

DEVELOPMENT PLAN

EMPIRE PHARMACY

KHALID ALI

OVERALL CENTER ANALYSIS TABLE			
RETAIL USES			
SHOPPING CENTER			
VEHICLE LOADING AND BICYCLE PARKING			
parking spaces required	parking spaces provided		
73 spaces required	55 spaces provided		
area of building A,B,C and required parking =18294/250= 73 parking spaces required			
PARKING LOT LANDSCAPE			
% of total parking area to be landscaped			
10% required			
landscaping required 4992 sq ft			
landscaping provided 3517 sq ft +2565 hardscape =6082/49923=12%			
AREA OF LOT APPROXIMATELY 49.923 SQ FT approximately 1.15 acres			
area of parcel	1.15 ACRE		
OVERALL PROPERTY		1.15 acres approximately	
TOTAL CENTER PARKING PROVIDED		55 SPACES	
TOTAL CENTER PARKING REQUIRED		73 SPACES	
BUILDING AREA		18,294 SQ.FT.	
TOTAL ADA VAN ACCESSIBLE PARKING: 1 VAN ACCESSIBLE +2 accessible spaces			
FLOOR AREA RATIO TO AREA OF PROPERTY = 18,294/49,923=36.6%			
OCCUPANCY USE:			
PROPOSED ZONING: FUTURE DOWNTOWN COMMERCIAL			
NUMBER OF STORIES : 1			

[illegible]

PROPOSED DEVELOPMENT OF 17,955 SQ. FT. SHOPPING CENTER THAT HAS 4 BUILDINGS.
BUILDING A=3,577 SQ. FT. SINGLE TENANT TO BE USED AS A RESTAURANT OR A CONVENIENCE
STORE.
BUILDING B=5,361 SQ. FT. PROPOSED 3 UNITS B-1=1124.2 C=242.3 B-3=1189.4 B=982.6=1029.9 SQ.
FT. WILL BE SUCH AS: PIZZA CELL PHONE STORE, DRY CLEANER, POSTAL ANNEX, AND
DOUGHNUT SHOP.
BUILDING C=5,609 SQ. FT. PROPOSED 3 UNITS C-1=1,495 SQ. FT. C-2=1,470 SQ. FT. C-3=1,651 SQ.
FT. WILL BE SUCH AS: SMOKE SHOP, SUBWAY AND SMALL RESTAURANT.
BUILDING D=4,318 SQ. FT. TO BE USED FULLY FOR A PHARMACY BY DEVELOPMENT OWNER.
THE PROJECT WILL BE CONSTRUCTED AT THE SAME TIME THERE WILL BE NO PHASING.

(1) TRASH /LOADING /STORAGE AREAS

ALL TRASH AND GARBAGE BINS SHALL BE STORED IN APPROVED ENCLOSURES IN COMPLIANCE WITH THE CITY OF HEMET MUNICIPAL CODE

BUILDING FLOOR AREA	REFUSE AREA PROVIDE		
18,294 sq.ft	330 sq ft		

(2) all mechanical equipment (compressors, air conditioners, Heating, and ventilating Equipment, chillers stand pipes, solar collectors, etc.) shall be concealed from View

(screening and buffering) screening devices shall be compatible with the building architecture, and color

(3) all building-mounted and ground Mounted mechanical equipment and Utility Services (air conditioning, heating ,cooling, ventilation ducts ,and exhaust equipment panels , etc) shall be adequately screened from View in all horizontal directions :

(a)The screening method Shall be architecturally compatible and integrated with the site development in terms of design materials color form architectural style and Landscaping .

(b) At a minimum adequate screening Shall be based on a line of sight in all directions from a point (5) feet above the grade of the building finish floor at a distance of 660 feet as illustrated by figure 18.120 - 1 on the

LIGHTING MOUNT PALOMAR

- when lighting is allowed by this section, it shall be fully shielded and shall be focused to minimize the spill light in to the light into the night sky and into adjacent properties.

- light sources shall be shielded to direct light rays in to the subject parcel only . the light source whether bulb or tube,shall not be visible from adjacent property ,this is a standard requirement and will be part of conditions of approval .

the selected outdoor light fixtures shall be designed or constructed so that ninety (100%) percent pf the light ray emitted by fixture are projected below the horizontal plane passing through the lowest point of the shield.

(LAMP TYPE)	
CLASS II - PARKING LOTS WALKWAYS SECURITY	PAI OMAR LIGHTING ZONE

(LAMP TYPE)	
CLASS II - PARKING LOTS, WALKWAYS, SECURITY	PALOMAR LIGHTING ZONE
low pressure sodium	allowed
other above 4050 lumens	not allowed
others 4050 lumens and below	allowed

LEGAL DESCRIPTION

PARCEL A: (APN: 210-043-002-0)
THAT PORTION OF LOT 3 IN BLOCK 2 OF LANSOWNE DIVISION, IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 8 OF MAPS, PAGE 82, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE EASTERLY LINE OF S/D LOT 1, DISTANT ALONG SAID EASTERLY LINE, SOUTH 0° 48' 09" WEST, 20.93 FEET FROM THE NORTHEASTLY CORNER OF S/D LOT 1; THENCE ALONG SAID EASTERLY LINE, SOUTH 0° 48' 09" WEST, 113.68 FEET TO THE SOUTHEASTLY CORNER OF S/D LOT 1; THENCE ALONG THE SOUTHERLY LINE OF S/D LOT 1, NORTH 89° 14' 25" WEST, 15.38 FEET; THENCE PARALLEL, WITH SAID EASTERLY LINE, TO THE SOUTHERLY CORNER OF S/D LOT 1, 10.62 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCENTRIC SOUTHEASTELY, HAVING A RADIUS OF 25 FEET, AND WHICH INTERSECTS SAID EASTERLY LINE AT THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE NORTHEASTERLY ALONG SAID CURVE, AN ARC DISTANCE OF 29.40 FEET TO SAID POINT OF BEGINNING.

PORT OF ACCESS:	BUILDING A	BUILDING B	BUILDING C	BUILDING D
BUILDING HEIGHT	29'-0"	34'-0"	29'-0"	29'-0"
BUILDING AREA	3851 SQ FT	5277 SQ FT	4509 SQ FT	4318 SQ FT
BUILDING A,B,C,&D BUILDING AREA 17,955 SQ. FT				

EASEMENTS

- 1- An easement for erection, maintenance, repair, replacement and/or removal of freeway directional sign and incidental purposes as reserved by Harold T. Nordstrom and Elizabeth Nordstrom, husband and wife, as joint tenants in the deed recorded 5/10/1965, as Instrument No. 1965-54195, Official Records, along a portion of said land, The location of said easements set forth therein.

Said matter affects Parcel A

- 2- An easement for the construction, maintenance, operation, inspection, repair, replacement, and removal of electric and telephone lines and cables and incidental purposes as reserved by Harold T. Nordstrom and Elizabeth Nordstrom, husband and wife, as joint tenants in the deed recorded 5/10/1965, as Instrument No. 1965-54195, Official Records, along a portion of said land. The location of said easements set forth therein. .

Said matter affects Parcel A.

- 3- An easement for installing, maintaining and repairing said poles, lines, cables, wires and equipment and incidental purposes as reserved by Harold T. Nordstrom and Elizabeth Nordstrom, husband and wife, as joint tenants in the deed recorded 5/10/1965, as Instrument No. 1965-54195, Official Records, along a portion of said land, The location of said easements set forth therein.

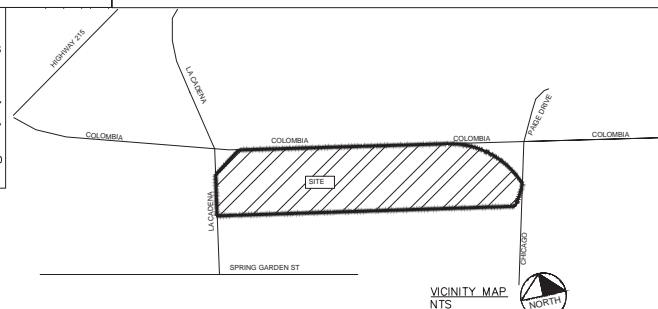
Said matter affects Parcel A

- 4- An easement for the construction and maintenance of all water ditches that may be required for irrigation and other purposes and incidental purposes as reserved by Harold T. Nordstrom and Elizabeth Nordstrom, husband and wife, as joint tenants in the deed recorded 5/10/1965, as Instrument No. 1965-54195, Official Records, along a portion of said land. The location of said easements set forth therein. .



Said matter affects Parcel A.

- 5- An easement for purposes herein stated, and rights incidental thereto as provided in an instrument Recorded: 6/3/1999, as Instrument No. 1999-243322, of Official Records. For : private water service facilities and incidental purposes in favor of : Dorothy E. Peterson Affects : the Westerly 10.00 feet of the Southerly 50.00 feet of Lot 18 in block 2 of the landowne division, as shown by map on file in Book 8 of Maps, at Page 82 thereof, records of Riverside County, California, together with the Westerly 3.00 feet of the Northerly 83.20 feet of said Lot 18.

Excepting therefrom that portion of said Lot 18 lying Northerly of the Southerly line of that certain parcel of land conveyed to the City of Riverside, by deeds recorded June 3, 1977 as Instrument No. 102150 and 102151 Official Records of Riverside County, California

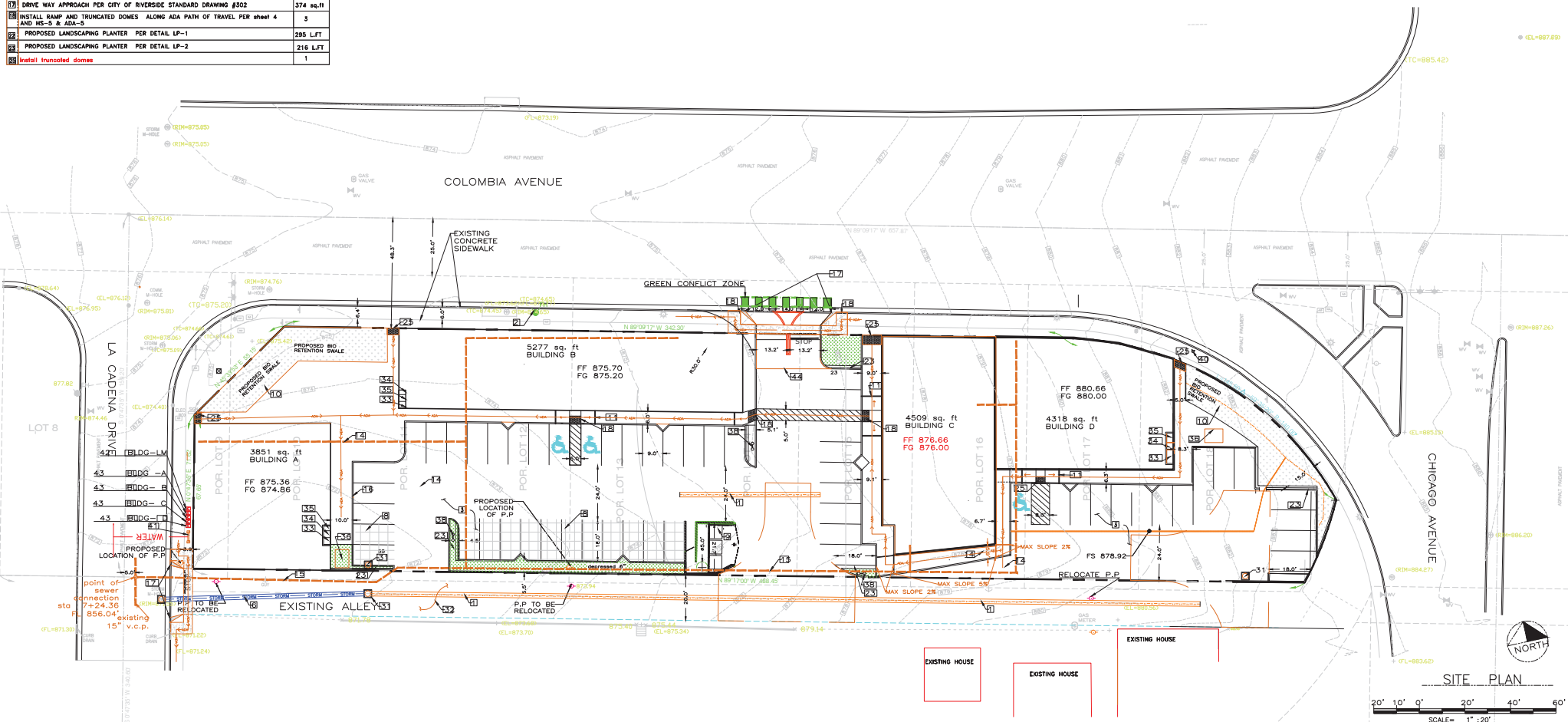


VICINITY MAP
NTS

		<p align="center">"AS BUILT"</p> <p>The receipt of As-Built Plans and City's acceptance thereof does not absolve the Subdivider/Developer of any responsibility for their accuracy.</p>		<p align="center">SEAL: </p>		<p align="center">APECO ENGINEERING</p> <p align="center">328 N. STATE ST HEMET, CA 92543</p>		<p align="center">03/08/2019</p>		<p align="center">SHEET CITY OF MURRIETA SHEETS T-1</p> <p align="center">ENGINEERING DEPARTMENT</p>	
<p>Engineer of work _____ Date _____</p> <p>RCE _____ EXP. _____</p>		<p align="center">APPROVED FOR SIGNATURE</p>		<p align="center">SCALE=NTS</p>		<p align="center">PREPARED BY _____ DATE _____</p>		<p align="center">DATE _____ INITIAL _____</p>		<p>Assessor's Parcel Numbers 210-043-002, 210-043-004, 210-043-005, 210-043-006, 210-043-007, 210-043-008, 210-043-009, 210-043-040, 210-043-041, 210-043-042, Lots 9 through 18 in Block 2 of Landmark Division, Located on the Southwest Corner of Columbia Avenue and Chicago Avenue, City of Riverside, Riverside County, California</p>	
<p align="center">BENCH MARK</p>		<p>PLAN CHECK ENGR. NAME TYPED _____ DATE _____</p> <p>PLAN CHECK FIRM _____</p> <p>R.C.E. NO. _____</p>		<p>AS NOTED _____</p> <p>VERTICAL _____</p> <p>AS NOTED _____</p>		<p>EXP. DATE 06/30/2019</p>		<p align="center">ENGINEER OF WORK</p>		<p align="center">REVISION DESCRIPTION</p>	
<p>Underground Service Alert</p> <p>Car: TOLL FREE 1-800-422-4133</p> <p>THE WORKING DAYS BEFORE YOU DIG</p>		<p>SOURCE BENCHMARK: CITY OF RIVERSIDE BENCHMARK J7-N3 PX NAIL AND CITY ENGINEER TAG IN THE STREET LIGHT BASE AT THE NORTHWEST CORNER RETURN OF LABEL AVENUE AND MARLBOROUGH AVENUE (NAVD83)</p>		<p>AS NOTED _____</p>		<p>EXP. DATE 06/30/2019</p>		<p align="center">ENGINEER OF WORK</p>		<p>SHT NO. _____ DATE _____ INITIAL _____</p> <p>CITY APPROVAL _____</p>	
<p>OWN BY: _____</p> <p>CHNG BY: _____</p> <p>FIELD BIC: _____</p>		<p align="center">PROJECT NO. _____</p>		<p align="center">DRAWING NO. _____</p>		<p align="center">T-1</p>		<p align="center">T-1</p>		<p align="center">T-1</p>	

DESCRIPTION	QUANTITY
1. CONSTRUCT 24" CONCRETE RIBBON PER DETAIL G-1 ON SHEET 4	2411'F
2. EXISTING FIRE HYDRANT	1 EACH
3. 3000 PSI 6" CONCRETE OVER 95% MIN. COMPACTED NATIVE SOIL (MINIMUM WIDTH 20' TO SUPPORT THE IMPOSED LOADS OF 40,000 POUND LIVE LOAD (GROSS VEHICLE WEIGHT DISTRIBUTED OVER TWO AXLES)	20,205 SQ.FT.
4. DRIVEWAYS = 3920 SQ. FT. PARKING (CONCRETE) 32170 SQ. FT.	
5. INSTALL 18" (R.C.P.) REINFORCED CONCRETE PIPE 244 LFT TYPE-4 B-LADING =1481 Class V (D-Load (b/11/1)) for Type 4 Bedding	753 LFT
6. REMOVABLE PHOSPHORUS 99.1% 1182 SQ. FT. PER DETAIL	1782 FT-2
7. TIRISH ENCLOSURE QUANTITY 1 REFER TO BUILDING PLANS SHEET 5 OF 5 UNDER A SEPARATE PERMIT	1
8. SURFACE BIO RETENTION SWALE 80'X13' PER SECTION A-4, A-6, A-6.1 ON SHEET 4	1
9. ADA RAMP PER CITY OF RIVERSIDE STANDARD DRAWING #304 TYPE 3	2
10. SEWER LINE PROPOSED PVT 4" PVC SDR-35 SWR	xx LFT
11. SEWER LINE PROPOSED PVT 6" PVC SDR-35 SWR	xx LFT
12. CURB PER CITY OF RIVERSIDE STANDARD DRAWING #200 TYPE 2	1235 LFT
13. DRIVE WAY APPROACH PER CITY OF RIVERSIDE STANDARD DRAWING #302	374 sq.ft
14. INSTALL RAMP AND TRUNCATED DOMES ALONG ADA PATH OF TRAVEL PER sheet 4 AND HS-5 & ADA-5	5
15. PROPOSED LANDSCAPING PLANTER PER DETAIL LP-1	295 LFT
16. PROPOSED LANDSCAPING PLANTER PER DETAIL LP-2	216 LFT
17. Install truncated domes	1

DESCRIPTION	QUANTITY
1. BROOKS BOX 24"X24" SEE DETAIL ON SHEET 3	1
2. ALLY PER CITY OF RIVERSIDE STANDARD DRAWING #110 TYPE 2	8880 sq.ft
3. ELECTRIC PANEL ROOM	4
4. FIRE RISER ROOM	4
5. DATA ROOM	4
6. ELECTRIC TRANSFORMER UNDERGROUND	3
7. 6" PVC storm drain pipe	2
8. INSTALL PLV & PDC W/TAMPER SWITCH ASSEMBLY	3
9. PROPOSED FIRE HYDRANT ON CHICAGO	1
10. INSTALL 8" DOUBLE DETECTOR CHECK PER WWD STANDARD DETAIL (Master Series 870v double check valve assemblies 2-1/2"-10")	1
11. 2" WATER METER LANDSCAPING	1
12. 2" WATER METER	4
13. DECORATIVE DRIVE WAY ENTRANCE STAMP CONCRETE COLOR (BIA RED)	432 SQ. FT.



"AS BUILT" THE RECEIPT OF AS-BUILT PLANS AND CITY'S ACCEPTANCE THEREOF DOES NOT ABSOLVE THE ENGINEER OF WORK OF ANY RESPONSIBILITY FOR THE PROJECT DESIGN.		SEAL:		APECO ENGINEERING 328 N. STATE ST HEMET, CA 92543 1-760-497-3795 JIV@APECOENGINEERING.COM		11/15/2018	
ENGINEER OF WORK: JALAL I. RAHMAN RCE NO. C77969 EXPIRATION DATE: 06/30/2019		SCALE: HORIZONTAL AS NOTED VERTICAL AS NOTED		PREPARED BY: JALAL IBRAHIM RAHMAN DATE: 04/17/2018		CITY ENGINEER: _____ DATE: _____	
Underground Service Alert Call: TOLL FREE 1-800-422-4133		BENCH MARK: SOURCE BENCHMARK: CITY OF RIVERSIDE BENCHMARK 77-43 PRIVATE AND CITY ENGINEER TAG IN THE STREET LIGHT BASE AT THE NORTHWEST CORNER OF LAUREL AVENUE AND MARLBOROUGH AVENUE (N.00088)		ENGR. NAME: JALAL IBRAHIM RAHMAN RCE NO. C77969 EXP. DATE: 06/30/2019		REVISION DESCRIPTION SHEET NO. _____ DATE: _____ INITIAL: _____ CITY APPROVAL: _____	
SHEET SP-1 CITY OF RIVERSIDE ENGINEERING DEPARTMENT GRADING PLAN Assessor's Parcel Numbers 210-043-005, 210-043-006, 210-043-007, 210-043-008, 210-043-009, 210-043-040, 210-043-041, 210-043-042, Lot 3 through Lot 8, Block 2 of Landowners' Tract, located on the Southwest Corner of Colombia Avenue and Chicago Avenue, City of Riverside, Riverside County, California.		APPROVED: _____ CITY ENGINEER: _____ DATE: _____		DWN BY: _____ CHD BY: _____ FIELD BY: _____		PROJECT NO. _____ DRAWING NO. _____	

1. This development shall conform to Title 19 and Title 24 of the California Code of Regulations, 2016 CBC, CEC, CMC, CFC, and 2016 California Fire Code.
2. Fire Access roads and driveways shall be designed and constructed to support the weight of imposed loads of fire apparatus. All roads shall have the ability to support the weight of a 70,000 lb imposed load.
3. Approved fire lanes shall be determined by Murrieta Fire & Rescue, fire lanes shall be painted and/or posted in an approved manner prior to final occupancy.
4. Turn radii for fire department access shall be a minimum of 28' per City of Murrieta Municipal Code 16.34.080. An approved fire lane shall be maintained at all times.
5. Plans and specifications for on-site water system and fire hydrants shall be submitted to the Fire Department for review and approval prior to construction. Fire hydrant location and spacing shall comply with CFC, Appendix C and fire flow requirements shall comply with CFC, Appendix BB. Fire flow shall comply with the Fire Code requirements, but shall not be less than 3000 gpm at 20psr for commercial projects for a three hour duration. CFC,section 507.4).
6. New public and/or on-site fire hydrants shall be required. Maximum spacing is 300 feet or 150 feet from the end of a cul-de-sac or dead-end.
7. All hydrants shall have two ~2 1/2" outlets and one 4" outlet and private hydrants shall be painted red.
8. An approved water supply system shall be designed and installed, capable of providing the minimum fire flow as required by the Fire Code and verified by the water company. All required on-site fire hydrants shall be installed and fully operational prior to the construction phase of the development.
9. Fire sprinkler system plans for fire suppression systems are permitted separately by the Fire Department; plans shall comply with NFPA 13 and must be approved prior to commencement of work.
10. Fire alarm plans are permitted separately by the fire department; plans shall comply with the current NFPA 72 Standard and shall be approved prior to commencement of work.
11. All applicable Fire Code permits shall be obtained from Murrieta Fire & Rescue prior to final approval of the project.

			DATE
ENGINEER'S NAME: JALAL RAHMAN			
RCE NO.	C77969	EXP. DATE	06/30/2019

IN CASE OF EMERGENCY, CALL:
WORK: PHONE NUMBER: 1-744-553-0969
HOME: 1-744-553-0969

2. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAIN SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT THE FOLLOWING LOCATIONS TO PREVENT THE RAIN CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.

3. DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE ENGINEERING DEPARTMENT.

4. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WITH THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.

5. AFTER A RAINFALL, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS AND DESILTING BASINS, AND THE BASINS PUMPED DRY.


6. GRADED AREAS AROUND THE TRACT PERMIT MUST DRAIN AWAY FROM THE FACE OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY.


7. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPROVED WATER CREATES A HAZARDOUS CONDITION.

8. GRAVEL BAG LAYOUT SHALL BE INSTALLED AS SHOWN PER PLAN OR AS DIRECTED BY THE CITY INSPECTOR.

EARTH QUANTITIES	
FILL	1,444 C.Y
CUT	1,444 C.Y
EXPORT	0.0 C.Y



<p>"AS BUILT"</p> <p>THE RECEIPT OF AS-BUILT PLANS AND CITY'S ACCEPTANCE THEREOF DOES NOT IMPLY THE ENGINEER OF WORK OR ANY RESPONSIBILITY FOR THE PROJECT DESIGN.</p>	
ENGINEER OF WORK	JALAL RAHMAN
DATE	01/17/2019
RCE NO.	C77969
EXPIRATION DATE	06/30/2019
<p>Underground</p> <p>Service Alert</p> <p> Call: TOLL FREE</p> <p>1-800</p> <p>422-4133</p> <p>TWO WORKING DAYS BEFORE YOU DIG</p>	<p>BENCH MARK</p> <p>CITY OF BENCHMARK: CITY OF SHELBY BENCHMARK J740 PK NAIL AND CITY ENGINEER TAG THE STREET LIGHT BASE AT THE NORTHWEST CURB RETURN OF LAUREL AVENUE AND MARLBOROUGH AVENUE</p>

SEAL:			
	<h1>APECO ENGINEERING</h1> <p>328 N. STATE ST HEMET, CA 92543</p> <p>1-760-497-3795 JIBRAH@APECOENGINEERING.COM </p>		
	SCALE	PREPARED BY	DATE
	HORIZONTAL	JALAL IBRAHIM RAHMAN	04/17/2018
IN	AS NOTED		
	VERTICAL		
JG	AS NOTED	DWR. NAME : JALAL IBRAHIM RAHMAN RCE NO. : C77969 EXP. DATE: 06/30/2019	

	SCALE	1-760-497-3795		
	HORIZONTAL	JW@APECOENGINEERING.COM		
	AS NOTED	PREPARED BY	DATE	
IN	VERTICAL	JALAL IBRAHIM RAHMAN	04/17/2018	
UGH	AS NOTED	ENGR. NAME : JALAL IBRAHIM RAHMAN	DATE	INITIAL
		RCE NO. C77969	EXP. DATE 06/30/2019	ENGINEER OF WORK

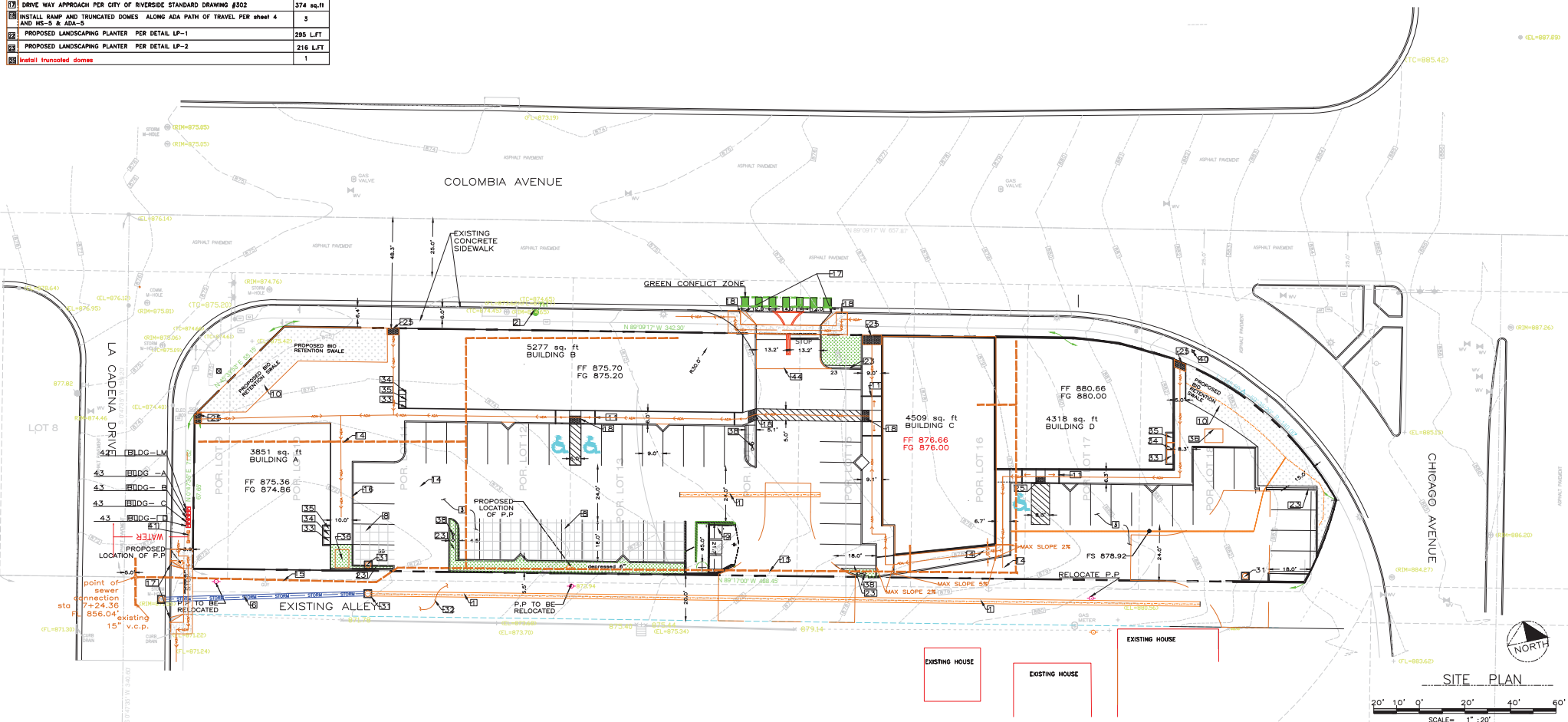
5[] Erosion, dust and drainage control to be maintained at all times for the duration of the stockpiling.
(Not just during placement of the material.)

WDID # XXX

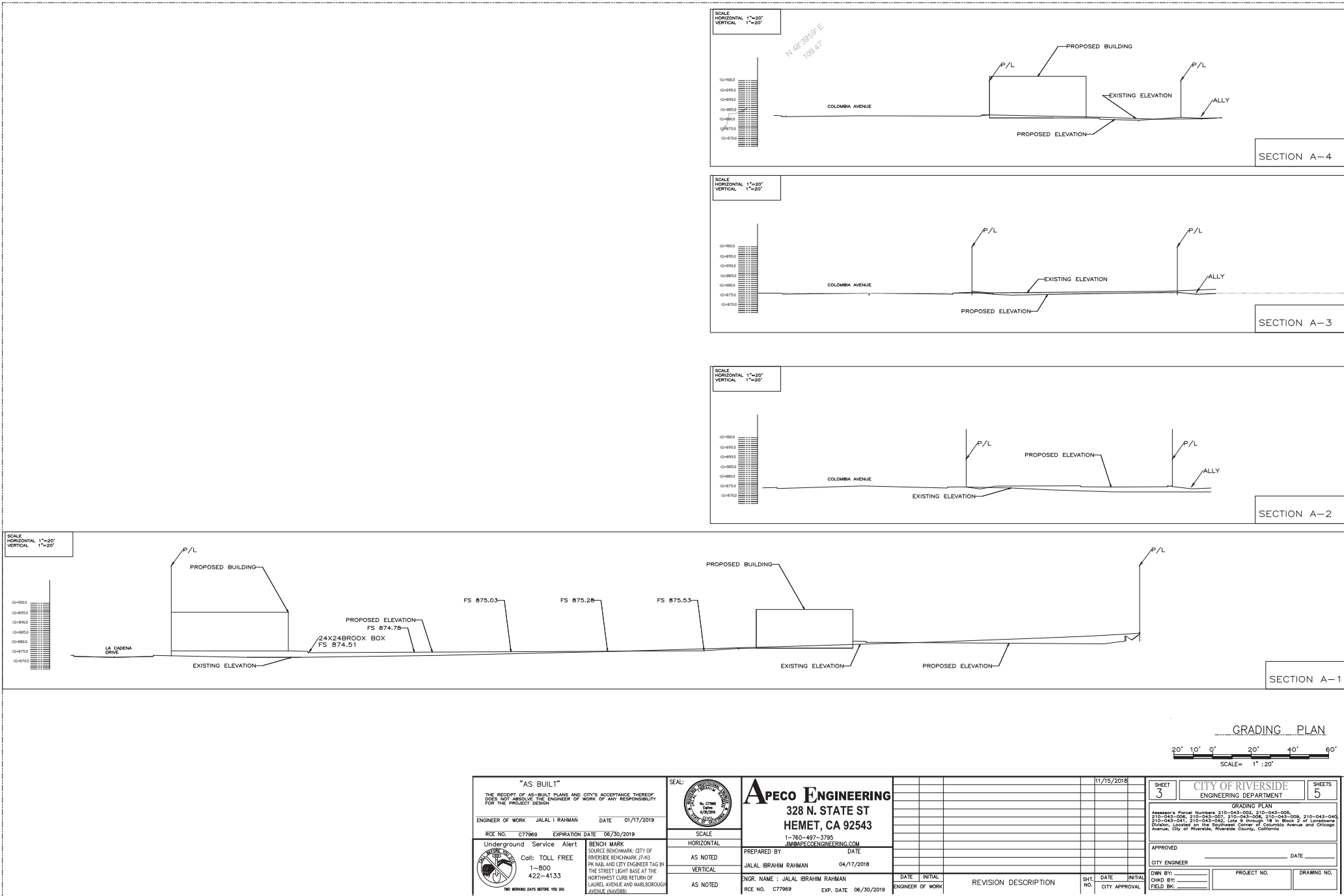
SHEET <div style="font-size: 2em; font-weight: bold; margin: 5px 0;">1</div>	<div style="font-size: 1.5em; font-weight: bold; margin-bottom: 5px;">CITY OF RIVERSIDE</div> <div style="font-size: 1.2em; font-weight: bold; margin-bottom: 5px;">ENGINEERING DEPARTMENT</div> <div style="font-size: 1.2em; font-weight: bold; margin-bottom: 5px;">GRADING PLAN</div> <p style="font-size: 0.8em; margin: 0;"> Assessor's Parcel Numbers: 210-043-005, 210-043-006, 210-043-008, 210-043-007, 210-043-008, 210-043-009, 210-043-045, 210-043-046, 210-043-047, 210-043-048, Lots 9 through 18 in Block 2 of Landmark Division, Located on the Southwest Corner of Columbus Avenue and Chicago Avenue, City of Riverside, Riverside County, California. </p>	SHEETS <div style="font-size: 2em; font-weight: bold; margin: 5px 0;">5</div>
<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> APPROVED _____ CITY ENGINEER _____ </div> <div style="width: 45%; text-align: right;"> DATE _____ </div> </div>		
<div style="display: flex; justify-content: space-between;"> <div style="width: 30%;"> OWN BY: _____ CHNG BY: _____ FIELD BKG: _____ </div> <div style="width: 30%; text-align: center;"> PROJECT NO. _____ </div> <div style="width: 30%; text-align: right;"> DRAWING NO. _____ </div> </div>		

DESCRIPTION	QUANTITY
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2. EXISTING FIRE HYDRANT	1 EACH
3. 3000 PSI 6" CONCRETE OVER 95% MIN. COMPACTED NATIVE SOIL (MINIMUM WIDTH 20' TO SUPPORT THE IMPOSED LOADS OF 40,000 POUND LIVE LOAD (GROSS VEHICLE WEIGHT DISTRIBUTED OVER TWO AXLES)	20,205 SQ.FT.
4. DRIVEWAYS = 3920 SQ. FT. PARKING (CONCRETE) 32170 SQ. FT.	
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7. TIRISH ENCLOSURE QUANTITY 1 REFER TO BUILDING PLANS SHEET 5 OF 5 UNDER A SEPARATE PERMIT	1
8. SURFACE BIO RETENTION SWALE 80'X13' PER SECTION A-4, A-6, A-6.1 ON SHEET 4	1
9. ADA RAMP PER CITY OF RIVERSIDE STANDARD DRAWING #304 TYPE 3	2
10. SEWER LINE PROPOSED PVT 4" PVC SDR-35 SWR	xx LFT
11. SEWER LINE PROPOSED PVT 6" PVC SDR-35 SWR	xx LFT
12. CURB PER CITY OF RIVERSIDE STANDARD DRAWING #200 TYPE 2	1235 LFT
13. DRIVE WAY APPROACH PER CITY OF RIVERSIDE STANDARD DRAWING #302	374 sq.ft
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DESCRIPTION	QUANTITY
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4. FIRE RISER ROOM	4
5. DATA ROOM	4
6. ELECTRIC TRANSFORMER UNDERGROUND	3
7. 6" PVC storm drain pipe	2
8. INSTALL PLV & PDC W/TAMPER SWITCH ASSEMBLY	3
9. PROPOSED FIRE HYDRANT ON CHICAGO	1
10. INSTALL 8" DOUBLE DETECTOR CHECK PER WWDW STANDARD DETAIL (Master Series 870v double check valve assemblies 2-1/2"-10")	1
11. 2" WATER METER LANDSCAPING	1
12. 2" WATER METER	4
13. DECORATIVE DRIVE WAY ENTRANCE STAMP CONCRETE COLOR (BIA RED)	432 SQ. FT.



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ENGINEER OF WORK: JALAL I. RAHMAN RCE NO. C77969 EXPIRATION DATE: 06/30/2019		SCALE: HORIZONTAL AS NOTED VERTICAL AS NOTED		PREPARED BY: JALAL IBRAHIM RAHMAN DATE: 04/17/2018		CITY ENGINEER: _____ DATE: _____	
Underground Service Alert Call: TOLL FREE 1-800-422-4133 TWO WORKING DAYS BEFORE YOU DIG		BENCH MARK: SOURCE BENCHMARK: CITY OF RIVERSIDE BENCHMARK J7-43 PRIVATE AND CITY ENGINEER TAG IN THE STREET LIGHT BASE AT THE NORTHWEST CORNER RETURN OF LAUREL AVENUE AND MARLBOROUGH AVENUE (N.00088)		ENGR. NAME: JALAL IBRAHIM RAHMAN RCE NO. C77969 EXP. DATE: 06/30/2019		REVISION DESCRIPTION SHEET NO. _____ DATE: _____ INITIAL: _____ CITY APPROVAL: _____	
SHEET SP-1 CITY OF RIVERSIDE ENGINEERING DEPARTMENT GRADING PLAN Assessor's Parcel Numbers 210-043-005, 210-043-006, 210-043-007, 210-043-008, 210-043-009, 210-043-040, 210-043-041, 210-043-042, Lot 3 through Lot 8, Block 2 of Landowners' Tract, located on the Southwest Corner of Colombia Avenue and Chicago Avenue, City of Riverside, Riverside County, California.		APPROVED: _____ CITY ENGINEER: _____ DATE: _____		DWN BY: _____ CHD BY: _____ FIELD BY: _____		PROJECT NO. _____ DRAWING NO. _____	

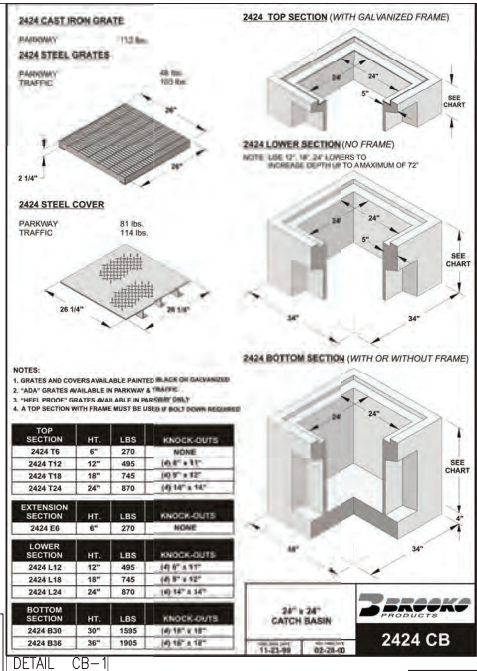
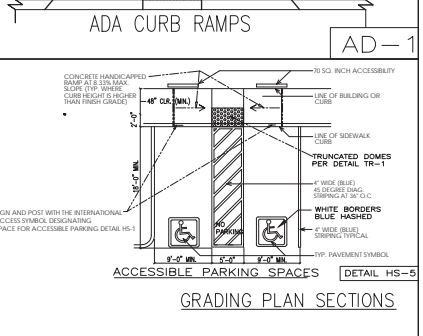
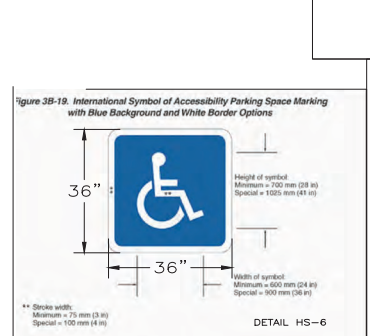
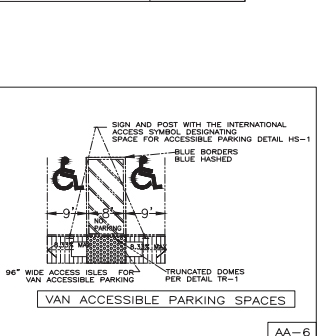
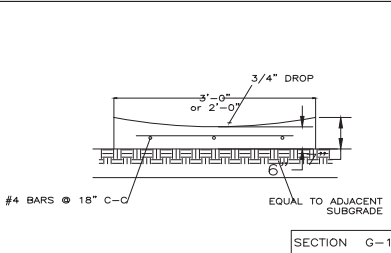
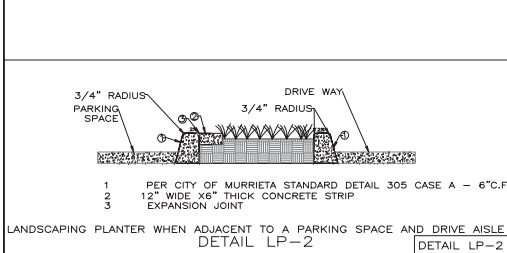
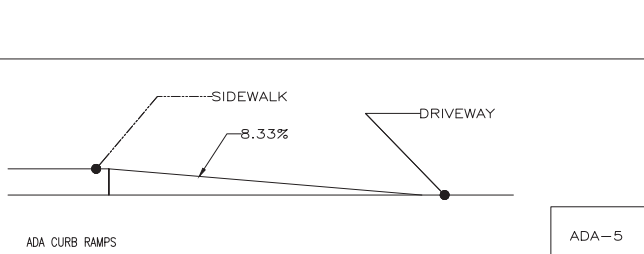
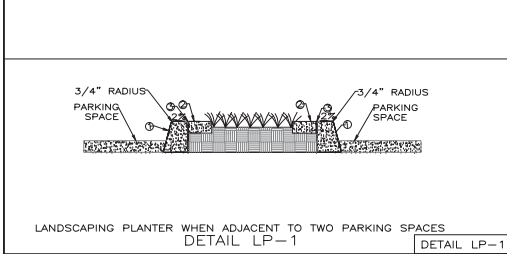
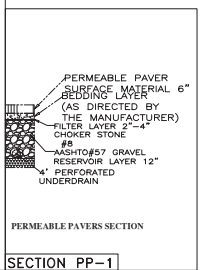


P19-0179-0182, Exhibit 10 - Project Plans

11B-705.1.1.1 Dome size. Truncated domes in a detectable warning surface shall have a base diameter of 0.9 inch (22.9 mm) minimum and 0.92 inch (23.4 mm) maximum, a top diameter of 0.45 inch (11.4 mm) minimum and 0.47 inch (11.9 mm) maximum, and a height of 0.18 inch (4.6 mm) minimum and 0.22 inch (5.6 mm) maximum.

11B-705.1.1.2 Dome spacing. Truncated domes in a detectable warning surface shall have a center-to-center spacing of 2.3 inches (58 mm) minimum and 2.4 inches (61 mm) maximum, and a base-to-base spacing of 0.65 inch (16.5 mm) minimum, measured between the most adjacent domes on a square grid

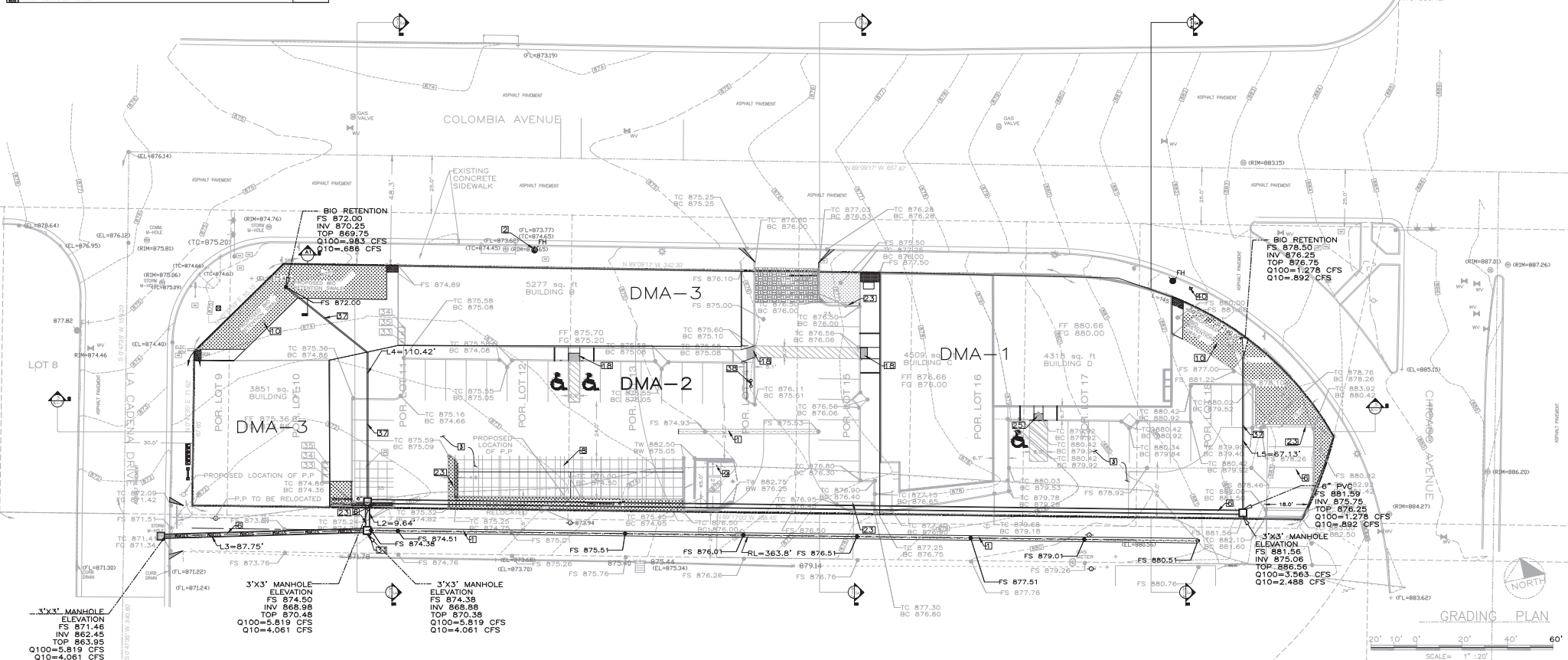
DETAIL TR-1





<p>"AS BUILT"</p> <p>THE RECEIPT OF AS-BUILT PLANS AND CITY'S ACCEPTANCE THEREOF DOES NOT ABSOLVE THE ENGINEER OF WORK OF ANY RESPONSIBILITY FOR THE PROJECT DESIGN</p> <p>ENGINEER OF WORK: JALAL I. RAHMAN DATE: 01/17/2019</p> <p>RCE NO. C77969 EXPIRATION DATE: 06/30/2019</p> <p>Underground Service Alert</p> <p>Call: TOLL FREE 1-800-422-4133</p> <p>BENCH MARK: SOURCE BENCHMARK: CITY OF RIVERSIDE BENCHMARK 7740 PK INBL AND CITY ENGINEER TAG IN THE STREET LIGHT BASE AT THE NORTHWEST CURB RETURN OF LAUREL AVENUE AND MARLBOROUGH AVENUE (NORTH)</p>		<p>SEAL: [Stamp]</p> <p>SCALE: HORIZONTAL</p> <p>AS NOTED</p> <p>VERTICAL</p> <p>AS NOTED</p>	<p>APECO ENGINEERING</p> <p>328 N. STATE ST HEMET, CA 92343</p> <p>1-760-487-3789 WWW.APECOENGINEERING.COM</p> <p>PREPARED BY: JALAL I. RAHMAN DATE: 04/17/2018</p> <p>ENGR. NAME: JALAL I. RAHMAN DATE: 06/30/2019</p> <p>RCE NO. C77969 EXP. DATE: 06/30/2019</p>	<p>11/15/2018</p> <p>SHEET 4 CITY OF RIVERSIDE ENGINEERING DEPARTMENT SHEETS 5</p> <p>GRADING PLAN</p> <p>Assessor's Parcel Numbers: 210-043-002, 210-043-005, 210-043-006, 210-043-007, 210-043-008, 210-043-009, 210-043-010, 210-043-011, 210-043-012, 210-043-013, 210-043-014, 210-043-015, 210-043-016, 210-043-017, 210-043-018, 210-043-019, 210-043-020, 210-043-021, 210-043-022, 210-043-023, 210-043-024, 210-043-025, 210-043-026, 210-043-027, 210-043-028, 210-043-029, 210-043-030, 210-043-031, 210-043-032, 210-043-033, 210-043-034, 210-043-035, 210-043-036, 210-043-037, 210-043-038, 210-043-039, 210-043-040, 210-043-041, 210-043-042, 210-043-043, 210-043-044, 210-043-045, 210-043-046, 210-043-047, 210-043-048, 210-043-049, 210-043-050, 210-043-051, 210-043-052, 210-043-053, 210-043-054, 210-043-055, 210-043-056, 210-043-057, 210-043-058, 210-043-059, 210-043-060, 210-043-061, 210-043-062, 210-043-063, 210-043-064, 210-043-065, 210-043-066, 210-043-067, 210-043-068, 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#	DESCRIPTION	INITIAL P.V. & P.C. W/ PAPER SWITCH ASSEMBLY	QUANTITY
17	BROOKS BOX 24"24" SEE DETAIL ON SHEET 9		1
18	ALLT FOR CITY OF RIVERSIDE STANDARD DRAWING #110 TYPE 2		8860 sq.ft
19	ELECTRIC PANEL ROOM		4
24	FIRE RISER ROOM		4
25	DATA ROOM		4
26	ELECTRIC TRANSFORMER UNDERGROUND		3
27	8" PVC storm drain pipe		2
28	INITIAL P.V. & P.C. W/ PAPER SWITCH ASSEMBLY		3
30	PROPOSED FIRE HYDRANT ON CHICAGO		1
41	INITIAL 8" DOUBLE DETECTOR CHECK PER W/WD STANDARD DETAIL (Master Series 870v double check valve assemblies 2-1/2"-10")		1
42	2" WATER METER LANDSCAPING		1
43	2" WATER METER		1
44	DECORATIVE DRIVE WAY ENTRANCE STAMP CONCRETE COLOR (BAAK RED)		432 SQ. FT.

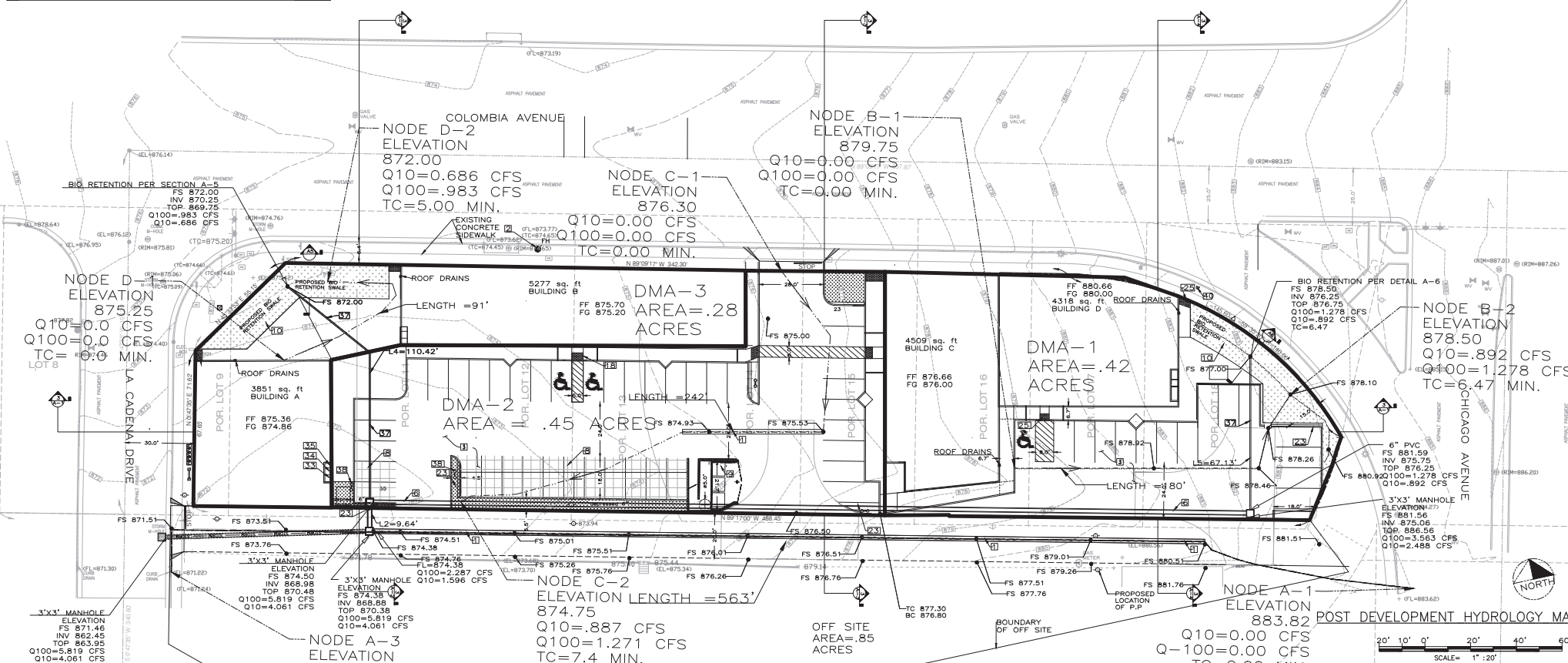
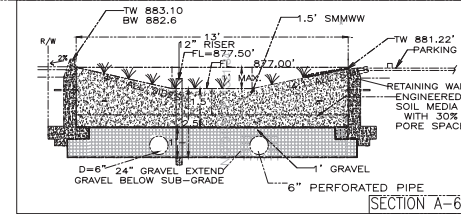
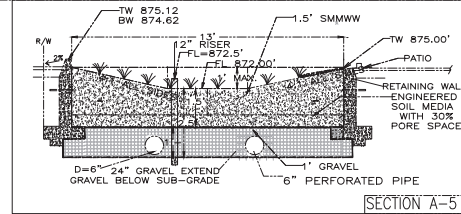
#	DESCRIPTION	INITIAL P.V. & P.C. W/ PAPER SWITCH ASSEMBLY	QUANTITY
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18	ALLT FOR CITY OF RIVERSIDE STANDARD DRAWING #110 TYPE 2		8860 sq.ft
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43	2" WATER METER		1
44	DECORATIVE DRIVE WAY ENTRANCE STAMP CONCRETE COLOR (BAAK RED)		432 SQ. FT.



<p>"AS BUILT"</p> <p>THE RECEIPT OF AS-BUILT PLANS AND CITY'S ACCEPTANCE THEREOF DOES NOT RELEASE THE ENGINEER OF WORK OR ANY RESPONSIBILITY FOR THE PROJECT DESIGN</p> <p>ENGINEER OF WORK JALAL I RAHMAN DATE 01/17/2019</p> <p>RCE NO. C77969 EXPIRATION DATE 06/30/2019</p> <p>Underground Service Alert</p>  <p>Call: TOLL FREE 1-800 422-4133</p> <p>TWO WORKING DAYS BEFORE</p>						<p>SEAL:</p>  <p>BENCH MARK SOURCE BENCHMARK: CITY OF RIVERSIDE BENCHMARK 77-03 PR HALL CITY LIGHTS TAG IN THE STREET LIGHT POLE AT THE NORTHWEST CORNER RETURN OF LAUREL AVENUE AND MARLBOROUGH AVE/NORTH SIDE</p>		<p>APECO ENGINEERING 328 N. STATE ST HEMET, CA 92543 JIBRAHEEM@APECOENGINEERING.COM 1-760-497-3795</p>		<p>1/15/2018</p>		<p>SHEET 5 CITY OF RIVERSIDE SHEETS 5</p> <p>ENGINEERING DEPARTMENT</p> <p>GRADING PLAN</p> <p>Detailed Parcel Numbers: 210-043-006, 210-043-005, 210-043-006, 210-043-006, 210-043-009, 210-043-041, 210-043-042, Lot 2 through 18 in Block 2 of Los Angeles Division Located on the Southwest Corner of Columbus Avenue and Chicago Avenue, City of Riverside, Riverside County, California.</p>	
						<p>APPROVED _____ DATE _____</p> <p>CITY ENGINEER _____</p>		<p>TOWN BY: _____ PROJECT NO. _____ DRAWING NO. _____</p> <p>CHKD BY: _____ FIELD BK: _____</p>					
<p>PREPARED BY JALAL I RAHMAN DATE 04/17/2018</p> <p>ENR. NAME : JALAL IBRAHIM RAHMAN</p> <p>RCE NO. C77969 EXP. DATE 06/30/2019</p>						<p>DATE INITIAL</p> <p>ENGINEER OF WORK</p>		<p>REVISION DESCRIPTION</p>					

DESCRIPTION	QUANTITY
1. CONSTRUCT 24" CONCRETE RIBBON PER DETAIL G-1 ON SHEET 4	241 LF
2. DISTINGRE HYDANT 1	1 EACH
3. 3000 PSI 6" CONCRETE OVER 95% MIN. COMPACTED NATIVE SOIL (MINIMUM WIDTH 20") TO SUPPORT THE IMPOSED LOADS OF 40,000 POUND LIVE LOAD (GROSS VEHICLE WEIGHT DISTRIBUTED OVER TWO AXLES) OVER TWO AXLES	20,205 SQ.FT.
4. DRIVEWAYS = 3920 SQ. FT. PARKING (CONCRETE) 32170 SQ. FT.	
5. INSTALL 18" (R/LP) REINFORCED CONCRETE PIPE 244 LFT TYPE-4 B-LADING #181 Class V D-load (6/11/1) for Types Bedding	753 LFT
6. 12" PVC storm drain pipe PER SECTION PP-1	1782 FT-2
7. TANK ENCLOSURE QUANTITY 1 REFER TO BUILDING PLANS SHEET 5 OF 5 UNDER A SEPARATE PERMIT	1
8. SURFACE BIO RETENTION SWALE 80'X13' PER SECTION A-4, A-5, A-6.1 ON SHEET 4	1
9. ADA RAMP PER CITY OF RIVERSIDE STANDARD DRAWING #304 TYPE 3	2
10. SEWER LINE PROPOSED PVT 4" PVC SDR-35 SWR	xx LF
11. SEWER LINE PROPOSED PVT 4" PVC SDR-35 SWR	xx LF
12. CURB PER CITY OF RIVERSIDE STANDARD DRAWING #200 TYPE 2	1235 LFT
13. DRIVE WAY APPROACH PER CITY OF RIVERSIDE STANDARD DRAWING #302	374 sq.ft.
14. INSTALL RAMP AND TRUNCATED DOMES ALONG ADA PATH OF TRAVEL PER sheet 4 AND HS-5 & ADA-5	157 S.FT
15. PROPOSED LANDSCAPING PLANTER PER DETAIL LP-1	295 LFT
16. PROPOSED LANDSCAPING PLANTER PER DETAIL LP-2	216 LFT
17. Install truncated domes	1

DESCRIPTION	QUANTITY
1. BROOKS BOX 24"X24" SEE DETAIL ON SHEET 5	9860 sq.ft.
2. ELEV. PER CITY OF RIVERSIDE STANDARD DRAWING #110 TYPE 2	4
3. ELECTRIC PANEL ROOM	4
4. FIRE RISER ROOM	4
5. DATA ROOM	4
6. ELECTRIC TRANSFORMER UNDERGROUND	3
7. 4" PVC storm drain pipe PER SECTION PP-1	3
8. 4" PVC storm drain pipe PER SECTION PP-1	3
9. 4" PVC storm drain pipe PER SECTION PP-1	3
10. 4" PVC storm drain pipe PER SECTION PP-1	3
11. 4" PVC storm drain pipe PER SECTION PP-1	3
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14. 4" PVC storm drain pipe PER SECTION PP-1	3
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100. 4" PVC storm drain pipe PER SECTION PP-1	3



LEGEND

- PROPERTY LINE
- DIRECTION OF FLOW
- FLOW LINE

"AS BUILT"

THE RECEIPT OF AS-BUILT PLANS AND CITY'S ACCEPTANCE THEREOF DOES NOT ABSOLVE THE ENGINEER OF WORK OF ANY RESPONSIBILITY FOR THE PROJECT DESIGN.

ENGINEER OF WORK: JALAL I. RAHMAN DATE: 01/17/2019

RCE NO: C77969 EXPIRATION DATE: 06/30/2019

Underground Service Alert

Call: TOLL FREE 1-800-422-4133

BENCH MARK: SOURCE BENCHMARK: CITY OF RIVERSIDE BENCHMARK: 77-43 IN NAIL AND CITY ENGINEER TAG IN THE STREET LIGHT BASE AT THE NORTHWEST CORNER OF LAUREL AVENUE AND MARLBOROUGH AVENUE (N/WSR).

SCALE: HORIZONTAL: AS NOTED VERTICAL: AS NOTED

APPECO ENGINEERING
328 N. STATE ST
HEMET, CA 92543
1-760-497-3795
JRM@APPECOENGINEERING.COM

PREPARED BY: JALAL I. RAHMAN DATE: 04/17/2018

ENGR. NAME: JALAL I. RAHMAN RCE NO: C77969 EXP. DATE: 06/30/2019

DATE: INITIAL: ENGINEER OF WORK

REVISION DESCRIPTION

SHT. NO. DATE: INITIAL: CITY APPROVAL

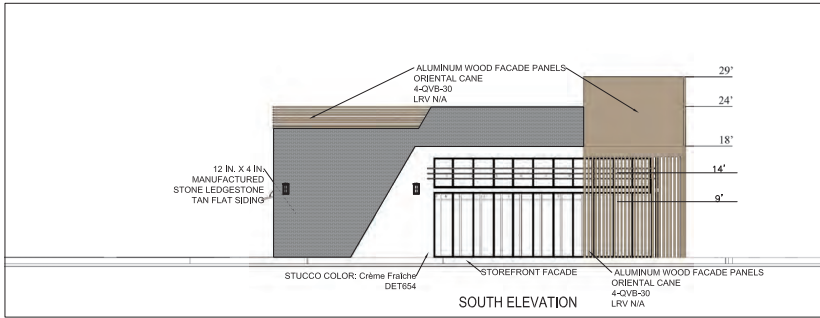
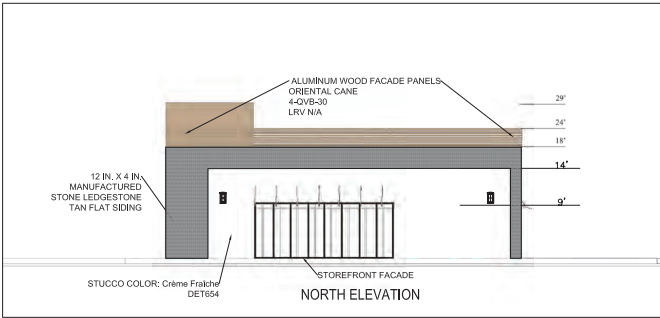
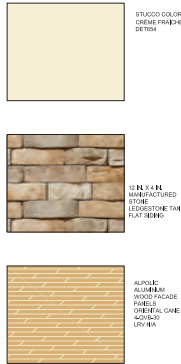
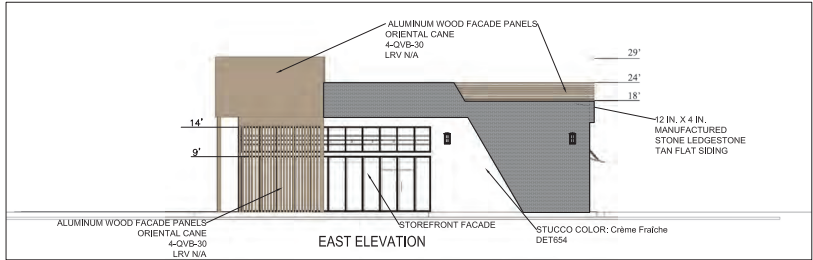
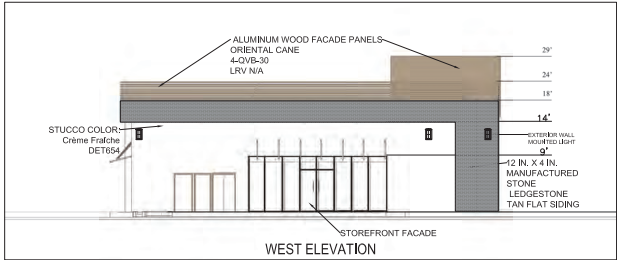
APPROVED: CITY ENGINEER

OWN BY: CHHD BY: FIELD BY:

CITY OF RIVERSIDE
ENGINEERING DEPARTMENT

GRADING PLAN

Assessor's Parcel Numbers: 210-043-002, 210-043-005, 210-043-006, 210-043-007, 210-043-008, 210-043-009, 210-043-010, 210-043-011, 210-043-012, 210-043-013, 210-043-014, 210-043-015, 210-043-016, 210-043-017, 210-043-018, 210-043-019, 210-043-020, 210-043-021, 210-043-022, 210-043-023, 210-043-024, 210-043-025, 210-043-026, 210-043-027, 210-043-028, 210-043-029, 210-043-030, 210-043-031, 210-043-032, 210-043-033, 210-043-034, 210-043-035, 210-043-036, 210-043-037, 210-043-038, 210-043-039, 210-043-040, 210-043-041, 210-043-042, 210-043-043, 210-043-044, 210-043-045, 210-043-046, 210-043-047, 210-043-048, 210-043-049, 210-043-050, 210-043-051, 210-043-052, 210-043-053, 210-043-054, 210-043-055, 210-043-056, 210-043-057, 210-043-058, 210-043-059, 210-043-060, 210-043-061, 210-043-062, 210-043-063, 210-043-064, 210-043-065, 210-043-066, 210-043-067, 210-043-068, 210-043-069, 210-043-070, 210-043-071, 210-043-072, 210-043-073, 210-043-074, 210-043-075, 210-043-076, 210-043-077, 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OWNER:
KHALID ALI
RIVERSIDE, CA

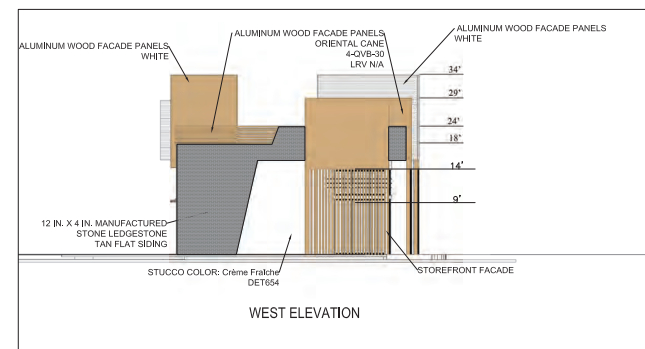
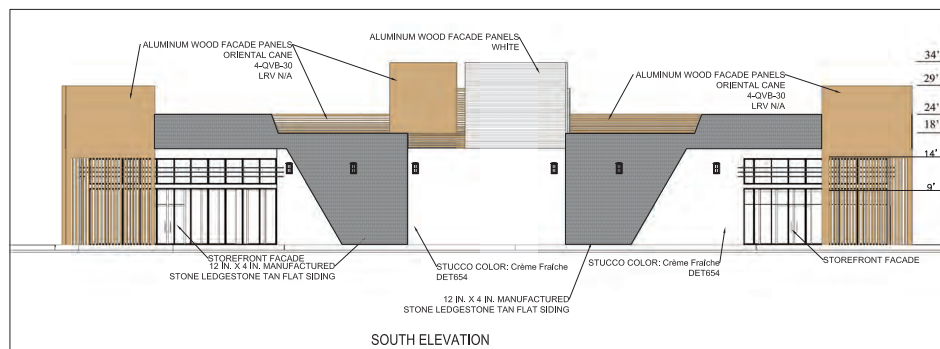
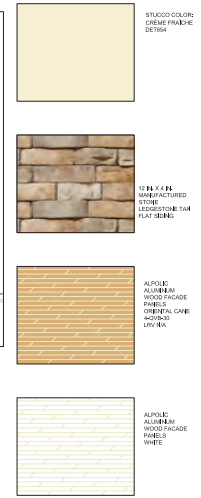
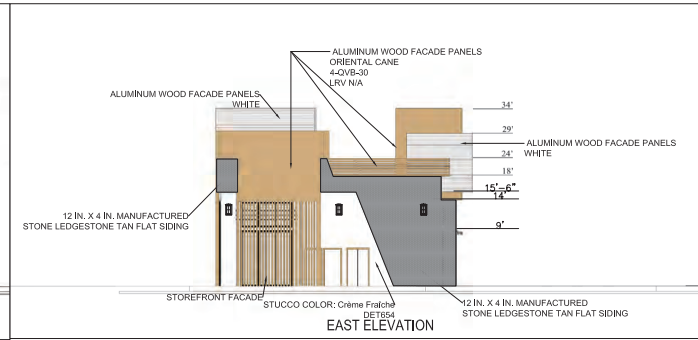
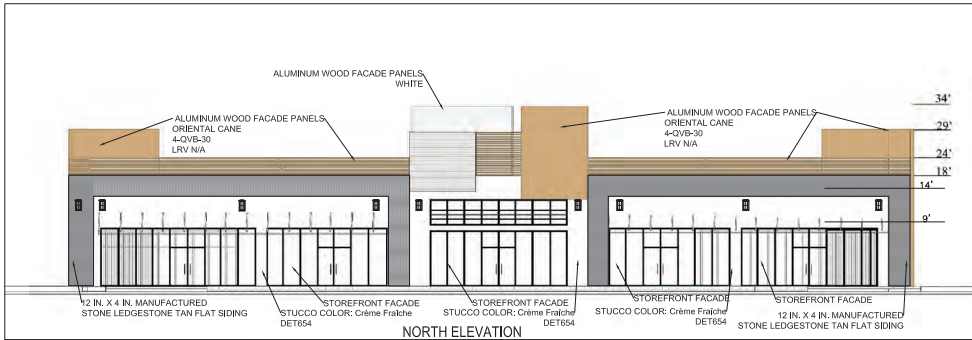
Project DESIGNER :
APECO ENGINEERING
328 N. STATE ST
HEMET, CA 92543

Agency Stamp

Drawing Status	Date
Schematics	
Design Dev.	
Agencies	
Estimating	
Bidding	
For Const.	

Revisions	Date

Job No.	
Client No.	
Drawn	
Checked	
Scale	
Sheet Title	
ELEVATION PLAN BUILDING A	
Sheet No.	
A-1	



OWNER:
KHALID ALI
RIVERSIDE, CA

Project DESIGNER :
APECO ENGINEERING
328 N. STATE ST
HEMET, CA 92543

Agency Stamp

Drawing Status	Date
Schematics	
Design Dev.	
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Estimating	
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For Const.	

Revisions	Date

Job No.	
Client No.	
Drawn	
Checked	
Scale	
Sheet Title	
ELEVATION PLAN BUILDING B	
Sheet No.	
A-2	

OWNER:
KHALID ALI
RIVERSIDE, CA

Project DESIGNER :
APECO ENGINEERING
328 N. STATE ST
HEMET, CA 92543

Agency Stamp

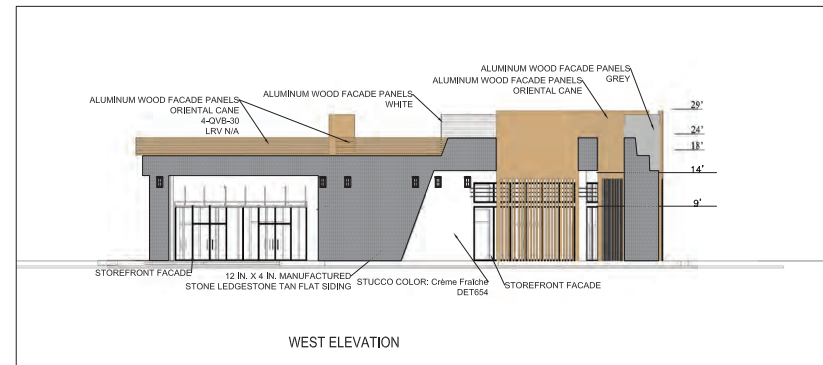
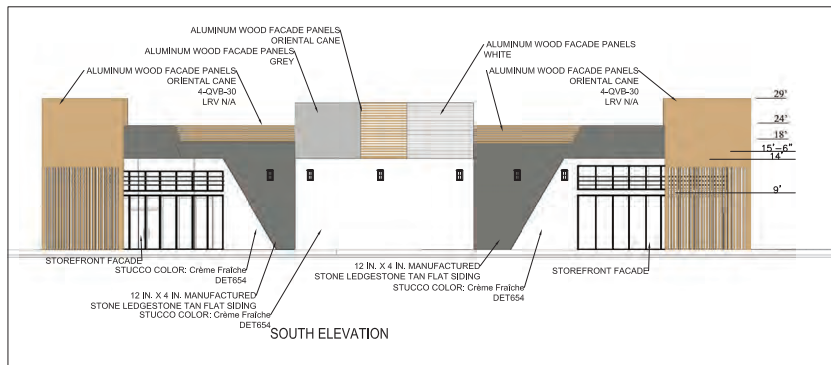
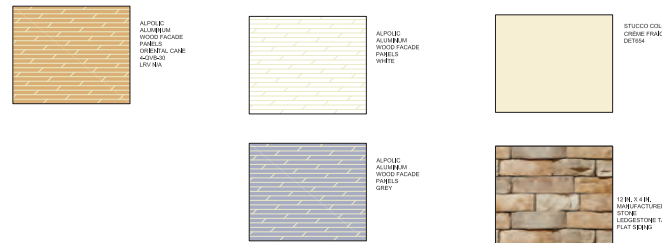
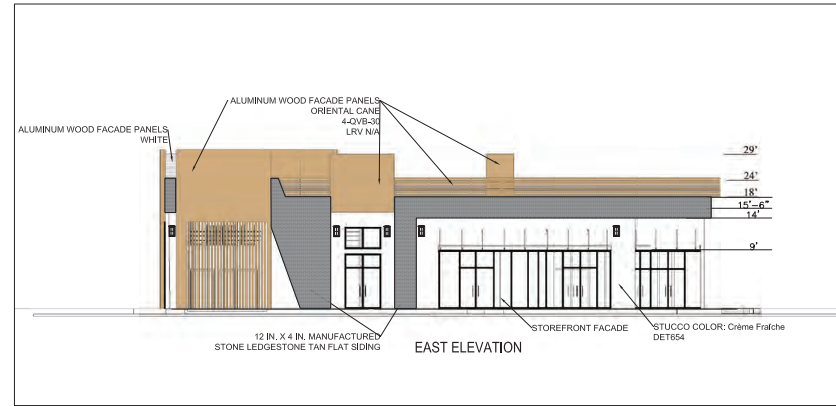
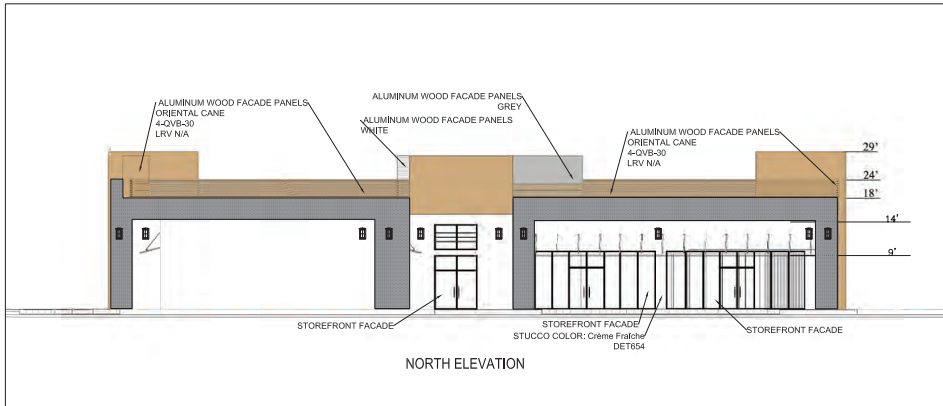
Drawing Status	Date
Schematics	
Design Dev.	
Agencies	
Estimating	
Bidding	
For Const.	
Revisions	Date

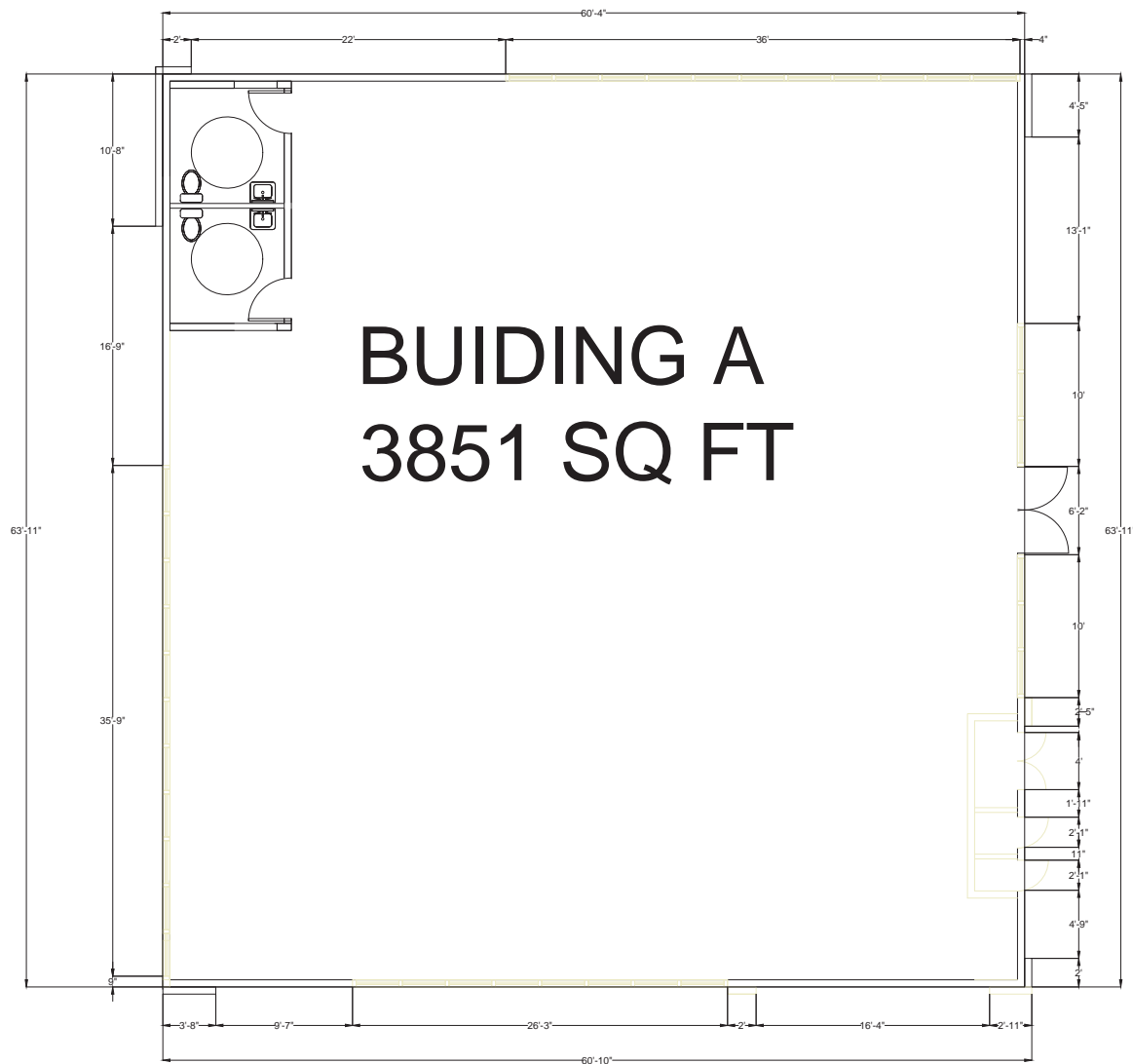
Job No.	
Client No.	
Drawn	
Checked	
Scale	

Sheet Title

**ELEVATION PLAN
BUILDING C**

Sheet No.
A-3





OWNER NAME
STREET ADDRESS
RIVERSIDE, CA
TELEPHONE

PROJECT DESIGNER:

APECO ENGINEERING
328 N. STATE ST
HEMET, CA 92543

AGENCY STAMP



DRAWING STATUS DATE

SCHEMATICS	
DESIGN DEV.	
AGENCIES	
ESTIMATING	
BIDDING	
FOR CONST.	

REVISIONS DATE

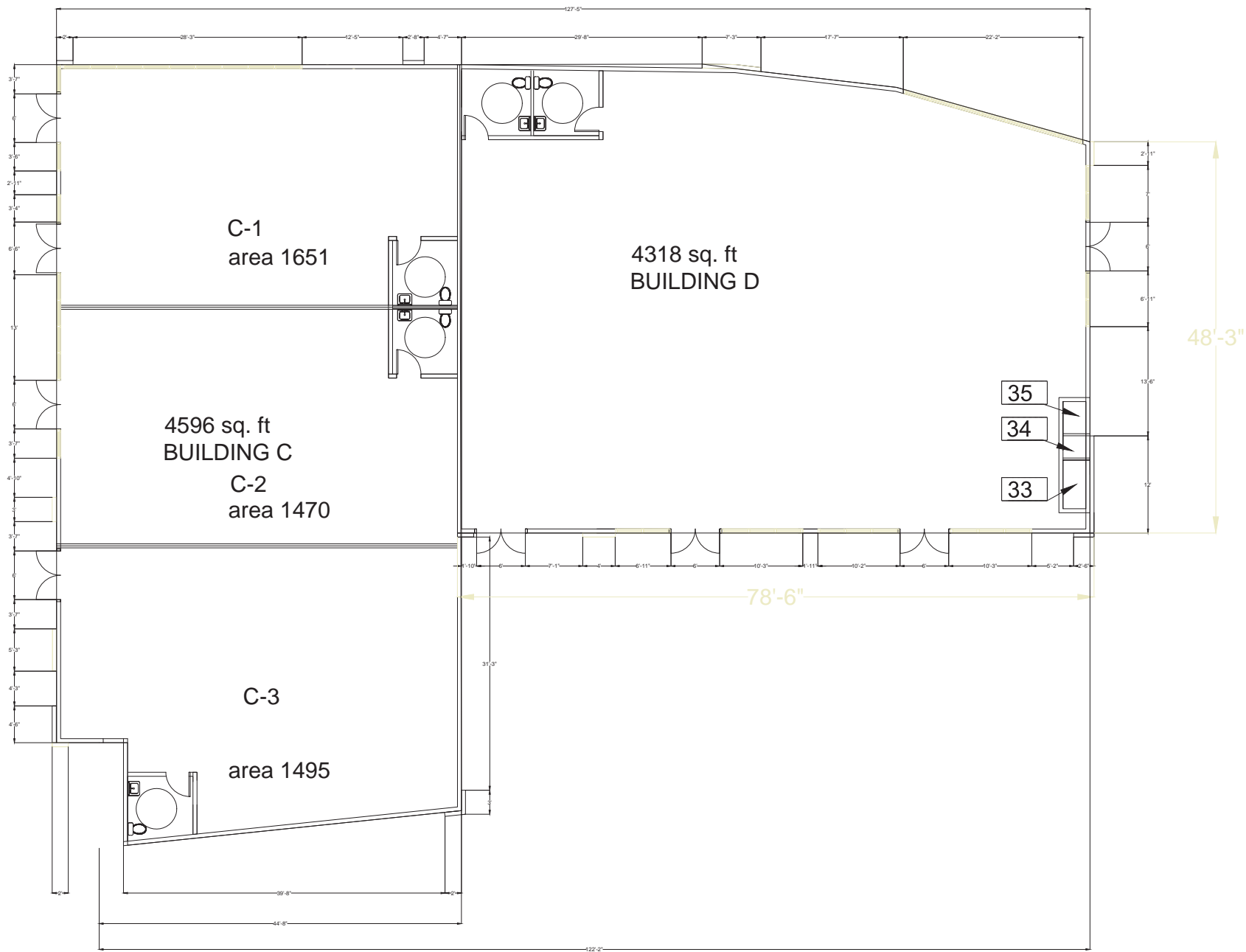
JOB NO.	
CLIENT NO.	
DRAWN	
CHECKED	
SCALE	1/4" = 1'

SHEET TITLE

FLOOR PLAN
BUILDING A

SHEET NO.

A-5



OWNER:

OWNER NAME
STREET ADDRESS
RIVERSIDE, CA
TELEPHONE

PROJECT DESIGNER:

APECO ENGINEERING
328 N. STATE ST
HEMET, CA 92543

AGENCY STAMP



DRAWING STATUS DATE

SCHEMATICS	
DESIGN DEV.	
AGENCIES	
ESTIMATING	
BIDDING	
FOR CONST.	

REVISIONS DATE

JOB NO.

CLIENT NO.

DRAWN

CHECKED

SCALE 3/16" = 1'

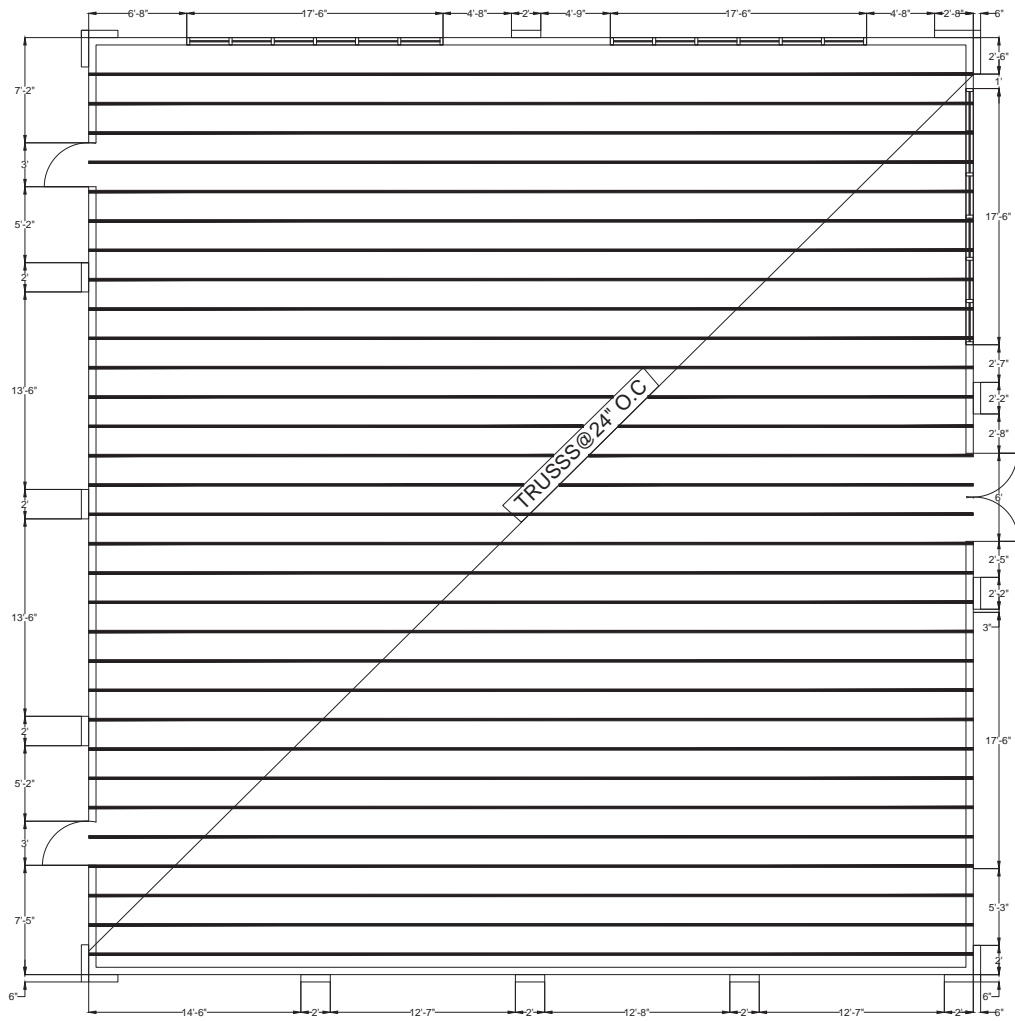
SHEET TITLE

FLOOR PLAN
BUILDING C&D

SHEET NO.

A-8

BUIDING A
3851 SQ FT



Roof Membrane: Single ply membrane composed of thermoplastic polyolefin (TPO) sheet as specified for the specific product hereinbefore and reinforced with polyester scrim conforming to ASTM D 6878.

1. Membrane Type: Reinforced, 60 mil thickness, white, 10 ft. maximum sheet width.

B. Flashing Membrane: Reinforced and non-reinforced TPO membrane and pressure-sensitive flashing by Roofing System manufacturer, thickness to match roofing membrane, specifically designed for use in flashing at perimeters and around projections through roofing system. PER SPECS ON SHEET A-11



OWNER:

OWNER NAME
STREET ADDRESS
RIVERSIDE, CA
TELEPHONE

PROJECT DESIGNER:

APECO ENGINEERING
328 N. STATE ST
HEMET, CA 92543

AGENCY STAMP

DRAWING STATUS	DATE
SCHEMATICS	
DESIGN DEV.	
AGENCIES	
ESTIMATING	
BIDDING	
FOR CONST.	

REVISIONS	DATE

JOB NO.	
CLIENT NO.	
DRAWN	
CHECKED	
SCALE	1/4" = 1'

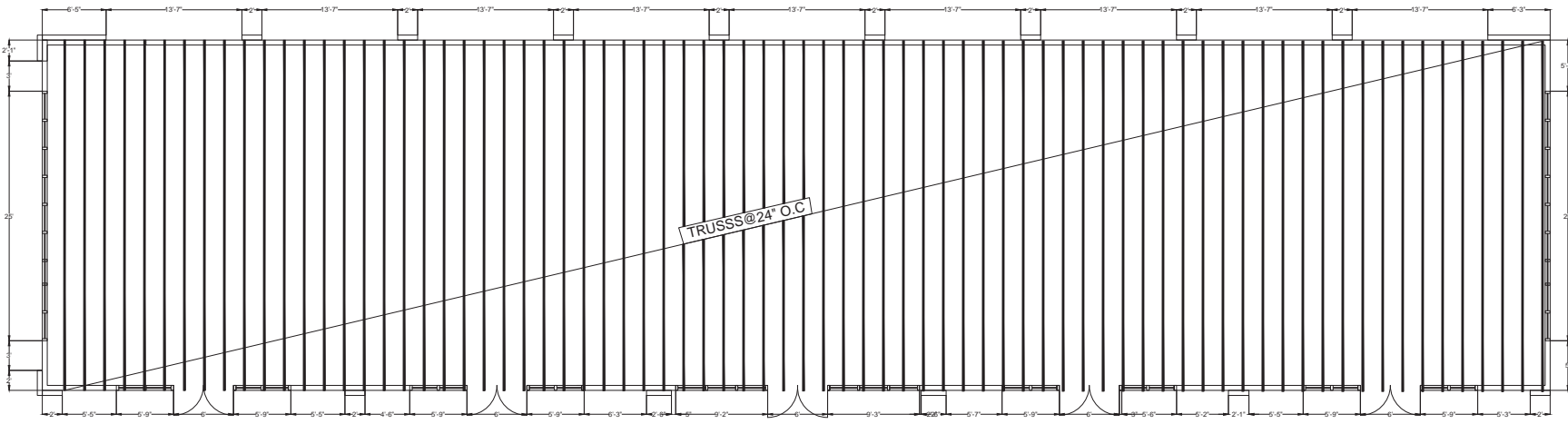
SHEET TITLE

ROOF FRAMING
PLAN BUILDING
A

SHEET NO.

A-9

BUIDING B 5277 SQ FT



TRUSS@24' O.C.

Roof Membrane: Single ply membrane composed of thermoplastic polyolefin (TPO) sheet as specified for the specific product hereinbefore and reinforced with polyester scrim conforming to ASTM D 6878.
 1. Membrane Type: Reinforced, 60 mil thickness, white, 10 ft. maximum sheet width.
 B. Flashing Membrane: Reinforced and non-reinforced TPO membrane and pressure-sensitive flashing by Roofing System manufacturer, thickness to match roofing membrane, specifically designed for use in flashing at perimeters and around projections through roofing system. PER SPECS ON SHEET A-11



OWNER:
 OWNER NAME
 STREET ADDRESS
 RIVERSIDE, CA
 TELEPHONE
 PROJECT DESIGNER:
APECO ENGINEERING
 328 N. STATE ST
 HEMET, CA 92543



DRAWING STATUS	DATE
SCHEMATICS	
DESIGN DEV.	
AGENCIES	
ESTIMATING	
BIDDING	
FOR CONST.	
REVISIONS	DATE

JOB NO.	
CLIENT NO.	
DRAWN	
CHECKED	
SCALE	3/16" = 1'

SHEET TITLE
**ROOF FRAMING
 PLAN BUILDING
 B**

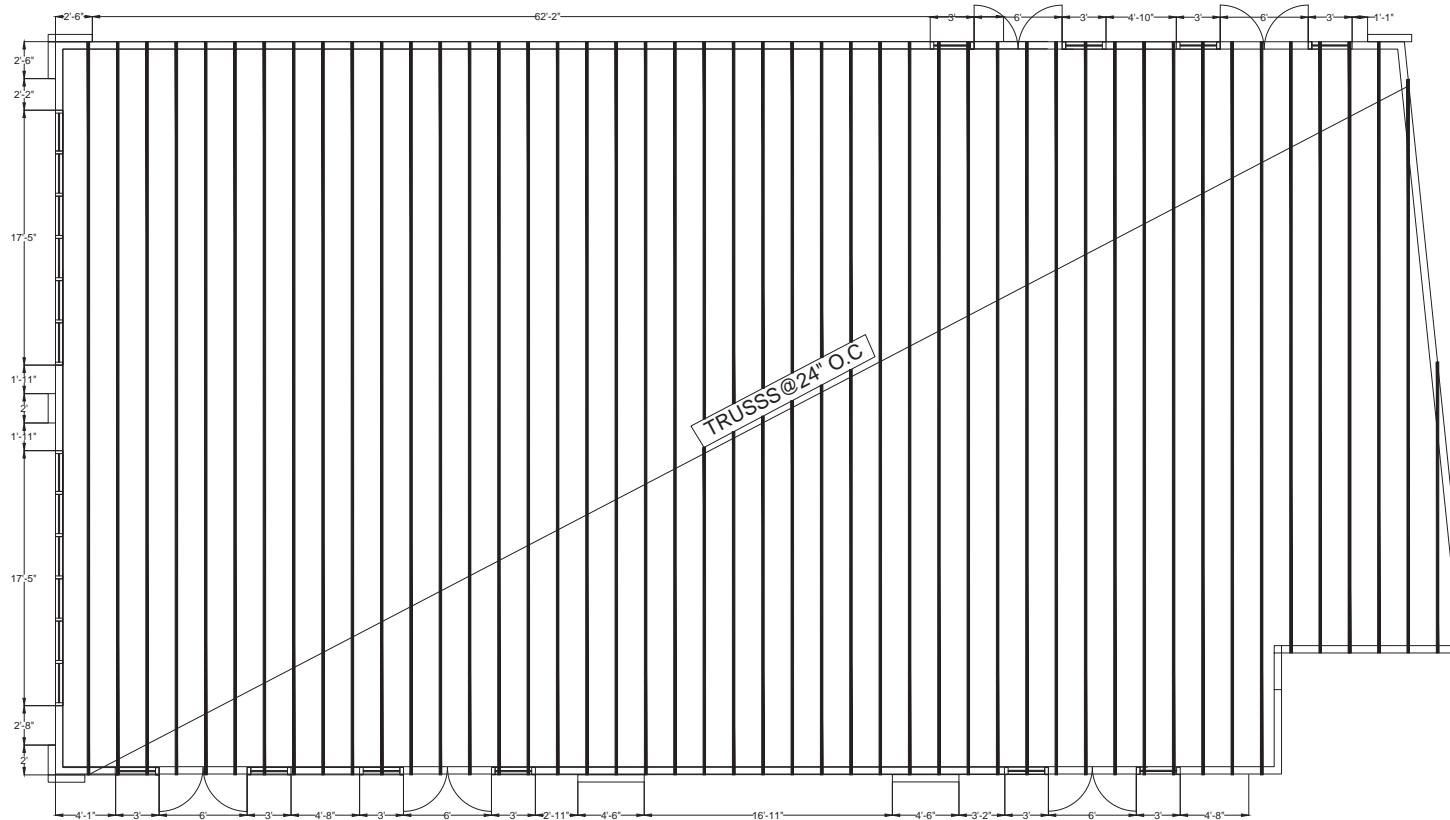
SHEET No.
A-10

4848 sq. ft
BUILDING C

Roof Membrane: Single ply membrane composed of thermoplastic polyolefin (TPO) sheet as specified for the specific product hereinbefore and reinforced with polyester scrim conforming to ASTM D 6878.

1. Membrane Type: Reinforced, 60 mil thickness, white, 10 ft. maximum sheet width.

B. Flashing Membrane: Reinforced and non-reinforced TPO membrane and pressure-sensitive flashing by Roofing System manufacturer, thickness to match roofing membrane, specifically designed for use in flashing at perimeters and around projections through roofing system. PER SPECS ON SHEET A-11



OWNER:

OWNER NAME
STREET ADDRESS
RIVERSIDE, CA
TELEPHONE

PROJECT DESIGNER:

APECO ENGINEERING
328 N. STATE ST
HEMET, CA 92543

AGENCY STAMP



DRAWING STATUS DATE

SCHEMATICS	
DESIGN DEV.	
AGENCIES	
ESTIMATING	
BIDDING	
FOR CONST.	

REVISIONS DATE

JOB NO.

CLIENT NO.

DRAWN

CHECKED

SCALE 1/4" = 1'

SHEET TITLE

ROOF FRAMING
PLAN BUILDING
C

SHEET NO.

A-11