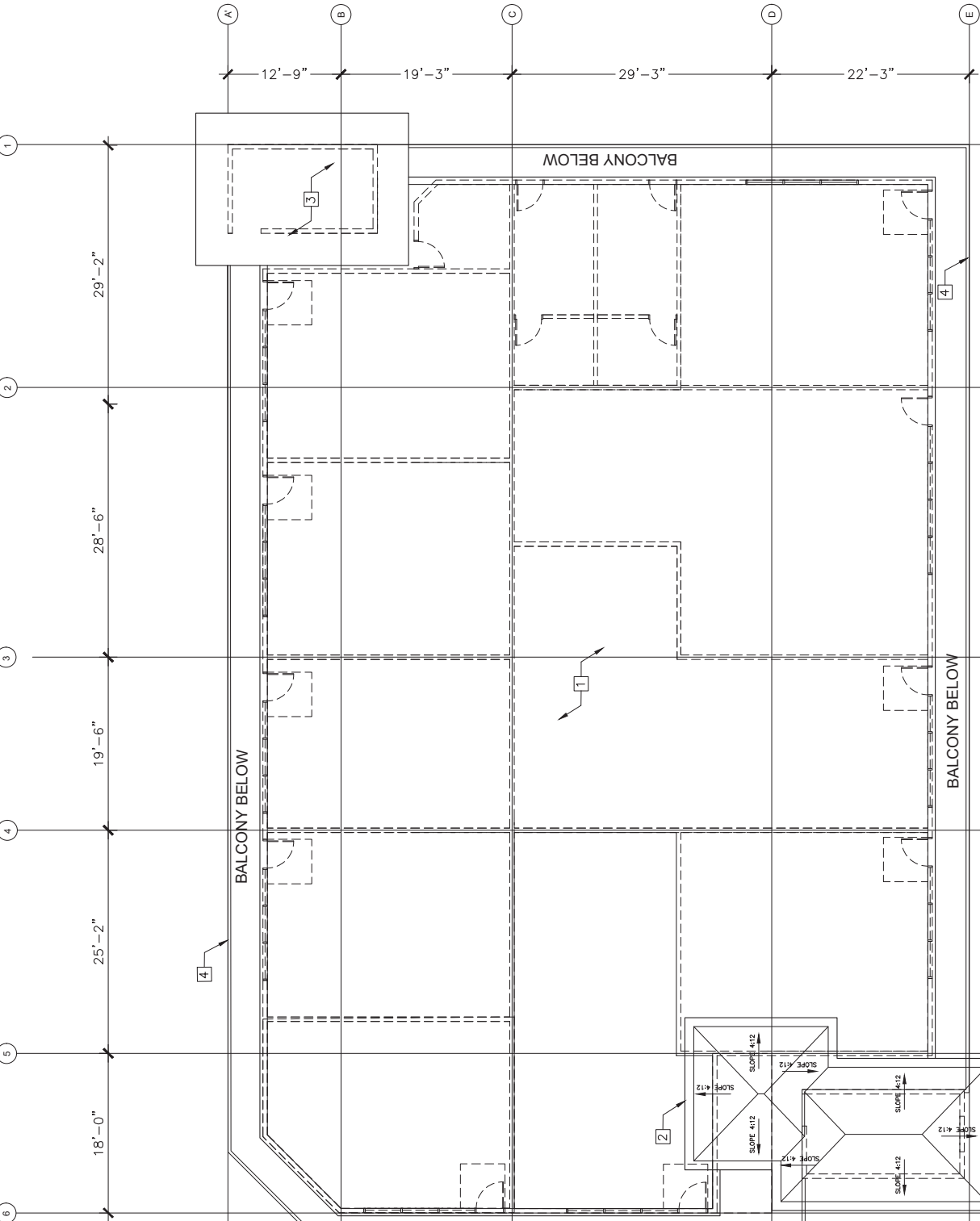
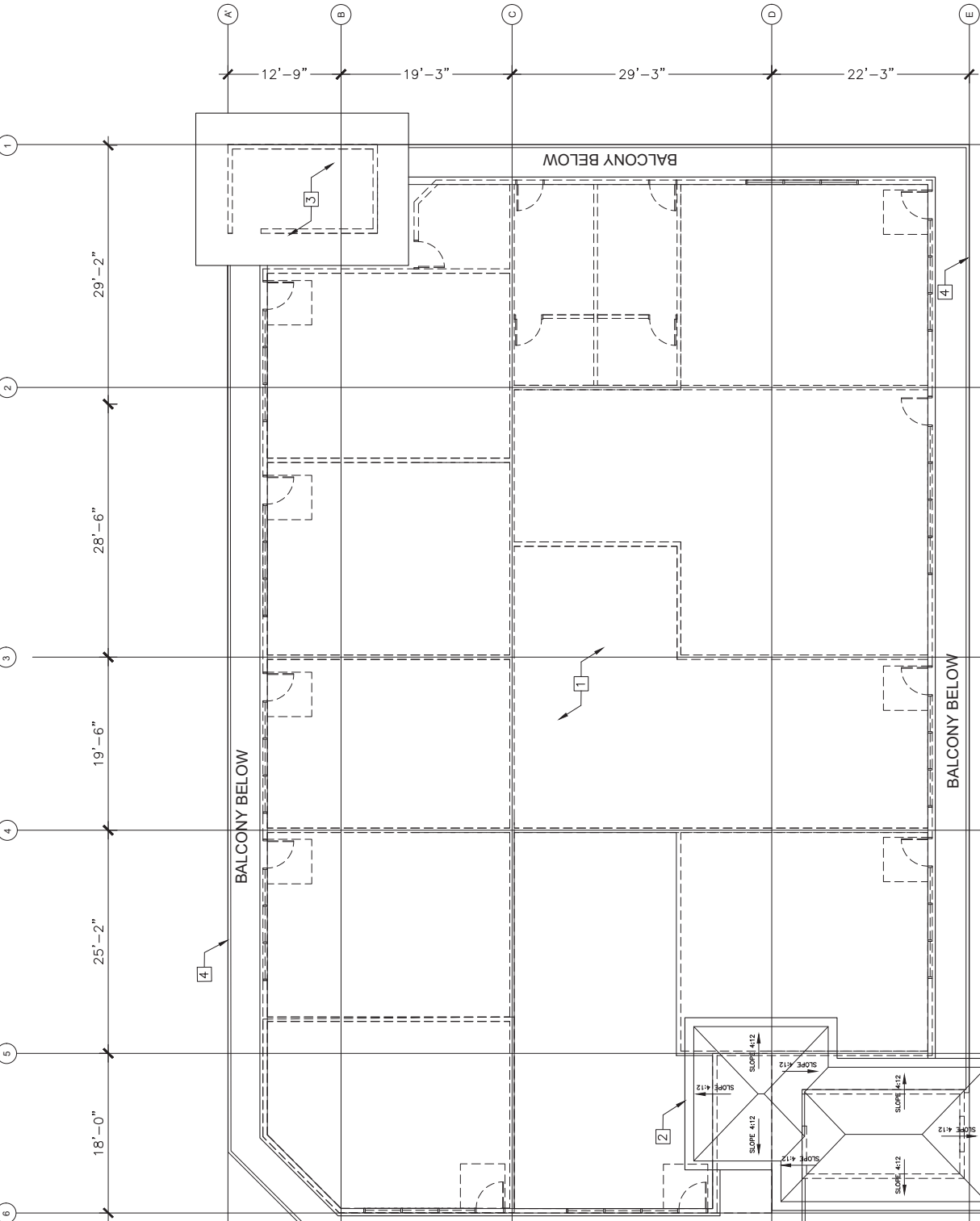
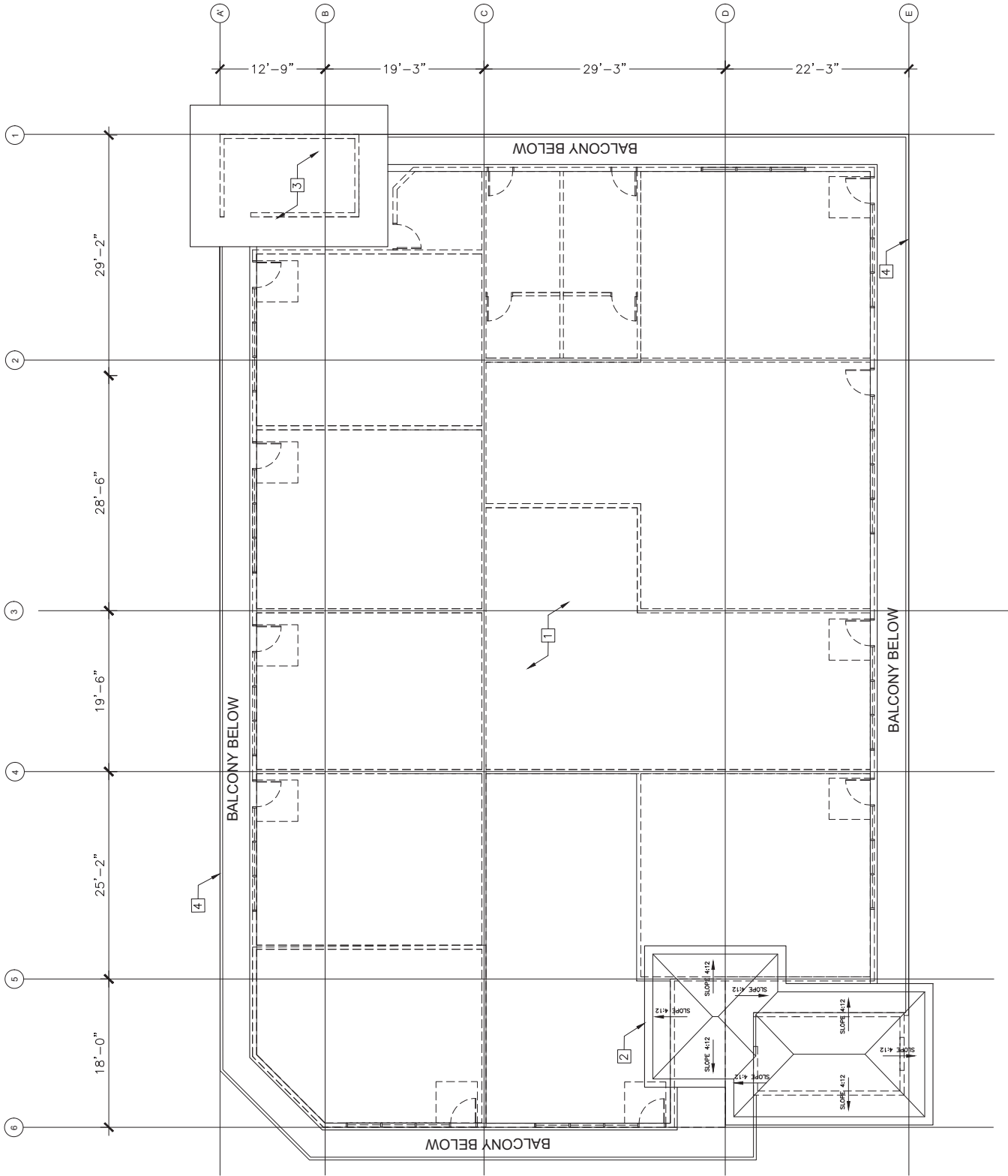
- 1. THE PROJECT WILL BE COMPLY WITH RIVERSIDE COMMERCIAL LANDSCAPING STANDARDS.
- 2. REFER TO SHEET # T-1 FOR THE ENTIRE PARKING LAYOUT

FLOOR PLAN KEYNOTES

- 1. PARKING SPACES REFER TO SITE PLAN
- 2. ADA SIDEWALK RAMP REFER TO ADA DRAWINGS
- 3. SIDEWALK
- 4. RETAIL UNIT PANTRY
- 5. STUCCO FINISH PAINTED EXTERIOR WALL REFER TO ELEVATIONS
- 6. POST BASE GABION CLADDING TREATED
- 7. STEEL RAILINGS

RETAIL BLOCK PROPOSED ROOF PLAN

SCALE: 1/8"=1'-0"



FLOOR PLAN GENERAL NOTES

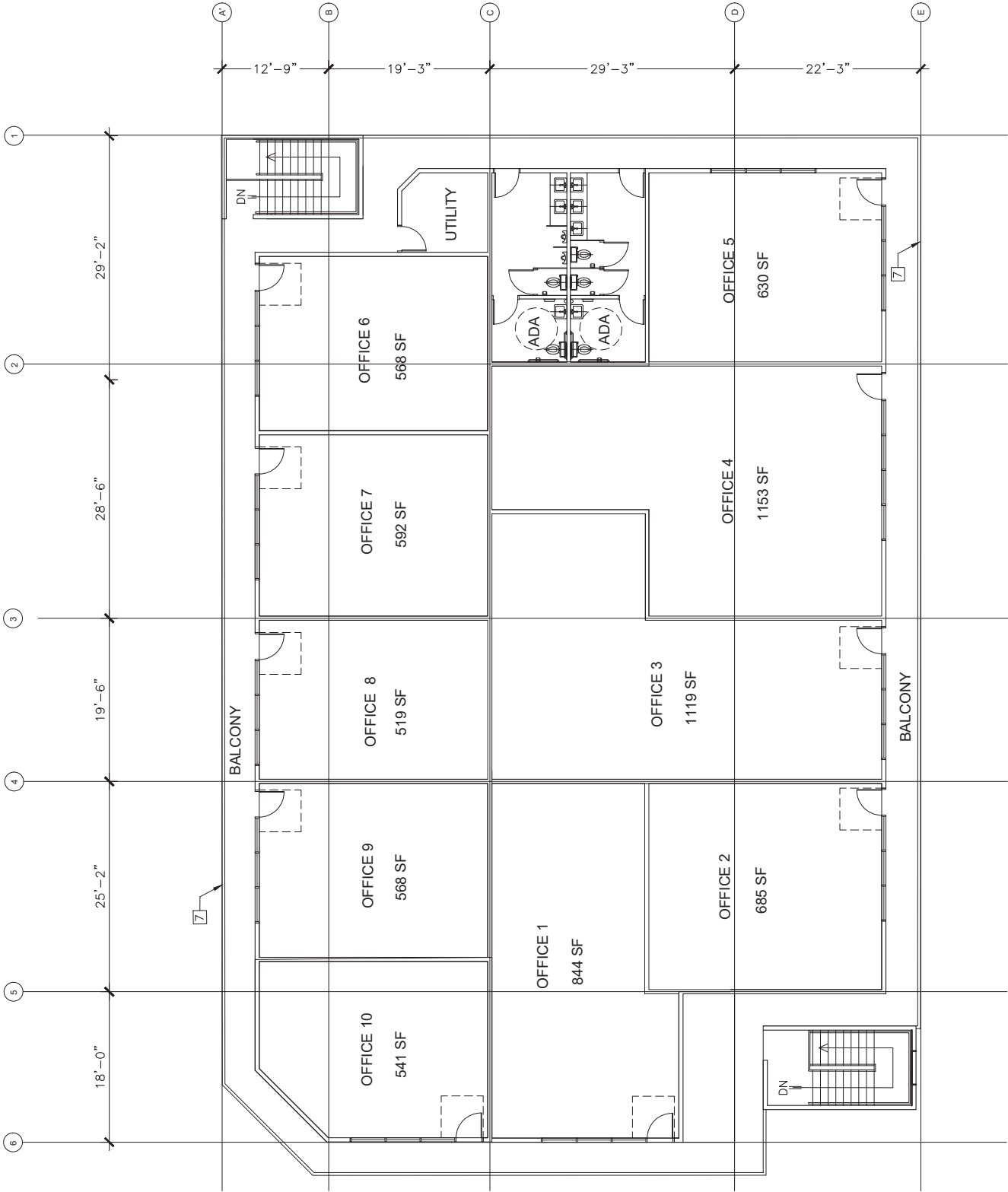
1. THE PROJECT WILL BE COMPLY WITH RIVERSIDE COMMERCIAL LANDSCAPING STANDARDS.
2. REFER TO SHEET # T-1 FOR THE ENTIRE PARKING LAYOUT

☐ FLOOR PLAN KEYNOTES

1. PARKING SPACES REFER TO SITE PLAN
2. ADA SIDEWALK RAMP REFER TO ADA DRAWINGS SIDEWALK
3. RETAIL UNIT PANTRY
4. STUCCO FINISH PAINTED EXTERIOR WALL REFER TO ELEVATIONS
5. POST BASE GABION CLADDING TREATED
6. STEEL RAILINGS

RETAIL BLOCK PROPOSED SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"



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DRAWING TITLE	RETAIL BLOCK SECOND FLOOR PLAN
JOB TITLE	PROPOSED MIXED USE DEVELOPMENT
FOR	ARLINGTON PLAZA,
JOB ADDRESS	10434 ARLINGTON AVE, RIVERSIDE, CA. 92503
JOB NO.	2019-63
DWG. NO.	A-1.02
REVISION NO.	0

ELEVATIONS GENERAL NOTES

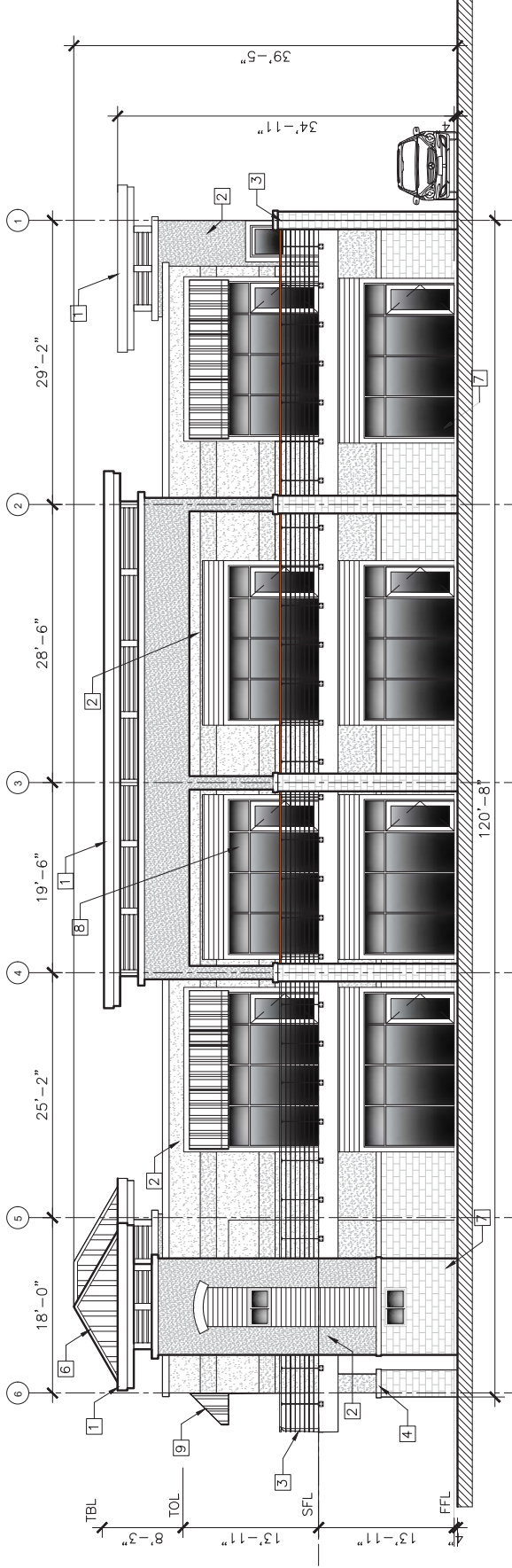
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2. REFER TO SHEET # T-1 FOR THE ENTIRE PARKING LAYOUT

ELEVATION KEYNOTES

1. DECORATIVE METAL CANOPY
2. STUCCO FINISH PAINTED EXTERIOR WALL
3. STEEL GRILLING
4. VENT GRILLE
5. DECORATIVE BUTTRESS
6. METAL ROOFING
7. TILE VENEER CLADDING
8. WOOD SIDING FINISH
9. CANVAS CANOPY

RETAIL BLOCK NORTH ELEVATION (FACING ARLINGTON AVE.)

SCALE:1/8"=1'-0"

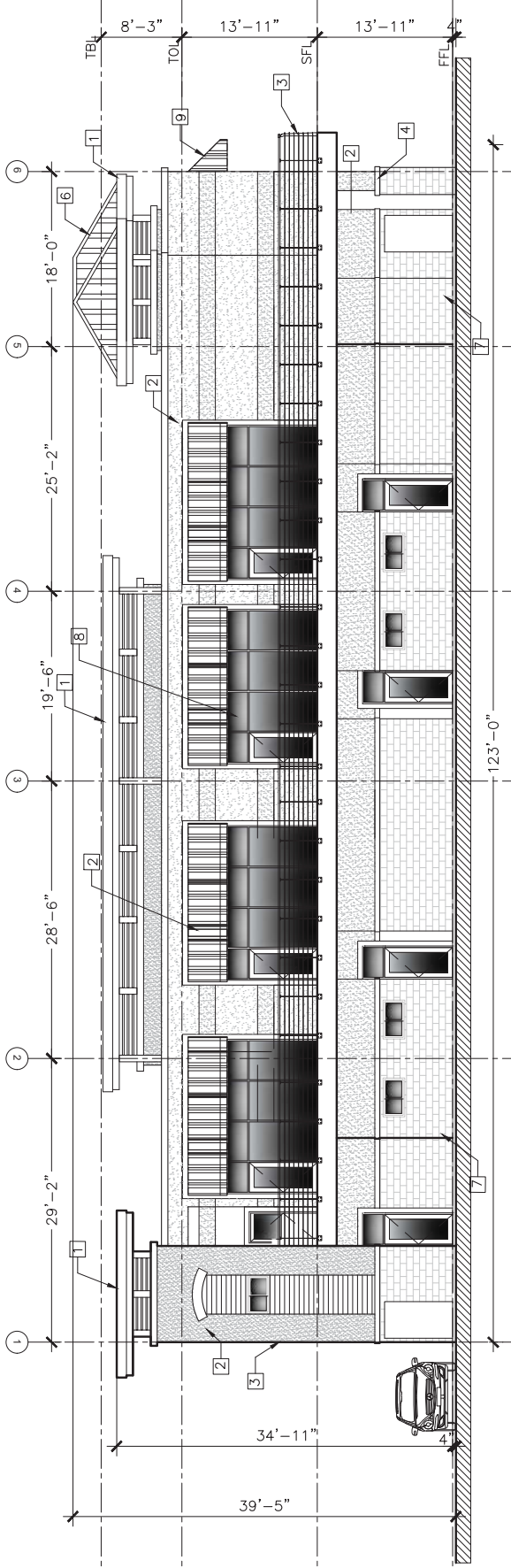


EAST ELEVATION

SCALE:1/8"=1'-0"

WEST ELEVATION

SCALE:1/8"=1'-0"



RETAIL BLOCK SOUTH ELEVATION

SCALE:1/8"=1'-0"

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DRAWING TITLE
RETAIL BLOCK ELEVATIONS

JOB NO. 2019-63

DWG. NO. 0

REVISION NO.

JOB TITLE
PROPOSED MIXED USE DEVELOPMENT
FOR
ARLINGTON PLAZA,
10434 ARLINGTON AVE.
RIVERSIDE, CA, 92503

NO. DATE ISSUED

[illegible]

		ELEVATION MATERIALS 3 CARWASH BLOCK NORTH ELEVATION
ROOFING MATERIAL METAL SALES RIBBED METAL ROOF PANEL EXTERIOR WALL MATERIAL # 1 DUNN EDWARDS ON STUCCO PAINT (YUMA GOLD) DE305 PAINT COLOR EXTERIOR WALL MATERIAL # 2 DUNN EDWARDS ON STUCCO PAINT (SCARLET PAST) DEA150 PAINT COLOR EXTERIOR WALL MATERIAL # 3 DUNN EDWARDS ON STUCCO PAINT (ORANGE MARMALADE) DE5222 PAINT COLOR EXTERIOR WALL MATERIAL # 4 GUN STOCK BROWN WALL THIN BRICK VENEER EXTERIOR CANOPY MATERIAL GREEN WHITE CANVAS MATERIAL		ELEVATION MATERIALS 2 CARWASH BLOCK SOUTH ELEVATION
		ELEVATION MATERIALS 4 CARWASH BLOCK EAST ELEVATION
		ELEVATION MATERIALS 1 CARWASH BLOCK WEST ELEVATION SCALE: 1/8"=1'-0"

ELEVATIONS GENERAL NOTES

1. THE PROJECT WILL BE COMPLY WITH RIVERSIDE COMMERCIAL LANDSCAPING STANDARDS.
REFER TO SHEET # T-1 FOR THE ENTIRE PARKING LAYOUT
2.

☐ ELEVATION MATERIALS



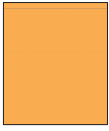
ROOFING MATERIAL
METAL SALES RIBBED
METAL ROOF PANEL



EXTERIOR WALL
MATERIAL # 1
DUNN EDWARDS ON STUCCO
PAINT (YUMA GOLD)
DE5305 PAINT COLOR



EXTERIOR WALL
MATERIAL # 2
DUNN EDWARDS ON STUCCO
PAINT (SCARLET PAST)
DEA150 PAINT COLOR



EXTERIOR WALL
MATERIAL # 3
DUNN EDWARDS ON STUCCO
PAINT (ORANGE MARMALADE)
DES222 PAINT COLOR



EXTERIOR WALL
MATERIAL # 4
GUN STOCK BROWN
WALL THIN BRICK VENEER



EXTERIOR CANOPY
MATERIAL GREEN ☐
WHITE CANVAS MATERIAL

RETAIL BLOCK NORTH ELEVATION (FACING ARLINGTON AVE.)

SCALE: 1/8"=1'-0"

3



EAST ELEVATION

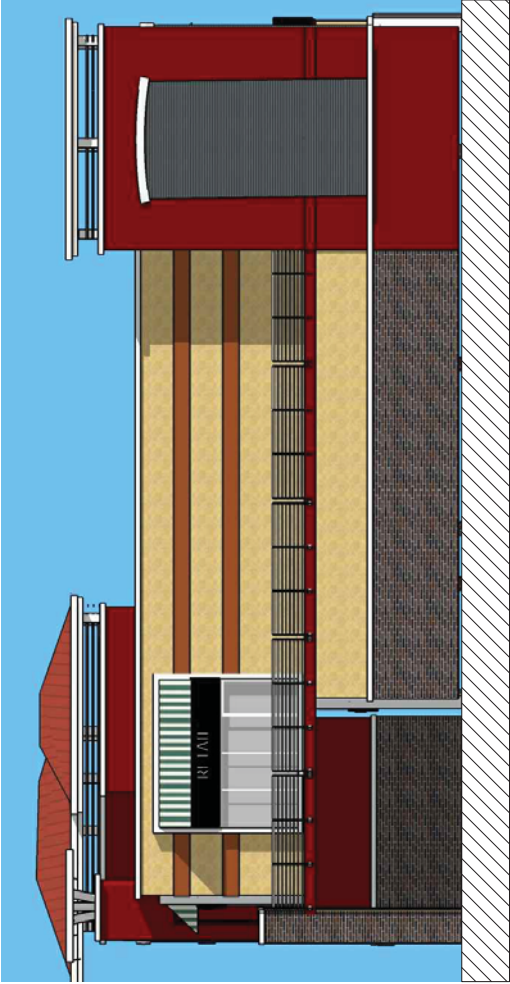
SCALE: 1/8"=1'-0"

2

WEST ELEVATION

SCALE: 1/8"=1'-0"

2



RETAIL BLOCK SOUTH ELEVATION

SCALE: 1/8"=1'-0"

1



DRAWING TITLE
RETAIL BLOCK COLORED
ELEVATIONS

JOB TITLE
PROPOSED MIXED USE DEVELOPMENT
FOR
ARLINGTON PLAZA,
10434 ARLINGTON AVE,
RIVERSIDE, CA. 92503

JOB NO. 2019-63

DWG. NO. REVISION NO.

A-1.03 0

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